DATE <u>04/28</u>	/2006		1D1A COUN ermit Expires On				PERMIT 000024448
APPLICANT	DEBBIE B				PHONE	752-6399	
ADDRESS		P.O. BOX 2103		LAKE C	TY	_	<u>FL</u> <u>32056</u>
OWNER	CHARLES	& SANDRA GRI	EENE		PHONE	954 214-6344	
ADDRESS	462	NW FIDDLERS	LANE	LAKE C	ITY		FL 32055
CONTRACTO	R MAN	IGRUM CONSTR	UCTION	·	PHONE	752-6399	
LOCATION OF	F PROPERT	Y 41N, T	L ON FIDDLERS WA	AY, 6TH LOT ON	LEFT		
TYPE DEVELO	OPMENT	MODULAR		ESTIMATED (COST OF CC	ONSTRUCTION	0.00
HEATED FLO	OR AREA		TOTAL	L AREA	_	HEIGHT _	STORIES
FOUNDATION	٧	w	ALLS	ROOF PITC	н	FI	LOOR
LAND USE &	ZONING	A-3			MAX	K. HEIGHT	
Minimum Set E	3ack Require	nents: STRE	ET-FRONT	30.00	REAR	25.00	SIDE 25.00
NO. EX.D.U.	0	FLOOD ZON	NE X	DEVELO	MENT PER	MIT NO.	
PARCEL ID	27-2S-16-0	1770-133	SUBDIV	VISION COU	NTRY LANE	EESTATES	
LOT 33	BLOCK	PHASI	E UNI	Т	TOT	AL ACRES	
Driveway Conn COMMENTS:		Septic Tank Num	OAD, NOC ON FILE	Zoning checked	оу Ар <u>г</u>	Check # or C	
		FOR	BUILDING & ZO	ONING DEPA	RTMENT		(footer/Slab)
Temporary Pow	ver		Foundation			Monolithic	(Tooler/Stab)
		date/app. by		date/app.	by		date/app. by
Under slab roug	gh-in plumbi	·		******		Sheathing	/Nailing
Framing			e/app. by		app. by		date/app. by
rraining	date/app	o. by	Rough-in plumb	oing above slab an	d below woo	d floor	date/app. by
Electrical rough	h-in		Heat & Air Due	ct		Peri. beam (Lint	• • •
		date/app. by		date/ap	p. by	Torr. boam (2me	date/app. by
Permanent power		e/app. by	C.O. Final	date/app. by		Culvert	date/app. by
M/H tie downs,	blocking, ele	ectricity and plum			_	Pool	
Reconnection				te/app. by	Thilia. Da		date/app. by
Reconnection	d	ate/app. by	Pump pole	date/app. by	Utility Po	date/app. b	y
M/H Pole dat	te/app. by	-	Travel Trailer	date/app. by		Re-roof	date/app. by
BUILDING PEI	RMIT FFF (0.00	CERTIFICATIO	ON FEE \$	0.00	SURCHARG	E FEE \$ 0.00
MISC. FEES \$			OERT. FEE \$		FEE \$ 0.00		TE FEE \$
			FLOOD ZONE FEE \$.			FAL FEE 275.00
FLOOD DEVEL		- 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1	Te C				213.00
INSPECTORS	OFFICE _	7 whe	18/10	CLER	KS OFFICE		

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application (142/30 Revised 9-23-04
or Office Use Only Application # 0604 - 68 Date Received 4/24/06 By LH Permit # 24448 Application Approved by - Zoning Official CLIC Date 24.066 Plans Examiner OKJIH Date 4-24-06
Application Approved by - Zoning Official Old Date 24.04.06 Plans Examiner OF JIH Date 4-24-06 Flood Zone Development Permit NA Zoning A-3 Land Use Plan Map Category A 3
Comments
Applicants Name Mangrum Construction Inc. / Dellie Bourden Phone 386-752-6399
Address P.O. Box 2103 Lake City, 7.l 32056-2103
Owners Name Charles Treene and Sandra Treene Phone 954-214-6344
911 Address 462 NW Fiddlers Lane Lake City, 7l 32055
Contractors Name Mangaum Construction Inc Phone 386-752-6399
Address P.O. Box 2103 Lake City, 12 32056-2103
Fee Simple Owner Name & Address NA
Ronding Co. Name & Address MA
Architect/Engineer Name & Address Robert & Drag 630 Chunt St. Chearwater, 70 33756
Mortgage Lenders Name & Address MA
Circle the correct power company - FL Power & Light - Clay Elec Suwannee Valley Elec Progressive Energy
Property ID Number 27 - 25 - 16 - 01770 - 133 Estimated Cost of Construction
Subdivision Name Country Lone Estates Lot 33 Block A Unit Phase
Driving Directions US 41 N. go under I-10 Continue N approx. 3 miles to 7 iddles
Way turn Left on Fiddlew way go approx. Yy Mile Lat is on the left. Mangrum Construction sign is on site. 6th 6/0+ un left.
Type of Construction <u>Foundation</u> <u>ForMululas</u> Number of Existing Dwellings on Property <u>O</u>
Total Acreage <u>5.0/</u> Lot Size <u>218237.57</u> Do you need a - <u>Culvert Permit</u> or <u>Culvert Waiver</u> or <u>Have an Existing Drive</u>
Actual Distance of Structure from Property Lines - Front 130' Side E 143' Side W 130' Rear 488'
Total Building Height 14'10" Number of Stories / Heated Floor Area 1854 sq. Roof Pitch 3/12
Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.
OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.
WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
2 O E Man - Camil EMany
Owner Builder or Agent (Including Contractor) Contractor Signature Contractors License Number RB 29003100
STATE OF FLORIDA Competency Card Number NOTARY STAMP/SEAL DEBRACKINGOWDEN
Sworm to (or affirmed) and subscribed before me
this 15 day of April 2006. Dubra how Bowdin Bourde
this

MAP OF BOUNDARY SURVEY

SHOWING LOT 33, BLOCK A, COUNTRY LANE ESTATES ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGES 77, 77A & 77B OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

Section Township lange

NW FIDDLERS WAY (60' R/W) Pavez Driver uf Existnya Culur N88*45'38"E 336.91' (S) PCP FCM 4"x4" N88'45'22"E 337.01' (P) PCP FCM 4"x4" FCM 4"y4" LS 1079 LS 1079 PIN: # 754.02' (P) 27-25-16-01770-133 OIL Power 754.06' (S) * well POLL Parcel ID# 01770-133 * LOCATION OF 130 29×64 well, Septe TANK, MODULAR Electrical (Requested Home From Poke BAC N01"14'38"W N01"12'45"W (VACANT & LIGHTLY WOODED) S01'14'38"E REFRENCE D1'14'38"E Locate Home **LOT 32** 647.5 **LOT 34** 647.45' (S) E BEARING 647.57' (Directions: US41 N. from Lake City gounder I-10 go 2 1/2 miles to 911 Address Ð Fiddless way tun left. go approx. Yymile you will see a log cabin Property Recorded on the left. The lot is next to BOOK 1079 log Calein on the west side. Pase 507 3/3//06 Date S88'46'18"W 337.26' (S) S88'45'22"W 337.01 FCM 4"x4" Charles Greene -0.4 0.3 UNPLATTED LANDS 954-214-6344 Sandra 772-201-5563 Charles SURVEYORS NOTES 1. BEARING BASED ON PLAT.

I HEREBY CERTIFY THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND IT MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING PURSUANT TO CHAPTER 61G17-6, FLORIDA ADMINISTRATION CODE, CHAPTER 472, FLORIDA STATUES.

WILLIAM N. KITCHEN PSM 5490

BEARKING BASED ON LEGAL DESCRIPTION FURNISHED. THE PUBLIC RECORDS.
 THIS SURVEY BASED ON LEGAL DESCRIPTION FURNISHED. THE PUBLIC RECORDS.
 WERE NOT SEARCHED BY THIS SURVEYOR FOR EASEMENTS, TITLE, COVENANTS, RESTRICTIONS, CLOSURES, TAKINGS OR ORDINANCES, ETC., THERE COULD BE OTHER MATTER OF RECORD THAT EFFECT THIS PARCEL.

CERTIFIED TO: CHARLES GREENE SANDA GREENE

Print Date: 4/24/2006 (printed at scale and type A)

STATE OF FLORIDA DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

	Permit Application .	lum <u>06-0399N</u>
,	- PART II - SITEPLAN · · ·	
Scale: 1 inch = 50 feet.	- 210	
FIDDLERS WAY DITCH AS' AND	ADRAINAGE 30	885 DRIVE 68' 117' 156 96
Notes: 1 of 5 Acres		
Site Plan submitted by: Plan Approved By	Not Approved	MASTER CONTRACTOR Date 4/セルクし County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

This Instrument Prepared by & return to:

Name:

Chris Travis, an employee of

Address:

TITLE OFFICES, LLC 1089 SW MAIN BLVD. LAKE CITY, FLORIDA 32025

File No. 06Y-03028CT

Inst:2006007949 Date:03/31/2006 Time:11:25

Doc Stamp_Deed: 630.00

3.7. DC.P. DeWitt Cason, Columbia County B: 1079 P:507

Parcel I.D. #: 01770-133

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED Made the 24th day of March, A.D. 2006, by

LAMAS, INC., A FLORIDA CORPORATION, having its principal place of business at 4907 BAYSHORE BLVD #101, TAMPA, FL 33611, hereinafter called the grantor, to CHARLES GREENE and SANDRA GREENE, HIS WIFE, whose post office address is 910 NW 116 TERRACE, PLANTATION, FL 33325, hereinafter called the grantees:

(Wherever used herein the terms "grantor" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees all that certain land situate in Columbia County, State of Florida, viz:

Lot 33, Block A, COUNTRY LANE ESTATES, according to the map or plat thereof as recorded in Plat Book 5, Page 77,77A & 77B, of the Public Records of Columbia County, Florida.

THE ABOVE DESCRIBED PROPERTY IS NOT THE HOMESTEAD OF THE GRANTOR.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold the same in fee simple forever.

And the grantor hereby covenants with said grantees that it is lawfully seized of said land in fee simple; that it has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2006.

In Witness Whereof, the said grantor has caused these presents to be executed in its name and its corporate seal to be hereunto affixed by its proper officers thereunto duly authorized, the day and year first above written.

Signed, sealed and delivered in the presence of:

(LAMAS, INC.

B. M.L.

Name: INA MARSHBURN

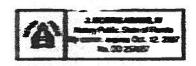
Title: PRESIDENT

Printed Name Walk Maradiegue

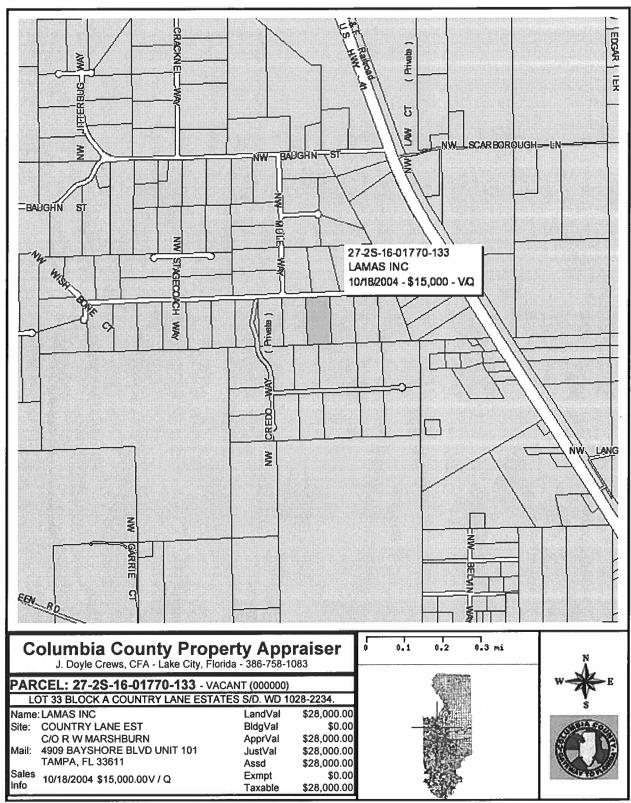
Witness Signature

STATE OF FLORIDA

The large one was acknowledged before me this 24th day of March, 2006, by INA MA



My commission expires (5/2 v)



This information, GIS Map Updated: 4/6/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for advalorem assessment purposes.

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787 PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED:

4/20/2006

DATE ISSUED:

4/27/2006

ENHANCED 9-1-1 ADDRESS:

462

NW FIDDLERS

LN

LAKE CITY

FL

32055

PROPERTY APPRAISER PARCEL NUMBER:

27-2S-16-01770-133

Remarks:

LOT 33 BLOCK A COUNTRY LAND ESTATES S/D

Address Issued By:

Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

194

NOTICE OF COMMENCEMENT FORM COLUMBIA COUNTY, FLORIDA

*** THIS DOCUMENT MUST BE RECORDED AT THE COUNTY CLERKS OFFICE BEFORE YOUR FIRST INSPECTION.***

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Тах	Parcel ID Number 27-25-16-01770-133 PERMIT NUMBER
1.	Description of property: (legal description of the property and street address or 911 address) Lat 33 Block A Country Lane Estates 5/0
	WD 1028-2234
	462 NW Fiddlers Lane
	Lake City, 7l 32055
	σ',
2.	General description of improvement: Foundation for Mobil Home
3.	Owner Name & Address Charles Treene and Sandra Greene
•	NW Fiddlers Lane Interest in Property 100%
4.	Name & Address of Fee Simple Owner (if other than owner): NA
•••	· · · · · · · · · · · · · · · · · · ·
5.	Contractor Name Mangrum Construction Inc. Phone Number 386-752-6399 Address P.O. Box 2103 Lake City, 72 32056-2103
_	
Ь.	Surety Holders Name <u>N/A</u> Phone Number
	Address
7.	Lender NamePhone Number
8. se	Persons within the State of Florida designated by the Owner upon whom notices or other documents may be ved as provided by section 718.13 (1)(a) 7; Florida Statutes:
	Name Sandra Dreene Phone Number 954-214-6344
	Address Nw Fidders Lane
9.	In addition to himself/herself the owner designates N/A of
	to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) -
	(a) 7. Phone Number of the designee
10	. Expiration date of the Notice of Commencement (the Inst: 2006010273 Date: 04/28/2006 Time: 09: 25
	(Unless a different date is specified)DC,P.DeWitt Cason,Columbia County B: 1081 P: 2586
NO	TICE AS PER CHAPTER 713, Florida Statutes:
The	owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.
	Sworn to (or affirmed) and subscribed before this 15th day of Horil 2006 NOTARY STEMP) SWORN Signature of Owner
/	Signature of Owner Expres 4/2/2010
	Bonded by (800 432 4254
	Florida Notary Assn Inc
	William Dowden
	Signature of Notary

Project Name:

2201-0074 F C 108

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Whole Building Performance Method A

Builder:

Address: City, State: , FL Owner: HOMES OF Climate Zone: South	MERIT	Permitting Office: Permit Number: Jurisdiction Number:	- o
New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 36.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 12.00
4. Number of Bedrooms	3	b. N/A	\$
5. Is this a worst case?	Yes		
6. Conditioned floor area (fl²)	1856 ft²	c. N/A	
7. Glass type and area: (Label reqd. by	y 13-104.4.5 if not default)	2	
a. U-factor:	Description Area	13. Heating systems	
(or Single or Double DEFAULT) 7 b. SHGC:	7a.(Dble Default) 54.0 ft ²	a. Electric Heat Pump	Cap: 34.0 kBtu/hr HSPF: 7.00
(or Clear or Tint DEFAULT)	7b. (Clear) 54.0 ft ²	b. N/A	
8. Floor types			_
a. Raised Wood, Stem Wall	R=11.0, 1856.0ft ²	c. N/A	_
b. N/A	_		_
c. N/A	_	14. Hot water systems	
9. Wall types		a. Electric Resistance	Cap: 50.0 gallons
a. Frame, Wood, Exterior	R=19.0, 1357.0 ft ²		EF: 0.90
b. N/A	_	b. N/A	
c. N/A			-
d. N/A	_	c. Conservation credits	-
e. N/A		(HR-Heat recovery, Solar	
10. Ceiling types a. Under Attic	P-22 0 1974 0 62	DHP-Dedicated heat pump)	
b. N/A	R=22.0, 1876.0 ft ²	15. HVAC credits	S
c. N/A	_	(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan,	
11. Ducts	_	PT-Programmable Thermostat,	
a. Sup: Unc. Ret: Unc. AH(Sealed):O	utdoorSup P=6.0 186.0 ft	MZ-C-Multizone cooling,	
b. N/A	uddorsup. K-0.0, 180.0 II	MZ-H-Multizone heating)	
		1412-11-Wuitizone neating)	
	_		
Glass/Floor Area:	0.08 Total as-built p	points: 25748 PASS PASS	

I hereby certify that the plans and expecifications covered by this calculation are in compliance Code. PREPARED BY: APPROVED NOV 2 1 2005 I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT:

DATE:

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: Date

Financial plant year of the second of the se WITH FLORIDA DCA.

Modular Building Plans Examiner

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Whole Building Performance Method A

Project N	ame: 2201-0074 F C 108		Builder:	
Address:			Permitting Office:	
City, State	e: , FL		Permit Number:	
Owner:	HOMES OF MERIT		Jurisdiction Number:	
Climate Z	one: North			
	onstruction or existing	New	12. Cooling systems	
	family or multi-family	Single family	a. Central Unit	Cap: 36.0 kBtu/hr
ļ.	er of units, if multi-family	= 1 <u> </u>		SEER: 12.00
	er of Bedrooms	3	b. N/A	
	a worst case?	Yes		-
	ioned floor area (ft²)	1856 ft²	c. N/A	_
	ype $^{f l}$ and area: (Label reqd. by 13-104.4	1.5 if not default)		_
a. U-facto	Desci	iption Area	13. Heating systems	
(or Sir	ngle or Double DEFAULT) 7a.(Dble D	efault) 54.0 ft ²	a. Electric Heat Pump	Cap: 34.0 kBtu/hr
b. SHGC:				HSPF: 7.00
		(Clear) 54.0 ft ²	b. N/A	_
8. Floor t	· -			*****
	Wood, Stem Wall	R=11.0, 1856.0ft ²	c. N/A	
b. N/A				S 5
c. N/A		_	14. Hot water systems	
9. Wall ty	-	18	a. Electric Resistance	Cap: 50.0 gallons
	Wood, Exterior R	=19.0, 1357.0 ft²		EF: 0.90
b. N/A		_	b. N/A	· -
c. N/A		_		12—11
d. N/A		_	c. Conservation credits	* -
e. N/A		-	(HR-Heat recovery, Solar	
10. Ceiling	• • •		DHP-Dedicated heat pump)	
a. Under	Attic R	=22.0, 1876.0 ft ²	15. HVAC credits	_
b. N/A		_	(CF-Ceiling fan, CV-Cross ventilation,	
c. N/A		_	HF-Whole house fan,	
11. Ducts	D . II		PT-Programmable Thermostat,	
=	nc. Ret: Unc. AH(Sealed):OutdoorsSup	o. R=6.0, 186.0 ft	MZ-C-Multizone cooling,	,ú
b. N/A			MZ-H-Multizone heating)	
		_		
	Glass/Floor Area: 0.08	Total as-built po		_
		Total base po	oints: 27091	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy

PREPARED BY:

DATE: ____ APPROVED NOV 2 1 2005

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT:

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: Approved By JAMES A. L.

see Summer & Winter Glass output on pages 2&4 Energy (Sauge® (Version: FLRCSB v4.0) WITH FLORIDA DCA.

Modular Building Plans Examiner Florida I icansa No. SMP-12

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Whole Building Performance Method A

Project Name: Address:	2201-0074 F C 108	Builder: Permitting Office:	
City, State:	, FL	Permit Number:	
Owner:	HOMES OF MERIT	Jurisdiction Number:	
Climate Zone:	Central		
New construction	n or existing New	12 Capling contame	
2. Single family or	9	12. Cooling systems a. Central Unit	Cap: 36.0 kBtu/hr
3. Number of units		a. Celitiai Ollit	SEER: 12.00
4. Number of Bedr	•	— b. N/A	SEEK: 12.00
5. Is this a worst ca			_
6. Conditioned floo		c. N/A	_
	area: (Label reqd. by 13-104.4.5 if not default)	_ C. IVA	_
a. U-factor:	Description Area	13. Heating systems	() ()
	ouble DEFAULT) 7a.(Dble Default) 54.0 ft ²	a. Electric Heat Pump	Cap: 34.0 kBtu/hr
b. SHGC:	Jacob Bernoer, va. (Dole Berault) 34.0 ft	a. Dicente Heat Lamp	HSPF: 7.00
(or Clear or Tir	nt DEFAULT) 7b. (Clear) 54.0 ft ²	b. N/A	11311.7.00
8. Floor types	(Clear) 34.0 It	0.7471	-
a. Raised Wood, S	tem Wall R=11.0, 1856.0ft ²	c. N/A	-
b. N/A	1 110, 1000.01	_ 0.10.1	_
c. N/A		14. Hot water systems	
9. Wall types		a. Electric Resistance	Cap: 50.0 gallons
a. Frame, Wood, E	xterior R=19.0, 1357.0 ft ²	a. Distant Resistance	EF: 0.90
b. N/A	,,,,,,,,,,,,,	b. N/A	E1 : 0.90
c. N/A		_ 0.13%1	_
d. N/A		c. Conservation credits	_
e. N/A		(HR-Heat recovery, Solar	_
10. Ceiling types		DHP-Dedicated heat pump)	
a. Under Attic	R=22.0, 1876.0 ft ²	15. HVAC credits	
b. N/A		(CF-Ceiling fan, CV-Cross ventilation,	_
c. N/A		HF-Whole house fan,	
11. Ducts		PT-Programmable Thermostat,	
a. Sup: Unc. Ret: 1	Unc. AH(Sealed):OutdoorsSup. R=6.0, 186.0 ft	MZ-C-Multizone cooling,	
b. N/A	, , , , , , , , , , , , , , , , , , , ,	MZ-H-Multizone heating)	
		3,	
Gla	SS/FIDOL ALEA, I) IIX	ilt points: 23204 se points: 25782 PASS	
I hereby certify that	t the plans and specifications covered by	Review of the plans and	THE STAR

this calculation are in compliance with the Florida Energy specifications covered by this Code. calculation indicates compliance PREPARED BY: with the Florida Energy Code. APPROVED NOV 2 1 2005 Before construction is completed this building will be inspected for I hereby certify that this building, as designed, is in compliance compliance with Section 553.908 with the Florida Energy Code. Florida Statutes. OWNER/AGENT: _ **BUILDING OFFICIAL:** Approved By JAMES SEE MANUFACTURE RECORD FOR ENERGY SEE Summer & Winter Glass output on pages 2&4.

WITH FLORIDA DCA.

Modular Building Plans Examiner Florida License No. SMP-12



OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection This Certificate of Occupancy is issued to the below named permit holder for the building

accordance with the Columbia County Building Code. and premises at the below named location, and certifies that the work has been completed in

Parcel Number 10-5S-16-03529-101 Building permit No. 000024548

Fire: 67.00

Waste: 201.00

Total: 268.00

o Charles

Location: 8626 SR 47

Permit Holder NATHAN PETERSEN

Use Classification SFD/UTILITY

Owner of Building SCOTT CURRY

Date: 10/19/2006

handy pries 646

Building Inspector

POST IN A CONSPICUOUS PLACE (Business Places Only)



COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection This Certificate of Occupancy is issued to the below named permit holder for the building

accordance with the Columbia County Building Code and premises at the below named location, and certifies that the work has been completed in

Parcel Number 27-2S-16-01770-133

Building permit No. 000024448

Use Classification MODULAR

Permit Holder MANGRUM CONSTRUCTION

Waste: 61.25

Fire:

29.60

Owner of Building CHARLES & SANDRA GREENE

Location:

Total: 90.85

KEENE

462 NW FIDDLERS LANE(COUNTRY LANE EST.,LOT 33)

Date: 05/31/2006

Building Inspector

POST IN A CONSPICUOUS PLACE (Business Places Only)



HOMES

OF MERIT,

INC.

LAKE CITY, FLORIDA P.O. BOX 2097 HWY 100 EAST 32056

\triangleright 08

INDEX

12.4 SQUARE FEET NET FREE AREA OF ATTIC VENTILATION TO BE PROVIDED BY SOFFIT AND RIDGE VENTS/ROOF VENTS.

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PAGE ELECT. PANEL SPEC.

PAGE 2A. ALT #1 ELECT. PANEL

SPEC.

PAGE **ELEVATIONS**

PAGE FLOOR PLAN

12.4 SQUARE FEET NET FREE AREA OF CRAWL SPACE VENTILATION TO BE PROVIDED BY FOUNDATION CONTRACTOR.

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PAGE ALT #2 FLOOR

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PAGE

PAGE 6A. ALT #2 HVAC DUCTS

C367802 (3/12 VAULT) HM584501 (6/12 FLAT) P450701 (6/12 VAULT)

PAGE DRAIN LINES

PAGE ALT #2 DRAIN LINES

PAGE ON FRAME FOUNDATION LAYOUT

STRUCTURAL

FLORIDA _ LOAD LIMITATIONS:

PAGE 9 FOUNDATION LAYOUT FRAME

Date 1/21/05 Plan No. 320/-Approved By JAMES A. LYONS

"They can

Modular Building Plans Examiner Florida License No. SMP-12

PLAN REVIEW AND INSPECTION REQUIRED CHAPTER 633 F.S., TO BE HANDLED BY LOCAL FIRE SAFETY INSPECTOR.

NOTES:
SEE THE STATE APPROVED CONSTRUCTION PACKAGE FOR ROOF CONSTRUCTION DETAILS, FOUNDATION DETAILS AND TYPICAL CONSTRUCTION DETAILS.

FLORIDA TYPICALS MUST ACCOMPANY THESE PLANS UPON SUBMITTAL. ADDITIONAL HINGED ROOF DETAILS MUST BE INCLUDED WHEN HOME IS BUILT WITH HINGED ROOF.

BUILDING INSULATION VALUES:

FLOOR WALLS

R-19

R-11

ROOF OVERHANG

ZONE 2,3 = ZONE 1 =

-55.8 PSF

ZONE 3 =

-115.3 PSF

ZONE 2 =

-68.6PSF

ĕ

Pw - WALL COMPONENT & CLADDING LOAD.

R-22

INSULATED

CEILING

WINDOWS:

THIS BUILDING IS ON A PERMANENT FOUNDATION AND IS $\underline{\mathsf{NOT}}$ A HUD UNIT.

ACTUAL CONSTRUCTION METHOD AND PRODUCTS MAY VARY FROM DETAILS CONTAINED IN THIS DOCUMENT PROVIDED THE METHOD OF CONSTRUCTION AND PRODUCTS ARE ADDRESSED IN THE MASTER CONSTRUCTION MANUAL LOCATED AT THE MANUFACTURING FACILITY.

7. THE MODULAR STRUCTURE MAY BE LOCATED IN AN (AE) FLOOD ZONE PROVIDED THAT THE STRUCTURE LOCATED ABOVE THE BASE FLOOD ELEVATION. ZONE 5 = ZONE 4 = -49.0 PSF -40.0 PSF

WALL: (WINDOWS, DOORS)

6. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.

HIRD PART

WERNER, CARTER

2201-0074F

PAGE

HOMES OF MERIT, INC. P.O. BOX 2097

1. 130 MPH WIND SPEED.
2. Iw = 1.0 WIND IMPORTANCE FACTOR.
BLDG. CAT. II ENCLOSED.
3. C WIND EXPOSURE CATEGORY.
4. GCpI=0.18 INTERNAL PRESSURE COEFFICIENT.
5. D.W.P. FOR C/C PSF

Pr = ROOF COMPONENT & CLADDING LOAD.

-31.5 PSF

WIND LOAD: 1. 130 MPH 2. Iw = 1.0

ROOF LIVE LOAD: 2. 20 PSF.

FLOOR LIVE LOAD: 1. 40 PSF.

Cad#: C108-1 3-21-02 Date: Revisions 11-11-05 CP 3-26-03 CP 8-13-02 CP Dr'n ROB Scale: N.T.S. 9-27-02 CP 7-15-03RW 10-17-05 FP 04-18-03 Code: D (06) DCA: Print: PAGE 1

DCA C108

HWY 100 EAST

LAKE CITY, FLORIDA

FLORIDA

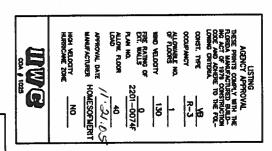
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20 20 15 15 20 5 20 40 40 30 20 30 20 15 20 15 5 20 20 20 BRKR. 40 (2P) ELECTRICAL SCHEDULE (2P) (2P) (2P) (2P) 17 16 13 $\vec{\infty}$ 5 19 4 12 10 23 22 20 9 ∞ 7 σ Ω S N 0. 2 2 RANGE DRYER WASHER WHIRLPOOL TUB HVAC COMPRESSOR BUILT-IN OVEN PORTABLE APPLIANCE HVAC BLOWER COOK TOP DISHWASHER EXT. GFI RECEPT PORTABLE APPLIANCE SMOKE DETECTOR GARBAGE DISPOSAL GENERAL LIGHTING PORTABLE APPLIANCE GENERAL LIGHTING GENERAL LIGHTING GENERAL LIGHTING GFI RECEPTACLES FREEZER WATER HEATER GENERAL LIGHTING NOMENCLATURE 120 120 240 240 120 120 120 240 240 240 120 120 120 120 **VOLTS** 120 120 SIZED PER MFR. SPECS SIZED PER MFR. 120 120 120 120 120 14/2 8/3 8/3 12/2 14/2 12/2 12/2 12/2 10/2 14/2 AFCI 14/2 12/2 GFCI 12/2 10/3 12/2 WIRE CU. NM 14/3 AFCI 12/2 12/2 GFCI GFCI AFCI GFCI SPECS. RANGE AT 8.0 KW.= COUNTER MOUNTED COOK BUILT-IN OVEN AT 4.8 KW.= 3 SMALL APPLIANCES AT 1500 VA./1000= HVAC AT 100% OPT. GARBAGE DISPOSAL FREEZER AT 1.9 KW.= WASHER AT 1500 VA./1000 OPT. DISHWASHER AT 1.4 KW.= FLOOR AREA 1856 DESCRIPTION REMAINDER AT 40% FIRST 10 KVA AT 100% OPT. WHIRLPOOL TUB AT 1.2 KW .= DRYER AT 5.0 KW. = WATER HEATER AT 5.5 KW. TOTAL LOAD PANEL SIZING SF X 3 VA ÷ 1000= INSTALL 200 AMP PANEL ΑŢ 秄 1.9 KW. TOTAL X 1000 240 ΑT TOTAL 7.4 KW. 11 36.23 36.47 5.57 KVA 1.4 5.5 8.0 15.8 10.6 1.2 1.9 1.9 5.0 1.5 4.5 10.0 151.6

BASIC PLAN (ALT.#2, ALT.#3 NO FREEZER)

THIRD PARTY
HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

PAGE 2 2201-0074F ROBERT E. GREGO REGISTERED ARCHITECT 630 CHESTNUT ST. CLEARWATER, FI. 33756 PHONE: (727)—796—8774 FAX: (727)—791—6942



HOMES	OF MI	ERIT,	INC.
P.0.	BOX :	2097	
HW	/ 100 E	ËAST.	\bigcirc A
P.O. HW' LAKE CITY	, FLORI	DA 3	2056
		15/10	

Date: 7-15-02	Revisio	Revisions	
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Scale: N.T.S.	10-17-05 FP		
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ELECTRIC PANEL

DCA C108

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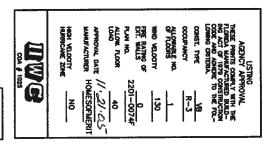
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20 15 20 20 5 20 30 20 30 15 40 (2P) 40 (2P) 40 20 20 15 15 5 20 20 20 BRKR. ELECTRICAL (2P) (2P) (2P) <u>1</u>6 17 13 $\vec{=}$ ≅ 15 20 19 4 22 21 12 0 9 ∞ 7 თ Ω 4 S NO. 2 DRYER RANGE HVAC BLOWER HVAC COMPRESSOR BUILT-IN OVEN COOK TOP DISHWASHER WASHER PORTABLE APPLIANCE FREEZER SMOKE DETECTOR GARBAGE DISPOSAL EXT. GFI RECEPT GENERAL LIGHTING PORTABLE APPLIANCE PORTABLE APPLIANCE WHIRLPOOL TUB WATER HEATER GENERAL LIGHTING GENERAL LIGHTING GFI RECEPTACLES GENERAL LIGHTING GENERAL LIGHTING NOMENCLATURE SCHEDULE SIZED 120 120 240 240 240 240 240 120 120 120 120 120 120 120 120 SIZED PER MFR. SPECS 120 120 120 120 VOLTS PER MFR. 10/2 14/2 12/2 12/2 8/3 8/3 12/2 14/2 AFCI 14/2 AFCI 12/2 GFCI 12/2 12/2 10/3 12/2 14/2 AFCI 12/2 GFCI 12/2 GFCI 12/2 WIRE CU. NM 14/3 AFCI GFCI **AFCI** SPECS. HVAC FREEZER AT 1.9 KW.= RANGE AT 8.0 KW.= COUNTER MOUNTED COOK TOP BUILT-IN OVEN AT 4.8 KW.= 3 SMALL APPLIANCES AT 1500 VA./1000= DESCRIPTION REMAINDER AT 40% OPT. WHIRLPOOL TUB AT 1.2 KW .= OPT. GARBAGE DISPOSAL AT 1.9 KW. DRYER AT 5.0 KW. WASHER AT 1500 VA./1000 OPT. DISHWASHER AT 1.4 KW.= WATER HEATER AT 5.5 KW. FLOOR AREA 1856 FIRST 10 KVA AT 100% TOTAL LOAD PANEL AT 100% SIZING ş × INSTALL 200 AMP PANEL 3 VA ÷ 1000= TOTAL X 1000 Ą TOTAL 7.4 X .× H 5.57 KVA 1.5 12.3 1.4 4.5 15.8 1.9 5.0 7.4 4.8 158.7 38.0 10.0 40.7 1.2 1.9 \mathcal{O}

ALT.#1

THIRD PARTY
HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

ROBERT E. GREOG REGISTERED ARCHITECT 630 CHESTNUT ST. CLEARWATER, FL. 33756 PHONE: (727)-796-8774 FAX: (727)-791-6942



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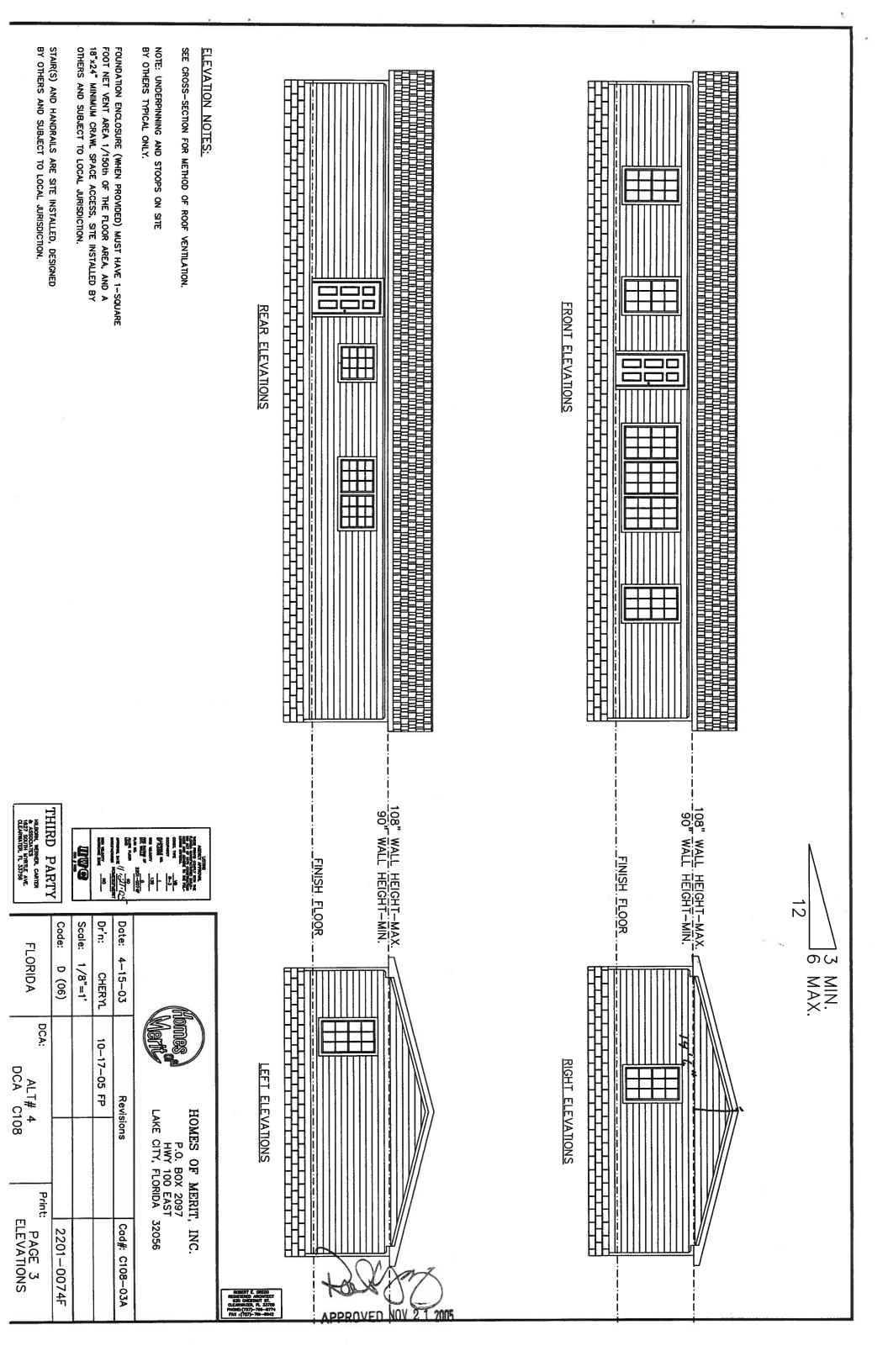


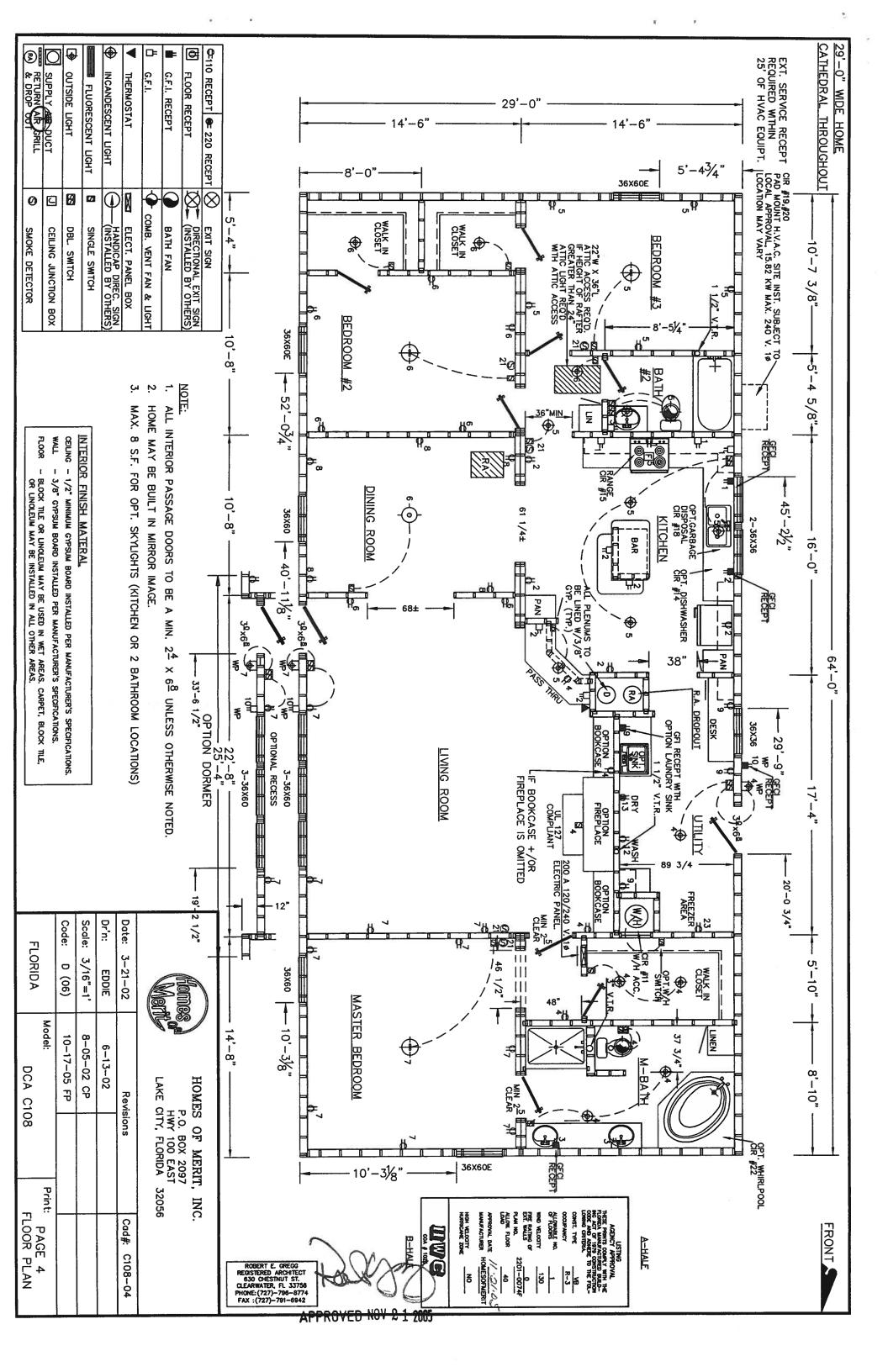
HOMES OF MERIT, INC.
P.O. BOX 209X
HWY 100 EAST
LAKE CITY, FLORIDA

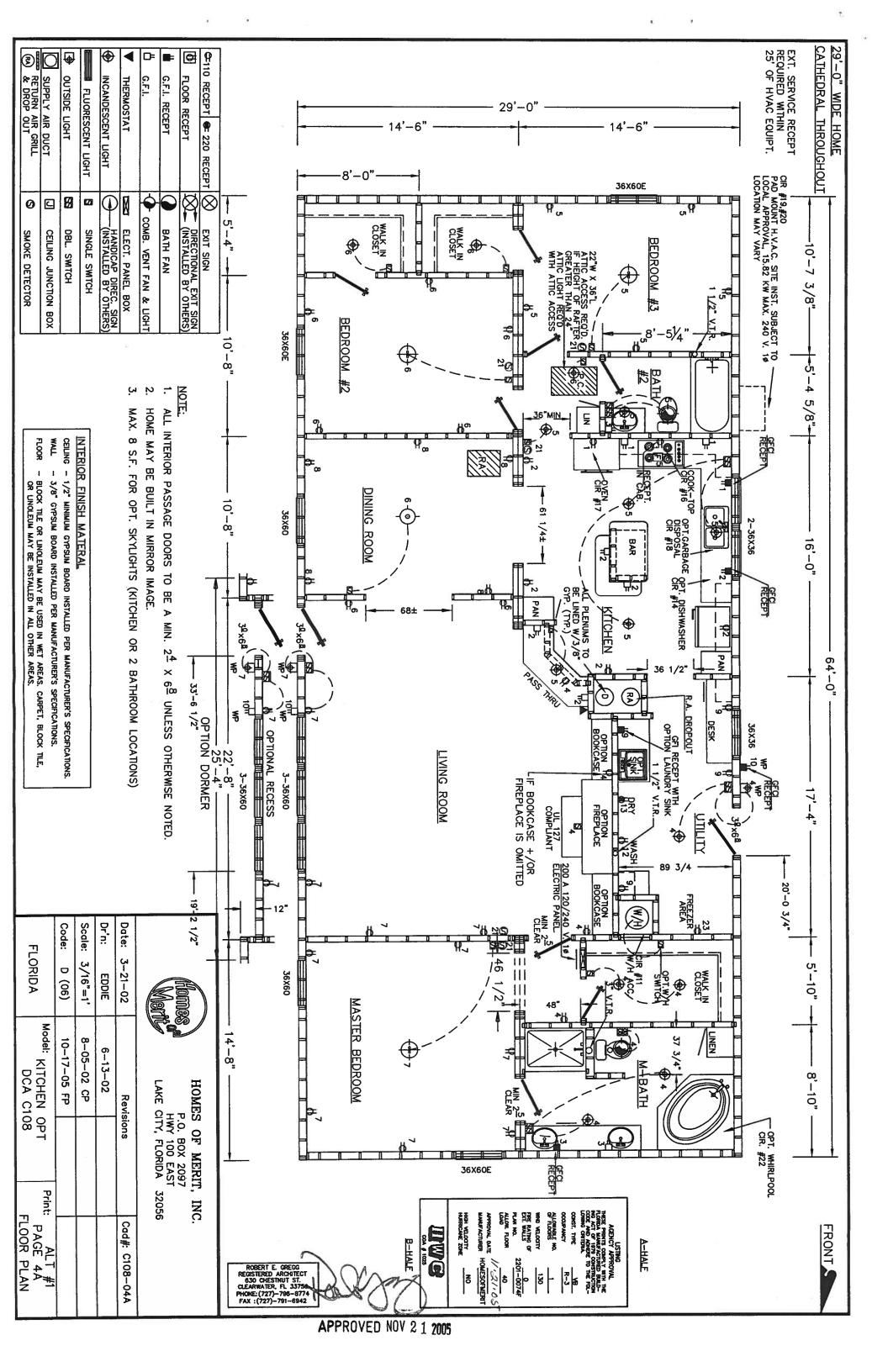
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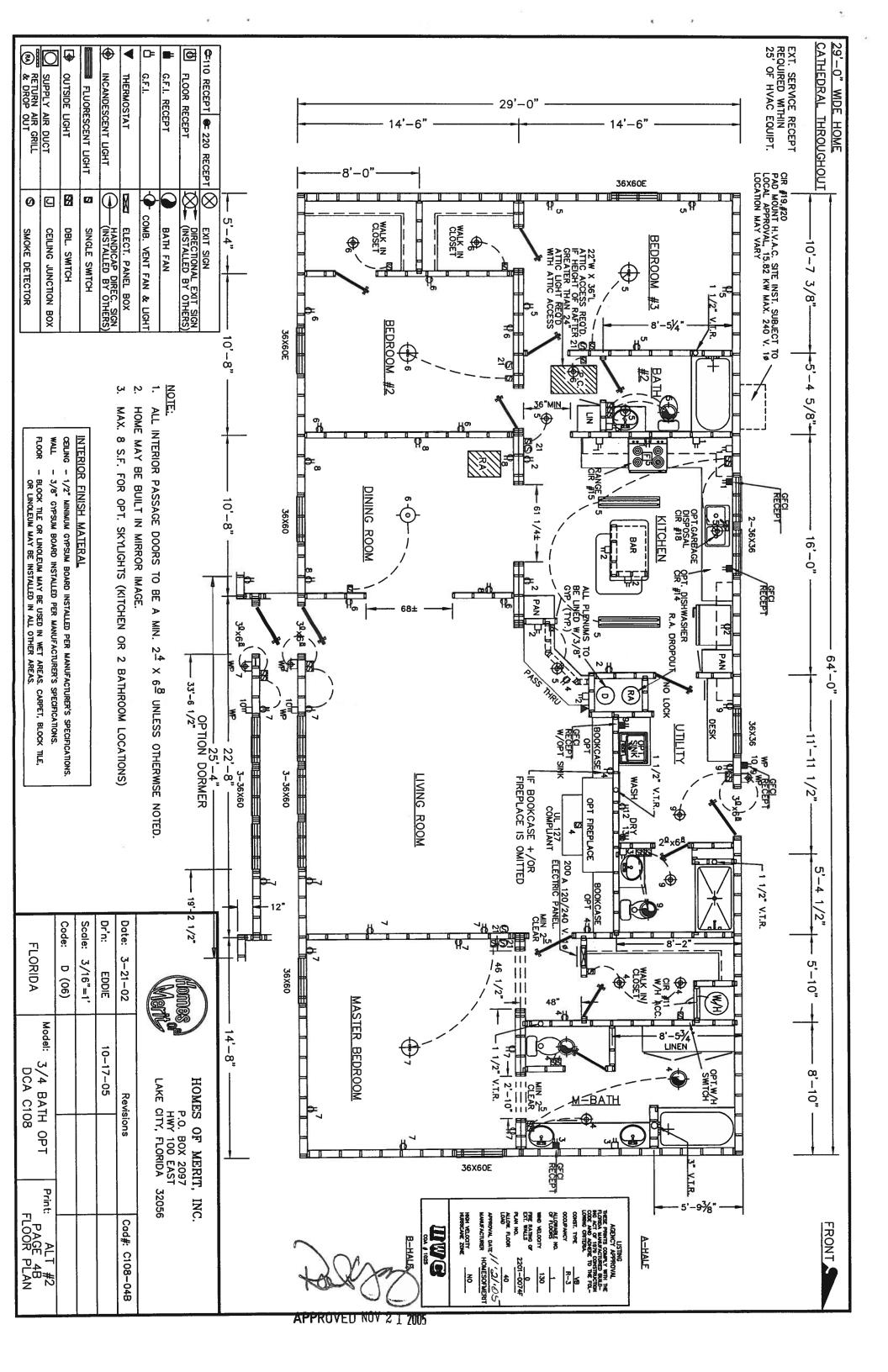
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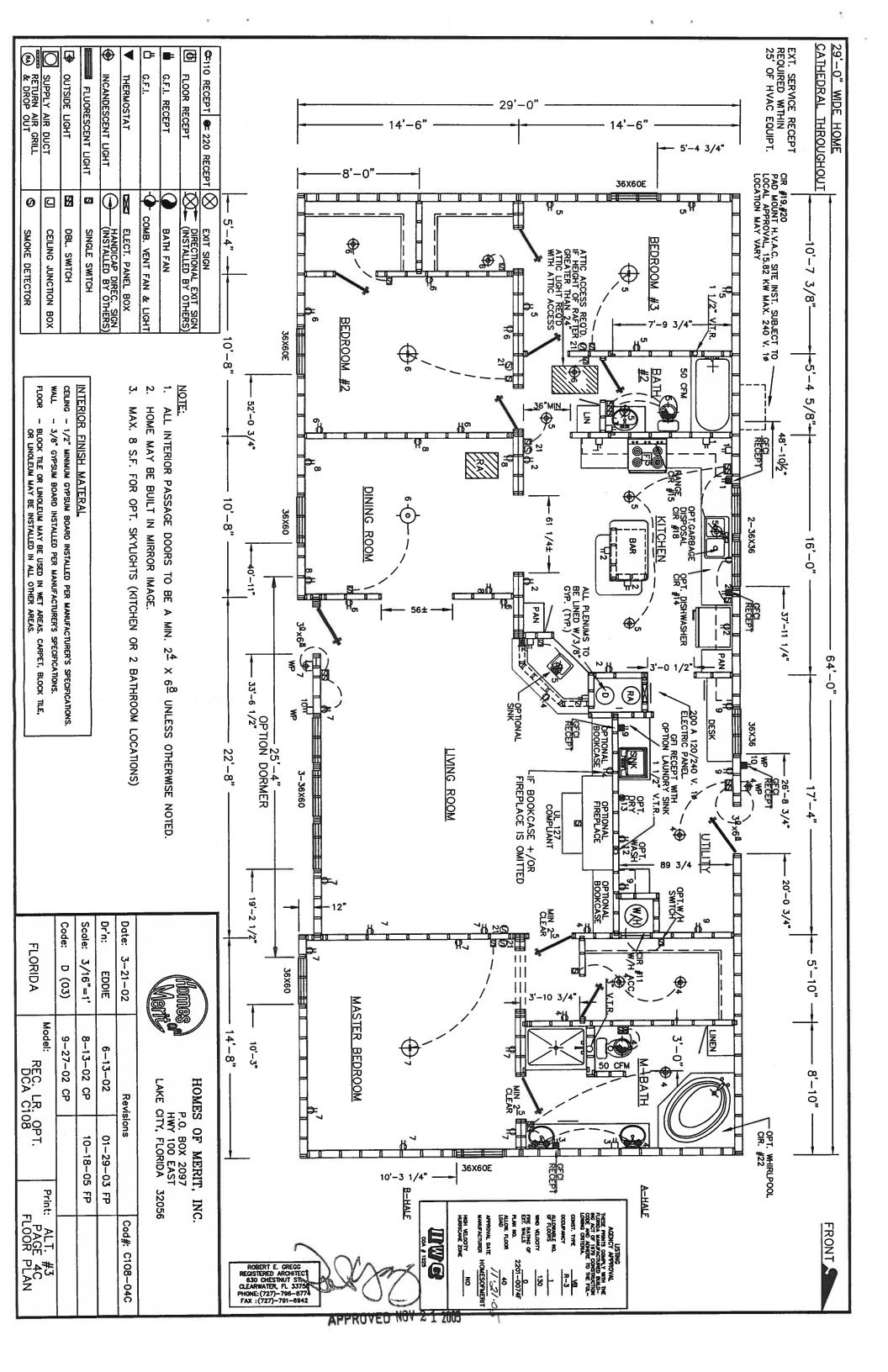
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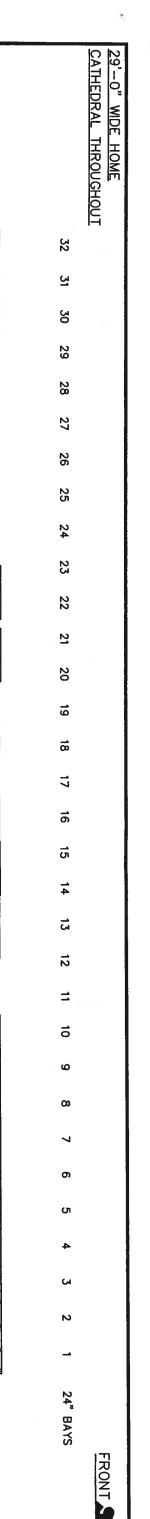


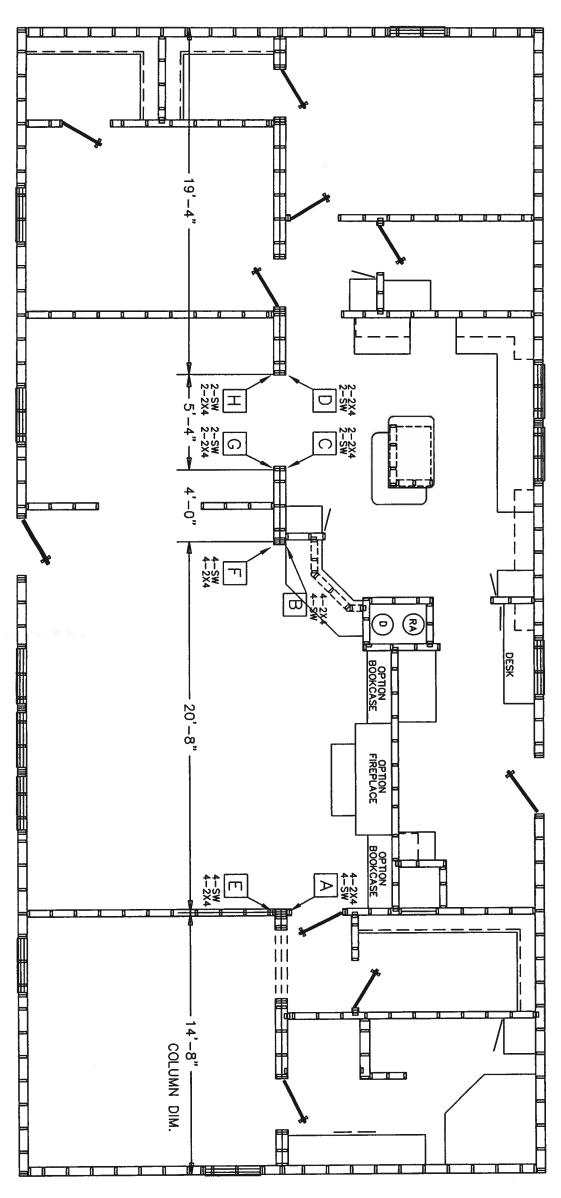












A-HALE

NOTE:

- ALL COLUMN STUDS TO BE #3 SPF AND SHALL BE GLUED & NAILED TOGETHER.
- 'n COLUMN STUDS SHALL NOT BE NOTCHED OR BORED.
- INSTALL SW STRAP ON EACH STUD OF EACH COLUMN. 1-S20 STRAP MAY REPLACE SW STRAP AT FLOOR.
- MARRIAGE WALL STRAPPING REQ'D. 16" O.C.

RIDGE BEAM

SIZE: 1 1/2" WIDE \times 24" DEEP FOR SPANS A TO B & E TO F MATERIAL: MICROLAM

MATERIAL: LUMBER
SIZE: 2x8 SPF#2
FOR SPANS C TO D &

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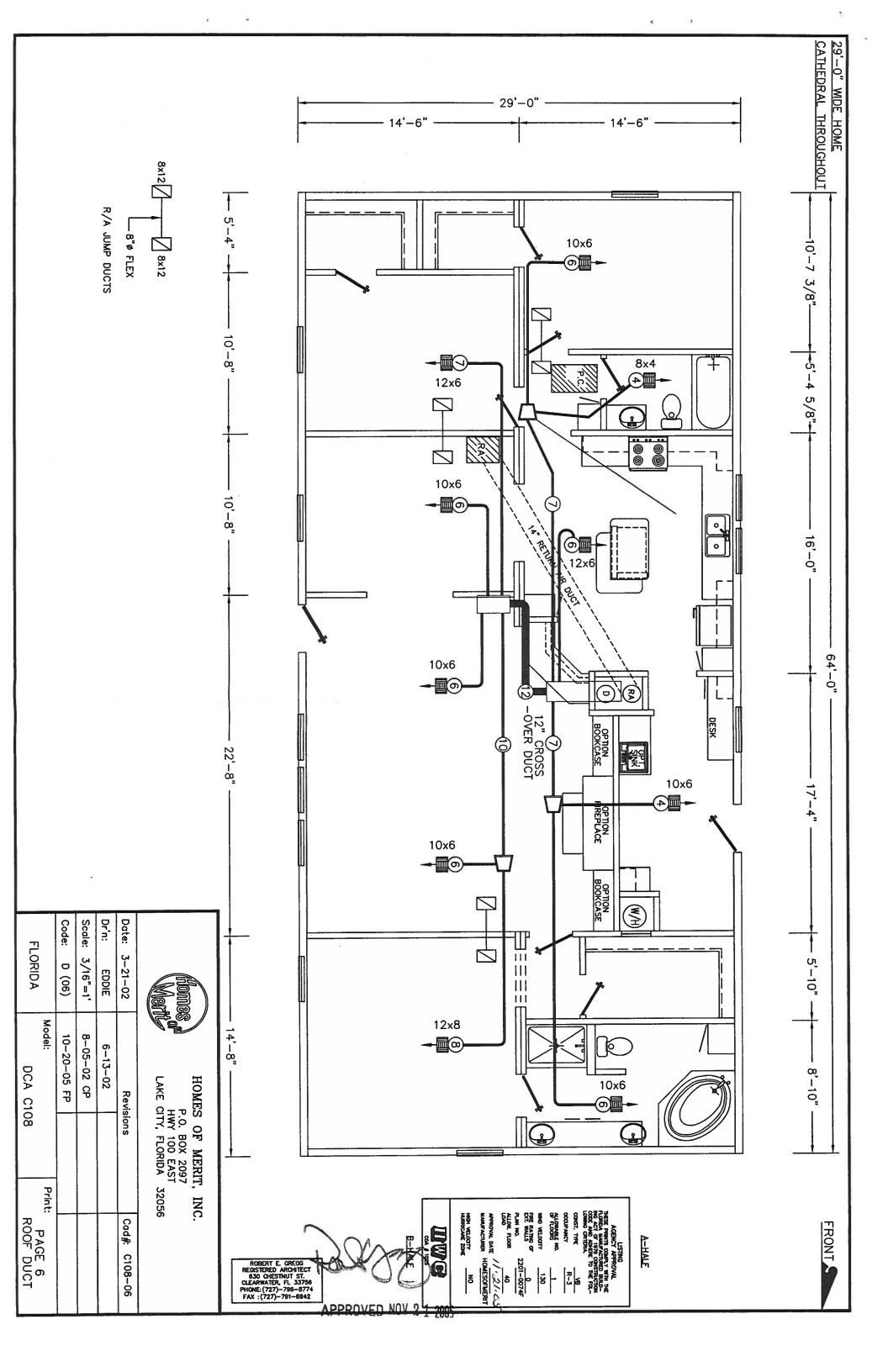
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32056	, INC.

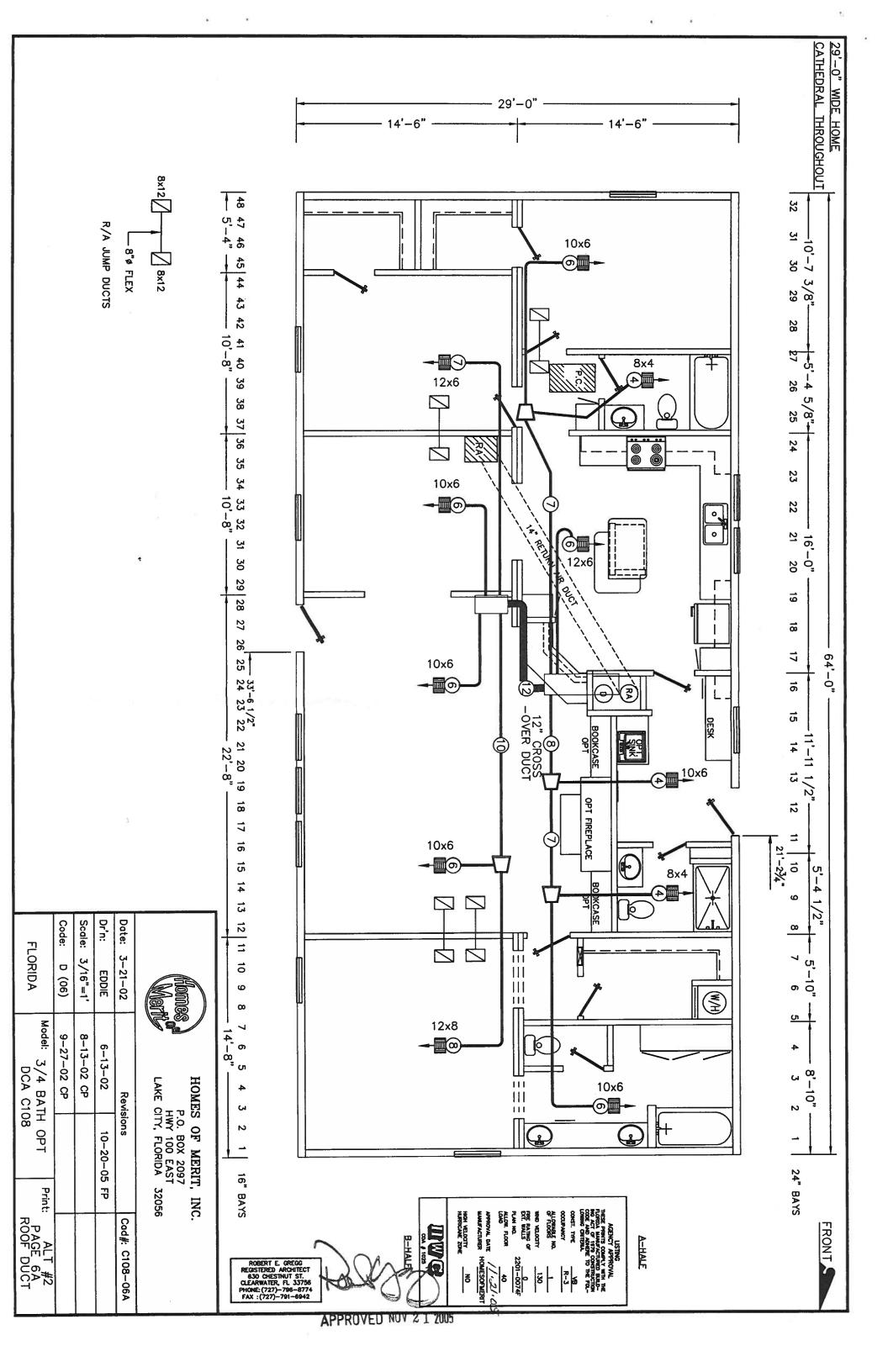
16" BAYS

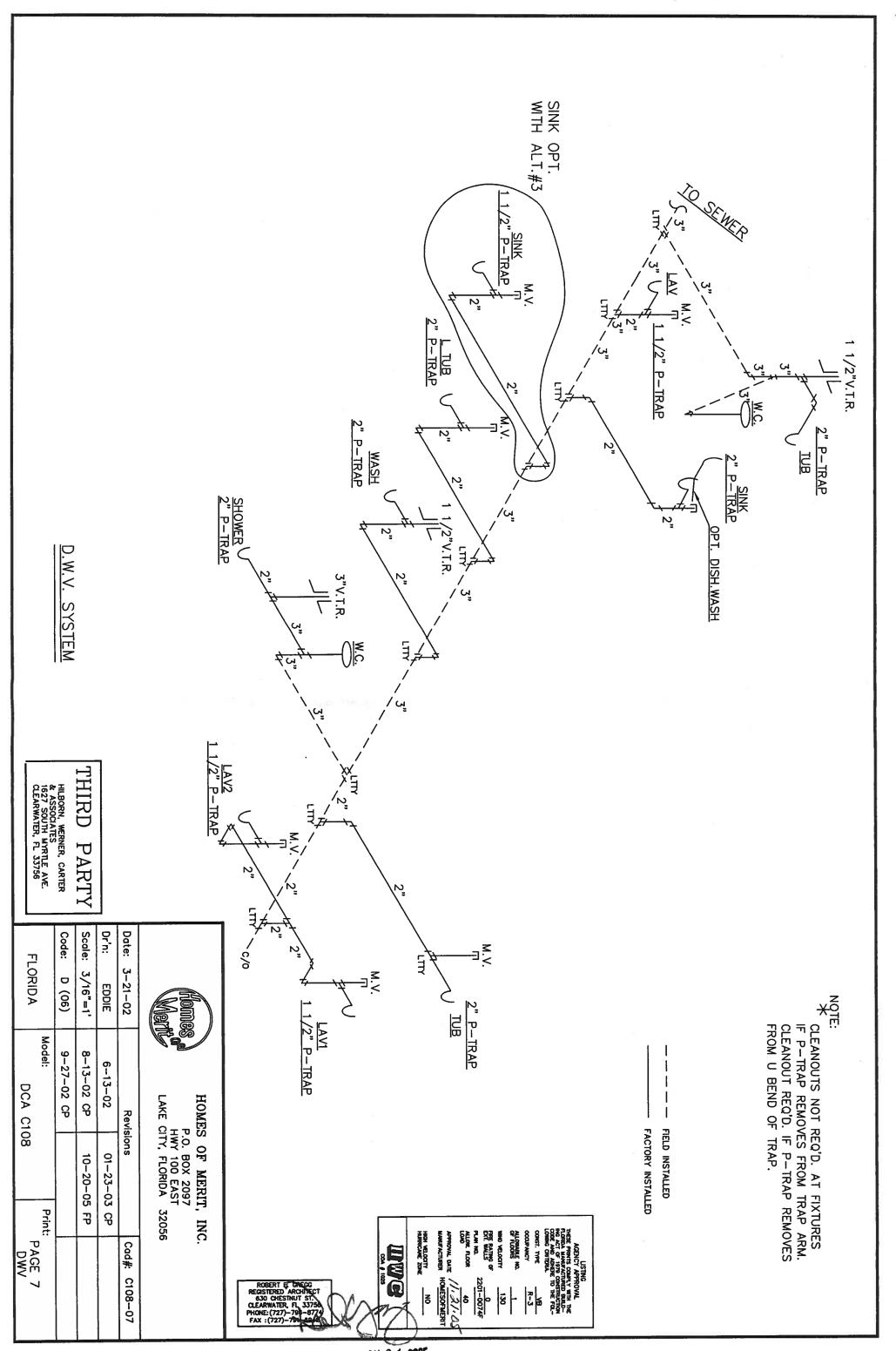
ROBERT E. CREGG REGISTERED ARCHITEC 630 CHESTINUT ST. CLEARWATER, FL. 33756 PHONE: (727)—796—8774 FAX: (727)—791—6942

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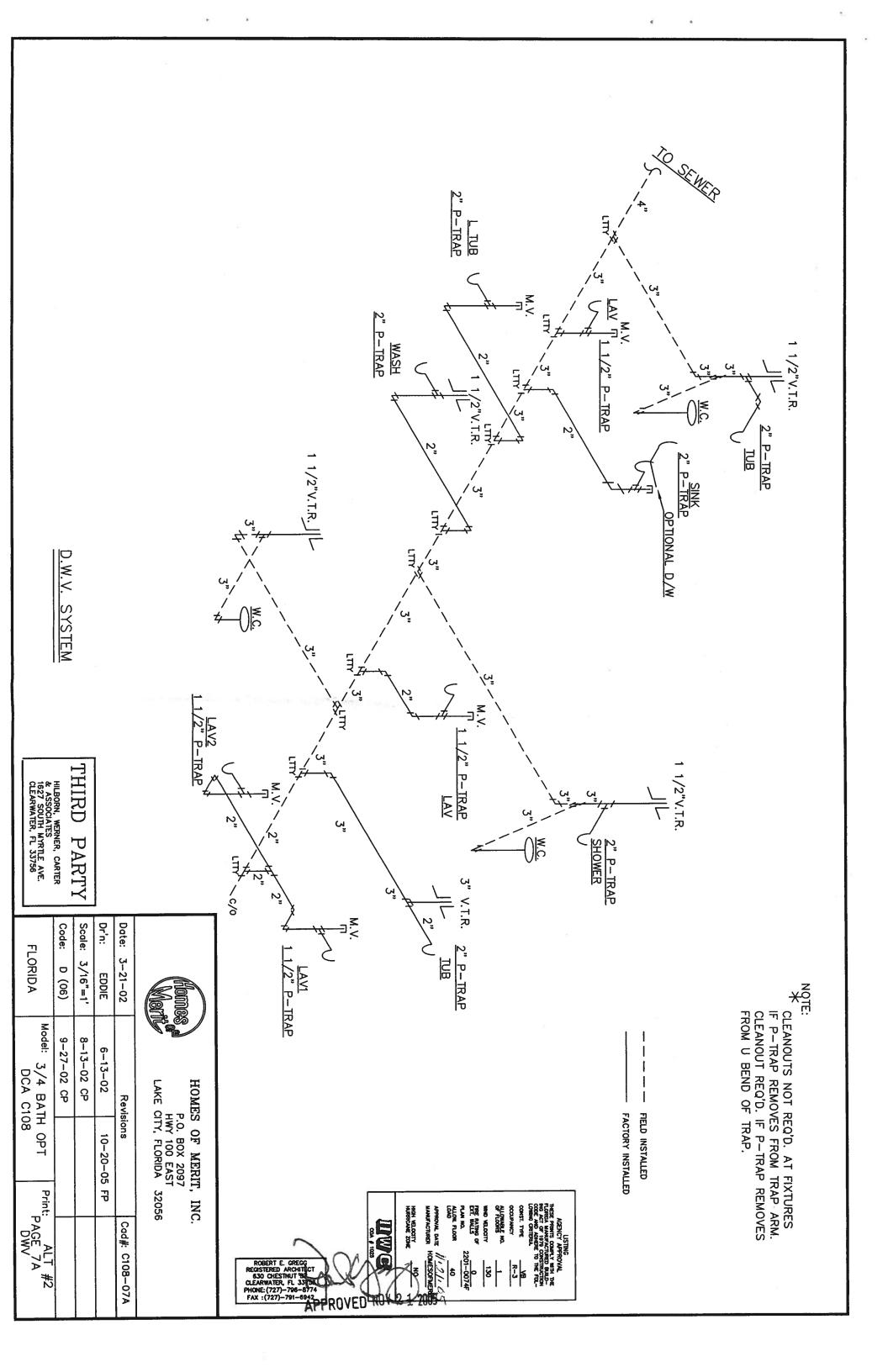
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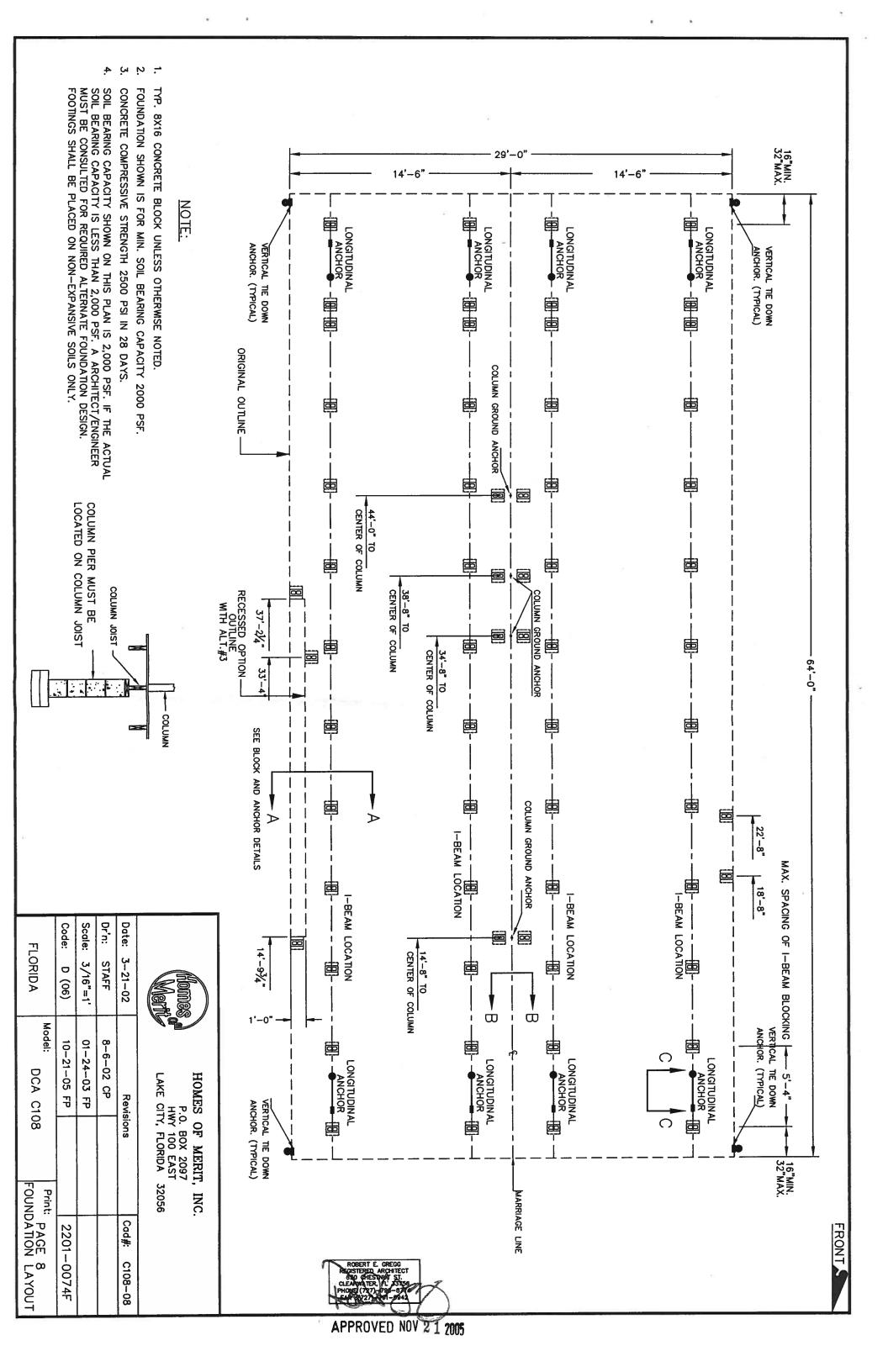


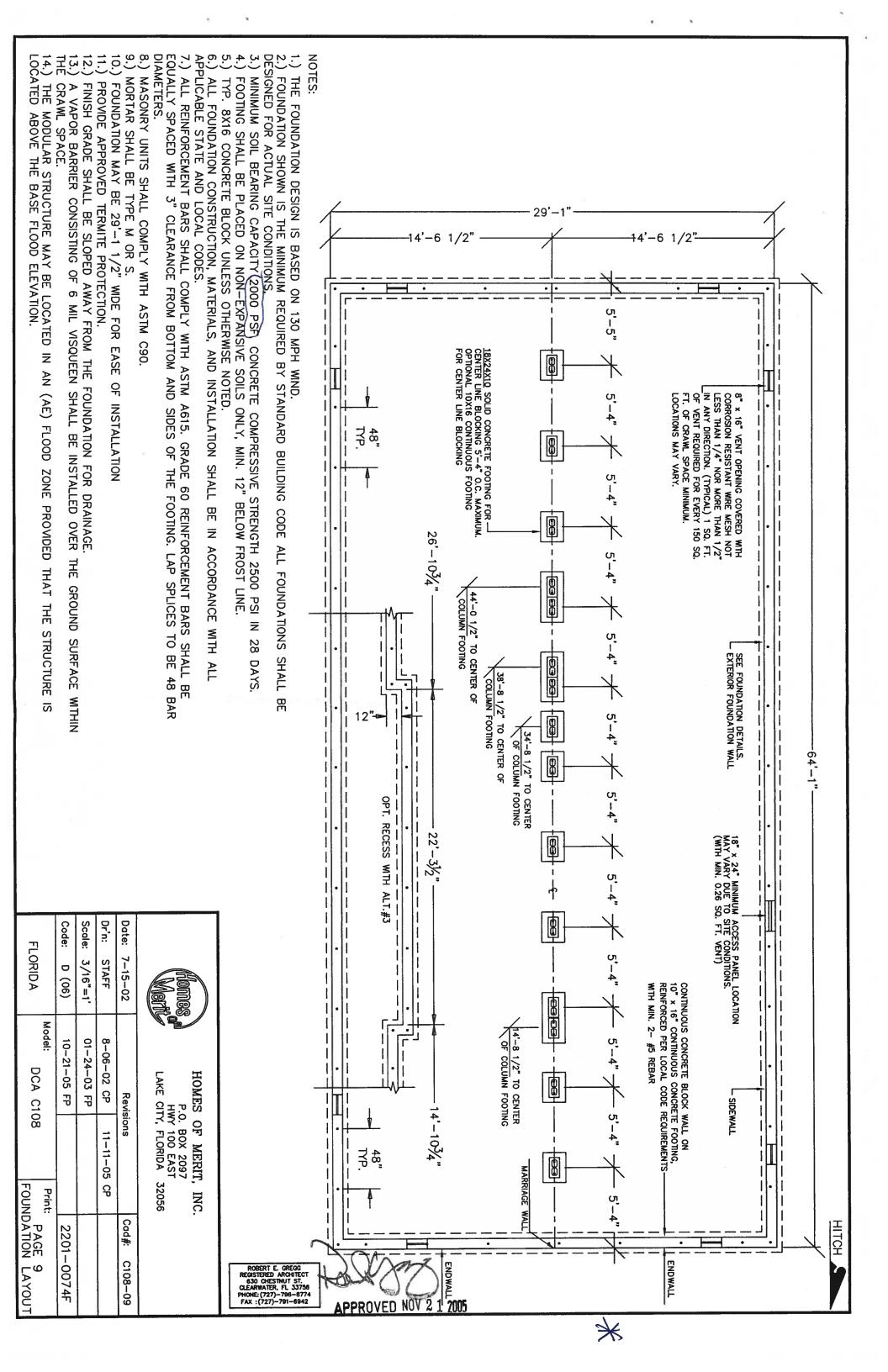




APPROVED NOV 2 1 2005









P.O. BOX 2097 HWY 100 EAST LAKE CITY, FLORIDA 32056 HOMES OF MERIT, INC.

FLORIDA TYPICAL

COVER PAGE

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GENERAL NOTES

HOME WITH STEEL FRAME COVER PAGE

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FOUNDATION DETAILS

CROSS SECTION

HOME WITHOUT STEEL FRAME COVER PAGE CROSS SECTION

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FOUNDATION DETAILS

ENDWALL CROSS SECTION TYPICAL POTABLE WATER SUPPLY LINES

PAGE

PAGE

THIRD PARTY

HILBORN, WERNER, CARTER & ASSOCIATES 1627 SOUTH MYRTLE AVE. CLEARWATER, FL 33756

ROBERT E. GREGG REGISTERED ARCHITECT 630 CHESTNUT ST. CLEARWATER, FL 33756 PHONE: (727)-796-8774 FAX: (727)-791-6942



HOMES OF MERIT, INC. P.O. BOX 2097 HWY 100 EAST LAKE CITY, FLORIDA 32056

Date: 5-5-04	Revisi	ons Cad#: FL-TYP1
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FLORIDA	DCA: DCA TYPICAL PACKAGE	PriAPPROVED AGE 2:4-2006 INDEX

10. FOUNDATION SILL PLATE ANCHORAGE. 10. œ $6.1.5" \times 26 ga. \ WITH 7-15 ga. \times 7/16" CROWN \times 1-1/8" STAPLES EACH END EQUIVALENT FROM RIDGE BEAM TO COLUMN, AND COLUMN TO FLOOR.$ 7. CONSTRUCTION IS TYPE VB, UNPROTECTED. 4. OCCUPANCY IS RESIDENTIAL (R-3). CEILING FANS SHALL BE 80" MIN. FROM BOTTOM OF BLADES FINISH FLOOR. OCCUPANT LOAD IS BASED ON 1 PERSON PER 200 Sq Ft OF FLOOR AREA. ALL GLAZING WITHIN 24". ABOVE THE FLOOR, AND ACRYLIC PLASTIC SHEET. POTABLE WATER SERVICE, MAIN SHUT OFF VALVE. PORTABLE FIRE EXTINGUISHER(S). FLOOR INSULATION MAY BE SITE INSTALLED STRUCTURAL AND AESTHETIC INTERCONNECTIONS BETWEEN MODULES (MULTI-UNITS ONLY). CONNECTION OF ELECTRICAL CIRCUITS CROSSING OVER MODULE MATING LINE(S) - (MULTI-UNITS ONLY). THE MAIN ELECTRICAL PANEL AND SUB-FEEDERS (MULTI-UNITS ONLY). ELECTRICAL SERVICE HOOK-UP (INCLUDING FEEDERS) TO THE BUILDING. BUILDING DRAINS. CLEANOUTS, AND HOOK-UP TO PLUMBING SYSTEM RAMPS, STAIRS AND GENERAL ACCESS TO THE BUILDING. THE COMPLETE FOUNDATION SUPPORT AND TIE DOWN SYSTEM ALL MATERIALS COMPROMISING THE BUILDING ENVELOPE SHALL HAVE APPROVALS PER FL. BUILDING COMMISSION 9B-72 RULES. MIN. CORRIDOR WIDTH IS 36". MAXIMUM WIND SPEED -- 130 MPH -FLOOR DESIGN LIVE LOAD -- 40 PSF DORMERS, AND ANY OTHER AESTHETIC CONNECTIONS. GENERAL NOTES: TE INSTALLED ITEMS: THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ARE SUBJECT TO LOCAL JURISDICTION APPROVAL. ARC OF DOORS, ALL GLAZING IN 2004 FBC, WHOSE BOTTOM EDGE IS LESS THAN DOORS SHALL BE SAFETY, TEMPERED RES. ₩TH. 2005 AS SUPPLEMENTS WORK FLORIDA PRODUCT RELATED ITEMS 읔 io 10. ARC-FAULT CIRCUIT INTERRUPTERS LISTED FOR PROTECTION OF THE ENTIRE BRANCH CIRCUIT INSTALLED ON ALL BEDROOM CIRCUITS. ω Ċ 9. 8 9 WATER HEATER SHALL HAVE SAFETY PAN WITH 1" DRAIN TO EXTERIOR, T & P RELIEF VALVE WITH DRAIN TO EXTERIOR, AND A SHUT OFF VALVE WITHIN 3'-0" ON A COLD WATER SUPPLY LINE. ALL PLUMBING FIXTURES SHALL HAVE SEPARATE SHUT-OFF VALVES. HVAC EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE EQUIPMENT SERVED. A UNIT SWITCH WITH A MARKED "OFF" POSTHAT IS A PART OF THE HVAC EQUIPMENT AND DISCONNECTS ALL UNDERGROUND CONDUCTORS SHALL BE PERMITTED AS THE DISCONNECTING MEANS WHERE OTHER DISCONNECTING MEANS ARE ALSO PROVIDED BY A READILY ACCESSIBLE CIRCUIT BI PRIOR TO ENERGIZING THE ELECTRICAL SYSTEM THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DESIGNED AND VERIFIED AS BEING IN COMPLIANCE WITH SECTION 110-9 OF THE NEC BY LOCAL ELECTRICAL CONSULTANT. WHEN WATER HEATERS ARE INSTALLED THEY SHALL BE PROVIDED WITH ACCESSIBLE DISCONNECTS ADJACENT TO THE WATER HEATERS SERVED. OCCIRCUIT SWITCH OR CIRCUIT BREAKER SHALL BE PERMITTED TO SERVE DISCONNECTING MEANS ONLY WHERE THE SWITCH OR CIRCUIT BREAKER SIGHT FROM THE WATER HEATER OR IS CAPABLE OF BEING LOCKED IN WHEN LIGHT FIXTURES ARE INSTALLED IN CLOSETS THEY SHALL BE SURFACE MOUNTED OR RECESSED. INCANDESCENT FIXTURES SHALL HAVE COMPLETELY ENCLOSED LAMPS. SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 12" AND ALL OTHER FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 6" FROM "STORAGE AREA" AS DEFINED BY NEC 410-8(a). 20 AMP WITH 12/2 WIRE MAY REPLACE 15 AMP 14/2 WIRE GENERAL LIGHTING CIRCUITS AND 20 AMP 12/3 WIRE MAY REPLACE 15 AMP 14/3 WIRE, ON SMOKE DETECTOR CIRCUITS RECEPT. INSTALLED IN A WET EXTERIOR LOCATIONS SHALL BE IN A WEATHER PROOF ENCLOSURES, THE INTEGRITY OF WHICH IS NOT AFFECTED WHEN THE ATTACHMENT PLUG IS INSERTED OR REMOVED, ALL CIRCUITS CROSSING OVER MODULE MATING LINE(S) SHALL BE SITE CONNECTED APPROVED ACCESSIBLE JUNCTION BOXES OR CABLE CONNECTORS. SMOKE DETECTORS SHALL BE WIRED SO THAT THE OPERATION OF ANY ONE SMOKE DETECTOR WILL CAUSE SIMULTANEOUS ACTIVATION OF ALL OTHERS. THE MAIN ELECTRICAL PANEL AND FEEDERS ARE DESIGNED BY OTHERS, SITE INSTALLED AND SUBJECT TO LOCAL JURISDICTION APPROVAL. ALL CIRCUITS AND EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE APPROPRIATE ARTICLES OF THE NATIONAL ELECTRICAL CODE (NEC). PLUMBING NOTES: ELECTRICAL 2004 FBC, RES. ≅ ∏ 2005 WITH READILY RVED. THE BRANCH SERVE AS THE EAKER IS WITHIN ED IN THE OPEN HIIM SUPPLEMENTS HE ' POSITION HIIM

WATER SUPPLY LINES SHALL BE POLYBUTYLENE, CPVC, OR COPPER; WHEN POLYBUTYLENE SUPPLY LINES ARE INSTALLED THE MAX. WATER HEATER TEMPERATURE SETTING IS 180° F. THE POLYBUTYLENE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURES LIMITATIONS AND INSTRUCTIONS. TUB ACCESS PROVIDED UNDER HOME, UNLESS OTHERWISE NOTED.

13.

15.

ROOFING MATERIAL, METAL ROOF, EVE DRIP

MECHANICAL NOTES:

2004 FBC, RES.

WITH 2005

SUPPLEMEN

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WATER PIPES INSTALLED IN A WALL EXPOSED TO THE EXTERIOR SHALL BE LOCATED THE HEATED SIDE OF THE WALL INSULATION. WATER PIPING INSTALLED IN AN UNCONDITIONED ATTIC SHALL BE INSULATED WITH AN INSULATION OF R-6.5 MIN.

8 2

HITBOX

DWV SYSTEM SHALL BE EITHER ABS OR PVC - DWV.

PLAN REVIEW AND INSPECTION REQUIRED BY CHAPTER 633 F.S., TO BE HANDLED LOCAL FIRE SAFETY INSPECTOR. OPENING PROTECTION IN WIND DEBRIS REGIONS I.E. WINDOWS, DOORS, SHUTTERS

3. BATHROOM VENT FANS SHALL PROVIDE A MINIMUM OF 50 CFM.

INTERIOR DOORS SHALL BE UNDERCUT 1.5" ABOVE FINISHED FLOOR FOR AIR RETURN AND/OR AS NOTED ON FLOOR PLAN. ALL SUPPLY AIR REGISTERS ARE ADJUSTABLE, EXCEPT WHERE OTHERWISE SPECIFIED.

VENT FANS SHALL BE DUCTED TO THE EXTERIOR AND TERMINATE VENT CAP.

AT AN APPROVED

PROVIDING EACH URINAL

HVAC EQUIPMENT SHALL BE EQUIPPED WITH OUTSIDE FRESH AIR INTAKES 15 CFM FOR EACH OCCUPANT, OR 50 CFM FOR EACH WATER CLOSET AND WHICHEVER IS GREATER.

RIDGE BEAM CONSTRUCTION NOTES

SHOWER STALLS SHALL BE COVERED WITH NONABSORBENT MATERIAL TO A HEIGHT OF 70" ABOVE FINISH FLOOR.

WATER HEATER INSTALLED, A SITE INSTALLED BY OTHERS,

AND IF NOT

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THERMAL EXPANSION DEVICE, IF REQUIRED BY SHOWN ON PLUMBING PLAN, IS DESIGNED AND LOCAL APPROVAL.

FOUNDATION:

IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF COMMUNITY AFFAIRS, THESE BUILDING PLANS CONTAIN FOUNDATION SUPPORT AND THE DOWN SYSTEM DETAILS AND SPECIFICATIONS TO SITE CONDITIONS STATED. IF ACTUAL SITE CONDITION DIFFERS FROM THESE DESIGN PLANS THEN THE ARCHITECT / ENGINEER OF BUILDING PLANS SHOULD BE CONTACTED TO OBTAIN APPROPRIATE FOUNDATION PLANS. ARE DESIGNED BY OTHERS. THE ARCHITECT / ENGINEER OF BUILDING PLANS SHALL NOT BHELD RESPONSIBLE OR LIABLE FOR THE FOUNDATION DESIGN AND THE CONSEQUENTIAL PERFORMANCE OF THE SUPERSTRUCTURE'S STRUCTURAL COMPONENTS AND SYSTEMS RELATING THERE TO. ののは

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FASTEN ROOF SHEATHING INTO TOP EDGE OF BEAM TO PROVIDE CONTINUOUS I ATTERAL STIDDOOT OF BEAM

INSTALL (2x4) x 20" SPF #3 RIDGE BEAM BEARING STIFFENER OVER SUPPORT COLUMNS WHEN SPECIFIED ON FLOOR PLAN: FASTEN THE FACE OF THE STIFFENER TO THE RIDGE BEAM WITH 100% GLUE COVERAGE AND 8-15 ga x 2 1/2" STAPLES.

BEAMS SUPPORTED BY ENDWALL COLUMNS MUST EXTEND CONTINUOUS OVER COLUMNS EXTERIOR FACE OF ENDWALL.

Ö

LVL OR OTHER SIMILAR MATERIAL MUST BE CONTINUOUS OVER CLEARSPAN(S)

A PERMANENT FOUNDATION AND SI NOT A HUD UNIT.

THIRD

PARTY

BUILDING

S 윉

> ROBERT E. GREGG REGISTERED ARCHITECT 630 CHESTNUT ST. CLEARWATER, FL 33756 PHONE: (727)-796-8774 FAX :(727)-791-6942



P.O. BOX 2097 HWY 100 EAST LAKE CITY, FLORIDA 32056

Date: 10-11-05 11-2-05 CP HB Dr'n Scale: N.T.S. Code: D (06) DCA: **FLORIDA**

1-13-06 CP

DCA TYPICAL **PACKAGE**

Revisions

Print:

PAGE GEMPPROWEDERAN 2 4 2006

Cad#: FL-TYP2

HOMES OF MERIT, INC.



HOMES MERIT

LAKE CITY, FLORIDA P.O. BOX 2097 HWY 100 EAST

FLORIDA

NOTES:

- - HOME WITH STEEL FRAME

THE STEEL FRAME LOCATED UNDER THIS HOME IS FOR PERMANENT SET-UP AND NOT INTENDED FOR RELOCATING THE HOME AFTER INITIAL SET-UP.

ALL FOUNDATION CONSTRUCTION, MATERIALS, AND INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.

2

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TIE-DOWN STRAPS TO BE $1-1/4" \times .035"$ TYPE-1, FINISH B, GRADE 1 ZINC COATED STEEL STRAPPING CONFORMING WITH ASTM D3953-91. TIE-DOWN STRAPS AND CONNECTING HARDWARE SHALL HAVE 3150# MINIMUM WORKING CAPACITY.

GROUND ANCHORS SHALL HAVE 3150# MINIMUM WORKING, CAPACITY, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. DESIGN OF GROUND ANCHOR, INCLUDING SHAFT LENGTH, NUMBER AND DIAMETER OF HELIXES, ETC., TO BE AS SPECIFIED BY THE GROUND ANCHOR MANUFACTURER FOR THE ACTUAL SOIL TYPE ENCOUNTERED. IF THE HOLDING OR PULLOUT CAPACITIES OF GROUND ANCHORS ARE BELOW THE VALUES SPECIFIED ABOVE A ARCHITECT/ENGINEER MUST BE CONSULTED FOR AN ALTERNATE ANCHORAGE DESIGN.

I-BEAM SUPPORT PIERS MAY BE INSTALLED LATERALLY (90° FROM THE ORIENTATION SHOWN ON THE FOUNDATION PLAN).
MUST BE LOCATED DIRECTLY BELOW THE I-BEAM CENTERLINE.

(MANUFACTURER'S RECOMMENDATION ONLY - OPTIONAL WHEN NOT SHOWN) SLIGHT ADJUSTMENT MAY BE REQUIRED TO INSURE OPENABILITY AFTER INSTALLATION OF BUILDING IS COMPLETE. INSTALL BLOCK PIER ON EACH SIDE OF ALL EXTERIOR DOOR OPENINGS

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7. MAXIMUM SPACING INDICATED. THE FIRST TIE-DOWN STRAP FROM ENDWALL SHALL NOT EXCEED 1/2 THE

 $\dot{\infty}$ ALL PIERS SHALL BE CONSTRUCTED OF 8" X 8" X 16" CONCRETE MASONRY UNITS CONFORMING TO ASTM C90. MASONRY UNITS SHALL BE LAID IN TYPE M OR S MORTAR. PIER FOOTINGS SHALL BE DESCRIBED AS ABOVE.

ALL PIERS SHALL BE CAPPED WITH 2X8 SYP PRESSURE TREATED SILL PLATES, FULL LENGTH OF PIER.

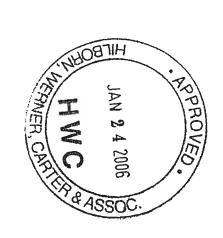
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ONLY BE USED WHEN STEEL FRAME REMAINS ON HOME. THE FOLLOWING PRINTS ARE

SECTION PAGE

BLOCK AND ANCHOR PAGE

FOUNDATION (SEE HOUSE PACKAGE FOUNDATION PAGE)



ROBERT E. GREGG REGISTERED ARCHITECT 630 CHESTNUT ST. CLEARWATER, FL 33756 PHONE: (727)-796-8774 FAX:(727)-791-6942



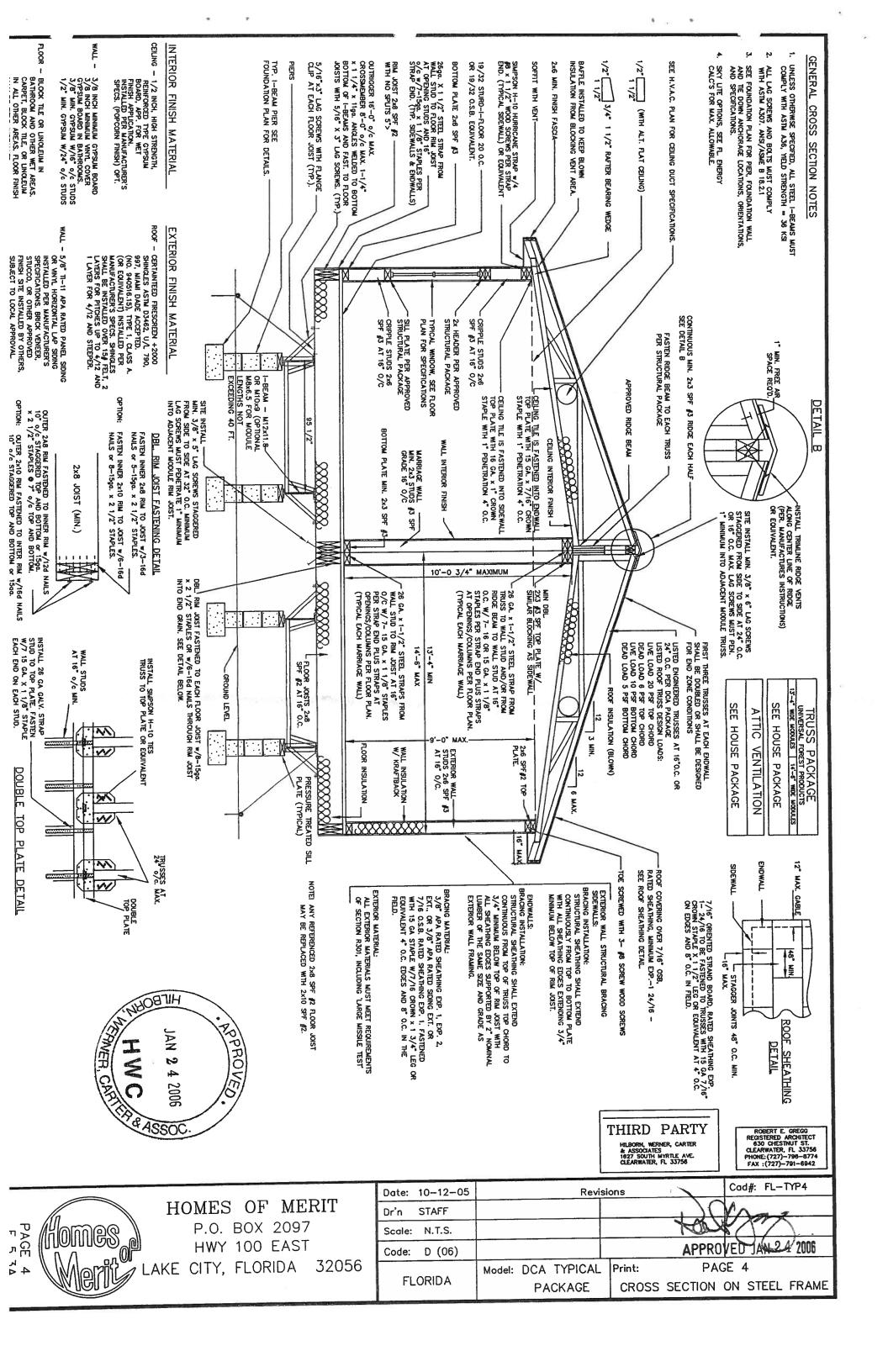
THIRD PARTY

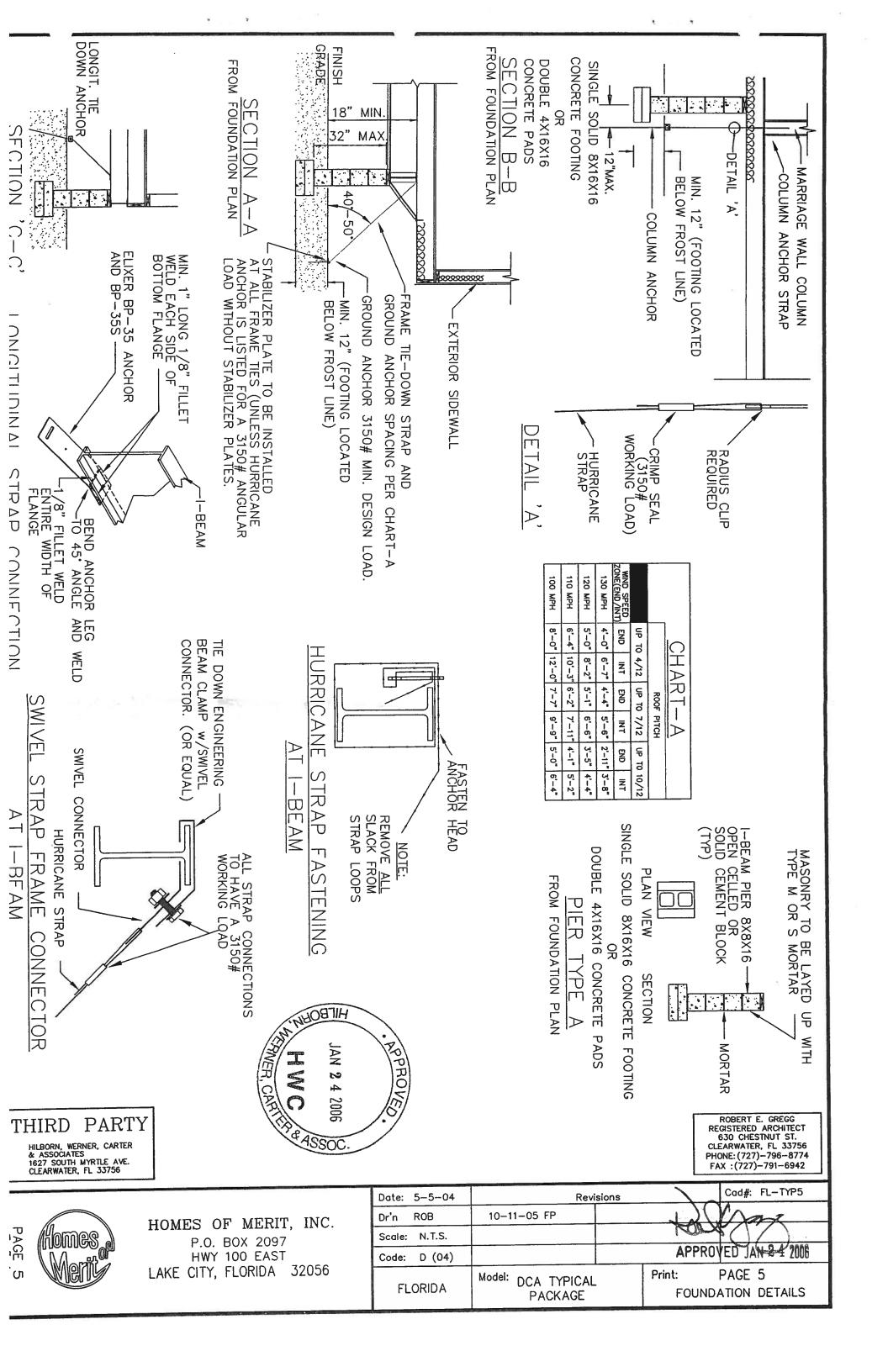
HILBORN, WERNER, CARTER

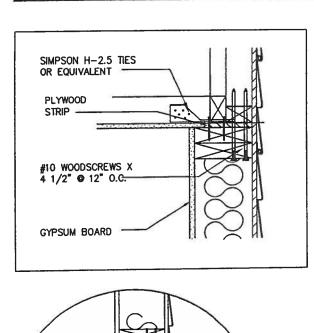
& ASSOCIATES 1627 SOUTH MYRTLE AVE. CLEARWATER, FL 33756

HOMES OF MERIT P.O. BOX 2097 HWY 100 EAST LAKE CITY, FLORIDA 32056

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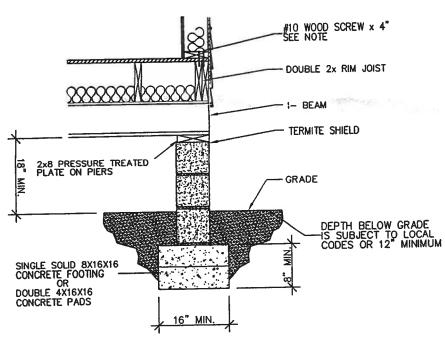




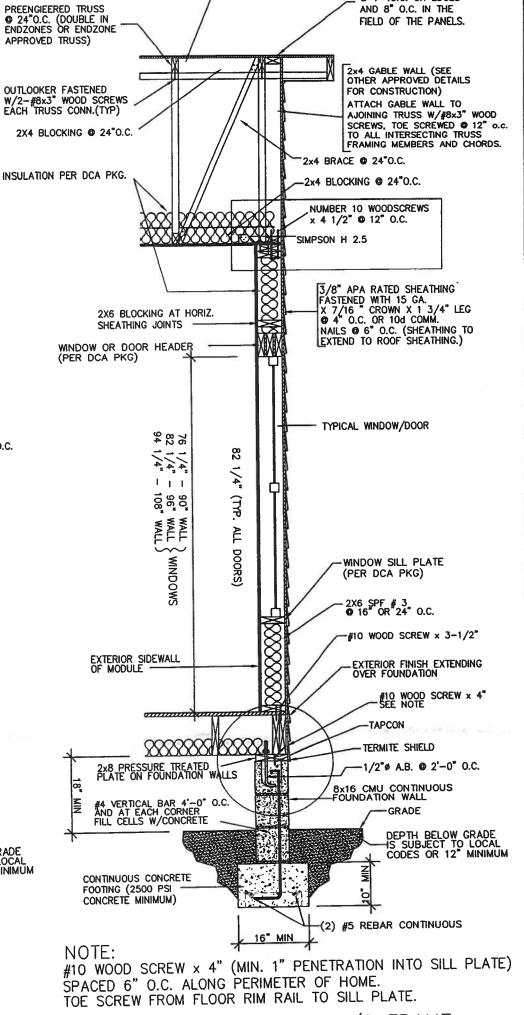


2 1/2 LSTA-18 **TAPCON** 1/2"ø A.B. @ 2'-0" O.C. #4 VERTICAL BAR 4'-0" O.C. AND AT EACH CORNER FILL CELLS W/CONCRETE

NOTE: J-BOLT WITH LSTA MAY BE REPLACED WITH MUDSILL ANCHORS. SEE FOUNDATION PAGE FOR DETAILS ON OPTION #1 OR OPTION #2. ENDWALL SECTION DETAILS







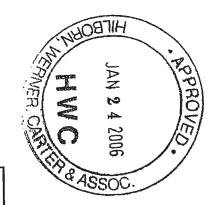
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7/16" OSB FASTENED WITH 15 GA X 1 3/4" STAPLES 9 4" .O.C. ON EDGES

AND 8" O.C. IN THE

4-16d NAILS OR 4-#10_ x 3 1/2" WOODSCREWS

ENDWALL SECTION W/O FRAME



THIRD PARTY

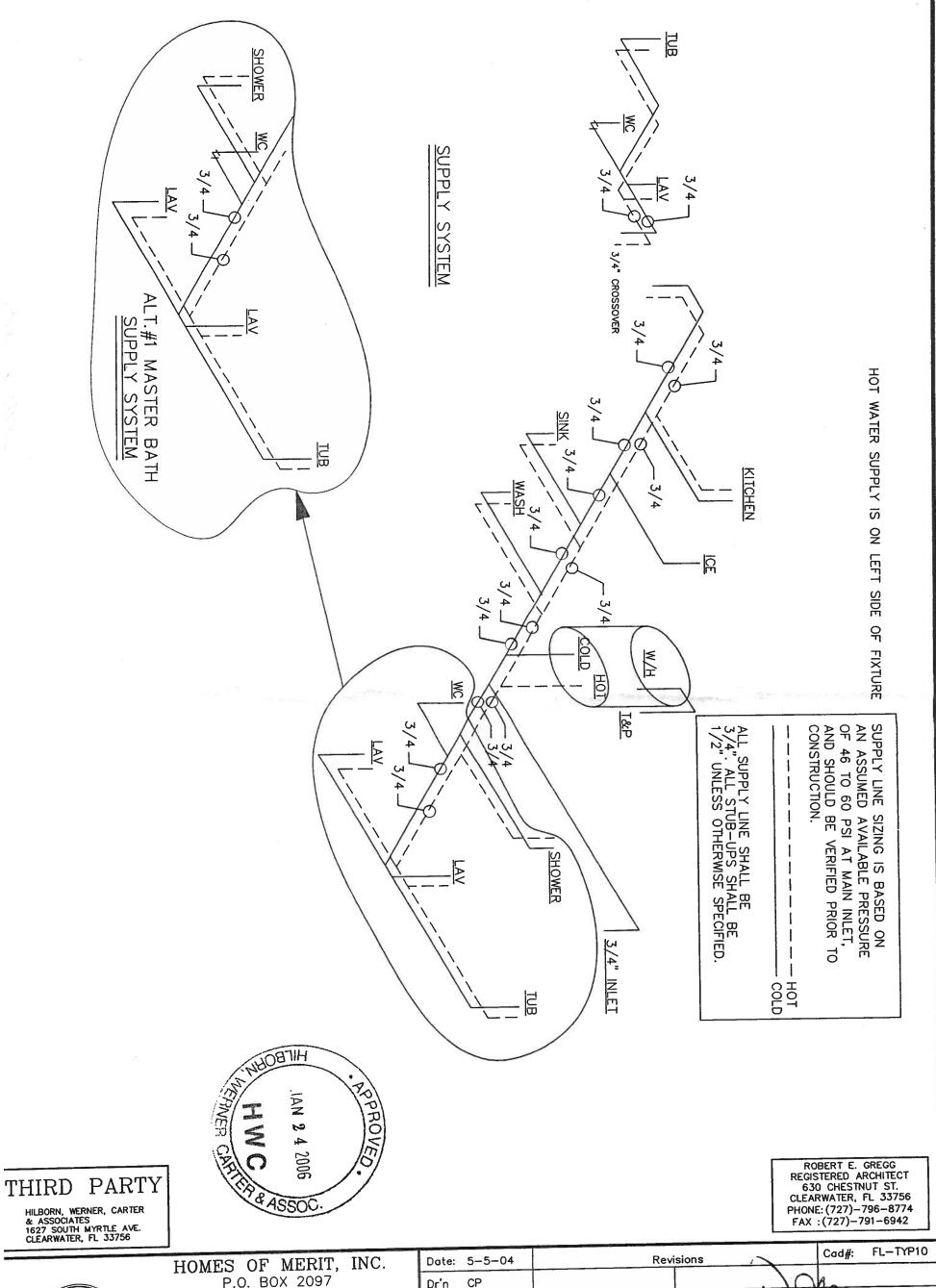
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PAGE 10

P.O. BOX 2097 HWY 100 EAST LAKE CITY, FLORIDA 32056

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	PACKAGE	THE SOFFET TOTABLE WATER