

SITE PLAN RED ROOSTER RV PARK

10191 SE CR 245
LAKE CITY, COLUMBIA COUNTY, FLORIDA
SECTION 13 TOWNSHIP 05 SOUTH, RANGE 17 EAST



LOCATION MAP
NOT TO SCALE

OWNER:

SCOTT & KAY GOVE
10191 SE CR 245
LAKE CITY, FL 32025
352.665.0553
sagov7@gmail.com

CIVIL ENGINEER:

CAROL CHADWICK, P.E.
1208 S.W. FAIRFAX GLEN
LAKE CITY, FL 32025
307.680.1772
ccpewyo@gmail.com

SURVEYOR:

BRITT SURVEY & MAPPING, LLC
1438 SW MAIN BLVD.
LAKE CITY, FLORIDA 32025
386.752.7163

NOTES

1. SITE PARCEL: 13-55-17-09227-007
2. ZONING: A-3
3. FLU: A-3
4. SITE ADDRESS: 10191 SE COUNTY ROAD 245, LAKE CITY, FL
5. SITE SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE, SEVENTH EDITION
6. SITE SHALL COMPLY WITH THE FLORIDA BUILDING CODE 7TH EDITION (2020) ACCESSIBILITY
7. SEPARATE PERMITS ARE REQUIRED FOR CONSTRUCTION, SIGNS, RETAINING WALLS, ENTRY WALL FEATURES, SITE LIGHTING, GENERATORS, FENCES, AWNINGS, GREASE TRAPS, ETC.

SHEET INDEX

- | | |
|---|--------------------------------|
| 1 | COVER SHEET |
| 2 | NOTES & LEGEND |
| 3 | SITE, DIMENSION & UTILITY PLAN |

Digitally signed
by Carol
Chadwick
DN: c=US,
o=Florida,
dnQualifier=A01
410D0000017E86
D924CE0005954
C, cn=Carol
Chadwick
Date: 2023.03.13
10:40:27 -04'00'

ENGINEER OF RECORD: CAROL CHADWICK, P.E.
P.E. NO.: 82560

Printed copies of this document are not considered signed and
sealed and the signature must be verified on any electronic copies.



CAROL CHADWICK, P.E. No. 82560 FLORIDA PROFESSIONAL ENGINEER EXPIRATION DATE: 12/31/2026	
REVIEWED FOR: SCOTT & KAY GOVE 10191 SE CR 245 LAKE CITY, FL 32025 352.665.0553 sagov7@gmail.com	
RED ROOSTER RV PARK COVER SHEET	
DATE: MAR 13, 2023	SHEET 1 OF 3

PROPOSED LINETYPES, SYMBOLS, AND HATCH PATTERNS

— SA —	SANITARY SEWER MAIN	CA	CABLE TV RISER	SW	STORM SEWER MANHOLE
— SS —	SANITARY SEWER SERVICE	T	TELEPHONE RISER	Grated	GRATED STORM INLET
— W —	WATER MAIN	W	WATER METER PIT	Storm	STORM INLET
— WS —	WATER SERVICE	Fire	FIRE HYDRANT	SA	SANITARY SEWER MANHOLE
— SW —	STORM SEWER	Gate	GATE VALVE	CO	CLEAN OUT
— OP —	OVERHEAD POWER	CS	CURB STOP	(G)	GAS VALVE
— UP —	UNDERGROUND POWER	1 1/4"	1 1/4" BEND	G	GAS METER
— GAS —	GAS LINE	22 1/2"	22 1/2" BEND	Street	STREET LIGHT
— T —	PHONE LINE	45°	45° BEND	Anchor	GUY WIRE ANCHOR
— FO —	FIBER OPTIC	Cap	CAP (END OF LINE PLUG)	No	POWER POLE
— CA —	CABLE TV	Coupler	COUPLER	Transformer	TRANSFORMER SINGLE PHASE
— - - -	PROPERTY LINE	Cross	CROSS	Transformer	TRANSFORMER 3 PHASE
9	STRIPING	Deflection	DEFLECTION COUPLER	Vault	ELECTRICAL VAULT
— - - -	BUILDING SETBACK LINE	Tee	TEE	E	ELECTRICAL METER
— - - -	EASEMENT LINE	Reducer	REDUCER	F	FIBER OPTIC PEDISTAL
—	SIDEWALK	Hook	SEWER HOOK-UP	Optic	FIBER OPTIC VAULT
— SF —	SILT FENCE	Water	WATER HOOK-UP	Head	SPRINKLER HEAD
Proposed	PROPOSED STRUCTURE	Electric	ELECTRIC HOOK-UP	Control	IRRIGATION CONTROL
Proposed Concrete	PROPOSED CONCRETE	FM	SEWER FORCE MAIN	Tree	CONIFEROUS TREE
Proposed Asphalt	PROPOSED ASPHALT	TB	TOP OF BANK	Deciduous	DECIDUOUS TREE
Proposed Gravel Surface	PROPOSED GRAVEL SURFACE	LS	LIFT STATION	Bush	BUSH
Grass	GRASS			Pole	1 POLE SIGN

1. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL COMPLY WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
2. THE CONTRACTOR SHALL ADHERE TO THE FLORIDA DEPARTMENT OF TRANSPORTATION, WATER MANAGEMENT DISTRICT, COLUMBIA COUNTY AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS.
3. THE CONTRACTOR SHALL ADJUST AND REVISE CONTROL MEASURES SHOWN ON THESE PLANS TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
6. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
7. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT FROM LEAVING PROJECT LIMITS.
8. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
9. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
10. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
11. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
12. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF HAY BALES OR SODDING.
13. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
14. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
15. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
16. EXCESS DIRT SHALL BE REMOVED DAILY.
17. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS.
18. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES, THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.25 INCHES OR GREATER.
19. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO CONSTRUCTION TO ENSURE THAT ALL WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SAID DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. ALL DISTURBED AREAS SHALL BE SEEDDED WITH A MIXTURE OF LONG-TERM VEGETATION AND SHORT-TERM VEGETATION. THE LONG-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 70 POUNDS PER ACRE. THE SHORT-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 20 POUNDS PER ACRE AND SHALL CONSIST OF WINTER RYE FROM SEPTEMBER THROUGH MARCH OR MILLET FROM APRIL THROUGH AUGUST.
3. THE PERMITTEE/CONTRACTOR SHALL INSTITUTE NECESSARY MEASURES DURING CONSTRUCTION TO MINIMIZE EROSION, TURBIDITY, NUTRIENT LOADING, AND SEDIMENTATION TO ADJACENT LANDS AND IN THE RECEIVING WATER.
4. ALL GRADES MAY BE ADJUSTED IN THE FIELD A MAXIMUM OF SIX (6) INCHES AS LONG AS THE FLOW OF WATER IS NOT CHANGED.
5. WHERE DITCH MUST BE DEEPER THAN NORMAL TO ACCOMMODATE A PIPE, THE TRANSITION FROM NORMAL DITCH GRADE TO PIPE FLOW LINE SHALL BE A MINIMUM LENGTH OF 100 FEET.
6. THE CONTRACTOR SHALL ADHERE TO THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION UNTIL THE AS-BUILTS ARE COMPLETED.
7. QUANTITIES ARE ESTIMATES ONLY. CONTRACTOR SHALL VERIFY QUALITIES PRIOR TO BID AND CONSTRUCTION.
8. NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL AND OTHER DELETERIOUS MATERIAL.

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE GOVERNING AGENCIES.

THE CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, HE/SHE WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

DEVELOPMENT INFORMATION			
CONSTRUCTION OF A NEW CAMPGROUND WITH 6 SPACES USING A WELL, SPETIC SYSTEM AND GRASS DRIVES			
PARCEL NUMBER	13-55-17-09227-007		
ZONING	A-3		
LAND USE	A-3		
ADDRESS	10191 SE COUNTY ROAD 245, LAKE CITY, FL		
PROPERTY AREA	SQUARE FEET	ACRES	% OF SITE
PARCEL AREA	218236	5.01	100
ON-SITE DISTURBANCE AREA	65565	1.51	30.04
OFF-SITE DISTURBANCE AREA	0	0.00	-
TOTAL DISTURBANCE AREA	65565	1.51	30.04
PROPOSED IMPERVIOUS AREA			
BUILDING	0	0.00	0.00
CONCRETE	0	0.00	0.00
TOTAL IMPERVIOUS AREA	0	0.00	0.00
BUFFER			
REQUIRED	PER SECTION 4.2.13, COLUMBIA COUNTY L.D.R. BUFFER SHALL BE 30' ALONG THE AFFECTED REAR AND/OR SIDE YARDS		
PROPOSED AREA	EXISTING TREES WILL BE SUPPLEMENTED TO ACHIEVE 80% OPACITY		
LANDSCAPING			
REQUIRED	PER SECTION 4.2.17.10, COLUMBIA COUNTY L.D.R. LANDSCAPING: 10% OF OFF-STREET PARKING 1 TREE PER 200 SF OF LANDSCAPING		
PROPOSED AREA	EXISTING TREES WILL BE SUPPLEMENTED TO ACHIEVE 80% OPACITY ALONG PROPERTY LINE ADJACENT TO ALL UNCOMPLIMENTARY USES		
PARKING			
REQUIRED SPACES	1 PARKING SPACE PER CAMP SITE		
PROPOSED SPACES	6 RV SPACES		

NOTE: ALL UTILITY PROVIDERS
MUST BE CONTACTED PRIOR
TO DIGGING IN ACCORDANCE
TO CHAPTER 556 "SUNSHINE
STATE ONE CALL"
CALL 811 48 HOURS PRIOR
TO DIGGING

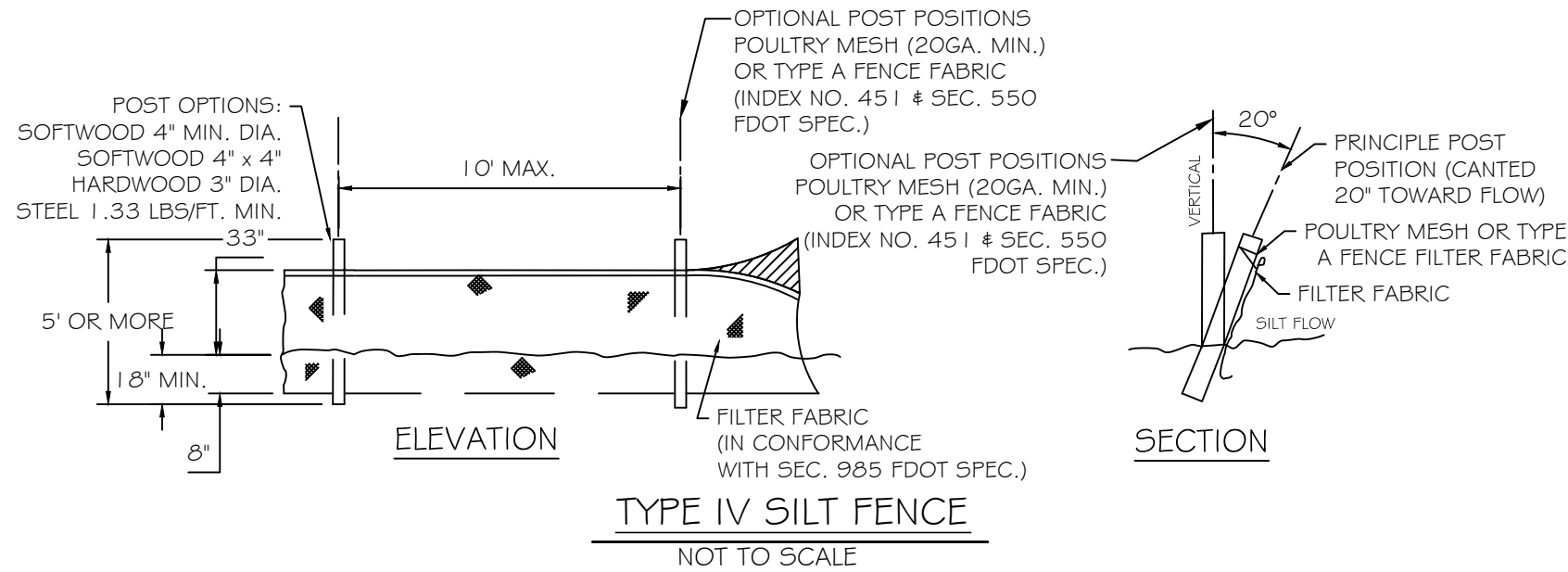
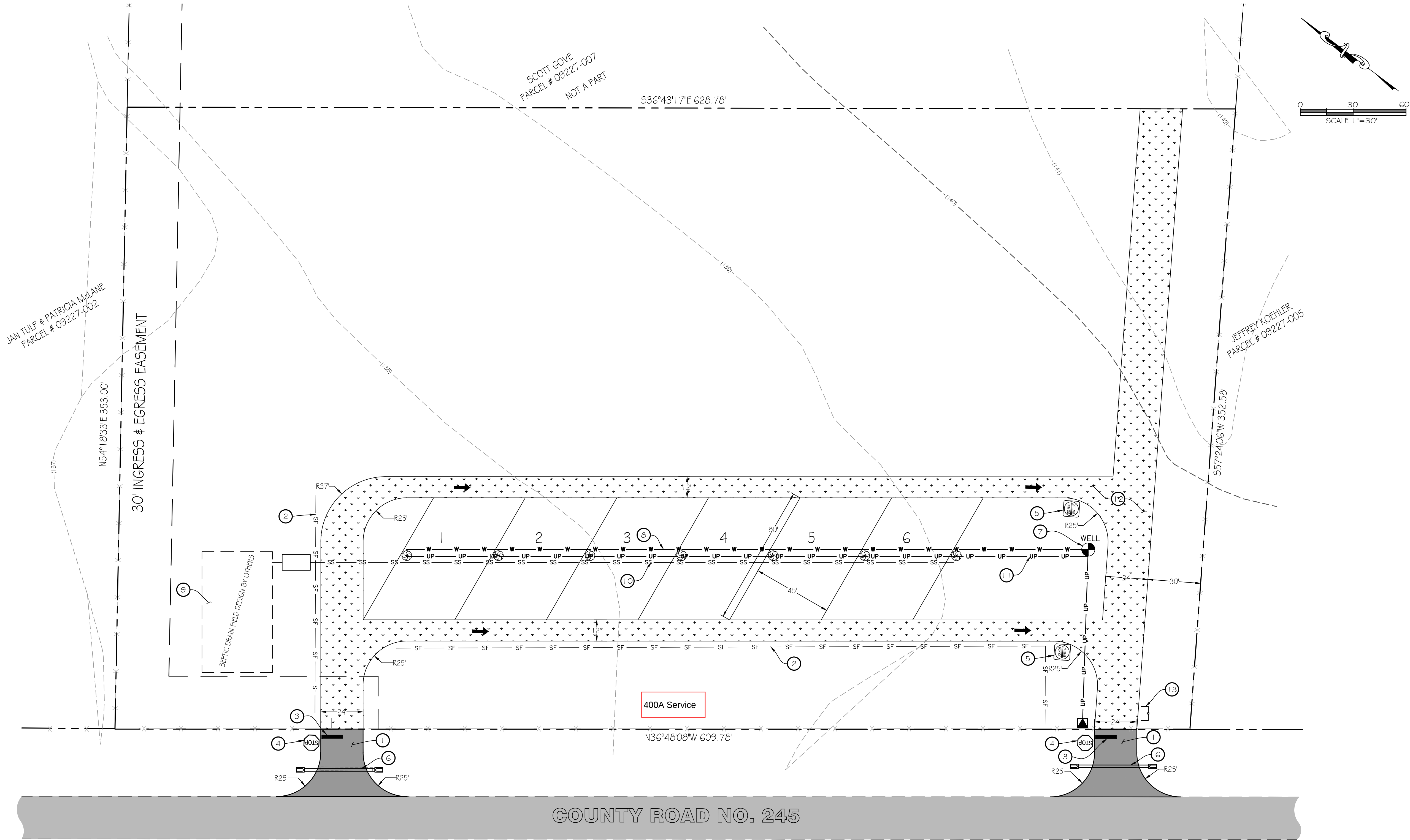


Digitally signed by
Carol Chadwick
DN: c=US,
o=Florida,
dnQualifier=A0141
0D0000017EB6D92
4CE0005954C,
cn=Carol Chadwick
Date: 2023.03.13
10:40:51 -04'00'

Printed copies of this document are not considered signed and
 valid, and the signature must be rendered on any electronic copy.

[illegible]

C:\COURT\12408\12408_PLEASSED ROOSTER RV PARK\1221_1620\DWG\12408_PLEASSED SITE 4.DWG, 3/13/2023 10:34:08 AM

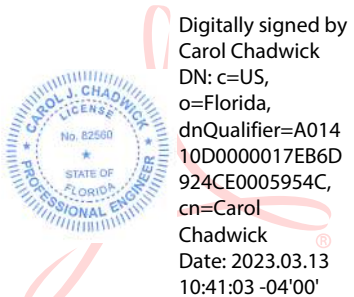


CONSTRUCTION NOTES & ESTIMATED QUANTITIES

1	1.25" PAVEMENT OVER 8 LIMEROCK BASE	2376 S.F.
2	SILT FENCE PER DETAIL ON SHEET 3	536 L.F.
3	24" WHITE STOP BAR	2 EA.
4	36" "STOP" SIGN PER MUTCD R1-1	2 EA.
5	"DO NOT ENTER" SIGN	2 EA.
6	18" CULVERT WITH MITERED END SECTIONS	80 L.F.
7	PROPOSED WELL BY OTHERS	1 EA.
8	WATER SERVICE	386 L.F.
9	SEPTIC SYSTEM BY OTHERS	1 EA.
10	6" SEWER SERVICE WITH CLEANOUT AT EACH SITE	365 L.F.
11	ELECTRIC SERVICE: COORDINATE WITH SERVICE PROVIDER	1 EA.
12	GRASS DRIVEWAYS	22331 L.F.
13	4' WOOD FENCE FOR ROLL-OUT TRASH RECEPTILES	16 L.F.

NOTES

1. SIGN PER SEPARATE PERMIT



REVISIONS

NO.	DATE	DESCRIPTION
1	03/13/2023	ISSUED FOR PERMIT

REVIEWED FOR:
SCOTT & KAY GOVE
1000000017E86D
352.665.0553
sagov7@gmail.com

CAROL CHADWICK, P.E.
Professional Engineer
No. 12300
State of Florida
Civil
03/13/2023

RED ROOSTER RV PARK
SITE, DIMENSION & UTILITY PLAN
SHEET 3 OF 3