

DATE 09/22/2008

Columbia County Building Permit  
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT  
000027356

APPLICANT GALE TEDDER PHONE 782-8305  
ADDRESS 301 NE EVANSTON LANE LAKE CITY FL 32055  
OWNER RICHARD & GALE TEDDER PHONE 752-8305  
ADDRESS 301 NE EVANSTON LANE LAKE CITY FL 32055  
CONTRACTOR MICHAEL DELAHOZ PHONE 754-8678

LOCATION OF PROPERTY 441 NORTH, 8 MILES PAST I-10, TR ON CEMETARY LOOP,  
TR ON EVANSTON LANE, 3RD DRIVEWAY ON LEFT, TO CEDAR HOUSE

TYPE DEVELOPMENT POOL ENCLOSURE ESTIMATED COST OF CONSTRUCTION 5900.00

HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES

FOUNDATION WALLS ROOF PITCH FLOOR

LAND USE & ZONING A-3 MAX. HEIGHT

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 33-1S-17-04635-002 SUBDIVISION

LOT BLOCK PHASE UNIT 0 TOTAL ACRES 10.00

SCC056689

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTING X08-308 CS RJ N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE

Check # or Cash 1177

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by  
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by  
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by  
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by  
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by  
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by  
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by  
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 30.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00

MISC. FEES \$ 0.00 ZONING CERT. FEE \$ FIRE FEE \$ 0.00 WASTE FEE \$

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 30.00

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



## Columbia County Building Permit Application

For Office Use Only Application # 0809-43 Date Received 9/22/08 By G Permit # 27356  
 Zoning Official qs Date 9/22/08 Flood Zone X Land Use A-3 Zoning A-3  
 FEMA Map # \_\_\_\_\_ Elevation \_\_\_\_\_ MFE \_\_\_\_\_ River \_\_\_\_\_ Plans Examiner [Signature] Date 9/22/08  
 Comments \_\_\_\_\_  
☐ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # \_\_\_\_\_  
☐ Dev Permit # \_\_\_\_\_ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter  
 IMPACT FEES: EMS \_\_\_\_\_ Fire \_\_\_\_\_ Corr \_\_\_\_\_ Road/Code \_\_\_\_\_  
 School \_\_\_\_\_ = TOTAL \_\_\_\_\_

Septic Permit No. \_\_\_\_\_ Fax 765-1751  
 Name Authorized Person Signing Permit Robert or NADEAN McIntosh Phone 754-8678  
 Address 289 NW Corinth DR. Lake City, FL 32055  
 Owners Name Richard & Gale Tedder Phone 752-8305  
 911 Address 301 NE EVANSTON LANE, LAKE CITY, FL 32055  
 Contractors Name Michael Delahoz Phone 754-8678  
 Address 927 Hickory St, Altamonte Springs, FL 32701  
 Fee Simple Owner Name & Address N/A  
 Bonding Co. Name & Address N/A  
 Architect/Engineer Name & Address Do Kim & Asso, 3300 Henderson Blvd. Tampa, FL  
 Mortgage Lenders Name & Address N/A  
 Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy  
 Property ID Number 33-15-17-04635-002 Estimated Cost of Construction 5900  
 Subdivision Name N/A Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_  
 Driving Directions 441 N, 8 miles past I-10, TR Cemetery Loop, TR on EVANSTON LANE, 3rd drive ON LEFT.

Number of Existing Dwellings on Property \_\_\_\_\_  
 Construction of Pool Enclosure Total Acreage 10 Lot Size \_\_\_\_\_  
 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height \_\_\_\_\_  
 Actual Distance of Structure from Property Lines - Front 400' Side 300' Side 500' Rear 100'  
 Number of Stories 1 Heated Floor Area \_\_\_\_\_ Total Floor Area \_\_\_\_\_ Roof Pitch \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.



## Columbia County Building Permit Application

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

### **FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment**

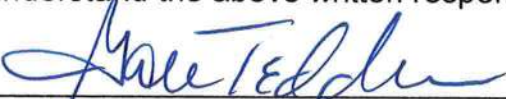
According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

### **NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:**

**YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

  
\_\_\_\_\_  
Owners Signature

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

  
\_\_\_\_\_  
Contractor's Signature (Permitee)

Contractor's License Number 200056689  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 19 day of September 2008.  
Personally known ☒ or Produced Identification \_\_\_\_\_

  
\_\_\_\_\_  
State of Florida Notary Signature (For the Contractor)

SEAL:



Nadean G.S. McIntosh  
Commission # DD371494  
Expires November 14, 2008  
Bonded Troy Fain - Insurance, Inc. 800-385-7819

# NOTICE OF COMMENCEMENT

Inst: 200812017367 Date: 9/22/2008 Time: 10:52 AM  
 29 BC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1158 P: 2103

Tax Parcel Identification Number 33-15-17-04635-002

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): SE 1/4 of NE 1/4 of SE 1/2 1066 424-99-445-10  
 a) Street (job) Address: 301 NE EVASTON LANE, LAKE CITY, FL 32055
2. General description of improvements: POOL ENCLOSURE
3. Owner Information  
 a) Name and address: RICHARD E GALE Tedder  
 b) Name and address of fee simple titleholder (if other than owner): N/A  
 c) Interest in property: OWNER
4. Contractor Information  
 a) Name and address: MICHAEL Delahoz  
 b) Telephone No.: 386 254-8678 Fax No. (Opt.): \_\_\_\_\_
5. Surety Information  
 a) Name and address: N/A  
 b) Amount of Bond: \_\_\_\_\_  
 c) Telephone No.: \_\_\_\_\_ Fax No. (Opt.): \_\_\_\_\_
6. Lender  
 a) Name and address: N/A  
 b) Phone No.: \_\_\_\_\_
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:  
 a) Name and address: N/A  
 b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.): \_\_\_\_\_
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b).  
 Florida Statutes:  
 a) Name and address: FL POOL ENCLOSURES, INC - 289 NW CORINTH DR, C.C. 32055  
 b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.): \_\_\_\_\_

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

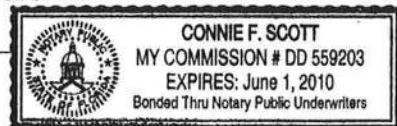
STATE OF FLORIDA  
 COUNTY OF COLUMBIA

10. Gale Tedder  
 Signature of Owner or Owner's Authorized Office/Director/Partner/Manager  
Gale Tedder  
 Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 15 day of September, 2008, by:  
Gale Tedder as owner (type of authority, e.g. officer, trustee, attorney  
 fact) for N/A (name of party on behalf of whom instrument was executed).

Personally Known ☒ OR Produced Identification \_\_\_\_\_ Type \_\_\_\_\_

Notary Signature Connie F. Scott Notary Stamp or Seal:



—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Gale Tedder  
 Signature of Natural Person Signing (in line #10 above.)





## COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

### CHECKLIST FOR PERMITTING

Revised (1-10-08)

✓ **Completed Building Permit Application with owner's signature & notarized contractor's signature**

Notes:

**If an Owner Builder, Notarized Disclosure Statement**

Notes:

✓ **Recorded Deed or a Notarized Affidavit (form from the Building Dept.)**

Notes:

✓ **Approved and Signed Site Plan from Environmental Health on the septic 386-758-1058**

Notes:

✓ **Site plan with actual distances of the structure to each property line**

Notes:

✓ **911 Address form, Contact 386.752.8787 for an appointment & fill out their application**

Notes:

✓ **Residential or Commercial Checklist completed (from the Building Dept.)**

Notes:

✓ **Driving directions including all road names**

Notes:

**Well information (on plans or letter from the well driller)**

Notes:

✓ **Before the 1<sup>st</sup> inspection Recorded (Clerks Office) Notice of Commencement signed by owner**

Notes:

✓ **2 sets of plans (blueprints) folded to 9 x 12 size**

Notes:

**2 sets of sealed truss engineering**

Notes:

✗ **2 sets of energy code & manual J**

Notes:

✓ **2 sets of engineering packets including specs on windows, doors, roof and etc.  
and/or Product Approval Code sheet (Included in packet)**

Notes:

There are two pages to the Building Permit Application that must be submitted with the required signatures for the Owner and the Notarized Contractor's signature.

Contact Joe Haltiwanger, Plans Examiner at 386-758-1163 for questions on building plans submittal.

# Columbia County Property Appraiser

DB Last Updated: 8/5/2008

## 2008 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 33-1S-17-04635-002 HX

Search Result: 1 of 1

### Owner & Property Info

<b>Owner's Name</b>	TEDDER RICHARD M & GALE M		
<b>Site Address</b>	EVANSTON		
<b>Mailing Address</b>	301 NE EVANSTON LN LAKE CITY, FL 32055		
<b>Use Desc. (code)</b>	IMPROVED A (005000)		
<b>Neighborhood</b>	33117.00	<b>Tax District</b>	3
<b>UD Codes</b>	MKTA03	<b>Market Area</b>	03
<b>Total Land Area</b>	10.000 ACRES		
<b>Description</b>	SE1/4 OF NE1/4 OF SE1/4. ORB 424-99, 445-10,		

### GIS Aerial



### Property & Assessment Values

<b>Mkt Land Value</b>	cnt: (3)	\$10,175.00
<b>Ag Land Value</b>	cnt: (1)	\$1,800.00
<b>Building Value</b>	cnt: (1)	\$79,464.00
<b>XFOB Value</b>	cnt: (8)	\$8,588.00
<b>Total Appraised Value</b>		\$100,027.00

<b>Just Value</b>	\$153,802.00
<b>Class Value</b>	\$100,027.00
<b>Assessed Value</b>	\$68,512.00
<b>Exempt Value</b>	(code: HX) \$40,012.00
<b>Total Taxable Value</b>	\$28,500.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
NONE						

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1982	Above Avg. (10)	1800	2224	\$79,464.00
<b>Note:</b> All S.F. calculations are based on exterior building dimensions.						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0269	RVP HOOKUP	0	\$1,500.00	1.000	0 x 0 x 0	(.00)
0294	SHED WOOD/	1993	\$728.00	1.000	16 x 13 x 0	(.00)
0296	SHED METAL	1993	\$600.00	120.000	10 x 12 x 0	(.00)
0166	CONC,PAVMT	1993	\$300.00	1.000	0 x 0 x 0	(.00)
0252	LEAN-TO W/	1993	\$480.00	240.000	12 x 20 x 0	(.00)

### Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
----------	------	-------	-------------	----------	-----------



COLUMBIA COUNTY ENVIRONMENTAL  
HEALTHPERMIT: X08-308 P \_\_\_\_\_OWNER: Richard SedderADDRESS: 301 NE Evanston Ln
 FOR: ☒ A/C ☒ BARN ☐ CITY UTIL ☐ LIGHTS ☐  
☒ POOL ☒ ENC ☐ ROOF ☐ SCREEN RM ☐ SIGN ☐  
☐ WELL ☐ OTHER \_\_\_\_\_

ser

 0)  
 10,175.00  
 79,464.00  
 00,027.00  
 53,802.00  
 68,512.00  
 40,012.00  
 28,500.00

0 64 128 192 ft



herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



lake city  
GALE JOB

Brown

Mat' 14:15 True Born

2-2x5 24'  
16-2x5 22'  
3-2x5 20'  
3-2x5 16' } True Beam

2-2x4x24' Pasio

11-27-52

$$4 - 2 + 2 \times 3 =$$

4-142x30'

67. 11-11-11

3-Docs

1

\_\_\_\_\_

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5

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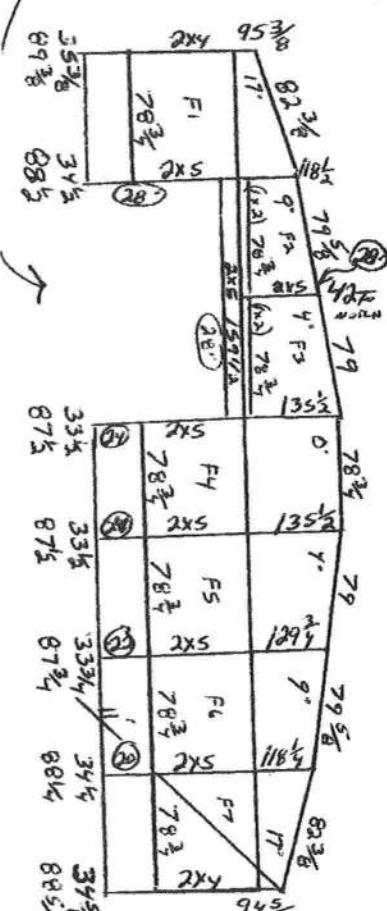
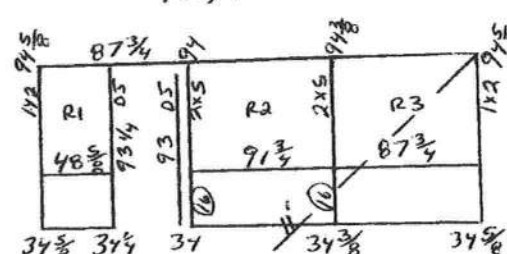
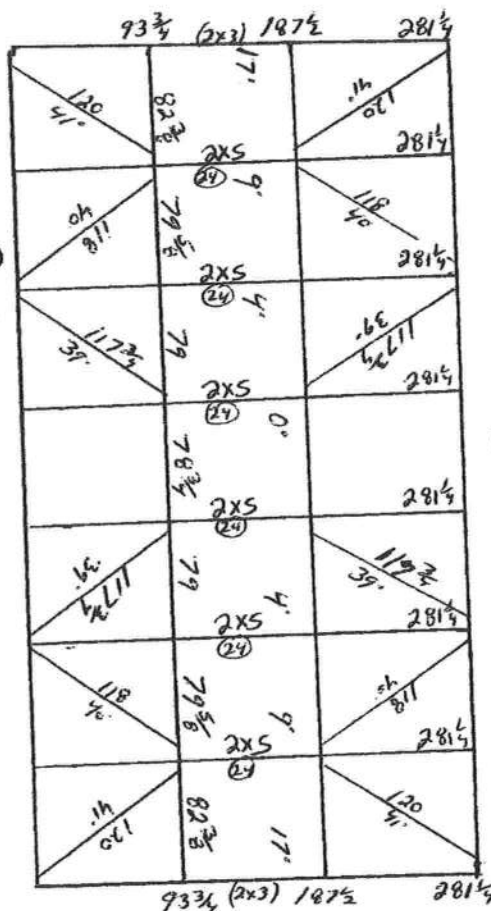
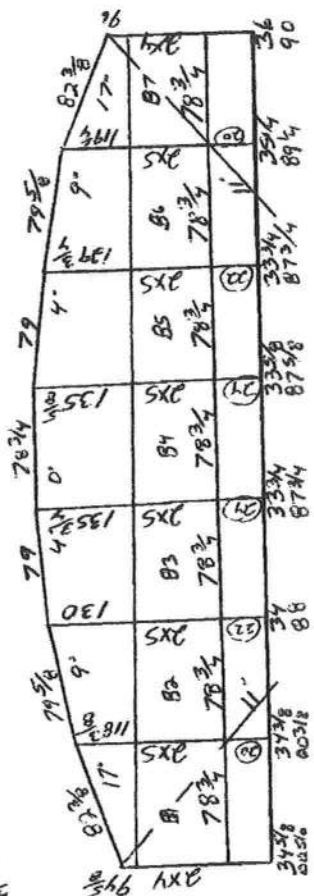
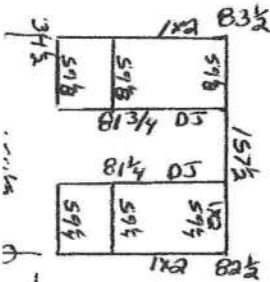
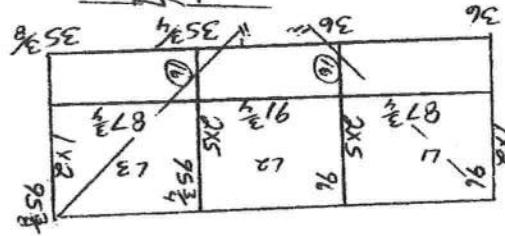
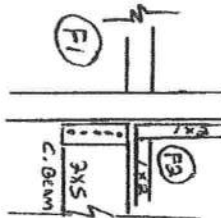
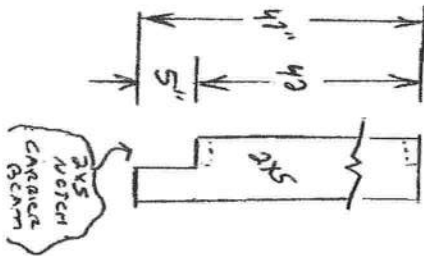
21

□

2x2

Carraic

*Journal of Management Education* 30(6)



77.5"

7-10-64  
COLUMBIA COUNTY  
DEPARTMENT  
Code  
Compliance  
PLANS EXAMINER  
Received  
for  
FILE COPY  
Bull. Eng. Bore

**COUNTY BUILDING**



Cole Tedder

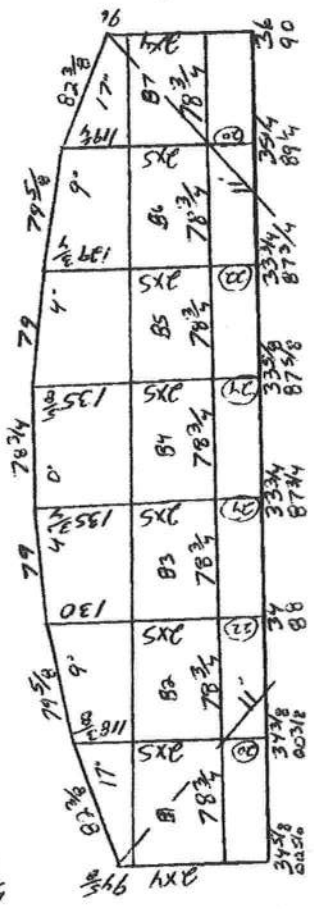
Lake City  
GAIL JOE

BROWN

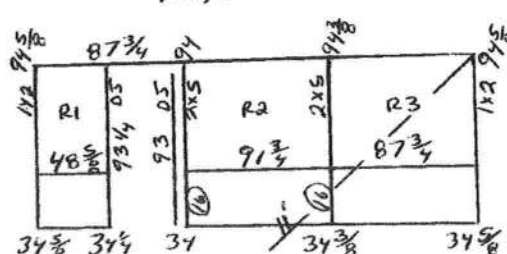
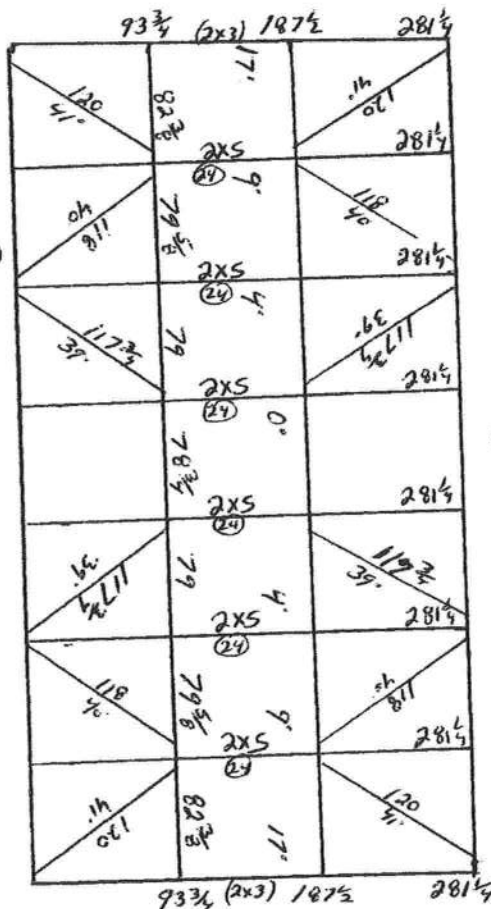
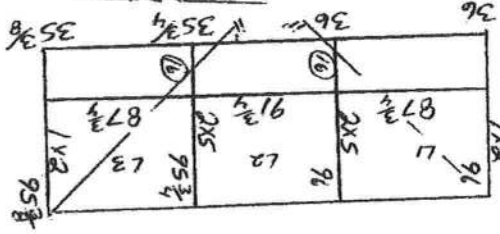
MAT'L LIST Truss Beam

- 2-2x5 2x1
- 16-2x5 2x1
- 3-2x5 2x1
- 3-2x5 2x1
- 4-2x5 16'
- 2-2x4x2x1 PARO
- 11-2x3 x 3x1
- 4-2x3 x 2x1
- 4-2x2 x 3x1
- 7-2x2 x 2x1
- 4-1x2 x 3x1
- 11-1x2 x 2x1
- 2-D. 50MB
- 2-D. 50MB
- 6-cables 11'

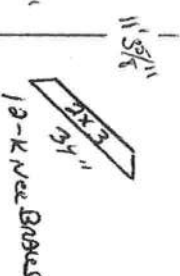
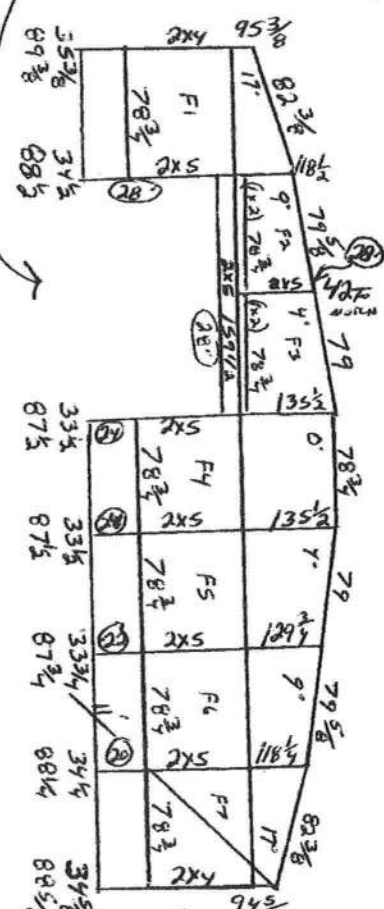
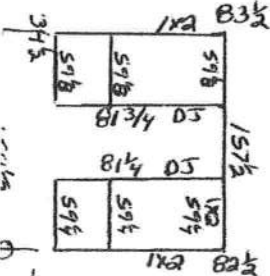
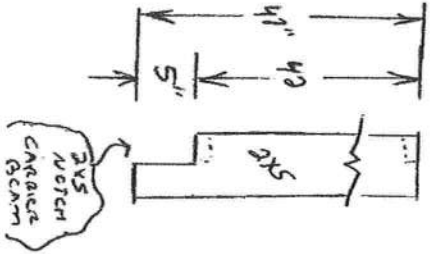
11' 5" 11'



5' 11"



23' 5"



41' 5"

## Power of Attorney

The undersigned hereby appoints Gale Tedder as attorney in fact to apply for and receive building permit for Columbia County, Florida.

My attorney is hereby authorized to do everything necessary to apply for and receive the said building permit and I ratify everything the attorney shall do on my behalf.



Mike DelaHoz  
Florida Pool Enclosures  
SCC056689

Sworn to and subscribed before me this 22nd day of Sept, 2008



Nadean G.S. McIntosh  
Commission # DD371494  
Expires November 14, 2008  
Bonded Troy Fair - Insurance, Inc. 800-366-7012



Notary Public Signature

Notary Seal

Personally known: ✓  
Produced ID (Type) \_\_\_\_\_



DO KIM  
& ASSOCIATES, LLC  
CONSULTING  
STRUCTURAL  
ENGINEERS

3300 Henderson Blvd., Suite 106  
Tampa, FL 33609  
Tel: (813) 874-5900  
Fax: (813) 874-5959

Rev/Date	Description
9/05 2006	ISSUED
10/9 2006	ADDED MANSARD SPLICE CONNECTION
10/31 2006	REVISED DETAILS
△	
△	
△	

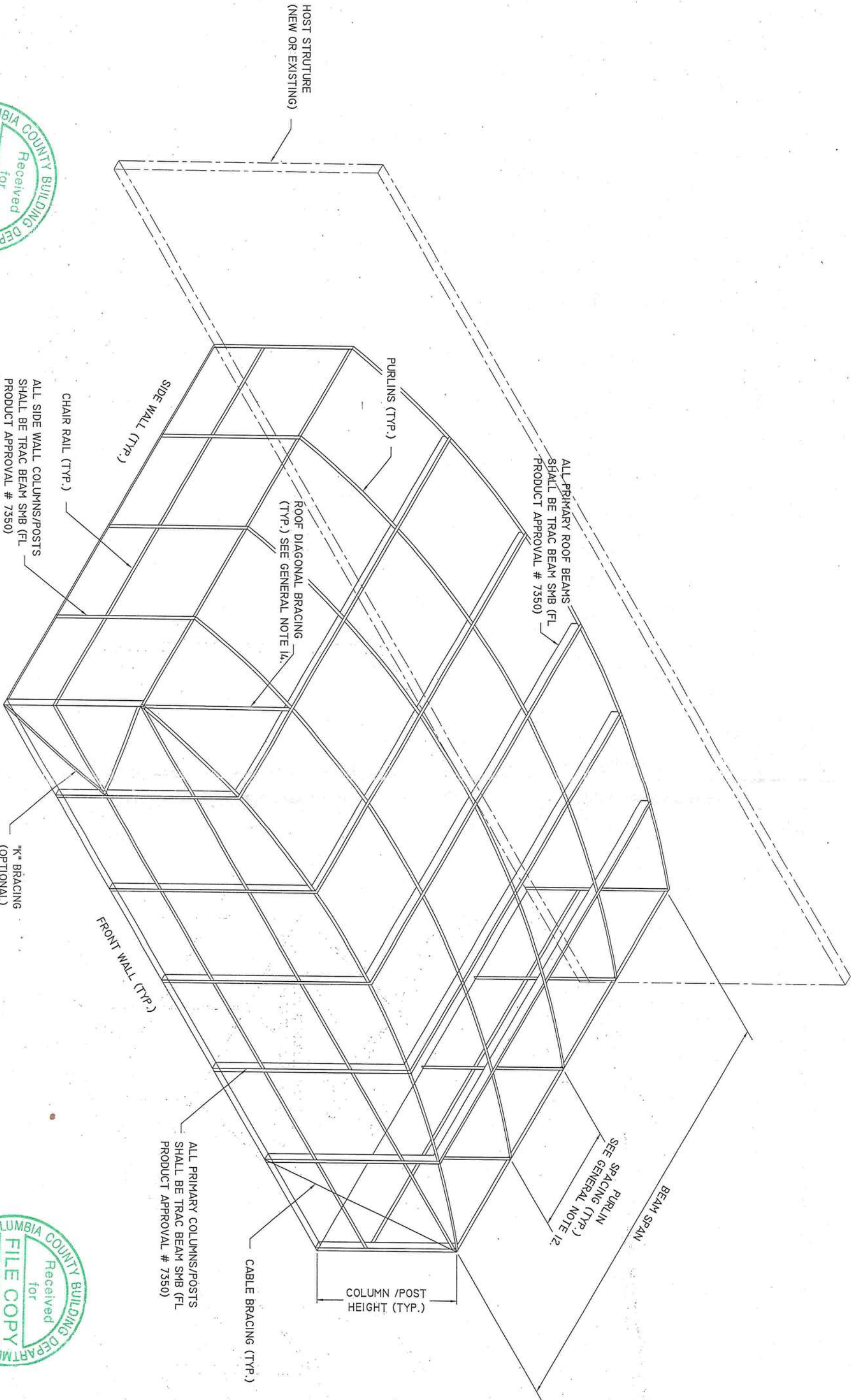
CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO YEON KIM, P.E.  
FLA. REG. NUMBER 49497  
DO KIM & ASSOCIATES, LLC  
CA# 26887  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33684

Drawing No. - 060905

SHEET 1 OF 7



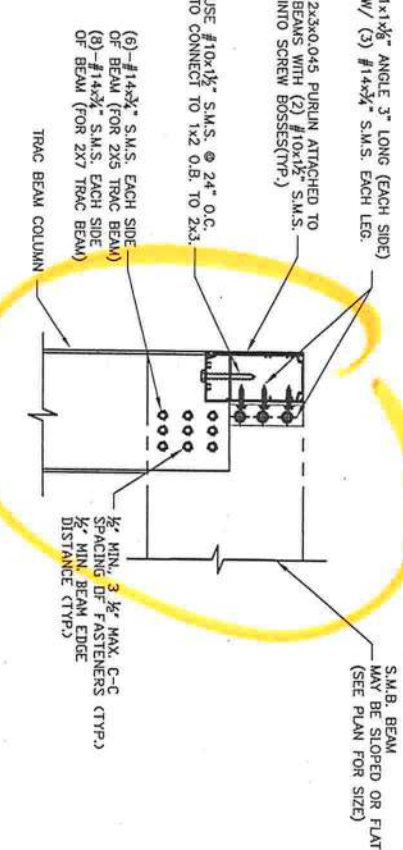
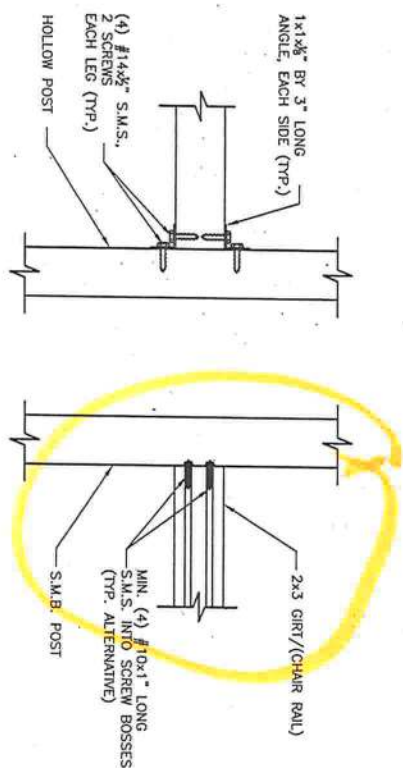
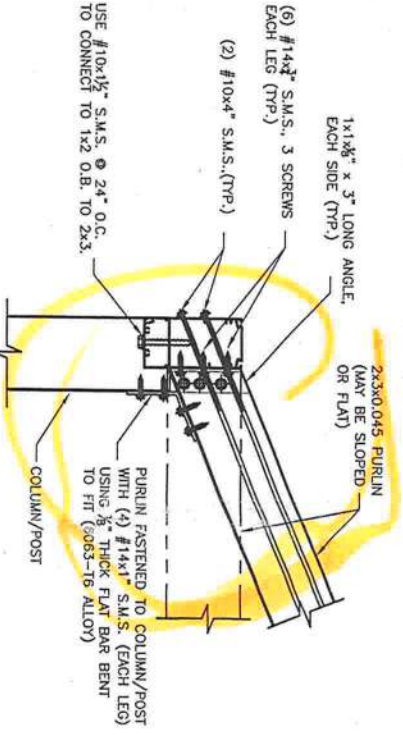
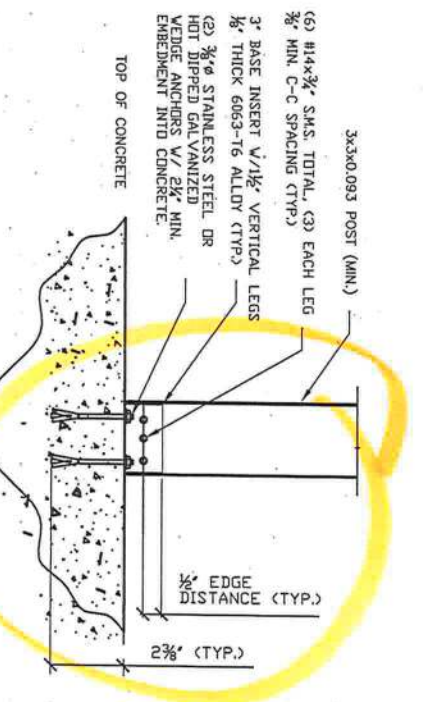
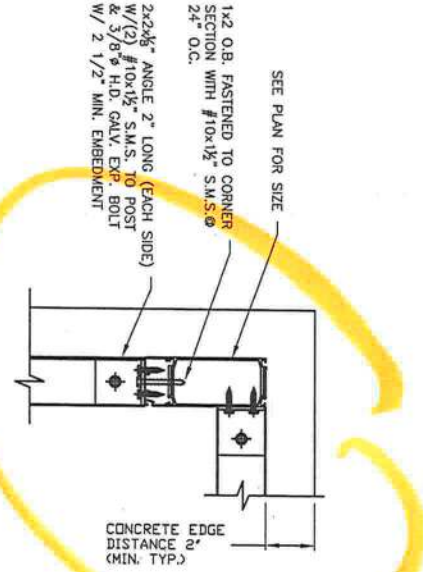
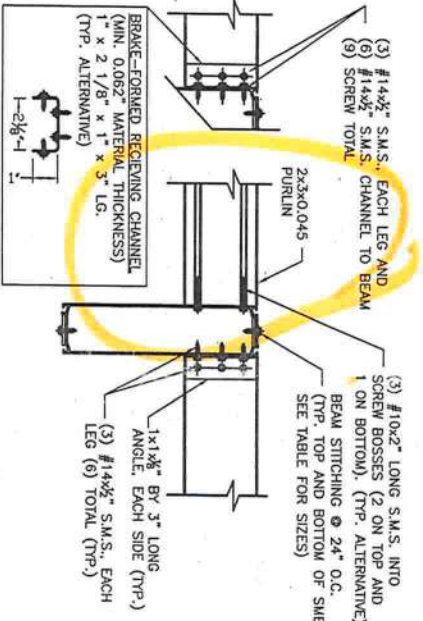
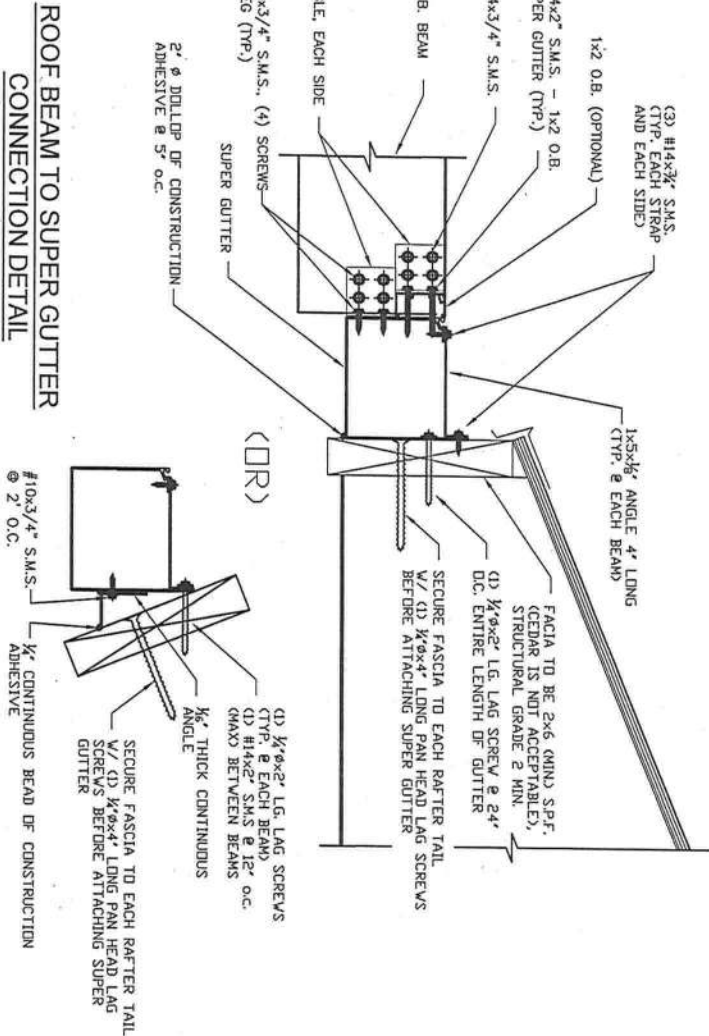
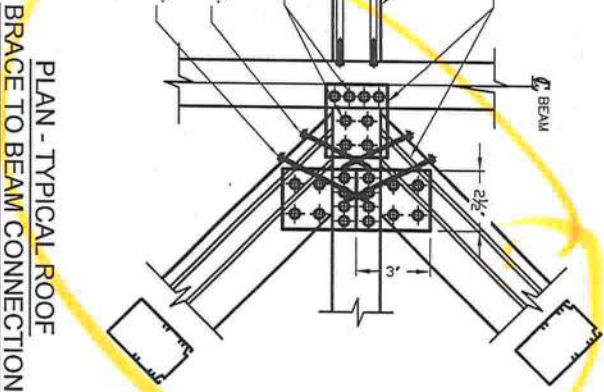
TYPICAL DOME ROOF

NOTE: Sketch is only a representation of a Dome Style Enclosure.  
Contractor shall provide detailed layout drawings.





<b>DO KIM</b> & ASSOCIATES, LLC CONSULTING STRUCTURAL ENGINEERS	
3300 Henderson Blvd., Suite 106 Tampa, FL 33609 Tel: (813) 874-5900 Fax: (813) 874-5959	
Rev/Date	Description
9/05 2006	ISSUED
1/09 2006	ADDED MANSARD SPICE CONNECTION
2/2006	REVISED DETAILS



CLIENT: Florida Pool Enclosures, INC DESCRIPTION: Screen Enclosure Details	
DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06
DO KIM & ASSOCIATES, LLC CA# 26887 3300 HENDERSON BLVD., SUITE 106 TAMPA, FL 33684	



General Notes and Specifications:

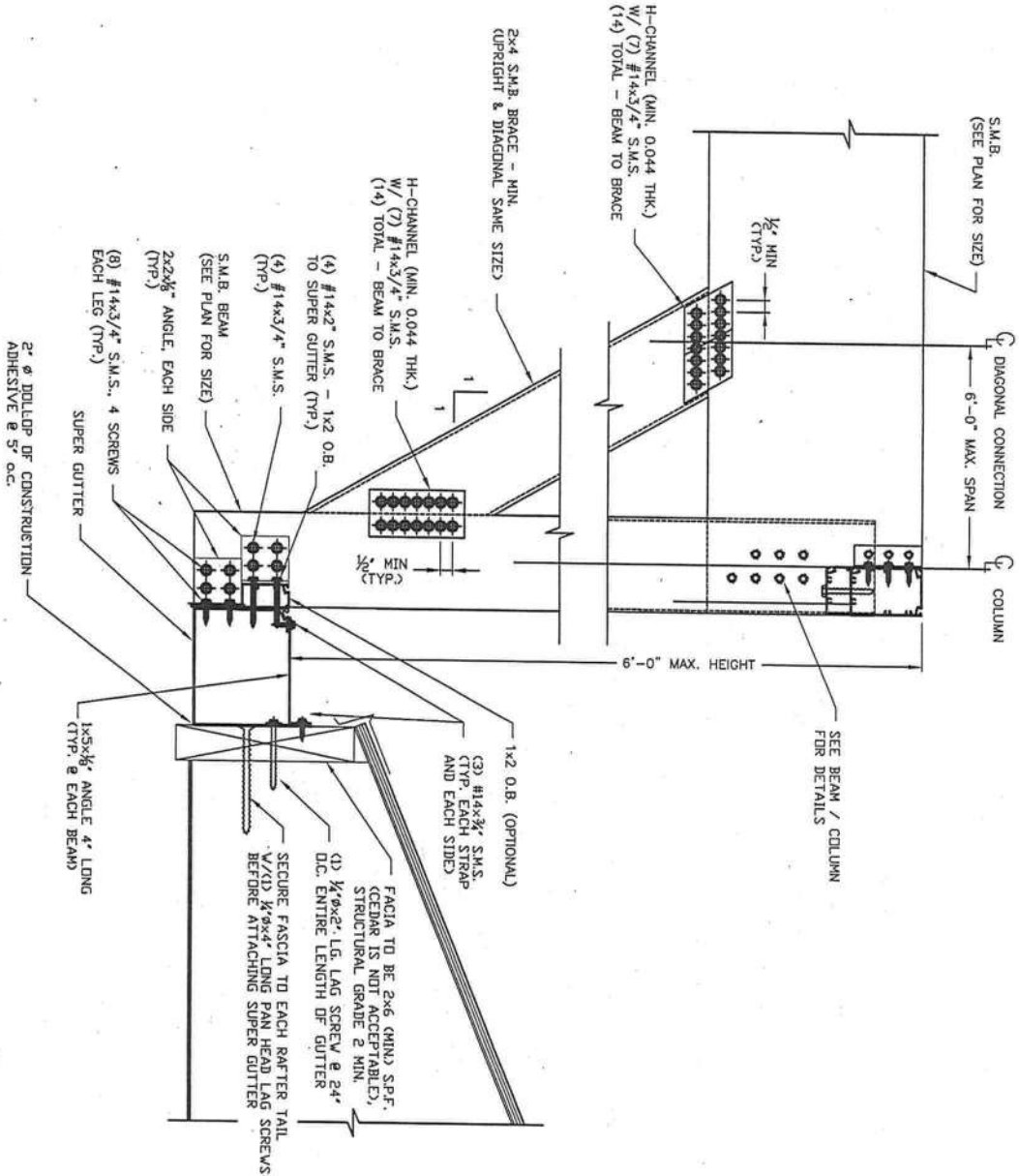
- Contractor shall field verify all dimensions before construction and shall notify engineer of discrepancies for immediate consideration.
- Concrete shall be minimum 28 day compressive strength of  $f'c=2500$  psi, and be in accordance with the requirements of ACI 318. Reinforcing steel shall have a min. yield strength of 40,000 psi (grade 40) and be provided with cover in accordance with ACI 318. If existing concrete slabs/footings are deemed satisfactory, it may be incorporated into new slab/footing by observing the following procedure:
  - a) Clean and scabble all connecting edges.
  - b) Drill and epoxy embed #5 reinforcing placed @ 12" O.C. mid depth. The rebar should be embedded a min. of 7" (using Hilti HY 150 Epoxy or equal approved), leaving 24" exposed to be incorporated into new slab/footing.
- All dimensions are provided by contractor, DO Kim & Associates, LLC have made interpretations where necessary.
- The following structures are designed to be attached to block and wood frame structures of adequate structural capacity. The contractor shall verify that the host structure is in good condition and of sufficient strength to hold the proposed addition. If there is a question about the host structure, the owner (at his own expense) shall hire an architect or engineer to verify host structure capacity.
- Screen density shall be a maximum of 20 x 20 mesh.
- Connections using screw bosses shall have minimum (4)-#10x1" per connection unless shown otherwise.
- Every panel of screen mesh shall be fastened securely in place with spline. Each panel shall be fastened at all sides, independent of surrounding panels. This requirement shall include purlins and chair/kickplate rails. Screen mesh panels are not required to be secured to rigid diagonal bracing members. Screen mesh is incidental to the structural integrity of the overall structure.
- Unless otherwise shown, screws shall have minimum edge distance and center-to-center distances as shown in this table.

C-1022 Low Carbon Steel SMS & Self-Drilling (TEK) Screws (Industry Standard Screws)			
Screw	Nominal Screw Diameter (in)	Minimum Edge Distance	Minimum Center to Center Distance
#10	0.188	$\frac{5}{8}"$	$\frac{1}{2}"$
#12	0.219	$\frac{7}{8}"$	$\frac{5}{8}"$
#14 (1 1/4")	0.250	$\frac{1}{2}"$	$\frac{5}{8}"$
- Structure has been designed to meet the 2004, FBC with 2006 supplements. Project is sited where the basic wind speed is 120 mph (3-sec gust),  $I=0.77$  for screen enclosures. Exposure B. Design wind pressures are from 2004, FBC. Minimum design pressure is 10 psf. Pressures are based on wind tunnel testing with main wind force resisting system coefficient,  $GCF$ , of  $\pm 0.25$  for screen roof and 0.7-1.25 for walls.
- All concrete anchors shall be Simpson Strong-Tie Wedge All Anchors or Titan Screws or approved equal.
- Maximum spacing of Purlins shall be less than 8'-0" o.c. Maximum spacing of Chair Rails (Girts) shall be less than 9'-0" o.c.
- Composite panel or riser panel metal shall be of aluminum alloy 3105-H15 or 3105-H25.
- Diagonal bracing shall be installed on all roof screen panels that have at least one side adjacent to an exterior screen wall.
- Construction adhesive shall meet ASTM C-557. MIN shear strength @ 7 days = 425 P.S.I.
- When knee braces are utilized at uprights and beams, beam spans shown in tables are from the interior side of the knee brace supporting the beam.
- Lateral cable bracing shall be provided at each screened wall parallel to host structure, unless it is directly attached to host structure. One set of cable braces shall be provided for each 500 sf of screened wall area that the wind load is being applied.
- Structures that exceed 45 feet of beam span or heights exceeding 25 feet or are located in Exposure C shall require site specific evaluation by the engineer of record. Roof beams that are 2x8 Trac Beam having spans greater than 35 feet shall use 2x7 Trac or 2x8 Trac uprights.
- All Aluminum members shall be 6063-T6 Alloy unless otherwise noted. Trac Beams shall be 6005-T5 Alloy.

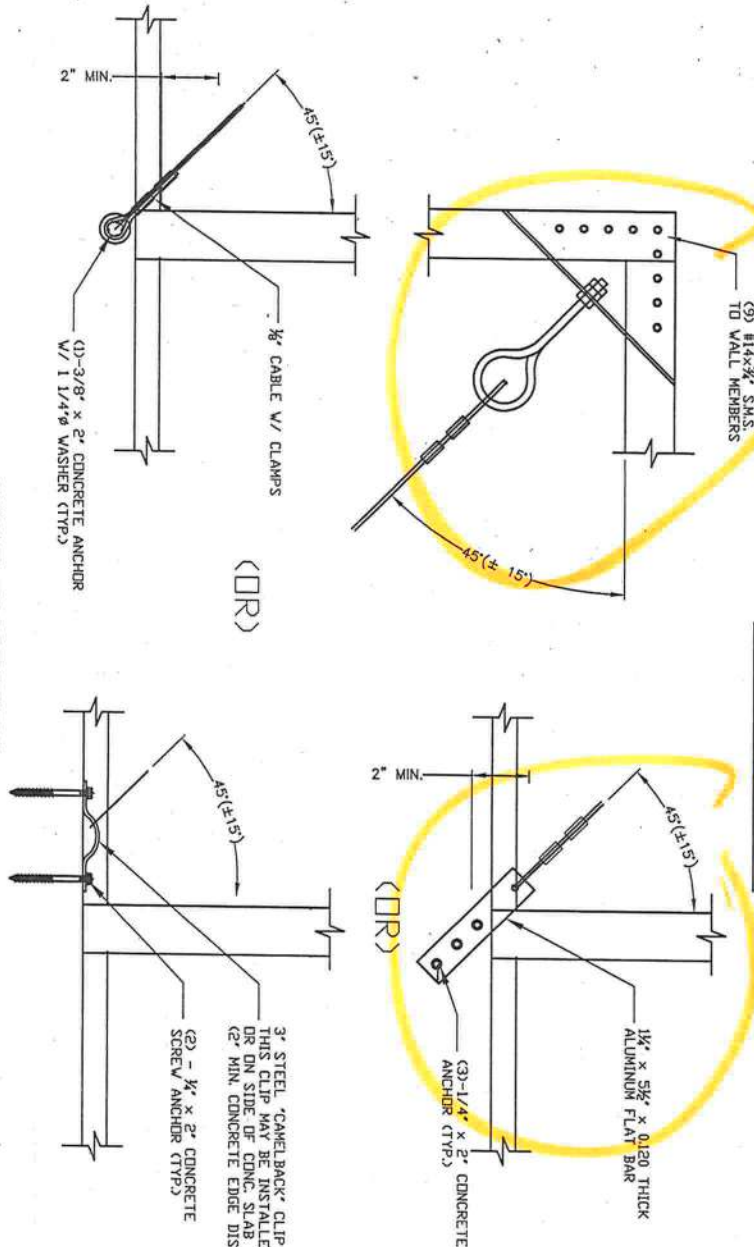
MAXIMUM SPANS FOR CARRIER BEAMS (SUPPORTING SCREEN ROOF ONLY)

BEAM	TRIBUTARY WIDTH			
	10'	15'	20'	25'
2X5 TRAC	23.5'	19.8'	17.0'	15.0'
2X7 TRAC	25.7'	22.3'	20.1'	18.1'
2X8 TRAC	40.0'	34.3'	29.6'	26.8'

Design wind speed up to 120 mph. Exposure B.



NON-CABLE ROOF TRANSOM (RISER) WALL CONNECTION DETAIL



CABLE BRACE DETAIL

Beam Stitching Screw for all Legacy S.M.B.'s (NOT FOR TRAC BEAMS)		
Beam Size	Beam	Stitching Screw @ 24" o.c.
2" x 4" x 0.046 x 0.100	#8 x 1/2"	
2" x 5" x 0.050 x 0.116	#8 x 3/4"	
2" x 6" x 0.050 x 0.120	#10 x 3/4"	
2" x 7" x 0.055 x 0.120	#10 x 3/4"	
2" x 8" x 0.072 x 0.224	#12 x 3/4"	
2" x 9" x 0.072 x 0.224	#12 x 3/4"	
2" x 9" x 0.082 x 0.306	#14 x 3/4"	
2" x 10" x 0.092 x 0.389	#14 x 3/4"	

DO KIM & ASSOCIATES, LLC  
CONSULTING  
STRUCTURAL  
ENGINEERS

3300 Henderson Blvd., Suite 106  
Tampa, FL 33609  
Tel: (813) 874-5900  
Fax: (813) 874-5959

Rev/Date	Description
905 2006	ISSUED
1031 2006	REVISED DETAILS AS SHOWN
97 2007	REVISED DETAILS AS SHOWN

CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/06/06

DO KIM & ASSOCIATES, P.E.  
FLA. REG. NUMBER 49497  
DO KIM & ASSOCIATES, LLC  
CA# 26887  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33684



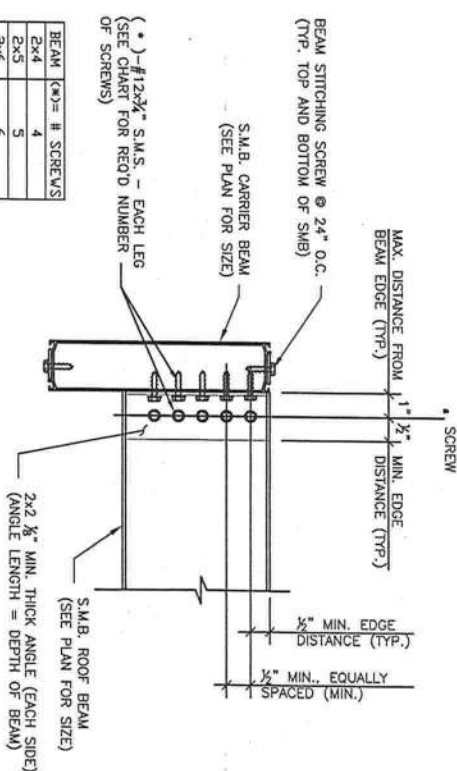
Rev./Date	Description
9/05 2005	ISSUED
10/9 2005	ADDED MANSARD SPICE CONNECTION
10/31 2005	REVISED DETAILS
▽	
▽	
▽	

CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY:	DVK
CHECKED BY:	DVK
SCALE:	AS SHOWN
DATE:	9/05/05

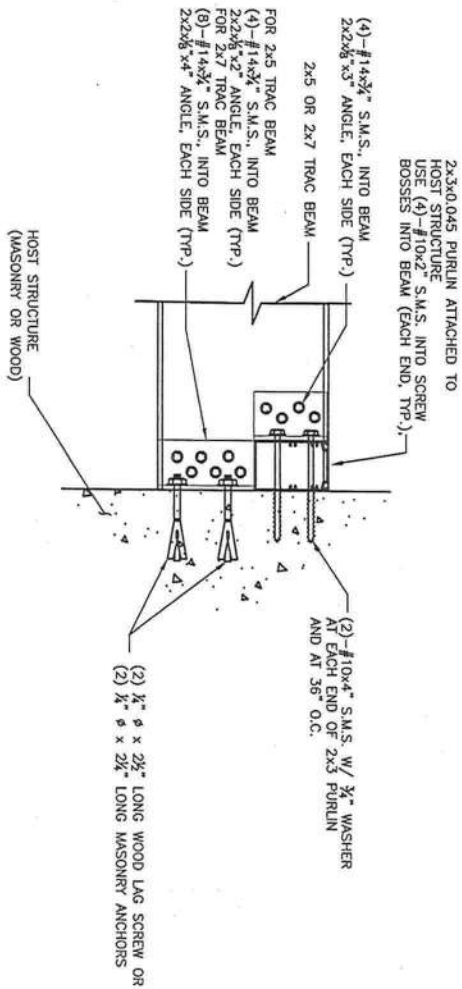
DO KIM & ASSOCIATES, LLC  
CA# 26887  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33684

CARRIER BEAM TO BEAM  
CONNECTION DETAIL

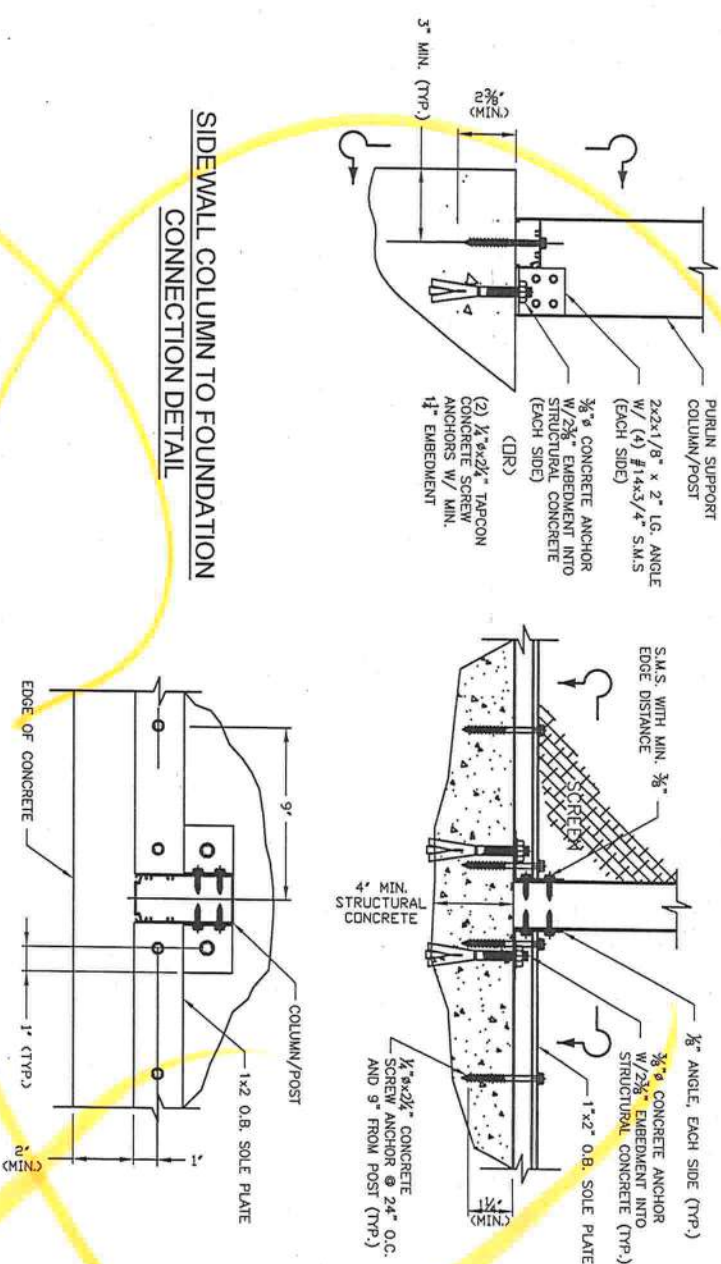


BEAM (C) =	# SCREWS
2x4	4
2x5	5
2x6	6
2x7	7
2x8	8
2x9	9
2x10	10

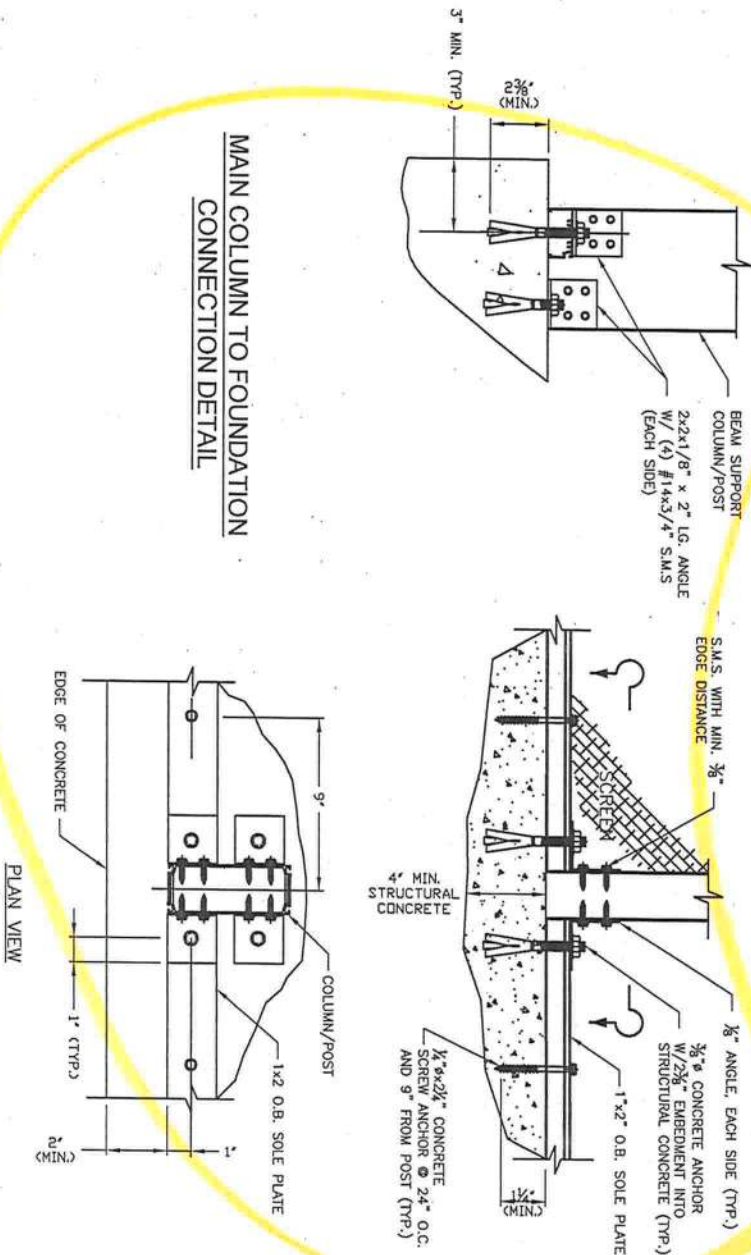
BEAM TO HOST  
STRUCTURE DETAIL



SIDEWALL COLUMN TO FOUNDATION  
CONNECTION DETAIL

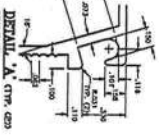
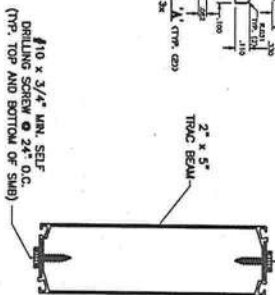
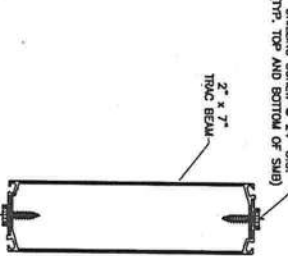
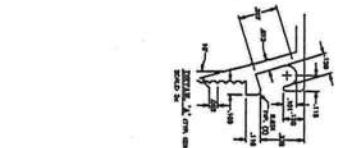
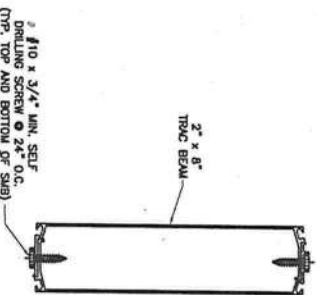
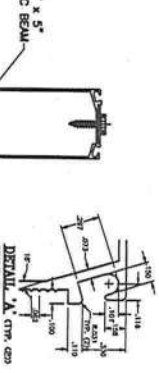
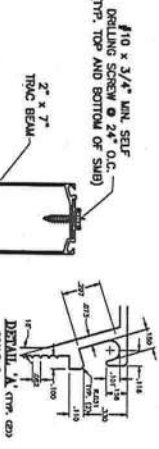
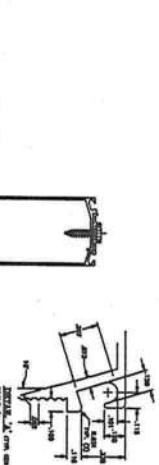
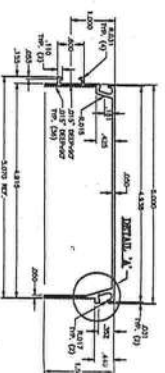
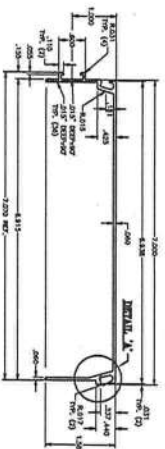
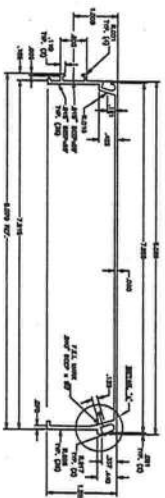


MAIN COLUMN TO FOUNDATION  
CONNECTION DETAIL





Pool Enclosure Collective, LLC  
Trac Beam (FL State Product Approval #7350 & #9328)



2' x 8' TRAC SELF-MATING BEAM (SHB)  
[patent pending]

2' x 7' TRAC SELF-MATING BEAM (SHB)  
[patent pending]

2' x 5' TRAC SELF-MATING BEAM (SHB)  
[patent pending]

- Trac Beam Notes:
1. Refer to Florida Product Approval #FL7350 & #FL9328 for project specific requirements to be used by design professional.
  2. Drawings are illustrative purposes only.
  3. Tables developed from loads in FL9328 tables which are allowable working loads and may be used without any additional reductions. Spans are based on ten feet wall height. For wall heights exceeding ten feet, allowable column spans shall be reduced 7% for each five feet increment.
  4. Allowable point loads and deflections are converted to allowable uniform loads and deflections using analytic and comparative analysis.
  5. Allowable spans tables are based on 2004 Florida Building Code with 2006 Updates. Wind loads are based on Chapter 20 and Table 2004.4.
  6. Consult a licensed design professional for use of this product information.
  7. Maximum allowable deflections limits of L/80 shall be considered by design professional. L/80 in HVMZ.

2x8 TRAC SPAN (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	32.5'	30.0'	28.9'	27.7'	26.3'
6' D.C.	29.5'	28.7'	27.6'	26.3'	25.0'
7' D.C.	28.7'	27.8'	26.7'	24.9'	23.5'
8' D.C.	27.8'	26.5'	25.2'	23.4'	21.8'

2x8 TRAC BEAM CLEAR SPAN (FLAT ROOF)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	40.0'	40.0'	40.0'	40.0'	36.0'
6' D.C.	40.0'	40.0'	40.0'	37.0'	35.0'
7' D.C.	40.0'	40.0'	38.0'	35.5'	34.0'
8' D.C.	40.0'	38.0'	36.0'	34.2'	32.0'

2x8 TRAC BEAM SPAN (MANSARD ROOF)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	52.0'	52.0'	52.0'	52.0'	47.0'
6' D.C.	52.0'	52.0'	52.0'	50.0'	46.0'
7' D.C.	52.0'	52.0'	52.0'	47.5'	44.8'
8' D.C.	52.0'	50.0'	47.0'	45.0'	42.8'

2x5 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	25'	25'	25'	24.12'	23.27'
6' D.C.	25'	25'	25'	23.06'	22.12'
7' D.C.	25'	25'	23.51'	22.16'	21.33'
8' D.C.	25'	25'	22.94'	21.36'	20.35'

2x5 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	20.31'	19.00'	17.01'	15.00'	13.33'
6' D.C.	18.57'	17.00'	14.57'	13.07'	12.28'
7' D.C.	16.89'	15.00'	13.00'	12.15'	11.24'
8' D.C.	15.11'	13.52'	12.28'	11.13'	10.12'

2x7 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	37.82'	37.62'	34.63'	31.23'	28.00'
6' D.C.	35.18'	35.01'	31.23'	27.37'	23.61'
7' D.C.	32.65'	32.43'	28.00'	23.48'	23.05'
8' D.C.	30.00'	29.82'	24.76'	23.21'	22.61'

2x7 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	23.04'	22.42'	21.48'	20.53'	19.59'
6' D.C.	22.22'	21.47'	20.34'	19.21'	18.08'
7' D.C.	21.41'	20.53'	19.20'	17.80'	16.68'
8' D.C.	20.55'	19.59'	18.08'	16.58'	15.08'

DO KIM  
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CONSULTING  
STRUCTURAL  
ENGINEERS

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Fax: (813) 874-5959

Rev/Date	Description
9/05 2006	ISSUED
9/07 2007	2x8 Trac Added

CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO KIM & ASSOCIATES, LLC  
CA# 26887  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33684



DO KIM  
& ASSOCIATES, LLC  
CONSULTING  
STRUCTURAL  
ENGINEERS

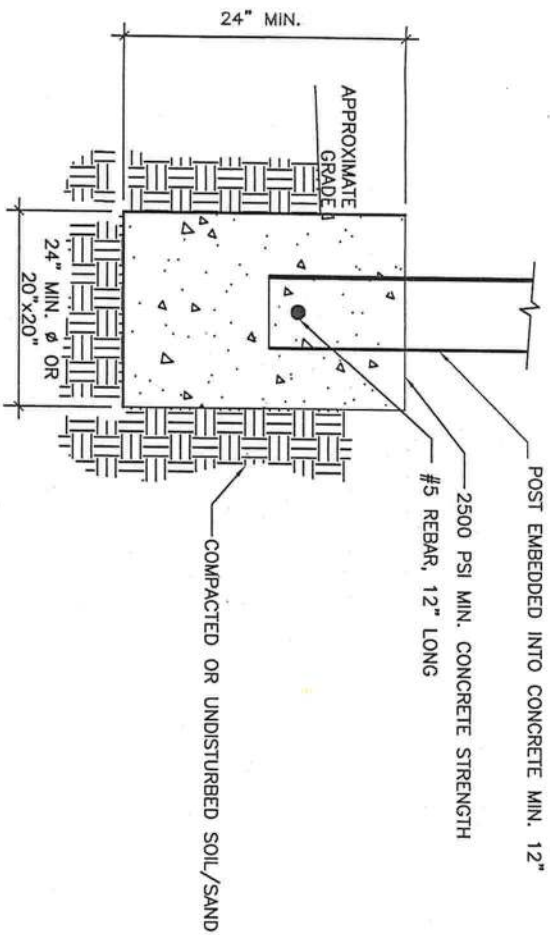
3300 Henderson Blvd., Suite 106  
Tampa, FL 33609  
Tel: (813) 874-5900  
Fax: (813) 874-5959

Rev/Date	Description
9/05/2006	ISSUED
10/9/2006	ADDED MANSARD SPLICE CONNECTION
10/31/2006	REVISED DETAILS

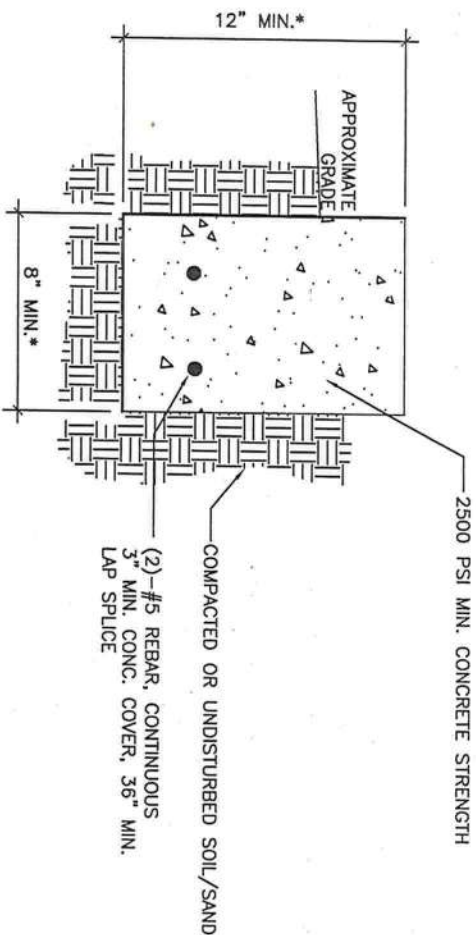
CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

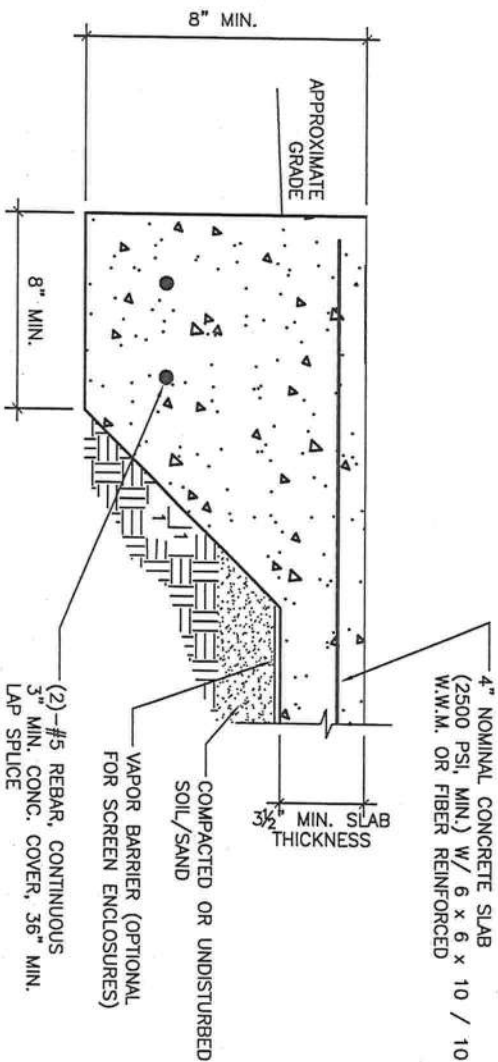
DO KIM, P.E.  
FLA. REG. NUMBER 19497  
DO KIM & ASSOCIATES, LLC  
CA# 26887  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33684



STANDARD TYP. ISOLATED FOOTER

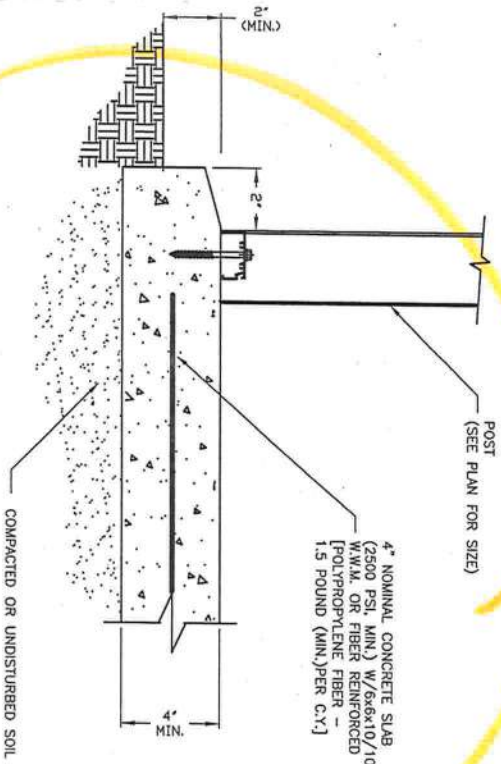


STANDARD TYP. CONTINUOUS PERIMETER FOOTING  
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')



STANDARD TYP. TURNDOWN SLAB FOOTING  
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')

POST / CONCRETE SLAB DETAIL  
(MAX. POOL ENCLOSURE ROOF SPAN OF 40')



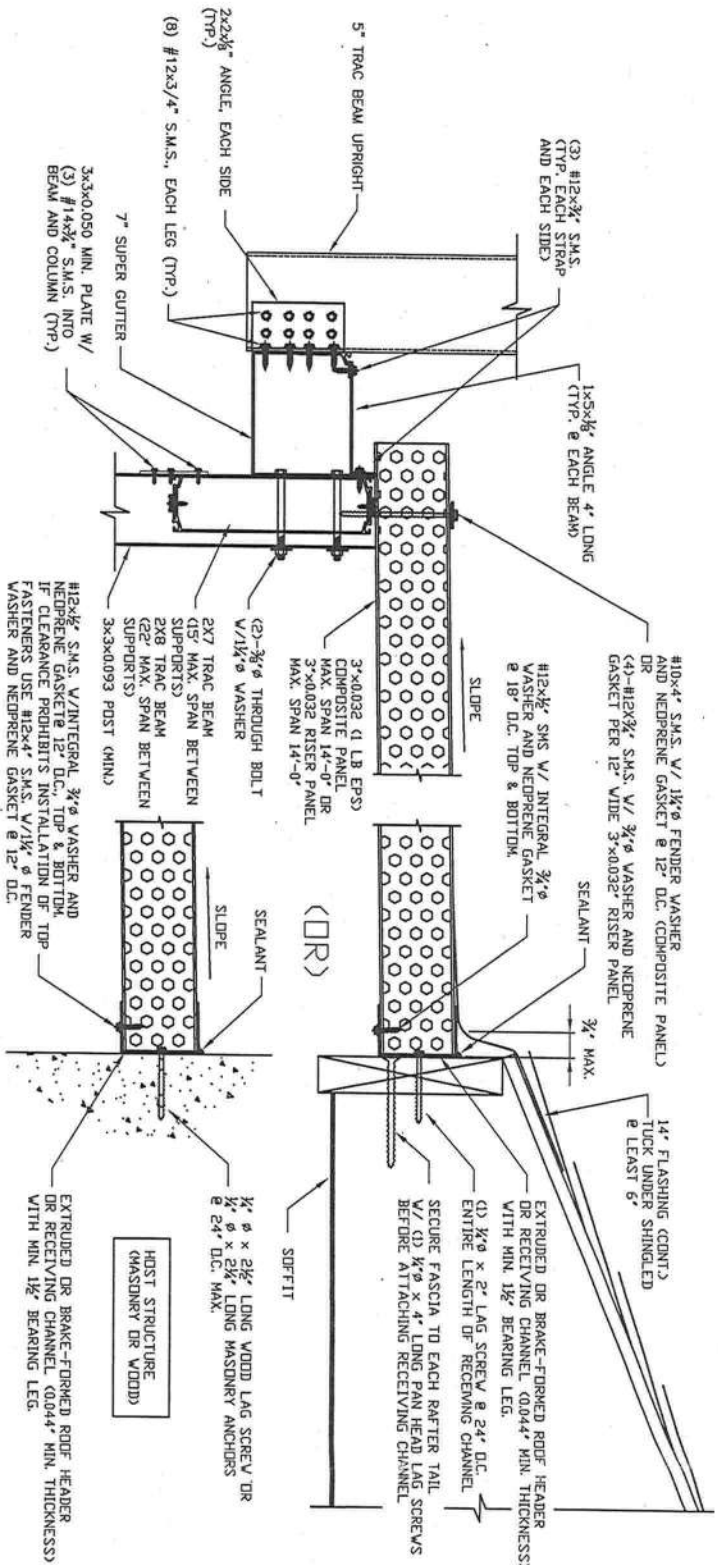


Rev/Date	Description
9/05 2006	ISSUED
10/9 2006	ADDED MANSARD SPICE CONNECTION
2/10/31 2006	REVISED DETAILS
△	
△	
△	

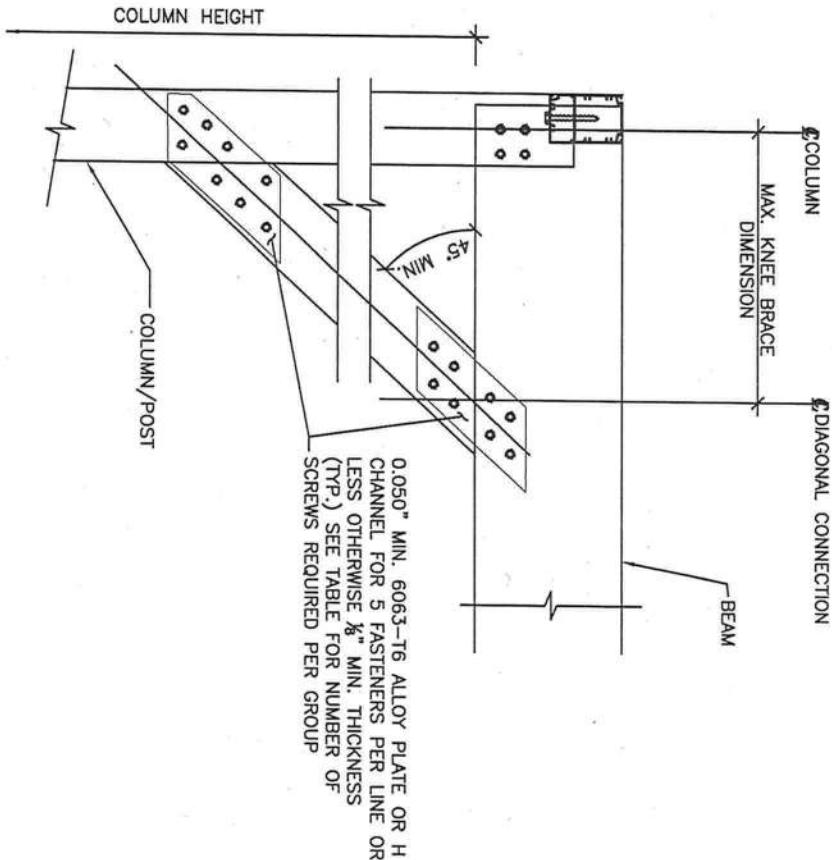
CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO KIM, P.E.  
FLA. REG. NUMBER 49497  
CA# 26887  
DO KIM & ASSOCIATES, LLC  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33684



SCREEN ROOF TO  
PANEL OR COMPOSITE ROOF  
CONNECTION DETAIL



TYP. FRONT WALL KNEE BRACE CONNECTION DETAIL

KNEE BRACE SECTION	MAX. LENGTH	#10x2\"/>
2\"/>	36 INCHES	3
2\"/>	44 INCHES	4
2\"/>	50 INCHES	5
2\"/>	62 INCHES	6