

DATE 04/04/2007

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000025693

APPLICANT BECKY DUGAN PHONE 752-8653
ADDRESS P.O. BOX 815 LAKE CITY FL 32056
OWNER DR. EDUARDO BEDOYA PHONE 755-7595
ADDRESS 876 SW SR 247 LAKE CITY FL 32025
CONTRACTOR BRYAN ZECHER PHONE 752-8653
LOCATION OF PROPERTY 90W, TL ON 247S, 1/2 MILE PAST BASCOM NORRIS ON RIGHT

TYPE DEVELOPMENT COMM. BUILDING ESTIMATED COST OF CONSTRUCTION 416000.00
HEATED FLOOR AREA TOTAL AREA 4263.00 HEIGHT 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB
LAND USE & ZONING CI MAX. HEIGHT 14
Minimum Set Back Requirments: STREET-FRONT 20.00 REAR 15.00 SIDE 5.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 01-4S-16-02692-002 SUBDIVISION
LOT BLOCK PHASE UNIT TOTAL ACRES 1089.00

CBC054575
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
FDOT 07-0188-N BK JH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: SDP 06-10, ENG. REQUIRES 1ST FLOOR TOBE AT 155', ELEVATION
LETTER REQUIRED BEFORE SLAB, NOC ON FILE

Check # or Cash 25275

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 2,080.00 CERTIFICATION FEE \$ 21.32 SURCHARGE FEE \$ 21.32
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE \$ 2,197.64
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 0703-64 Date Received 3/23 By JW Permit # 25693
 Application Approved by - Zoning Official BLK Date 27.03.07 Plans Examiner DKJH Date 4-3-07
 Flood Zone X CMA Development Permit N/A Zoning CI Land Use Plan Map Category COMMERCIAL
 Comments SPD 06-10 Eng. Requires 1st Floor to be at 155.0 ft Elevation - Letter Required
☐ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☒ State Road Info ☐ Parent Parcel # N/A Development Permit

Name Authorized Person Signing Permit Bryan Zacher / Becky Dugan Fax 758-8920
 Address P.O. Box 815, Lake City, FL 32056 Phone 752-8653
 Owners Name Dr. Eduardo Bedoya Phone 755-7595
 911 Address 876 SW SR 247, Lake City, FL 32025
 Contractors Name Bryan Zacher Construction Phone 752-8653
 Address P.O. Box 815, Lake City, FL 32056
 Fee Simple Owner Name & Address _____
 Bonding Co. Name & Address _____

Architect/Engineer Name & Address Freeman Design Group, Lake City
 Mortgage Lenders Name & Address Mercantile Bank, Lake City

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy
 Property ID Number 01-45-16-02692-002 Estimated Cost of Construction 416,000.00
 Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____
 Driving Directions From US Hwy 90, take SR 247 South. Job is on the Right about 1/2 mile past light at Bascom Norris.

Type of Construction Comm. Building Number of Existing Dwellings on Property 0
 Total Acreage 1.089 Lot Size _____ Do you need a Culvert Permit or Culvert Waiver or Have an Existing Drive
 Actual Distance of Structure from Property Lines - Front 74' Side 44' Side 44' Rear 108'
 Total Building Height 14' 4 9/16" Number of Stories 1 Heated Floor Area 4263 Roof Pitch 9/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Authorized Person by Notarized Letter

STATE OF FLORIDA
 COUNTY OF COLUMBIA

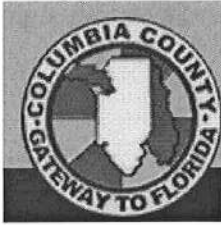
Sworn to (or affirmed) and subscribed before me
 this 21st day of March 20 07.
 Personally known ☒ or Produced Identification _____



Contractor Signature _____
 Contractors License Number CC054575
 Competency Card Number _____
 NOTARY STAMP/SEAL
 MY COMMISSION #DD452939
 EXPIRES: JUL 20, 2009
 Bonded through 1st State Insurance

Notary Signature _____

(Revised Sept)



From: The Columbia County Building & Zoning Department
Plan Review
135 NE Hernando Av.
P.O. Box 1529
Lake City Florida 32056-1529

Reference to a building permit application Number: **0703-64**
Contractor Bryan Zecher Construction, Owner Dr. Edward Bedoya Property ID#
01-4s-16-02692-002

On the date of March 26, 2007 application 0703-64 and plans for construction of group B occupancy (doctor office) building were reviewed and the following information or alteration to the plans will be required to continue processing this application. If you should have any question please contact the above address, or contact phone number (386) 758-1163 or fax any information to (386) 754-7088.

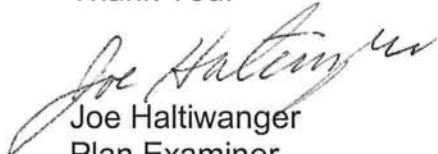
Please include application number 0703-64 and when making reference to this application.

This is a plan review for compliance with the Florida Building Codes 2004 only and doesn't make any consideration toward the land use and zoning requirements.

1. Show the method which will be used established draftstopping in attics and concealed roof spaces as required by section 717.4.3 of the building code. 717.4.3 Other groups. Draftstopping shall be installed in attics and concealed roof spaces, such that any horizontal area does not exceed 3,000 square feet (279 m2).

2. Section 106.3.5 of the Florida Building Code 2004 minimum plan review for commercial buildings requires soil conditions analysis be preformed. Therefore please follow the prescribed testing methods of chapter 18 to reveal the soil load bearing capacities. Please have a registered professional conduct subsurface explorations at the project site upon which foundations are to be constructed, a sufficient number (not less than four, one boring on each corner of the building foundation) borings shall be made to a depth of not less than 10 feet (3048 mm) below the level of the foundations to provide assurance of the soundness of the foundation bed and its load-bearing capacity.
3. Please submit the required forms of chapter 13, to meet the requirements of Florida Energy Efficiency Code for Building Construction.
4. A review of these plans for compliance with the life safety code will be preformed by the Columbia County Fire Department on March 29, 2007.

Thank You:


Joe Haltiwanger
Plan Examiner
Columbia County Building
Department



**SUWANNEE
RIVER
WATER
MANAGEMENT
DISTRICT**

9225 CR 49
LIVE OAK, FLORIDA 32060
TELEPHONE: (386) 362-1001
TELEPHONE: 800-226-1066
FAX (386) 362-1056

GENERAL PERMIT

PERMITTEE:

EYE CENTER OF N. FLORIDA/STATE FARM
INSURANCE
904 SW SR 247
LAKE CITY, FL 32025

PERMIT NUMBER: ERP06-0419

DATE ISSUED: 12/08/2006

DATE EXPIRES: 12/08/2009

COUNTY: COLUMBIA

TRS: S1/T4S/R16E

PROJECT: EYE CENTER OF N. FLORIDA / STATE FARM INSURANCE

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

EDUARDO BEDOYA & JOHN KASAK
EYE CENTER OF N. FLORIDA/STATE FARM INSURANCE
904 SW SR 247
LAKE CITY, FL 32025

Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource general permit is in effect for the permitted activity description below:

Construction and operation of a surfacewater management system serving 0.87 acres of impervious surface on a total project area of 2.10 acres in a manner consistent with the application package submitted by William Freeman, P. E., of Freeman Design Group Inc., certified on November 13, 2006.

It is your responsibility to ensure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing or mediation. Please refer to enclosed notice of rights.

This permit is issued under the provisions of chapter 373, F.S., chapter 40B-4, and chapter 40B-400,

F.A.C. A general permit authorizes the construction, operation, maintenance, alteration, abandonment, or removal of certain minor surface water management systems. This permit authorizes the permittee to perform the work necessary to construct, operate, and maintain the surface water management system shown on the application and other documents included in the application. This is to notify you of District's agency action concerning Notice Of Intent. This action is taken pursuant to rule 40B-4 and 40B-400, F.A.C.

Standard Conditions for All General Permits:

1. The permittee shall perform all construction authorized in a manner so as to minimize adverse impacts to fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during construction including riprap, reinforcement, or compaction of any fill materials placed around newly installed structures, to minimize erosion, turbidity, nutrient loading, and sedimentation in the receiving waters.
2. Water quality data representative of the water discharged from the permitted system, including, but not limited to, the parameters in chapter 62-302, F.A.C., shall be submitted to the District as required. If water quality data are required, the permittee shall provide data as required on the volume and rate of discharge including the total volume discharged during the sampling period. All water quality data shall be in accordance with and reference the specific method of analysis in "Standard Methods for the Examination of Water and Wastewater" by the American Public Health Association or "Methods for Chemical Analysis of Water and Wastes" by the U.S. Environmental Protection Agency.
3. The operational and maintenance phase of an environmental resource permit will not become effective until the owner or his authorized agent certifies that all facilities have been constructed in accordance with the design permitted by the District. If required by the District, such as-built certification shall be made by an engineer or surveyor. Within 30 days after the completion of construction of the system, the permittee shall notify the District that the facilities are complete. If appropriate, the permittee shall request transfer of the permit to the responsible entity approved by the District for operation and maintenance. The District may inspect the system and, as necessary, require remedial measures as a condition of transfer of the permit or release for operation and maintenance of the system.
4. Off-site discharges during and after construction shall be made only through the facilities authorized by the permit. Water discharged from the project shall be through structures suitable for regulating upstream stage if so required by the District. Such discharges may be subject to operating schedules established by the District.
5. The permit does not convey to the permittee any property right nor any rights or privileges other

than those specified in the permit and chapter 40B-1, F.A.C.

6. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance, alteration, abandonment, or development in a Works of the District which is authorized by the permit.
7. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.
8. It is the responsibility of the permittee to obtain all other clearances, permits, or authorizations required by any unit of local, state, or federal government.
9. The surfacewater management system shall be constructed prior to or concurrent with the development that the system is intended to serve and the system shall be completed within 30 days of substantial completion of the development which the system is intended to serve.
10. Except for General Permits After Notice or permits issued to a unit of government, or unless a different schedule is specified in the permit, the system shall be inspected at least once every third year after transfer of a permit to operation and maintenance by the permittee or his agent to ascertain that the system is being operated and maintained in a manner consistent with the permit. A report of inspection is to be sent to the District within 30 days of the inspection date. If required by chapter 471, F.S., such inspection and report shall be made by an engineer.
11. The permittee shall allow reasonable access to District personnel or agents for the purpose of inspecting the system to insure compliance with the permit. The permittee shall allow the District, at its expense, to install equipment or devices to monitor performance of the system authorized by their permit.
12. The surfacewater management system shall be operated and maintained in a manner which is consistent with the conditions of the permit and chapter 40B-4.2040, F.A.C.
13. The permittee is responsible for the perpetual operation and maintenance of the system unless the operation and maintenance is transferred pursuant to chapter 40B-4.1130, F.A.C., or the permit is modified to authorize a new operation and maintenance entity pursuant to chapter 40B-4.1110, F.A.C.
14. All activities shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for

undertaking that activity shall constitute a violation of this permit.

15. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications, shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.

16. Activities approved by this permit shall be conducted in a manner which do not cause violations of state water quality standards.

17. Prior to and during construction, the permittee shall implement and maintain all erosion and sediment control measures (best management practices) required to retain sediment on-site and to prevent violations of state water quality standards. All practices must be in accordance with the guidelines and specifications in the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual unless a project specific erosion and sediment control plan is approved as part of the permit, in which case the practices must be in accordance with the plan. If site-specific conditions require additional measures during any phase of construction or operation to prevent erosion or control sediment, beyond those specified in the erosion and sediment control plan, the permittee shall implement additional best management practices as necessary, in accordance with the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.

18. Stabilization measures shall be initiated for erosion and sediment control on disturbed areas as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than seven days after the construction activity in that portion of the site has temporarily or permanently ceased.

19. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District a Construction Commencement Notice Form No. 40B-1.901(14) indicating the actual start date and the expected completion date.

20. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an Annual Status Report Form No. 40B-1.901(15). These forms shall be submitted during June of each following year.

21. For those systems which will be operated or maintained by an entity requiring an easement or deed restriction in order to provide that entity with the authority necessary to operate or maintain the system, such easement or deed restriction, together with any other final operation or maintenance documents as are required by Paragraph 40B-4.2030(2)(g), F.A.C., and Rule 40B-4.2035, F.A.C.,

must be submitted to the District for approval. Documents meeting the requirements set forth in these subsections of District rules will be approved. Deed restrictions, easements and other operation and maintenance documents which require recordation either with the Secretary of State or Clerk of the Circuit Court must be so recorded prior to lot or unit sales within the project served by the system, or upon completion of construction of the system, whichever occurs first. For those systems which are proposed to be maintained by county or municipal entities, final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local governmental entity. Failure to submit the appropriate final documents referenced in this paragraph will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system.

22. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of that phase or portion of the system to a local government or other responsible entity.

23. Within 30 days after completion of construction of the permitted system, or independent portion of the system, the permittee shall submit a written statement of completion and certification by a registered professional engineer or other appropriate individual as authorized by law, using the supplied As-Built Certification Form No. 40B-1.901(16) incorporated by reference in Subsection 40B-1.901(16), F.A.C. When the completed system differs substantially from the permitted plans, any substantial deviations shall be noted and explained and two copies of as-built drawings submitted to the District. Submittal of the completed form shall serve to notify the District that the system is ready for inspection. The statement of completion and certification shall be based on on-site observation of construction (conducted by the registered professional engineer, or other appropriate individual as authorized by law, or under his or her direct supervision) or review of as-built drawings for the purpose of determining if the work was completed in compliance with approved plans and specifications. As-built drawings shall be the permitted drawings revised to reflect any changes made during construction. Both the original and any revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawing. All surveyed dimensions and elevations shall be certified by a registered surveyor. The following information, at a minimum, shall be verified on the as-built drawings:

- a. Dimensions and elevations of all discharge structures including all weirs, slots, gates, pumps, pipes, and oil and grease skimmers;
- b. Locations, dimensions, and elevations of all filter, exfiltration, or underdrain systems including cleanouts, pipes, connections to control structures, and points of discharge to the receiving waters;

- c. Dimensions, elevations, contours, or cross-sections of all treatment storage areas sufficient to determine stage-storage relationships of the storage area and the permanent pool depth and volume below the control elevation for normally wet systems, when appropriate;
- d. Dimensions, elevations, contours, final grades, or cross-sections of the system to determine flow directions and conveyance of runoff to the treatment system;
- e. Dimensions, elevations, contours, final grades, or cross-sections of all conveyance systems utilized to convey off-site runoff around the system;
- f. Existing water elevation(s) and the date determined; and
- g. Elevation and location of benchmark(s) for the survey.

24. The operation phase of this permit shall not become effective until the permittee has complied with the requirements of the condition in paragraph 23 above, the District determines the system to be in compliance with the permitted plans, and the entity approved by the District in accordance with Rule 40B-4.2035, F.A.C., accepts responsibility for operation and maintenance of the system. The permit may not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall request transfer of the permit to the approved responsible operation and maintenance operating entity if different from the permittee. Until the permit is transferred pursuant to Rule 40B-4.1130, F.A.C., the permittee shall be liable for compliance with the terms of the permit.

25. Should any other regulatory agency require changes to the permitted system, the permittee shall provide written notification to the District of the changes prior to implementation so that a determination can be made whether a permit modification is required.

26. This permit does not eliminate the necessity to obtain any required federal, state, local and special District authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and in this chapter and Chapter 40B-4, F.A.C.

27. The permittee is hereby advised that Section 253.77, F.S., states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent

authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.

28. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered specifically approved unless a specific condition of this permit or a formal determination under 40B-400.046, F.A.C., provides otherwise.

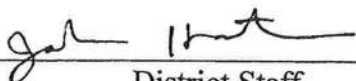
29. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of the permitted system or the real property at which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rule 40B-4.1130, F.A.C. The permittee transferring the permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to such sale, conveyance or other transfer.

30. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the District.

31. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

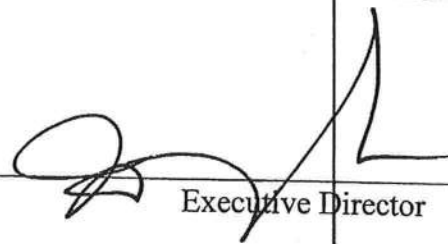
Approved by



District Staff

Date Approved

12-8-06


Clerk
Executive Director

NOTICE OF RIGHTS

1. A person whose substantial interests are or may be determined has the right to request an administrative hearing by filing a written petition with the Suwannee River Water Management District (District), or may choose to pursue mediation as an alternative remedy under Section 120.569 and 120.573, Florida Statutes, before the deadline for filing a petition. Choosing mediation will not adversely affect the right to a hearing if mediation does not result in a settlement. The procedures for pursuing mediation are set forth in Sections 120.569 and 120.57 Florida Statutes. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). A petition must comply with Chapter 28-106, Florida Administrative Code.
2. If the Governing Board takes action which substantially differs from the notice of District decision to grant or deny the permit application, a person whose substantial interests are or may be determined has the right to request an administrative hearing or may chose to pursue mediation as an alternative remedy as described above. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). Such a petition must comply with Chapter 28-106, Florida Administrative Code.
3. A substantially interested person has the right to a formal administrative hearing pursuant to Section 120.569 and 120.57(1), Florida Statutes, where there is a dispute between the District and the party regarding an issue of material fact. A petition for formal hearing must comply with the requirements set forth in Rule 28-106.201, Florida Administrative Code.
4. A substantially interested person has the right to an informal hearing pursuant to Section 120.569 and 120.57(2), Florida Statutes, where no material facts are in dispute. A petition for an informal hearing must comply with the requirements set forth in Rule 28-106.301, Florida Administrative Code.
5. A petition for an administrative hearing is deemed filed upon receipt of the petition by the Office of the District Clerk at the District Headquarters in Live Oak, Florida.
6. Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing pursuant to Rule 28-106.111, Florida Administrative Code.

7. The right to an administrative hearing and the relevant procedures to be followed is governed by Chapter 120, Florida Statutes, and Chapter 28-106, Florida Administrative Code.

8. Pursuant to Section 120.68, Florida Statutes, a person who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to the Florida Rules of Appellate Procedure, within 30 days of the rendering of the final District action.

9. A party to the proceeding before the District who claims that a District order is inconsistent with the provisions and purposes of Chapter 373, Florida Statutes, may seek review of the order pursuant to Section 373.114, Florida Statutes, by the Florida Land and Water Adjudicatory Commission, by filing a request for review with the Commission and serving a copy of the Department of Environmental Protection and any person named in the order within 20 days of adoption of a rule or the rendering of the District order.

10. For appeals to the District Courts of Appeal, a District action is considered rendered after it is signed on behalf of the District, and is filed by the District Clerk.

11. Failure to observe the relevant time frames for filing a petition for judicial review, or for Commission review, will result in waiver of the right to review.

CERTIFICATE OF SERVICE

I hereby certify that a copy of the foregoing Notice of Rights has been sent by U.S. Mail to:

EYE CENTER OF N. FLORIDA/STATE FARM INSURANCE
904 SW SR 247
LAKE CITY, FL 32025

At 4:00 p.m. this 8th day of Dec., 2006



Jon M. Dinges
Deputy Clerk
Suwannee River Water Management District
9225 C.R. 49

Permit No.: ERP06-0419

Project: EYE CENTER OF N. FLORIDA / STATE FARM INSURANCE

Page 10 of 10

Live Oak, Florida 32060

386.362.1001 or 800.226.1066 (Florida only)

cc: File Number: ERP06-0419

COMM AT INTERS OF EAST LINE OF
SMT/4 OF NW1/4 & N R/W OF S R
247, RUN SW ALONG R/W 1249.30
FT FOR POB, CONT SW 173 FT, NW

01-45-16-02692-002

Columbia County 2007 R

PRINTED 2/01/2007 9:49
APPD 6/03/2005 LC

CARD 001 of 001
BY JEFF

BUSE AE?

MOD BATH HTD AREA .000 INDEX 1416.00 DIST 2 PUSE 001000 VACANT COMMERCI

EXW FIRT EFF AREA 15.506 E-RATE .000 INDY STR 1-45-16E

RSTR RMS BDRM RCN %GOOD BLDG VAL EYB MKT AREA 06

RCVR UNITS C-W% HGT PMTR STYS ECON FUNC SPCD DEPR

INTW % LOC: FIELD CK: BLDG TRAVERSE

FLOP % AC NTCD APPR CD 1.089 94,960 LAND 0 AG

HTTP % CNDO SUBD BLK LOT MAP# 94,960 JUST 0 MKAG

A/C TXDT 002 0 SOHD 0 ASSD 0 EXPT 0 COTXBL

QUAL FNDN SIZE CEIL ARCH FRME KTCH WINDO CLAS

OCC COND SUB A-AREA % E-AREA % SUB VALUE

PERMITS AMT ISSUED

NUMBER DESC

BOOK PAGE DATE SALE

1108 659 1/12/2007 Q V PRICE 135000

GRANTOR BEDOYA & CURREA

GRANTEE A&A LLC

1108 657 1/12/2007 U V 100

GRANTOR CURREA

GRANTEE BEDOYA & CURREA

ADJUSTMENTS

1.00 1.00 1.00 1.00

47480.000 SF

PRICE 2.000

ADJ UT PR

SPCD %

%GOOD

XFOB VALUE

LAND VALUE

94,960

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Prepared by and return to:
 GUY W. NORRIS, ATTORNEY AT LAW
 NORRIS & FOREMAN, P.A.
 P. O. DRAWER 2349
 LAKE CITY, FL 32056-2349

GWN:dac
 2/21/07

STATE OF FLORIDA, COUNTY OF COLUMBIA
 I HEREBY CERTIFY that the above and foregoing
 is a true copy of the original filed in this office
 P. DeWITT CASON, CLERK OF COURTS

By [Signature]
 Deputy Clerk

Date 03-01-2007



Permit No. _____

Tax Folio No. 01-4S-16-02692-002

NOTICE OF COMMENCEMENT

STATE OF FLORIDA
 COUNTY OF COLUMBIA

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Section 713, Florida Statutes, the following information is provided in this Notice of Commencement:

1. Description of Property: See Exhibit A attached hereto and made a part hereof.
2. General description of Improvement: Medical Office Building
3. Owner information:
 - a. Name and address: A & A, L.L.C., a Florida limited liability company, 4206 NW Wisteria Drive, Lake City, FL 32055.
 - b. Interest in property: Fee Simple.
 - c. Name and address of fee simple title holder (if other than owner): _____
4.
 - a. Contractor: Bryan Zecher Construction, Inc., P. O. Box 815, Lake City, FL 32056.
 - b. Contractor's phone number: (386) 752-8653.
5. Surety:
 - a. Name and address: _____
 - b. Phone number: _____
 - c. Amount of bond: \$ _____
6.
 - a. Lender: Mercantile Bank, 187 SW Baya Drive, Lake City, FL 32025.
 - b. Lender's phone number: (386) 752-5021.
7.
 - a. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes: _____
 - b. Phone numbers of designated persons: _____
8.
 - a. In addition to itself, Owner designates Guy W. Norris of Norris & Foreman, P.A., P. O. Drawer 2349, Lake City, Florida 32056-2349, to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.
 - b. Phone number of person or entity designated by Owner: (386) 752-7240.
9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified) _____

A & A, L.L.C.

By [Signature]
 EDUARDO M. BEDOYA, Managing Member
 By [Signature]
 CAROLINA CURREA, Managing Member

(SEAL)

The foregoing instrument was acknowledged before me this 28th day of February, 2007, by EDUARDO M. BEDOYA and CAROLINA CURREA, as Managing Members of A & A, L.L.C., A Florida limited liability company, each of whom is personally known to me or has produced FLA. DRIVER'S LICENSES as identification. Passport of Carolina Currea

Notary Public
 Sign [Signature]
 State of Florida at Large (Seal)
 My Commission Expires: _____



Exhibit A

COMMENCE AT THE INTERSECTION OF THE EAST LINE OF THE SW¼ OF THE NW¼ OF SECTION 1, TOWNSHIP 4 SOUTH, RANGE 16 EAST, AND THE NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD #247, AND RUN THENCE S 41°24'30" W, ALONG SAID RIGHT-OF-WAY, 1249.30 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S 41°24'30" W, 173.00 FEET; THENCE N 48°37'04" W, 275.12 FEET; THENCE N 41°25'00" E, 172.82 FEET; THENCE S 48°39'19" E, 275.10 FEET TO THE POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA. CONTAINING 1.09 ACRES, MORE OR LESS.



Florida Department of Transportation

JEB BUSH
GOVERNOR

605 Suwannee Street
Tallahassee, FL 32399-0450

DENVER STRUTLER, JR. SECRETARY

FDOT - Lake City Maintenance
Permits Department
Post Office Box 1415
Lake City, FL 32056-1415

Date: 9-28-06

Freeman Design Group, Inc.
Mr. William (Bill) Freeman, P. E.
161 NW Madison Street, Suite No. 102
Lake City, FL 32025

RE: Approved FDOT Commercial Access Connection Permits

Project Name: John W. Burns/John A. Kasak & Carolina Currea Joint Use Driveway Connection
Permittee: See Above
Access Permit No: Access 2006-A-292-56
State Highway No: 247, Branford Hwy.
Permit Category: B /State Section No: 29090 / State Mile Post: 11.358 + -

Mr. Freeman:

This letter shall acknowledge your request on behalf of your clients, Mr. John W Burns, Mr. John A. Kasak and Ms. Carolina Currea (current landowners) in making proposed Access & Roadway Improvements to State Highway No. 247 in Columbia County, Florida. Your client is hereby granted permission by State Access Permit to make the following described improvements for the permitted development.

SPECIAL INFORMATION AS TO CONSTRUCTION TIME LIMIT

Per FDOT Access Management Law, this permit is valid for one year from the date of approval, however, once the permittee legally activates this permit with the Lake City Maintenance, Permits Office the permittee shall only have 30 continuous work days (not including weekends and legal state holidays) in which to complete the buildout of the new connection and have requested and received a passing inspection of same. Failure by the permittee to legally activate the approved access permit, obtain a mutually agreed to start date, conduct the required preconstruction meeting and construct the connection within the time frame referenced above shall automatically void the approved access permit. The permittee shall be held solely responsible for all work/construction conducted upon the State Right-of-way System under the provisions of this approved permit.

Page 2 of 5, Legal Permit Cover Letter

Access Connection Permits 2006-A-292-56

Project Name: John W. Burns/John A. Kasak & Carolina Currea Joint Use Access Connection
Permittee(s): John W. Burns/John A. Kasak & Carolina Currea, (Current Property Owner)

PERMITTED ACCESS IMPROVEMENTS

Proposed for new construction is a single new twenty-four foot wide commercial sidedrain piped access connection. The new connection shall be considered a full movement commercial access to the state highway the new connection ties too. The new driveway is to have two thirty-five foot wide turning radii constructed in conjunction with double four foot wide paved shoulders added throughout the full double 35 foot turning radii, all per the approved site plan.

Special Provision for Existing Paved Shoulders: If there are outside asphalt paved shoulder along the limits of the new permitted improvement area, they shall be completely **mechanically sawn** and removed within the limits of the turnout radii and through the proposed driveway width to provide for a smooth transition edge with the newly planned asphalt connection improvements planned.

Pavement Design calls for a twelve (12") Stabilized earth subgrade (tested for 98% density) and a minimum of eight (8") inches thick compacted limerock base materials (to be placed in two 4 inch lifts) with a finished asphalt surface course of a minimum of two (2") inches of compacted FC-12.5. This required twenty-four foot wide asphalt surfaced main entrance (and paved turning radii) shall all be built on a finished 0.02% slope (As measured from C/L of driveway Crown) with the new asphalt paved shoulders being constructed on a finished 0.06% grade slope. The new connection shall require a minimum of seventy-two (72') LF of 18 inch diameter round (or equivalent,) BCCMP. The new required sidedrain pipe must be placed in the ditch line 4 inches below existing flow grade. Note additional F Sections (see MES detail sheet attached) are required to be attached to each end of the pipe. These F Sections shall require MES Slope Cuts of 1:4 per FDOT Index 273. Both new sidedrain CMP shall be centered within the existing FDOT ditch line with the required MES cuts aligned straight up. Concrete Pads with Grass Sod are required Per Index 273, (See Attachment MES Detail.)

The new access connection shall also require minimum five foot wide or greater earthen stabilized shoulders on a maximum 1:4 slope. All sloped shoulders shall required to be stabilized throughout the full raised turn movements to the R/W Line within the full limits of the project with grass sod coverage over all areas between the edge-of-pavement and the State R/W Line. **Required Grass Sod shall on site and in place before paving can commence.**

SPECIFIC ACCESS PAVEMENT DESIGN

The new permitted access shall be constructed with a minimum twelve (12") inch depth Stabilized earth subgrade (LBR 40 required), 8 inches of compacted crushed FDOT Certified Limerock Base Material Course with a 0.1 gal./S.Y. Prime Coat and a minimum two (2") inch compacted finished asphalt surface course of FDOT Type FC-12.5. or FC 9.5. **A minimum three (3') foot wide earth grade shoulder on a maximum 0.02% grade must be constructed and maintained before the 1:4 front slope of the ditch can commence. This requirement must be maintained throughout both 35 foot turning radii of the new main entrance. Failure to construct and maintain this FDOT Roadway Safety requirement shall result in the suspension of the permit.**

Page 3 of 5, Legal Permit Cover Letter

Access Connection Permits 2006-A-292-56

Project Name: John W. Burns/John A. Kasak & Carolina Currea Joint Use Access Connection
Permittee(s): John W. Burns/John A. Kasak & Carolina Currea, (Current Property Owner)

Testing Requirements

All subgrade, base and or structural materials used shall require proof of passing density testing in accordance with those found in the most current FDOT Standard Specifications for Road & Bridge Construction Manual. A total of THREE (3) density tests shall be required. Each density test must achieve or exceed a minimum of 98% compaction density. All tests must be conducted by a FDOT certified density inspector and Testing Lab.

Proof of passing density shall be forwarded to the local FDOT Permits Inspector at Lake City Maintenance a minimum of 48 hours in advance of any planned concurrent paving commencement. The Permittee, his/her General Contractor shall contact the FDOT Permits Office for directions from FDOT Permits Office as to the location of these tests sites. **No paving can commence without proof of passing density tests. Failure on the Permittees' behalf to provide the necessary density tests results is reason to suspend the Permittee's FDOT issued permit or on-going construction upon FDOT R/W.**

Pavement Striping and Signage Requirements

The new asphalt connection finished surface course shall be striped with a single twenty-four inch wide white stop bar and a minimum of fifty (50') LF of double yellow, lane separation striping as shown on the approved plans. The two main 12 foot wide driveway travel lanes and their turn radii shall be separated from the proposed new asphalt paved five foot shoulders by the construction of six inch wide white separator striping. Per the approved permit and site plan, all required pavement striping shall be with a certified "Lead Free", Thermoplastic marking and striping material for those areas lying both on and off FDOT R/W that pertain to the approved permitted driveway attaching to SR-247. All new Thermoplastic Striping as well as aboveground signage shall conform to the State FDOT Indexes 17302, 17346 and /or 11860 for aboveground signs. **All thermoplastic marking materials shall be "Certified Lead Free" Materials.**

A single FDOT Series 600, 30 inch by 30 inch, R1-1 aboveground **STOP SIGN** is required. All aboveground signs proposed to be constructed upon FDOT Right-of way shall be constructed per approved site plan and per FDOT Index No. 17302, Sheet 1 of 1. All metal posts on FDOT shall be aluminum two inch or greater in diameter and set at a minimum height of 7 feet from EOP grade with brackets per FDOT Index No. 11860.

All aboveground signs required under this approved permit shall have been constructed in place and according to FDOT Index requirements before final driveway asphalt paving or concreting can commence.

Notice: A 21-Day Asphalt Cure-out period shall be required of the newly constructed asphalt surface course before any thermoplastic markings may be placed down. The new connection shall not be utilized at any time before the FDOT Permits Office has made their final inspection with a passing grade inspection being received, with evidence of same to the Permittee.

Page 4 of 5, Legal Permit Cover Letter

Access Connection Permits 2006-A-292-56

Project Name: John W. Burns/John A. Kasak & Carolina Currea Joint Use Access Connection
Permittee(s): John W. Burns/John A. Kasak & Carolina Currea, (Current Property Owner)

Roadway, Ditch/Slope Area, Grass Sodding Requirements & R/W Restoration

All areas of the ditch line its slopes; radii and other areas that fall within the limits of the permitted Access turning radii shall receive a complete coverage of Certified Coastal Bermuda Grass Sod. All other areas outside this particular area shall require a complete coverage of hulled Bermuda grass and millet seed with copious amounts of Straw Mulch covering all. All areas upon FDOT R/W shall be made clean and acceptable. Coastal Bermuda Sod shall be the preferred type grass.

Notice of Final Approved Plans Interpretation

The Local Permits Office having jurisdiction over the approved permit shall have final determination over all approved plans/ construction concepts and method details that could affect the FDOT Right-of-Way Property.

Notice of Pre-Construction Meeting (Mandatory)

The Permittee and his/her construction supervisor(s) shall meet a minimum of 48 hours in advance of activation of this permit, so that all parties will have an opportunity to read in detail this attached cover letter, review its plans and be provided the opportunity to ask any questions he or she may have in regards to this permit. It shall be the Permittee's responsibility to contact the local Permits Office no later than 48 hours in advance of the planned activation/construction commencement date, so that this provision can be completed satisfactory to all parties involved. **THIS IS A MANDATORY PERMIT PROVISION!!**

Stormwater Erosion Control Plan

The approved Permittee shall be solely responsible for the control of stormwater and it's affects during the complete construction phase of permitted improvements approved under this FDOT Access Permit No. 2006-A-292-50. Under no conditions shall any work commence upon FDOT R/W before all required Stormwater and/or Erosion Control plans has been put in place and received an inspection through the Permits Office.

Grass Sod Requirement Details

All slopes, shoulders, ditches, and other disturbed areas within the limits of the proposed paved turnout radii, shall be completely grass sodded with Certified Coastal Bermuda grass. **Note: all grass shall be installed, watered and inspected for evidence of growth, before any paving can commence under this permit. Failure to complete this provision can be reason for temporary suspension of this permit.** NOTICE: ALL R/W RESTORATION AND REQUIRED GRASS SOD SHALL BE PLACED DOWN AND INSPECTED BEFORE ANY ASPHALT PAVING CAN COMMENCE UNDER THIS APPROVED PERMIT.

All construction shall be to the most current F.D.O.T. Roadway and Traffic Design Standards and F.D.O.T. Standard Specifications for Road and Bridge Construction. All construction shall be per approved permit, cover letter, special provisions, and signed and sealed site plans and shall conform to all current F.D.O.T. Specifications and Inspections. No work can commence on F.D.O.T. right- of-way before the approved Maintenance of Traffic Plan is in place. The FDOT Permits Staff shall have final say as to any conflicts of interest that may occur, before, during or after the construction phase.

Page 5 of 5, Legal Permit Cover Letter

Access Connection Permits 2006-A-292-56

Project Name: John W. Burns/John A. Kasak & Carolina Currea Joint Use Access Connection
Permittee(s): John W. Burns/John A. Kasak & Carolina Currea, (Current Property Owners)

Save Harmless Clause

Please refer to the approved permit, site plan drawings and if attached addendum and/or Survey Plat for Access type, location and construction details. Refer to the approved connection permit for additional **General and Special Provisions** that could alter construction design plans as shown on the attached site plan sheet. A copy of the approved site plan and the permit itself shall be on site at all times. Construction on the Department of Transportation's Right-of-Way shall meet all of the Department's Standard Construction Specifications and Safety Criteria.

This Permit is issued with the understanding that a Department approved contractor shall perform all construction in accordance with F.D.O.T. Specifications and that all costs of construction shall be borne by the applicant.

It is also understood and agreed that the rights and privileges herein set out, are granted only to the extent of the State's Right, Title and Interest in the land to be entered upon and used by the holder, and the holder will at all times, assume all risk of and indemnify, defend, and save harmless the State of Florida and the Department from and against any and all loss, damage, cost or expense arising in any manner on account of the exercise or attempted exercise by said holder of the aforesaid rights and privileges.

Also, please request your Engineer or Representative to contact our Permits Coordinator, Neil E. Miles, located at 710 NW Lake Jeffery Road, Suite No. 101, Lake City, Florida, 32055-2621, Phone Number (904) 961-7193 or if no answer 961-7180, a minimum of **48** hours prior to your planned commencement date. Legal 2-way verbal contact is required.

Sincerely,



Neil E. Miles
Access Permits Coordinator

FLORIDA DEPARTMENT OF TRANSPORTATION

JEB BUSH
GOVERNOR

DENVER J. STUTLER, JR.
SECRETARY



PERMITTEE : CAROLINA CURREA / JOHN KASAK

State Rd 247(S)/Sect: 29090/MP: 11.358+- / PERMIT CAT: B

PROJ DESCRIPTION : 24' ASPH D/W. W/D 35' T/R.

PERMIT NO: 06-A-292-56

Asst. Maintenance Engineer or Permits Coordinator Approval

NEIL E. MILES, PERMITS COORDINATOR

THE FOLLOWING ARE ADDITIONAL SPECIAL PERMIT PROVISIONS THAT ARE A LEGAL PART OF THIS PERMIT & DO APPLY TO THE ABOVE REFERENCED PERMIT, IF SO MARKED MUST BE COMPLIED WITH IN ADDITIONAL TO THE GENERAL PROVISIONS.

1. XXX All portions of the FDOT right-of-way disturbed during construction under this permit shall be mulched seeded and /or 2 feet of grass sod placed adjacent to the driving lane, or as called for under the approved permit & per FDOT specifications.
2. XXX Permittee shall restore wildflowers disturbed during permitted construction with new seed to be (amount and & method) determined by Mr. Dick Bush, District Landscaping Engineer. Seed shall be delivered to Lake City Maintenance, Permits Office before commencement of permitted placement.
3. XXX The Permittee will contact the appropriate city, county, state government agency; a minimum of forty-eight (48) hours in advance of starting excavation within the area of any signalized intersection.
4. XXX The Permittee can be required to physically relocate (move), as so indicated under this permit at a future date, due to proposed future or on-going FDOT roadway construction planned within the limits of the permitted area.
5. XXX Existing utilities may be located within the construction area. Prior to permit approval, permittee shall locate and notify all utilities within the proposed limits of construction and or permitted area and obtain detailed information from the utility owners as to possible conflicts between utilities and permit tee's work. Permittee shall be responsible for pre & post permit coordination, and all adjustments and shall be solely responsible for resolving any conflicts of utilities, either before or during or after the final permitting. The Permittee shall be solely responsible for any and all damages to existing utilities and/or damage to third parties caused by interference with or damage to existing utilities. The Permittee shall show positive proof that all utility owners with existing interest in the area permitted, have been previously contacted in advance of final permit approval.
6. XXX No business is to be done on FDOT right-of-ways, if vehicles are to be serviced on roadside with pumps, Pump islands must be located at least twelve (12) feet from right-of-way line.
7. XXX Driveway permits are granted to permit access to abutting property only. Parking on right-of-way may be restricted or prohibited.
8. XXX The erection of signs on or overhanging the right-of-way of state roads is not permitted. The connection of any type of subsurface drainage to FDOT storm drains or ditches is prohibited unless by permit or as shown in the general or special provisions of the referenced permit.
9. XXX All Construction and/or Maintenance on the Department's right-of-way shall conform to Federal Manual on Uniform Traffic Control Devices (MUTCD), the Department's most current manual of the Roadway and Traffic Design Standards Specifications for Road and Bridge Construction.
10. XXX Pre and Final Inspections are required by FDOT Permits Office and the assigned inspector.
11. XXX A pre-construction review of the construction planned under the permit shall be mandatory. The Permit tee shall make contact with the Lake City, Permits Office at (904) 961-7180 or 961-7193, a minimum of 48 hours in advance of the Permit tee's planned start date so as to arrange a mutually time to meet. Failure by the Permit tee to meet this requirement can be reason for revocation of the approved permit.
12. XXX If proposed permitted work limits are within a State Roadway Construction Area that is proposed or underway then the permit tee shall schedule commencement date and all planned work under this permit with the State FDOT's contract representative in charge of on-site project operational responsibilities.

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**DRIVEWAY CONNECTION PERMIT
FOR ALL CATEGORIES**

850-040-18
SYSTEMS PLANNING - 06/06
Page 1 of 3

PART 1: PERMIT INFORMATION

APPLICATION NUMBER: 06-A-292-56

Permit Category: B Access Classification: 6

Project: 24' ASPH CON JOINT-USE DRIVEWAY WITH DOUBLE 35' TURN RADII.

Permittee: CAROLINA CURREA / JOHN KASAK

Section/Mile Post: 29090 / C/L 11.358+- State Road: 247 (W)

Section/Mile Post: N/A State Road: N/A

PART 2: PERMITTEE INFORMATION

Permittee Name: CAROLINA CURREA / JOHN KASAK

Permittee Mailing Address: 4206 NW WISTERIA DR / 904 SW SR. 247

City, State, Zip: LAKE CITY, FL.32055

Telephone: _____

Engineer/Consultant/or Project Manager: WILLIAM FREEMAN

Engineer responsible for construction inspection: WILLIAM FREEMAN
NAME

P.E. #

Mailing Address: 161 NW MADISON ST. SUITE 102


City, State, Zip: LAKE CITY, FL.32025

Telephone: (386) 758-4209 Mobile Phone _____

PART 3: PERMIT APPROVAL

The above application has been reviewed and is hereby approved subject to all Provisions as attached.

Permit Number: 06-A-292-56

Signature: 

Department of Transportation

Title: PERMITS COORDINATOR

Department Representative's Printed Name NEIL E. MILES

Temporary Permit ☐ YES ☒ NO (If temporary, this permit is only valid for 6 months)

Special provisions attached ☒ YES ☐ NO

Date of Issuance: _____

SEP 28 2006

If this is a normal (non-temporary) permit it authorizes construction for one year from the date of issuance. This can only be extended by the Department as specified in 14-96.007(6).

See following pages for General and Special Provisions

PART 4: GENERAL PROVISIONS

1. Notify the Department of Transportation Maintenance Office at least 48 hours in advance of starting proposed
Phone: (386) 961-7180 , Attention: NEIL E. MILES, PERMITS COORDINATOR
2. A copy of the approved permit must be displayed in a prominent location in the immediate vicinity of the connection construction.
3. Comply with Rule 14-96.008(1), F.A.C., Disruption of Traffic.
4. Comply with Rule 14-96.008(7), F.A.C., on Utility Notification Requirements.
5. All work performed in the Department's right of way shall be done in accordance with the most current Department standards, specifications and the permit provisions.
6. The permittee shall not commence use of the connection prior to a final inspection and acceptance by the Department.
7. Comply with Rule 14-96.003(3)(a), F.A.C., Cost of Construction.
8. If a Significant Change of the permittee's land use, as defined in Section 335.182, Florida Statutes, occurs, the Permittee must contact the Department.
9. Medians may be added and median openings may be changed by the Department as part of a Construction Project or Safety Project. The provision for a median might change the operation of the connection to be for right turns only.
10. All conditions in NOTICE OF INTENT WILL APPLY unless specifically changed by the Department.
11. All approved connection(s) and turning movements are subject to the Department's continuing authority to modify such connection(s) or turning movements in order to protect safety and traffic operations on the state highway or State Highway System.
12. **Transportation Control Features and Devices in the State Right of Way.** Transportation control features and devices in the Department's right of way, including, but not limited to, traffic signals, medians, median openings, or any other transportation control features or devices in the state right of way, are operational and safety characteristics of the State Highway and are not means of access. The Department may install, remove or modify any present or future transportation control feature or device in the state right of way to make changes to promote safety in the right of way or efficient traffic operations on the highway.
13. The Permittee for him/herself, his/her heirs, his/her assigns and successors in interest, binds and is bound and obligated to save and hold the State of Florida, and the Department, its agents and employees harmless from any and all damages, claims, expense, or injuries arising out of any act, neglect, or omission by the applicant, his/her heirs, assigns and successors in interest that may occur by reason of this facility design, construction, maintenance, or continuing existence of the connection facility, except that the applicant shall not be liable under this provision for damages arising from the sole negligence of the Department.
14. The Permittee shall be responsible for determining and notify all other users of the right of way.
15. Starting work on the State Right of Way means that I am accepting all conditions on the Permit.

PART 5: SPECIAL PROVISIONS

NON-CONFORMING CONNECTIONS: ☒ YES ☐ NO

If this is a non-conforming connection permit, as defined in Rule Chapters 14-96 and 14-97, then the following shall be a part of this permit.

1. The non-conforming connection(s) described in this permit is (are) not permitted for traffic volumes exceeding the Permit Category on page 1 of this permit, or as specified in "Other Special Provisions" below.
2. All non-conforming connections will be subject to closure or relocation when reasonable access becomes available in the future.

OTHER SPECIAL PROVISIONS:

REFER TO APPROVED ACCESS PERMIT, GENERAL AND SPECIAL PROVISION SHEET AND THE LEGAL ATTACHED COVER LETTER FOR OFFICIAL DRIVEWAY CONSTRUCTION AND SAFETY SPECIFICATION, AND FDOT APPROVED SITE-PLAN FOR ANY ADDITIONAL INFORMATION NEEDED TO COMPLETE DRIVEWAYS. ALL WORK APPROVED HEREIN UNDER THIS PLAN SHALL BE ACCORDING TO THE STATE FDOT'S MOST CURRENT ROADWAY AND CONSTRUCTION SPECIFICATION AT THE TIME OF ACTUAL CONSTRUCTION AND PERMIT ACTIVATION. UPON ACTIVATION THE PERMITTEE HAVE (30 DAYS) TO COMPLETE ALL PHASES OF PERMITTED PROJECT. PERMITTEE SHALL ADHERE TO THE FINAL APPROVED SITE-PLAN DATED **SEP 28 2006**. THIS PERMIT IS FOR (JOHN KASAK PARCEL -A & EDUARDO BEDOYA PARCEL -B JOINT-USE COMM. ACCESS).PERMITTEE SHALL NOTIFY THE FDOT PERMITS DEPT FOR PRE-CONSTRUCTION MEETING (BEFORE) ANY WORK ON THE FDOT'S R.O.W. PROJECT CONSIST OF : 24' ASPH CON JOINT-USE DRIVEWAY WITH DOUBLE 35' TURN RADII. WHILE WORKING ON THE FDOT'S R.O.W. APPROPRIATE (MOT) SHALL BE IN PLACE CONES, BARACADES, SIGNS, ETC. (ALL) WORKERS WITH IN 15' FEET OF THE EDGE OF THE TRAVEL WAY SUPERVISORS, CREW MEMBERS AND ANY PERSONAL ON THE (FDOTS' R.O.W.) SHALL WEAR ANSI /ISEA CLASS 2 APPAREL (AT ALL TIMES).WORKERS OPERATING MACHINERY OR EQUIPMENT IN WHICH LOOSE CLOTHING COULD BECOME ENTANGLED, SHALL WEAR

PART 6: APPEAL PROCEDURES

You may petition for an administrative hearing pursuant to sections 120.569 and 120.57, Florida Statutes. If you dispute the facts stated in the foregoing Notice of Intended Department Action (hereinafter Notice), you may petition for a formal administrative hearing pursuant to section 120.57 (1), Florida Statutes. If you agree with the facts stated in the Notice, you may petition for an informal administrative hearing pursuant to section 120.57(2), Florida Statutes. You must file the petition with:

Clerk of Agency Proceedings
Department of Transportation
Haydon Burns Building
605 Suwannee Street, M.S. 58
Tallahassee, Florida 32399-0458

The petition for an administrative hearing must conform to the requirements of Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code, and be filed with the Clerk of Agency Proceedings by 5:00 p.m. no later than 21 days after you received the Notice. The petition must include a copy of the Notice, be legible, on 8 1/2 by 11 inch white paper, and contain:

1. Your name, address, telephone number, any Department of Transportation identifying number on the Notice, if known, the name and identification number of each agency affected, if known, and the name, address, and telephone number of your representative, if any, which shall be the address for service purposes during the course of the proceeding.
2. An explanation of how your substantial interests will be affected by the action described in the Notice;
3. A statement of when and how you received the Notice;
4. A statement of all disputed issues of material fact. If there are none, you must so indicate;
5. A concise statement of the ultimate facts alleged, including the specific facts you contend warrant reversal or modification of the agency's proposed action, as well as an explanation of how the alleged facts relate to the specific rules and statutes you contend require reversal or modification of the agency's proposed action;
6. A statement of the relief sought, stating precisely the desired action you wish the agency to take in respect to the agency's proposed action.

If there are disputed issues of material fact a formal hearing will be held, where you may present evidence and argument on all issues involved and conduct cross-examination. If there are no disputed issues of material fact an informal hearing will be held, where you may present evidence or a written statement for consideration by the Department.

Mediation, pursuant to section 120.573, Florida Statutes, may be available if agreed to by all parties, and on such terms as may be agreed upon by all parties. The right to an administrative hearing is not affected when mediation does not result in a settlement.

Your petition for an administrative hearing shall be dismissed if it is not in substantial compliance with the above requirements of Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code. If you fail to timely file your petition in accordance with the above requirements, you will have waived your right to have the intended action reviewed pursuant to chapter 120, Florida Statutes, and the action set forth in the Notice shall be conclusive and final.

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**DRIVEWAY/CONNECTION APPLICATION
FOR ALL CATEGORIES**

850-040-15
SYSTEMS PLANNING
04/05

OFFICE USE ONLY

| | |
|--|---|
| Application Number: <u>06-A-292-56</u> | Received By: <u>Dale L. Cray</u> |
| Category: <u>B</u> | Date: <u>9-19-2006</u> <small>FDOT STAFF (TYPE OR PRINT)</small> |
| Section/Mile Post: <u>29090 / 11.358+-</u> | State Road: <u>247</u> |
| Section/Mile Post: <u>N/A</u> | State Road: <u>N/A</u> |

Instructions - To Applicant

- Contact the Department of Transportation to determine what plans and other documents you are required to submit with your application.
- Complete this form (some questions may not apply to you) and attach all necessary documents and submit it to the Department of Transportation.
- For help with this form contact your local Maintenance or District Office.
 - Or visit our website at www.dot.state.fl.us/onestoppermitting for the contact person and phone number in your area.
 - You may also email - driveways@dot.state.fl.us
 - Or call your District or local Florida Department of Transportation Office and ask for Driveway Permits.

Please print or type

APPLICANT:

Check one:

☐ Owner ☒ Lessee ☐ Contract to Purchase

Name: William Freeman

Responsible Officer or Person: William Freeman

If the Applicant is a Company or Organization, Name: Freeman Design Group

Address: 161 NW Madison St. Suite 102

City, State: Lake City, Florida

Zip: 32025 Phone: (386) 758-4209 Fax: (386) 758-4290

Email: varion@freemandesign.net or bill@freemandesign.net

LAND OWNER:(if not applicant)

Name: Carolina Currea ; John Kasak

If the Applicant is a Company or Organization, Name: _____

Address: 4206 NW Wisteria Dr.; 904 SW SR 247

City, State: Lake City, Fl

Zip: 32055 Phone: _____ Fax: _____

Email: _____

AUTHORIZED REPRESENTATIVE: If specified by Applicant to handle, represent, sign, and file the application -
NOTE: A notarized letter of authorization must be provided with the Application

Name: William Freeman

Company Name: Freeman Design Group

Address: 161 NW Madison St. Suite 102

City, State: Lake City, FL

Zip: 32025

Phone: (386) 758-4209

Fax: (386) 758-4290

Email: varion@freemandesign.net or bill@freemandesign.net

Address of property to be served by permit (if known):
876 SW State Road 247

If address is not known, provide distance from nearest intersecting public street (such as, 500 feet south of Main St.)

Drive is 1,045 feet north of SW Real Ter.

Check here if you are requesting a

☒ new driveway ☐ temporary driveway ☐ modification to existing driveway ☐ safety upgrade

Does the property owner own or have any interests in any adjacent property?

☒ No ☐ Yes, if yes - please describe:

Are there other existing or dedicated public streets, roads, highways or access easements bordering or within the property?

☒ No ☐ Yes, if yes - list them on your plans and indicate the proposed and existing access points.

Local Government Development Review or Approval Information:

Local Government Contact: Columbia County Building Department

Name: John Kearce

Government Agency: Columbia County

Phone #: (386) 758-1008

If you are requesting commercial or industrial access, please indicate the types and number of businesses and provide the floor area square footage of each. Use additional sheets if necessary.

| Business (Name and Type) | Square Footage | Business (Name and Type) | Square Footage |
|-----------------------------|----------------|--------------------------|----------------|
| 1. Eye Center of N. Florida | 7,106 SF | 3. | |
| 2. State Farm Insurance | 1,831 | 4. | |

If you are requesting a residential development access, what is the type (single family, apartment, townhouse) and number of units?

| Type | Number of Units |
|------|-----------------|
| N/A | |

Provide an estimate of the daily traffic volume anticipated for the entire property at build out. (An individual single family home, duplex, or quad-plex is not required to complete this section).

Daily Traffic Estimate = 181 (Use the latest Institute of Transportation Engineers (ITE) Trip Generation Report)

If you used the ITE Trip Generation Report, provide the land use code, independent variable, and reference page number.

| ITE Land Use Code | Independent Variable | ITE Report page number reference |
|-------------------|----------------------|----------------------------------|
| 720 | | 1180 |

Check with the Florida DOT Office where you will return this form to determine which of the following documents are required to complete the review of your application.

- | | |
|---|---|
| <p>Plans should be 11" x 17" (scale 1" = 50')</p> <p>Note: No plans larger than 24" x 36" will be accepted</p> <ul style="list-style-type: none"> a) Highway and driveway plan profile b) Drainage plan showing impact to the highway right-of-way c) Map and letters detailing utility locations before and after Development in and along the right of way d) Subdivision, zoning, or development plans e) Property map indicating other access, bordering roads and streets | <ul style="list-style-type: none"> f) Proposed access design g) Parcel and ownership maps including easements (Boundary Survey) h) Signing and striping plans i) Traffic Control/Maintenance of Traffic plan j) Proof of liability insurance k) Traffic Impact Study l) Cross section of roadway every 100' if exclusive turn lanes are required |
|---|---|

Important Notices to Applicant Before Signing Application

The Department Reserves The Right To Change Traffic Features And Devices In Right Of Way At Any Time

Proposed traffic control features and devices in the right of way, such as median openings and other traffic control devices, are not part of the connection(s) to be authorized by a connection permit. The Department reserves the right to change these features and devices in the future in order to promote safety in the right of way or efficient traffic operations on the highway. Expenditure by the applicant of monies for installation or maintenance of such features or devices shall not create any interest in the maintenance of such features or devices.

Significant Changes In Property Use Must Undergo Further Review

If an access permit is issued to you it will state the terms and conditions for its use. Significant changes in the use as defined in Section 335.182(3), Florida Statutes, of the permitted access not consistent with the terms and conditions listed on the permit may be considered a violation of the permit.

All Information I Give Is Accurate

I certify that I am familiar with the information contained in this application and that to the best of my knowledge and belief, such information is true, complete and accurate.

Starting Work On The Driveway Connection After I Get My Permit Means I Accept All the Conditions In My Permit

I will not begin work on the connection until I receive my Permit and I understand all the conditions of the Permit. When I begin work on the connection, I am accepting all conditions listed in my Permit.

Applicant Name (Printed): Eduardo Bedoya 7-25-06

Applicant's signature:  Date



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 01-00188 N
DATE PAID: 3-2-07
FEE PAID: 215.00
RECEIPT #: 507030203

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: A & A LLC

AGENT: ROCKY FORD, A & B CONSTRUCTION

TELEPHONE: 386-497-2311

MAILING ADDRESS: P.O. BOX 39 FT. WHITE, FL, 32038

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: na BLOCK: na SUB: na PLATTED: _____

PROPERTY ID #: 1-4S-16-02692-002 ZONING: _____ I/M OR EQUIVALENT: ☒ Y ☐ N

PROPERTY SIZE: 1.08 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ ≤ 2000 GPD ☐ > 2000 GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y ☐ N DISTANCE TO SEWER: _____ FT

PROPERTY ADDRESS: 876 SW SR 247, Lake City, FL, 32024

DIRECTIONS TO PROPERTY: 90 West, TL on SR 247 (Branford Highway), Property on right just past Certified Plumbing and Electric

BUILDING INFORMATION

☐ RESIDENTIAL ☒ COMMERCIAL

| Unit No | Type of Establishment | No. of Bedrooms | Building Area Sqft | Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC |
|---------|-----------------------|-----------------|--------------------|--|
|---------|-----------------------|-----------------|--------------------|--|

| | | | | |
|---|------------------------|----------|-------------|---------------------------|
| 1 | <u>Eye-care</u> | | | |
| | <u>Commercial Bldg</u> | <u>0</u> | <u>4263</u> | <u>1 Doctor 250 gal</u> |
| 2 | | | | <u>4 Employees 60 gal</u> |
| 3 | | | | <u>Total 310 gal</u> |

☒ Floor/Equipment Drains ☒ Other (Specify) _____

SIGNATURE: Rocky Ford DATE: 3/2/2007



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

PERMIT NO. 07-00188N
DATE PAID: 3/2/07
FEE PAID: 215.00
RECEIPT #: 507012003

CONSTRUCTION PERMIT FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: A & A LLC

PROPERTY ADDRESS: 876 SW SR 247, Lake City, FL, 32024

LOT: na BLOCK: na SUBDIVISION: na

PROPERTY ID #: 1-4S-16-02692-002

[SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [1050] GALLONS / GPD SEPTIC TANK/AEROBIC UNIT CAPACITY MULTI-CHAMBERED/IN-SERIES ☐
A [] GALLONS / GPD CAPACITY MULTI-CHAMBERED/IN-SERIES ☐
N [450] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS]
K [375] GALLONS DOSING TANK CAPACITY ☐ GALLONS @ ☐ DOSES PER 24 HRS # PUMPS [2]

D [388] SQUARE FEET PRIMARY DRAINFIELD SYSTEM

R [] SQUARE FEET SYSTEM

A TYPE SYSTEM: STANDARD ☐ FILLED ☒ MOUND ☐

I CONFIGURATION: [X] TRENCH ☐ BED ☐

N

F LOCATION OF BENCHMARK: Fence post NW of site

I ELEVATION OF PROPOSED SYSTEM SITE [0] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

E BOTTOM OF DRAINFIELD TO BE [18] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

L

D FILL REQUIRED: [36] INCHES EXCAVATION REQUIRED: [NA] INCHES

O Well must be permitted

T

H

E

R

SPECIFICATIONS BY: [Signature]

TITLE: MASTER CONTRACTOR

APPROVED BY: [Signature]

TITLE: Env. Manager Columbia CHD

DATE ISSUED: 3/15/07

EXPIRATION DATE: 9/15/08

DH 4016, 10/97 (Previous Editions May Be Used)

Page 3

Permit Application Number 07-00188N[illegible]

Page 2 of 4

HALL'S PUMP & WELL SERVICE, INC.

SPECIALIZING IN 4"-6" WELLS

DONALD AND MARY HALL
OWNERSPHONE (904) 752-1854
FAX (904) 755-7022
~~XXXXXXXXXXXXXXXXXXXX~~
LAKE CITY, FLORIDA 32055
904 NW Main Blvd.

June 12, 2002

NOTICE TO ALL CONTRACTORS

Please be advised that due to the new building codes we will use a large capacity diaphragm tank on all new wells. This will insure a minimum of one (1) minute draw down or one (1) minute refill. If a smaller diaphragm tank is used then we will install a cycle stop valve which will produce the same results.

If you have any questions please feel free to call our office anytime.

Thank you,

Donald D. Hall
DDH/jk

New Construction Subterranean Termite Soil Treatment Record

OMB Approval No 2502-0525

(exp. 10/31/2005)

This form is completed by the licensed Pest Control Company

Public reporting burden for this collection of information is estimated to average 15 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This information is mandatory and is required to obtain benefits. HUD may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number.

Section 24 CFR 200.926d(b)(3) requires that the sites for HUD insured structures must be free of termite hazards. This information collection requires the builder to certify that an authorized Pest Control company performed all required treatment for termites, and that the builder guarantees the treated area against infestation for one year. Builders, pest control companies, mortgage lenders, homebuyers, and HUD as a record of treatment for specific homes will use the information collected. The information is not considered confidential.

This report is submitted for informational purposes to the builder on proposed (new) construction cases when soil treatment for prevention of subterranean termite infestation is specified by the builder, architect, or required by the lender, architect, FHA or VA.

All contracts for services are between the Pest Control Operator and builder, unless stated otherwise.

Section 1: General information (Treating Company information)Company Name: Florida Pest Control & Co.Company Address: 536 SE Baya Dr City: Lake City State: FL Zip 32025Company Business License No. 3460Company Phone No. 386-752-1703

FHA/VA Case No. (if any) _____

Section 2: Builder Information

Company Name _____

Phone No. _____

Section 3: Property Information

Location of Structure (s) Treated (Street Address or Legal Description, City, State and Zip) _____

Type of Construction (More than one box may be checked) ☐ Slab ☐ Basement ☐ Crawl ☐ Other _____

Approximate Depth of Footing: Outside _____ Inside _____ Type of Fill _____

Section 4: Treatment Information

Date(s) of Treatment _____

Brand Name of Product(s) Used Bora-CareEPA Registration No. 64405-1Approximate Final Mix Solution % 1.0

Approximate Size of Treatment Area: Sq. ft. _____ Linear ft. _____ Linear ft. of Masonry Voids _____

Approximate Total Gallons of Solution Applied _____

Was treatment completed on exterior? ☐ Yes ☐ NoService Agreement Available? ☐ Yes ☐ No

Note: Some state laws require service agreements to be issued. This form does not preempt state law.

Attachments (List) _____

Comments _____

Name of Applicator(s) _____

Certification No. (if required by State law) _____

The applicator has used a product in accordance with the product label and state requirements. All treatment materials and methods used comply with state and federal regulations.

Authorized Signature _____

Date _____

Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. 18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802

Form NPCA-99-B may still be used

form HUD-NPCA-99-B (04/2003)

**Cal-Tech Testing, Inc.**

• Engineering
• Geotechnical
• Environmental
Laboratories

P.O. Box 1625 • Lake City, FL 32056-1625 • Tel(386)755-3633 • Fax(386)752-5458

6919 Distribution Ave. S., Unit #5, Jacksonville, FL 32257 • Tel(904)262-4046 • Fax(904)262-4047

2230 Greensboro Hwy • Quincy, FL 32351 • Tel(850)442-3495 • Fax(850)442-4008

~~25693~~
25693

REPORT OF IN-PLACE DENSITY TEST

JOB NO.: 07-158

DATE TESTED: 4/8/07

DATE REPORTED: 4/10/07

| | |
|---------------------------------|--|
| PROJECT: | Office Building for Dr. Bedoya, Lake City, FL |
| CLIENT: | Bryan Zecher Construction, P.O. Box 815, Lake City, FL 32056 |
| GENERAL CONTRACTOR: | Bryan Zecher Construction |
| EARTHWORK CONTRACTOR: | Bryan Zecher Construction |
| INSPECTOR: | Pam Gelger |
| ASTM METHOD (D-2922) Nuclear | SOIL USE OTHER |
| SPECIFICATION REQUIREMENTS: 95% | |

| TEST NO. | TEST LOCATION | TEST DEPTH | WET DENSITY (lb/ft ³) | MOISTURE PERCENT | DRY DENSITY (lb/ft ³) | PROCTOR TEST NO. | PROCTOR VALUE | % MAXIMUM DENSITY |
|----------------|------------------------|------------|-----------------------------------|------------------|-----------------------------------|------------------|---------------|-------------------|
| Footers | | | | | | | | |
| 1 | 30' West of SE Corner | 12" | 124.3 | 13.1 | 109.9 | 07-160-1 | 113.6 | 97% |
| 2 | 15' East of NW Corner | 12" | 123.9 | 13.4 | 109.3 | 07-160-1 | 113.6 | 98% |
| 3 | 25' South of NE Corner | 12" | 123.8 | 13.5 | 109.1 | 07-160-1 | 113.6 | 98% |

REMARKS: The Above Tests Meet Specification Requirements.

| PROCTORS | | | | |
|-------------|------------------------------|---|-------------|------------------------|
| PROCTOR NO. | SOIL DESCRIPTION | MAXIMUM DRY UNIT WEIGHT (lb/ft ³) | OPT. MOIST. | TYPE |
| 07-160-1 | Greyish Tan Fine Sand w/Silt | 113.6 | 10.2 | MODIFIED (ASTM D-1557) |
| | | | | |
| | | | | |

Respectfully Submitted,
CAL-TECH TESTING, INC.

Linda M. Creamer
President - CEO

EE

The test results presented in this report are specific only to the samples tested at the time of testing. The tests were performed in accordance with generally accepted methods and standards. Since material conditions can vary between test locations and change with time, sound judgement should be exercised with regard to the use and interpretation of the data.

Reviewed By:

Rahm W. Clark

Date: 4/10/07

Florida Registration No: 52210

From: BRYAN ZECKER
To: HARRY H.

25693



Engineers • Planners

May 3, 2007

Columbia County Building Dept.

Lake City, FL 32055

RE: Dr. Bedoya Eye Center
Parcel No. 01-4S-16-02692-002

Dear Sir or Madam:

I am in receipt of the Surveying of the above location which states the elevation of the foundation is found to be 154.95 feet. The highest adjacent grade is 154.49 and the lowest adjacent grade is 154.39 feet.

I certify that the slab elevation is acceptable.

Sincerely,

William H. Freeman, P.E.
P.E. No. 56001

161 N.W. Madison St., Suite 102
Lake City, Florida 32055
Tel: 386-758-4209
Fax: 386-758-4290



Engineers • Planners

161 N.W. Madison St. Suite 102
Lake City, Florida 32055
Tel: 386-758-4209
Fax: 386-758-4290

May 3, 2007

Columbia County Building Department
135 NE Hernando Avenue, B21
Lake City, FL 32055

RE: Dr. Bedoya Eye Center
Parcel No. 01-4S-16-02692-002

Dear Sir/Madam:

I am in receipt of the Surveying of the above location which states the elevation of the foundation is found to be 154.95 feet. The highest adjacent grade is 154.49 and the lowest adjacent grade is 154.39.

I certify that the slab elevation is acceptable.

Sincerely,

William H. Freeman, P.E.
P.E. No. 56001

P.O. Box 815
465 NW Orange St.
Lake City, FL 32056
Office: 386-752-8653
Fax: 386-758-8920

**Bryan Zecher
Construction, Inc.**

Fax

| | | | |
|---------------|-------------------------------|---------------|-----------------|
| To: | Columbia County Building Dept | From: | Becky |
| Fax: | 758-2160 | Pages: | 13 |
| Phone: | 758-1008 | Date: | August 13, 2007 |
| Re: | Bedoya - N FL Eye Care | CC: | |

☐ Urgent ☒ For Review ☐ Please Comment ☐ Please Reply ☐ Please Recycle

● **Comments:**

ATTENTION HARRY

Harry,

Attached is the FDOT information for the **North Florida Eye Care Center**, permit #25693.

Thanks and have a great day,

Becky

BEDOYA BUILDING:
876 SW SR 247, LAKE CITY FL 32025



Florida Department of Transportation

JEB BUSH
GOVERNOR

605 Suwannee Street
Tallahassee, FL 32399-0450

DENVER STRUTLER, JR. SECRETARY

FDOT - Lake City Maintenance
Permits Department
Post Office Box 1415
Lake City, FL 32056-1415

Date: 9-28-06

Freeman Design Group, Inc.
Mr. William (Bill) Freeman, P. E.
161 NW Madison Street, Suite No. 102
Lake City, FL 32025

RE: Approved FDOT Commercial Access Connection Permits

Project Name: John W. Burns/John A. Kasak & Carolina Currea Joint Use Driveway Connection
Permittee: See Above
Access Permit No: Access 2006-A-292-56
State Highway No: 247, Branford Hwy.
Permit Category: B /State Section No: 29090 / State Mile Post: 11.358 + -

Mr. Freeman:

This letter shall acknowledge your request on behalf of your clients, Mr. John W Burns, Mr. John A. Kasak and Ms. Carolina Currea (current landowners) in making proposed Access & Roadway Improvements to State Highway No. 247 in Columbia County, Florida. Your client is hereby granted permission by State Access Permit to make the following described improvements for the permitted development.

SPECIAL INFORMATION AS TO CONSTRUCTION TIME LIMIT

Per FDOT Access Management Law, this permit is valid for one year from the date of approval, however, once the permittee legally activates this permit with the Lake City Maintenance, Permits Office the permittee shall only have 30 continuous work days (not including weekends and legal state holidays) in which to complete the buildout of the new connection and have requested and received a passing inspection of same. Failure by the permittee to legally activate the approved access permit, obtain a mutually agreed to start date, conduct the required preconstruction meeting and construct the connection within the time frame referenced above shall automatically void the approved access permit. The permittee shall be held solely responsible for all work/construction conducted upon the State Right-of-way System under the provisions of this approved permit.

Page 2 of 5, Legal Permit Cover Letter

Access Connection Permits 2006-A-292-56

Project Name: John W. Burns/John A. Kasak & Carolina Currea Joint Use Access Connection

Permittee(s): John W. Burns/John A. Kasak & Carolina Currea, (Current Property Owner)

PERMITTED ACCESS IMPROVEMENTS

Proposed for new construction is a single new twenty-four foot wide commercial sidedrain piped access connection. The new connection shall be considered a full movement commercial access to the state highway the new connection ties too. The new driveway is to have two thirty-five foot wide turning radii constructed in conjunction with double four foot wide paved shoulders added throughout the full double 35 foot turning radii, all per the approved site plan.

Special Provision for Existing Paved Shoulders: If there are outside asphalt paved shoulder along the limits of the new permitted improvement area, they shall be completely **mechanically sawn** and removed within the limits of the turnout radii and through the proposed driveway width to provide for a smooth transition edge with the newly planned asphalt connection improvements planned.

Pavement Design calls for a twelve (12") Stabilized earth subgrade (tested for 98% density) and a minimum of eight (8") inches thick compacted limerock base materials (to be placed in two 4 inch lifts) with a finished asphalt surface course of a minimum of two (2") inches of compacted FC-12.5. This required twenty-four foot wide asphalt surfaced main entrance (and paved turning radii) shall all be built on a finished 0.02% slope (As measured from C/L of driveway Crown) with the new asphalt paved shoulders being constructed on a finished 0.06% grade slope. The new connection shall require a minimum of seventy-two (72') LF of 18 inch diameter round (or equivalent,) BCCMP. The new required sidedrain pipe must be placed in the ditch line 4 inches below existing flow grade. Note additional F Sections (see MES detail sheet attached) are required to be attached to each end of the pipe. These F Sections shall require MES Slope Cuts of 1:4 per FDOT Index 273. Both new sidedrain CMP shall be centered within the existing FDOT ditch line with the required MES cuts aligned straight up. Concrete Pads with Grass Sod are required Per Index 273, (See Attachment MES Detail.)

The new access connection shall also require minimum five foot wide or greater earthen stabilized shoulders on a maximum 1:4 slope. All sloped shoulders shall required to be stabilized throughout the full raised turn movements to the R/W Line within the full limits of the project with grass sod coverage over all areas between the edge-of-pavement and the State R/W Line. **Required Grass Sod shall on site and in place before paving can commence.**

SPECIFIC ACCESS PAVEMENT DESIGN

The new permitted access shall be constructed with a minimum twelve (12") inch depth Stabilized earth subgrade (LBR 40 required), 8 inches of compacted crushed FDOT Certified Limerock Base Material Course with a 0.1 gal./S.Y. Prime Coat and a minimum two (2") inch compacted finished asphalt surface course of FDOT Type FC-12.5. or FC 9.5. **A minimum three (3') foot wide earth grade shoulder on a maximum 0.02% grade must be constructed and maintained before the 1:4 front slope of the ditch can commence. This requirement must be maintained throughout both 35 foot turning radii of the new main entrance. Failure to construct and maintain this FDOT Roadway Safety requirement shall result in the suspension of the permit.**

Page 3 of 5, Legal Permit Cover Letter

Access Connection Permits 2006-A-292-56

Project Name: John W. Burns/John A. Kasak & Carolina Currea Joint Use Access Connection
Permittee(s): John W. Burns/John A. Kasak & Carolina Currea, (Current Property Owner)

Testing Requirements

All subgrade, base and or structural materials used shall require proof of passing density testing in accordance with those found in the most current FDOT Standard Specifications for Road & Bridge Construction Manual. A total of THREE (3) density tests shall be required. Each density test must achieve or exceed a minimum of 98% compaction density. All tests must be conducted by a FDOT certified density inspector and Testing Lab.

Proof of passing density shall be forwarded to the local FDOT Permits Inspector at Lake City Maintenance a minimum of 48 hours in advance of any planned concurrent paving commencement. The Permittee, his/her General Contractor shall contact the FDOT Permits Office for directions from FDOT Permits Office as to the location of these tests sites. **No paving can commence without proof of passing density tests. Failure on the Permittees' behalf to provide the necessary density tests results is reason to suspend the Permittee's FDOT issued permit or on-going construction upon FDOT R/W.**

Pavement Striping and Signage Requirements

The new asphalt connection finished surface course shall be striped with a single twenty-four inch wide white stop bar and a minimum of fifty (50') LF of double yellow, lane separation striping as shown on the approved plans. The two main 12 foot wide driveway travel lanes and their turn radii shall be separated from the proposed new asphalt paved five foot shoulders by the construction of six inch wide white separator striping. Per the approved permit and site plan, all required pavement striping shall be with a certified "Lead Free", Thermoplastic marking and striping material for those areas lying both on and off FDOT R/W that pertain to the approved permitted driveway attaching to SR-247. All new Thermoplastic Striping as well as aboveground signage shall conform to the State FDOT Indexes 17302, 17346 and /or 11860 for aboveground signs. **All thermoplastic marking materials shall be "Certified Lead Free" Materials.**

A single FDOT Series 600, 30 inch by 30 inch, R1-1 aboveground **STOP SIGN** is required. All aboveground signs proposed to be constructed upon FDOT Right-of way shall be constructed per approved site plan and per FDOT Index No. 17302, Sheet 1 of 1. All metal posts on FDOT shall be aluminum two inch or greater in diameter and set at a minimum height of 7 feet from EOP grade with brackets per FDOT Index No. 11860.

All aboveground signs required under this approved permit shall have been constructed in place and according to FDOT Index requirements before final driveway asphalt paving or concreting can commence.

Notice: A 21-Day Asphalt Cure-out period shall be required of the newly constructed asphalt surface course before any thermoplastic markings may be placed down. The new connection shall not be utilized at any time before the FDOT Permits Office has made their final inspection with a passing grade inspection being received, with evidence of same to the Permittee.

Page 4 of 5, Legal Permit Cover Letter

Access Connection Permits 2006-A-292-56

Project Name: John W. Burns/John A. Kasak & Carolina Currea Joint Use Access Connection

Permittee(s): John W. Burns/John A. Kasak & Carolina Currea, (Current Property Owner)

Roadway, Ditch/Slope Area, Grass Sodding Requirements & R/W Restoration

All areas of the ditch line its slopes; radii and other areas that fall within the limits of the permitted Access turning radii shall receive a complete coverage of Certified Coastal Bermuda Grass Sod. All other areas outside this particular area shall require a complete coverage of hulled Bermuda grass and millet seed with copious amounts of Straw Mulch covering all. All areas upon FDOT R/W shall be made clean and acceptable. Coastal Bermuda Sod shall be the preferred type grass.

Notice of Final Approved Plans Interpretation

The Local Permits Office having jurisdiction over the approved permit shall have final determination over all approved plans/ construction concepts and method details that could affect the FDOT Right-of-Way Property.

Notice of Pre-Construction Meeting (Mandatory)

The Permittee and his/her construction supervisor(s) shall meet a minimum of 48 hours in advance of activation of this permit, so that all parties will have an opportunity to read in detail this attached cover letter, review its plans and be provided the opportunity to ask any questions he or she may have in regards to this permit. It shall be the Permittee's responsibility to contact the local Permits Office no later than 48 hours in advance of the planned activation/construction commencement date, so that this provision can be completed satisfactory to all parties involved. **THIS IS A MANDATORY PERMIT PROVISION!!**

Stormwater Erosion Control Plan

The approved Permittee shall be solely responsible for the control of stormwater and it's affects during the complete construction phase of permitted improvements approved under this FDOT Access Permit No. 2006-A-292-50. Under no conditions shall any work commence upon FDOT R/W before all required Stormwater and/or Erosion Control plans has been put in place and received an inspection through the Permits Office.

Grass Sod Requirement Details

All slopes, shoulders, ditches, and other disturbed areas within the limits of the proposed paved turnout radii, shall be completely grass sodded with Certified Coastal Bermuda grass. **Note: all grass shall be installed, watered and inspected for evidence of growth, before any paving can commence under this permit. Failure to complete this provision can be reason for temporary suspension of this permit.** NOTICE: ALL R/W RESTORATION AND REQUIRED GRASS SOD SHALL BE PLACED DOWN AND INSPECTED BEFORE ANY ASPHALT PAVING CAN COMMENCE UNDER THIS APPROVED PERMIT.

All construction shall be to the most current F.D.O.T. Roadway and Traffic Design Standards and F.D.O.T. Standard Specifications for Road and Bridge Construction. All construction shall be per approved permit, cover letter, special provisions, and signed and sealed site plans and shall conform to all current F.D.O.T. Specifications and Inspections. No work can commence on F.D.O.T. right-of-way before the approved Maintenance of Traffic Plan is in place. The FDOT Permits Staff shall have final say as to any conflicts of interest that may occur, before, during or after the construction phase.

Page 5 of 5, Legal Permit Cover Letter

Access Connection Permits 2006-A-292-56

Project Name: John W. Burns/John A. Kasak & Carolina Currea Joint Use Access Connection
Permittee(s): John W. Burns/John A. Kasak & Carolina Currea, (Current Property Owners)

Save Harmless Clause

Please refer to the approved permit, site plan drawings and if attached addendum and/or Survey Plat for Access type, location and construction details. Refer to the approved connection permit for additional **General and Special Provisions** that could alter construction design plans as shown on the attached site plan sheet. A copy of the approved site plan and the permit itself shall be on site at all times. Construction on the Department of Transportation's Right-of-Way shall meet all of the Department's Standard Construction Specifications and Safety Criteria.

This Permit is issued with the understanding that a Department approved contractor shall perform all construction in accordance with F.D.O.T. Specifications and that all costs of construction shall be borne by the applicant.

It is also understood and agreed that the rights and privileges herein set out, are granted only to the extent of the State's Right, Title and Interest in the land to be entered upon and used by the holder, and the holder will at all times, assume all risk of and indemnify, defend, and save harmless the State of Florida and the Department from and against any and all loss, damage, cost or expense arising in any manner on account of the exercise or attempted exercise by said holder of the aforesaid rights and privileges.

Also, please request your Engineer or Representative to contact our Permits Coordinator, Neil E. Miles, located at 710 NW Lake Jeffery Road, Suite No. 101, Lake City, Florida, 32055-2621, Phone Number (904) 961-7193 or if no answer 961-7180, a minimum of 48 hours prior to your planned commencement date. Legal 2-way verbal contact is required.

Sincerely,



Neil E. Miles
Access Permits Coordinator

FLORIDA DEPARTMENT OF TRANSPORTATION

JEB BUSH
GOVERNOR

DENVER J. STUTLER, JR.
SECRETARY



PERMITTEE : CAROLINA CURREA / JOHN KASAK

State Rd 247(S)/Sect: 29090/MP: 11.358+- / PERMIT CAT: B

PROJ DESCRIPTION : 24' ASPH D/W. W/D 35' T/R.

PERMIT NO: 06-A-292-56

Asst. Maintenance Engineer or Permits Coordinator Approval

NEIL E. MILES, PERMITS COORDINATOR

THE FOLLOWING ARE ADDITIONAL SPECIAL PERMIT PROVISIONS THAT ARE A LEGAL PART OF THIS PERMIT & DO APPLY TO THE ABOVE REFERENCED PERMIT, IF SO MARKED MUST BE COMPLIED WITH IN ADDITIONAL TO THE GENERAL PROVISIONS.

1. XXX All portions of the FDOT right-of-way disturbed during construction under this permit shall be mulched seeded and /or 2 feet of grass sod placed adjacent to the driving lane, or as called for under the approved permit & per FDOT specifications.
2. XXX Permittee shall restore wildflowers disturbed during permitted construction with new seed to be (amount and & method) determined by Mr. Dick Bush, District Landscaping Engineer. Seed shall be delivered to Lake City Maintenance, Permits Office before commencement of permitted placement.
3. XXX The Permittee will contact the appropriate city, county, state government agency; a minimum of forty-eight (48) hours in advance of starting excavation within the area of any signalized intersection.
4. XXX The Permittee can be required to physically relocate (move), as so indicated under this permit at a future date, due to proposed future or on-going FDOT roadway construction planned within the limits of the permitted area.
5. XXX Existing utilities may be located within the construction area. Prior to permit approval, permittee shall locate and notify all utilities within the proposed limits of construction and or permitted area and obtain detailed information from the utility owners as to possible conflicts between utilities and permit tee's work. Permittee shall be responsible for pre & post permit coordination, and all adjustments and shall be solely responsible for resolving any conflicts of utilities, either before or during or after the final permitting. The Permittee shall be solely responsible for any and all damages to existing utilities and/or damage to third parties caused by interference with or damage to existing utilities. The Permittee shall show positive proof that all utility owners with existing interest in the area permitted, have been previously contacted in advance of final permit approval.
6. XXX No business is to be done on FDOT right-of-ways, if vehicles are to be serviced on roadside with pumps, Pump islands must be located at least twelve (12) feet from right-of-way line.
7. XXX Driveway permits are granted to permit access to abutting property only. Parking on right-of-way may be restricted or prohibited.
8. XXX The erection of signs on or overhanging the right-of-way of state roads is not permitted. The connection of any type of subsurface drainage to FDOT storm drains or ditches is prohibited unless by permit or as shown in the general or special provisions of the referenced permit.
9. XXX All Construction and/or Maintenance on the Department's right-of-way shall conform to Federal Manual on Uniform Traffic Control Devices (MUTCD), the Department's most current manual of the Roadway and Traffic Design Standards Specifications for Road and Bridge Construction.
10. XXX Pre and Final Inspections are required by FDOT Permits Office and the assigned inspector.
11. XXX A pre-construction review of the construction planned under the permit shall be mandatory. The Permit tee shall make contact with the Lake City, Permits Office at (904) 961-7180 or 961-7193, a minimum of 48 hours in advance of the Permit tee's planned start date so as to arrange a mutually time to meet. Failure by the Permit tee to meet this requirement can be reason for revocation of the approved permit.
12. XXX If proposed permitted work limits are within a State Roadway Construction Area that is proposed or underway then the permit tee shall schedule commencement date and all planned work under this permit with the State FDOT's contract representative in charge of on-site project operational responsibilities.

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**DRIVEWAY CONNECTION PERMIT
FOR ALL CATEGORIES**

850-040-18
SYSTEMS PLANNING - 08/06
Page 1 of 3

PART 1: PERMIT INFORMATION

APPLICATION NUMBER: 06-A-292-56

Permit Category: B

Access Classification:

6

Project: 24' ASPH CON JOINT-USE DRIVEWAY WITH DOUBLE 35' TURN RADII.

Permittee: CAROLINA CURREA / JOHN KASAK

Section/Mile Post: 29090 / C/L 11.358+-

State Road: 247 (W)

Section/Mile Post: N/A

State Road: N/A

PART 2: PERMITTEE INFORMATION

Permittee Name: CAROLINA CURREA / JOHN KASAK

Permittee Mailing Address: 4206 NW WISTERIA DR / 904 SW SR. 247

City, State, Zip: LAKE CITY, FL. 32055

Telephone: _____

Engineer/Consultant/or Project Manager: WILLIAM FREEMAN

Engineer responsible for construction inspection: WILLIAM FREEMAN
NAME

P.E. #

Mailing Address: 161 NW MADISON ST. SUITE 102

City, State, Zip: LAKE CITY, FL. 32025

Telephone: (386) 758-4209

Mobile Phone _____

PART 3: PERMIT APPROVAL

The above application has been reviewed and is hereby approved subject to all Provisions as attached.

Permit Number: 06-A-292-56

Signature: _____

Department of Transportation

Title: PERMITS COORDINATOR

Department Representative's Printed Name NEILE MILES

Temporary Permit: ☐ YES ☒ NO (If temporary, this permit is only valid for 6 months)

Special provisions attached ☒ YES ☐ NO

Date of Issuance: _____

SEP 28 2006

If this is a normal (non-temporary) permit it authorizes construction for one year from the date of issuance. This can only be extended by the Department as specified in 14-96.007(6).

See following pages for General and Special Provisions

PART 4: GENERAL PROVISIONS

1. Notify the Department of Transportation Maintenance Office at least 48 hours in advance of starting proposed
Phone: (386) 961-7180 , Attention: NEIL E. MILES, PERMITS COORDINATOR
2. A copy of the approved permit must be displayed in a prominent location in the immediate vicinity of the connection construction.
3. Comply with Rule 14-96.008(1), F.A.C., Disruption of Traffic.
4. Comply with Rule 14-96.008(7), F.A.C., on Utility Notification Requirements.
5. All work performed in the Department's right of way shall be done in accordance with the most current Department standards, specifications and the permit provisions.
6. The permittee shall not commence use of the connection prior to a final inspection and acceptance by the Department.
7. Comply with Rule 14-96.003(3)(a), F.A.C., Cost of Construction.
8. If a Significant Change of the permittee's land use, as defined in Section 335.182, Florida Statutes, occurs, the Permittee must contact the Department.
9. Medians may be added and median openings may be changed by the Department as part of a Construction Project or Safety Project. The provision for a median might change the operation of the connection to be for right turns only.
10. All conditions in NOTICE OF INTENT WILL APPLY unless specifically changed by the Department.
11. All approved connection(s) and turning movements are subject to the Department's continuing authority to modify such connection(s) or turning movements in order to protect safety and traffic operations on the state highway or State Highway System.
12. **Transportation Control Features and Devices in the State Right of Way.** Transportation control features and devices in the Department's right of way, including, but not limited to, traffic signals, medians, median openings, or any other transportation control features or devices in the state right of way, are operational and safety characteristics of the State Highway and are not means of access. The Department may install, remove or modify any present or future transportation control feature or device in the state right of way to make changes to promote safety in the right of way or efficient traffic operations on the highway.
13. The Permittee for him/herself, his/her heirs, his/her assigns and successors in interest, binds and is bound and obligated to save and hold the State of Florida, and the Department, its agents and employees harmless from any and all damages, claims, expense, or injuries arising out of any act, neglect, or omission by the applicant, his/her heirs, assigns and successors in interest that may occur by reason of this facility design, construction, maintenance, or continuing existence of the connection facility, except that the applicant shall not be liable under this provision for damages arising from the sole negligence of the Department.
14. The Permittee shall be responsible for determining and notify all other users of the right of way.
15. Starting work on the State Right of Way means that I am accepting all conditions on the Permit.

PART 5: SPECIAL PROVISIONS

NON-CONFORMING CONNECTIONS: ☒ YES ☐ NO

If this is a non-conforming connection permit, as defined in Rule Chapters 14-96 and 14-97, then the following shall be a part of this permit.

1. The non-conforming connection(s) described in this permit is (are) not permitted for traffic volumes exceeding the Permit Category on page 1 of this permit, or as specified in "Other Special Provisions" below.
2. All non-conforming connections will be subject to closure or relocation when reasonable access becomes available in the future.

OTHER SPECIAL PROVISIONS:

REFER TO APPROVED ACCESS PERMIT, GENERAL AND SPECIAL PROVISION SHEET AND THE LEGAL ATTACHED COVER LETTER FOR OFFICIAL DRIVEWAY CONSTRUCTION AND SAFETY SPECIFICATION, AND FDOT APPROVED SITE-PLAN FOR ANY ADDITIONAL INFORMATION NEEDED TO COMPLETE DRIVEWAYS. ALL WORK APPROVED HEREIN UNDER THIS PLAN SHALL BE ACCORDING TO THE STATE FDOT'S MOST CURRENT ROADWAY AND CONSTRUCTION SPECIFICATION AT THE TIME OF ACTUAL CONSTRUCTION AND PERMIT ACTIVATION. UPON ACTIVATION THE PERMITTEE HAVE (30 DAYS) TO COMPLETE ALL PHASES OF PERMITTED PROJECT. PERMITTEE SHALL ADHERE TO THE FINAL APPROVED SITE-PLAN DATED **SEP 28 2006**. THIS PERMIT IS FOR (JOHN KASAK PARCEL -A & EDUARDO BEDOYA PARCEL -B JOINT-USE COMM. ACCESS). PERMITTEE SHALL NOTIFY THE FDOT PERMITS DEPT FOR PRE-CONSTRUCTION MEETING (BEFORE) ANY WORK ON THE FDOT'S R.O.W. PROJECT CONSIST OF : 24' ASPH CON JOINT-USE DRIVEWAY WITH DOUBLE 35' TURN RADII. WHILE WORKING ON THE FDOT'S R.O.W. APPROPRIATE (MOT) SHALL BE IN PLACE CONES, BARICADES, SIGNS, ETC. (ALL) WORKERS WITH IN 15' FEET OF THE EDGE OF THE TRAVEL WAY SUPERVISORS, CREW MEMBERS AND ANY PERSONAL ON THE (FDOTS' R.O.W.) SHALL WEAR ANSI / ISEA CLASS 2 APPAREL (AT ALL TIMES).WORKERS OPERATING MACHINERY OR EQUIPMENT IN WHICH LOOSE CLOTHING COULD BECOME ENTANGLED, SHALL WEAR

PART 6: APPEAL PROCEDURES

You may petition for an administrative hearing pursuant to sections 120.569 and 120.57, Florida Statutes. If you dispute the facts stated in the foregoing Notice of Intended Department Action (hereinafter Notice), you may petition for a formal administrative hearing pursuant to section 120.57 (1), Florida Statutes. If you agree with the facts stated in the Notice, you may petition for an informal administrative hearing pursuant to section 120.57(2), Florida Statutes. You must file the petition with:

Clerk of Agency Proceedings
Department of Transportation
Haydon Burns Building
605 Suwannee Street, M.S. 58
Tallahassee, Florida 32399-0458

The petition for an administrative hearing must conform to the requirements of Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code, and be filed with the Clerk of Agency Proceedings by 5:00 p.m. no later than 21 days after you received the Notice. The petition must include a copy of the Notice, be legible, on 8 1/2 by 11 inch white paper, and contain:

1. Your name, address, telephone number, any Department of Transportation identifying number on the Notice, if known, the name and identification number of each agency affected, if known, and the name, address, and telephone number of your representative, if any, which shall be the address for service purposes during the course of the proceeding.
2. An explanation of how your substantial interests will be affected by the action described in the Notice;
3. A statement of when and how you received the Notice;
4. A statement of all disputed issues of material fact. If there are none, you must so indicate;
5. A concise statement of the ultimate facts alleged, including the specific facts you contend warrant reversal or modification of the agency's proposed action, as well as an explanation of how the alleged facts relate to the specific rules and statutes you contend require reversal or modification of the agency's proposed action;
6. A statement of the relief sought, stating precisely the desired action you wish the agency to take in respect to the agency's proposed action.

If there are disputed issues of material fact a formal hearing will be held, where you may present evidence and argument on all issues involved and conduct cross-examination. If there are no disputed issues of material fact an informal hearing will be held, where you may present evidence or a written statement for consideration by the Department.

Mediation, pursuant to section 120.573, Florida Statutes, may be available if agreed to by all parties, and on such terms as may be agreed upon by all parties. The right to an administrative hearing is not affected when mediation does not result in a settlement.

Your petition for an administrative hearing shall be dismissed if it is not in substantial compliance with the above requirements of Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code. If you fail to timely file your petition in accordance with the above requirements, you will have waived your right to have the intended action reviewed pursuant to chapter 120, Florida Statutes, and the action set forth in the Notice shall be conclusive and final.

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**DRIVEWAY/CONNECTION APPLICATION
FOR ALL CATEGORIES**

850-040-15
SYSTEMS PLANNING
04/05

OFFICE USE ONLY

| | |
|--|----------------------------------|
| Application Number: <u>06-A-292-56</u> | Received By: <u>Dale L. Cray</u> |
| Category: <u>B</u> | Date: <u>9-19-2006</u> |
| Section/Mile Post: <u>29090 / 11.358+-</u> | State Road: <u>247</u> |
| Section/Mile Post: <u>N/A</u> | State Road: <u>N/A</u> |

Instructions - To Applicant

- Contact the Department of Transportation to determine what plans and other documents you are required to submit with your application.
- Complete this form (some questions may not apply to you) and attach all necessary documents and submit it to the Department of Transportation.
- For help with this form contact your local Maintenance or District Office.
 - Or visit our website at www.dot.state.fl.us/onestoppermitting for the contact person and phone number in your area.
 - You may also email - driveways@dot.state.fl.us
 - Or call your District or local Florida Department of Transportation Office and ask for Driveway Permits.

Please print or type

APPLICANT:

Check one:

☐ Owner ☒ Lessee ☐ Contract to Purchase

Name: William Freeman

Responsible Officer or Person: William Freeman

If the Applicant is a Company or Organization, Name: Freeman Design Group

Address: 161 NW Madison St. Suite 102

City, State: Lake City, Florida

Zip: 32025 Phone: (386) 758-4209 Fax: (386) 758-4290

Email: varion@freemandesign.net or bill@freemandesign.net

LAND OWNER:(if not applicant)

Name: Carolina Currea ; John Kasak

If the Applicant is a Company or Organization, Name: _____

Address: 4206 NW Wisteria Dr., 904 SW SR 247

City, State: Lake City, Fl

Zip: 32055 Phone: _____ Fax: _____

Email: _____

AUTHORIZED REPRESENTATIVE: If specified by Applicant to handle, represent, sign, and file the application -
NOTE: A notarized letter of authorization must be provided with the Application

Name: William Freeman

Company Name: Freeman Design Group

Address: 161 NW Madison St. Suite 102

City, State: Lake City, FL

Zip: 32025

Phone: (386) 758-4209

Fax: (386) 758-4290

Email: varion@freemandesign.net or bill@freemandesign.net

Address of property to be served by permit (if known):
876 SW State Road 247

If address is not known, provide distance from nearest intersecting public street (such as, 500 feet south of Main St.)

Drive is 1,045 feet north of SW Real Ter.

Check here if you are requesting a

☒ new driveway ☐ temporary driveway ☐ modification to existing driveway ☐ safety upgrade

Does the property owner own or have any interests in any adjacent property?

☒ No ☐ Yes, if yes - please describe:

Are there other existing or dedicated public streets, roads, highways or access easements bordering or within the property?

☒ No ☐ Yes, if yes - list them on your plans and indicate the proposed and existing access points.

Local Government Development Review or Approval Information:

Local Government Contact: Columbia County Building Department

Name: John Kearce

Government Agency: Columbia County

Phone #: (386) 758-1008

If you are requesting commercial or industrial access, please indicate the types and number of businesses and provide the floor area square footage of each. Use additional sheets if necessary.

| Business (Name and Type) | Square Footage | Business (Name and Type) | Square Footage |
|-----------------------------|----------------|--------------------------|----------------|
| 1. Eye Center of N. Florida | 7,106 SF | 3. | |
| 2. State Farm Insurance | 1,831 | 4. | |

If you are requesting a residential development access, what is the type (single family, apartment, townhouse) and number of units?

| Type | Number of Units |
|------|-----------------|
| N/A | |

Provide an estimate of the daily traffic volume anticipated for the entire property at build out. (An individual single family home, duplex, or quad-plex is not required to complete this section).

Daily Traffic Estimate = 181 (Use the latest Institute of Transportation Engineers (ITE) Trip Generation Report)

If you used the ITE Trip Generation Report, provide the land use code, independent variable, and reference page number.

| ITE Land Use Code | Independent Variable | ITE Report page number reference |
|-------------------|----------------------|----------------------------------|
| 720 | | 1180 |

Check with the Florida DOT Office where you will return this form to determine which of the following documents are required to complete the review of your application.

Plans should be 11" x 17" (scale 1" = 50')

Note: No plans larger than 24" x 36" will be accepted

- a) Highway and driveway plan profile
- b) Drainage plan showing impact to the highway right-of-way
- c) Map and letters detailing utility locations before and after Development in and along the right of way
- d) Subdivision, zoning, or development plans
- e) Property map indicating other access, bordering roads and streets

- f) Proposed access design
- g) Parcel and ownership maps including easements (Boundary Survey)
- h) Signing and striping plans
- i) Traffic Control/Maintenance of Traffic plan
- j) Proof of liability insurance
- k) Traffic Impact Study
- l) Cross section of roadway every 100' if exclusive turn lanes are required

Important Notices to Applicant Before Signing Application

The Department Reserves The Right To Change Traffic Features And Devices In Right Of Way At Any Time

Proposed traffic control features and devices in the right of way, such as median openings and other traffic control devices, are not part of the connection(s) to be authorized by a connection permit. The Department reserves the right to change these features and devices in the future in order to promote safety in the right of way or efficient traffic operations on the highway. Expenditure by the applicant of monies for installation or maintenance of such features or devices shall not create any interest in the maintenance of such features or devices.

Significant Changes In Property Use Must Undergo Further Review

If an access permit is issued to you it will state the terms and conditions for its use. Significant changes in the use as defined in Section 335.182(3), Florida Statutes, of the permitted access not consistent with the terms and conditions listed on the permit may be considered a violation of the permit.

All Information I Give Is Accurate

I certify that I am familiar with the information contained in this application and that to the best of my knowledge and belief, such information is true, complete and accurate.

Starting Work On The Driveway Connection After I Get My Permit Means I Accept All the Conditions In My Permit

I will not begin work on the connection until I receive my Permit and I understand all the conditions of the Permit. When I begin work on the connection, I am accepting all conditions listed in my Permit.

Applicant Name (Printed): Eduardo Bedoya 7-25-06

Applicant's signature:  Date

25693

**FAX
MEMORANDUM****MEMORANDUM****FLORIDA DEPARTMENT OF TRANSPORTATION**

To: Mr. John Kerce, Dept. Director
Columbia Co. Building & Zoning Dept.
Fax No: 386-758-2160

From: Dale L. Cray, FDOT Permits Insp.
Date: 9-12-2007 **Fax No. 386-961-7183**
Attention: Col Co. Building Zoning Dept.

☐ Sign and return. ☐ For your files. ☐ Please call me. ☒ FYI ☐ For Review

REF: Comm- . D/W / Inspected On:9-12-2007

PROJECT: New / Comm. Access S.R. 247 (W)

PARCEL ID No: 01-4s-16-02692-002 Permit No : 06-A-292-56 Sec No : 29090

MILE POST: N/A Engineer: William Freeman

Onsite Building Cont: Brian Zecker

Mr. Kerce:

Please accept this as our legal notice of final passing inspection for (JOHN A. KASAK & CAROLINA CURREA) for New Comm driveway. The project is located, SR 247 (N) Lake City, Fl .

This access is for an new commercial access has been inspected and meets FDOT Standard Requirements.

If further information is required on this project please do not hesitate to contact this office for additional access permitting information details. My office number is 961-7193 or 961-7146.

Sincerely,



Dale L. Cray
Access Permits Inspector

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**DRIVEWAY/CONNECTION APPLICATION
FOR ALL CATEGORIES**BSO-040-16
SYSTEMS PLANNING
04/05**OFFICE USE ONLY**

| | |
|--|---|
| Application Number: <u>06-A-292-56</u> | Received By: <u>Dale L. Cray</u> <small>FDOT STAFF (TYPE OR PRINT)</small> |
| Category: <u>B</u> | Date: <u>9-19-2006</u> |
| Section/Mile Post: <u>29090 / 11.358+-</u> | State Road: <u>247</u> |
| Section/Mile Post: <u>N/A</u> | State Road: <u>N/A</u> |

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- Complete this form (some questions may not apply to you) and attach all necessary documents and submit it to the Department of Transportation.
- For help with this form contact your local Maintenance or District Office.
 - Or visit our website at www.dot.state.fl.us/onestoppermitting for the contact person and phone number in your area.
 - You may also email - driveways@dot.state.fl.us
 - Or call your District or local Florida Department of Transportation Office and ask for Driveway Permits.

Please print or type

APPLICANT:

Check one:

☐ Owner ☒ Lessee ☐ Contract to PurchaseName: William FreemanResponsible Officer or Person: William FreemanIf the Applicant is a Company or Organization, Name: Freeman Design GroupAddress: 161 NW Madison St. Suite 102City, State: Lake City, FloridaZip: 32025 Phone: (386) 758-4209 Fax: (386) 758-4290Email: varlon@freemandesign.net or bill@freemandesign.net**LAND OWNER: (if not applicant)**Name: Carolina Currea ; John Kasak

If the Applicant is a Company or Organization, Name: _____

Address: 4206 NW Wisteria Dr.; 904 SW SR 247City, State: Lake City, FLZip: 32055 Phone: _____ Fax: _____

Email: _____

FLORIDA DEPARTMENT OF TRANSPORTATION

JEB BUSH
GOVERNOR

DENVER J. STUTLER, JR.
SECRETARY



PERMITTEE : CAROLINA CURREA / JOHN KASAK

State Rd 247(S)/Sect: 29090/MP: 11.358+- / PERMIT CAT: B

PROJ DESCRIPTION : 24' ASPH D/W. W/D 35' T/R.

PERMIT NO: 06-A-292-56

Asst. Maintenance Engineer or Permits Coordinator Approval

NEIL E. MILES, PERMITS COORDINATOR

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7. XXX Driveway permits are granted to permit access to abutting property only. Parking on right-of-way may be restricted or prohibited.
8. XXX The erection of signs on or overhanging the right-of-way of state roads is not permitted. The connection of any type of subsurface drainage to FDOT storm drains or ditches is prohibited unless by permit or as shown in the general or special provisions of the referenced permit.
9. XXX All Construction and/or Maintenance on the Department's right-of-way shall conform to Federal Manual on Uniform Traffic Control Devices (MUTCD), the Department's most current manual of the Roadway and Traffic Design Standards Specifications for Road and Bridge Construction.
10. XXX Pre and Final Inspections are required by FDOT Permits Office and the assigned inspector.
11. XXX A pre-construction review of the construction planned under the permit shall be mandatory. The Permit tee shall make contact with the Lake City, Permits Office at (904) 961-7180 or 961-7193, a minimum of 48 hours in advance of the Permit tee's planned start date so as to arrange a mutually time to meet. Failure by the Permit tee to meet this requirement can be reason for revocation of the approved permit.
12. XXX If proposed permitted work limits are within a State Roadway Construction Area that is proposed or underway then the permit tee shall schedule commencement date and all planned work under this permit with the State FDOT's contract representative in charge of on-site project operational responsibilities.
13. XXX Final approved permit shall adhere to the signed and sealed plans. with no plan substitutions once approved

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**DRIVEWAY CONNECTION PERMIT
FOR ALL CATEGORIES**850-040-18
SYSTEMS PLANNING - 08/08
Page 1 of 3**PART 1: PERMIT INFORMATION**APPLICATION NUMBER: 06-A-292-56Permit Category: BAccess Classification: 6Project: 24' ASPH CON JOINT-USE DRIVEWAY WITH DOUBLE 35' TURN RADII.Permittee: CAROLINA CURREA / JOHN KASAKSection/Mile Post: 29090 / C/L 11.358+-State Road: 247 (W)Section/Mile Post: N/AState Road: N/A**PART 2: PERMITTEE INFORMATION**Permittee Name: CAROLINA CURREA / JOHN KASAKPermittee Mailing Address: 4206 NW WISTERIA DR / 904 SW SR. 247City, State, Zip: LAKE CITY, FL 32055

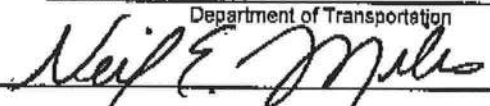
Telephone: _____

Engineer/Consultant/or Project Manager: WILLIAM FREEMANEngineer responsible for construction inspection: WILLIAM FREEMAN
NAME P.E. #Mailing Address: 161 NW MADISON ST. SUITE 102City, State, Zip: LAKE CITY, FL 32025Telephone: (386) 758-4209

Mobile Phone _____

PART 3: PERMIT APPROVAL

The above application has been reviewed and is hereby approved subject to all Provisions as attached.

Permit Number: 06-A-292-56Signature: 

Department of Transportation

Title: PERMITS COORDINATORDepartment Representative's Printed Name NEIL E. MILESTemporary Permit ☐ YES ☒ NO (If temporary, this permit is only valid for 6 months)Special provisions attached ☒ YES ☐ NO

Date of Issuance: _____

SEP 28 2006

If this is a normal (non-temporary) permit it authorizes construction for one year from the date of issuance. This can only be extended by the Department as specified in 14-96.007(6).

See following pages for General and Special Provisions

This Instrument Prepared by & return to:

Name: KIM WATSON, an employee of
TITLE OFFICES, LLC
Address: 1089 SW MAIN BLVD.
LAKE CITY, FLORIDA 32025
File No. 05Y-04018KW

Inst: 2005011475 Date: 05/16/2005 Time: 12:20

Doc Stamp-Deed: 1050.00

MK DC, P. DeWitt Cason, Columbia County B: 1046 P: 578

Parcel I.D. #: 02692-000

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED Made the 9th day of May, A.D. 2005, by MARY S. MOODY,
a widow, hereinafter called the grantor, to JOHN A. KASAK, married and
JOHN W. BURNS, III, single, EACH AN UNDIVIDED $\frac{1}{2}$ INTEREST, whose post office address
is 904 SW SR 247, Lake City FL 32025
hereinafter called the grantees;

(Wherever used herein the terms "grantor" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees all that certain land situate in **Columbia County, State of FLORIDA**, viz:

PARCEL "A"

COMMENCE AT THE INTERSECTION OF THE EAST LINE OF THE SW $\frac{1}{4}$ OF THE NW $\frac{1}{4}$ OF SECTION 1, TOWNSHIP 4 SOUTH, RANGE 16 EAST, AND THE NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD #247, AND RUN THENCE S $41^{\circ}24'30''$ W, ALONG SAID RIGHT-OF-WAY, 1076.30 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S $41^{\circ}24'30''$ W, 173.00 FEET; THENCE N $48^{\circ}39'19''$ W, 275.10 FEET; THENCE N $41^{\circ}25'00''$ E, 172.84 FEET; THENCE S $48^{\circ}41'20''$ E, 275.07 FEET TO THE POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA.

DWIGHT L. MOODY AND MARY S. MOODY, HIS WIFE WERE CONTINUOUSLY MARRIED WITHOUT INTERRUPTION FROM THE TIME THEY ACQUIRED THE PROPERTY ON 06/15/63 UNTIL THE DATE OF HIS DEATH.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold the same in fee simple forever.

And the grantor hereby covenants with said grantees that she is lawfully seized of said land in fee simple; that she has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2004.

In Witness Whereof, the said grantor has signed and sealed these presents, the day and year first above written.

Signed, sealed and delivered in the presence of:

Melba M. Byrum
Witness Signature

MELBA BYRUM
Printed Name

Begina Simpkins
Witness Signature

Begina Simpkins
Printed Name

Mary S. Moody by Melba M. Byrum
MARY S. MOODY, BY: YVONNE M.
HIGGINBOTHAM, MELBA M. BYRUM AND
KATHRYN L. MOODY, HER ATTORNEYS IN
FACT

Mary S. Moody by Yvonne M. Higginbotham
Her attorney in fact

Mary S. Moody by Kathryn L. Moody
Address her attorney in fact
838 SW SR 247, LAKE CITY, FLORIDA 32025

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 9th day of May, 2005, by YVONNE M. HIGGENBOTHAM, MELBA M. BYRUM AND KATHRYN L. MOODY, ATTORNEYS IN FACT FOR MARY S. MOODY, who is known to me or who has produced Dr. License as identification.

Mariha Bryan
Notary Public

My commission expires _____



Mariha Bryan
MY COMMISSION # DD232534 EXPIRES
August 10, 2007
BONDED THRU TROY FAIN INSURANCE, INC.

Inst:2005011475 Date:05/16/2005 Time:12:20
Doc Stamp-Deed : 1050.00
DC, P. DeWitt Cason, Columbia County B:1046 P:579

This Instrument Prepared by & return to:
 Name: KIM WATSON, an employee of
 TITLE OFFICES, LLC
 Address: 1089 SW MAIN BLVD.
 LAKE CITY, FLORIDA 32025
 File No. 05Y-05024KW

Inst: 005011479 Date: 05/16/2005 Time: 12:22
 Doc, Stamp-Deed: 1050.00
 MK DC, P. Dewitt Cason, Columbia County B: 1046 P: 596

Parcel I.D. #: 02692-000

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED Made the 9th day of May, A.D. 2005, by **MARY S. MOODY**,
a widow
married hereinafter called the grantor, to **CAROLINA CURREA**,
 whose post office address is **4206 NW Wisteria Dr.**
Lake City, FL 32055
 hereinafter called the grantee;

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantee all that certain land situate in **Columbia County, State of FLORIDA**, viz:

PARCEL "B"
 COMMENCE AT THE INTERSECTION OF THE EAST LINE OF THE SW 1/4 OF THE NW 1/4 OF SECTION 1, TOWNSHIP 4 SOUTH, RANGE 16 EAST, AND THE NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD #247, AND RUN THENCE S 41°24'30" W, ALONG SAID RIGHT-OF-WAY, 1249.30 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S 41°24'30" W, 173.00 FEET; THENCE N 48°37'04" W, 275.12 FEET; THENCE N 41°25'00" E, 172.82 FEET; THENCE S 48°39'19" E, 275.10 FEET TO THE POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA.

DWIGHT L. MOODY AND MARY S. MOODY, HIS WIFE WERE CONTINUOUSLY MARRIED WITHOUT INTERRUPTION FROM THE TIME THEY ACQUIRED THE PROPERTY ON 06/15/63 UNTIL THE DATE OF HIS DEATH.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold the same in fee simple forever.

And the grantor hereby covenants with said grantee that she is lawfully seized of said land in fee simple; that she has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2004.

In Witness Whereof, the said grantor has signed and sealed these presents, the day and year first above written.

Signed, sealed and delivered in the presence of:

Melba M. Byrum
 Witness Signature
MELBA BRYAN
 Printed Name

Regina Simpkins
 Witness Signature
Regina Simpkins
 Printed Name

Mary S. Moody by Melba M. Byrum
 MARY S. MOODY, BY YVONNE M.
 HIGGINBOTHAM, MELBA M. BYRUM AND
 KATHRYN L. MOODY, HER ATTORNEYS IN
 FACT

Mary S. Moody by Yvonne M. Higginbotham
Mary S. Moody by
Kathryn L. Moody
 Address: her attorney in fact
 838 SW SR 247, LAKE CITY, FLORIDA 32025

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 9th day of May, 2005, by YVONNE M. HIGGINBOTHAM, MELBA M. BYRUM AND KATHRYN L. MOODY, ATTORNEYS IN FACT FOR MARY S. MOODY, who is known to me or who has produced Driver's License as identification.



Martha Bryan
Commission # DD232534
Expires August 10, 2007
Notary Public - Insurance, Inc. 800-086-7010

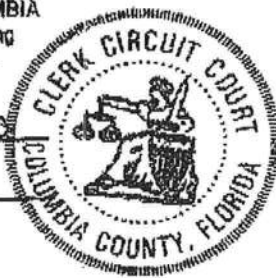
Martha Bryan
Notary Public
My commission expires _____

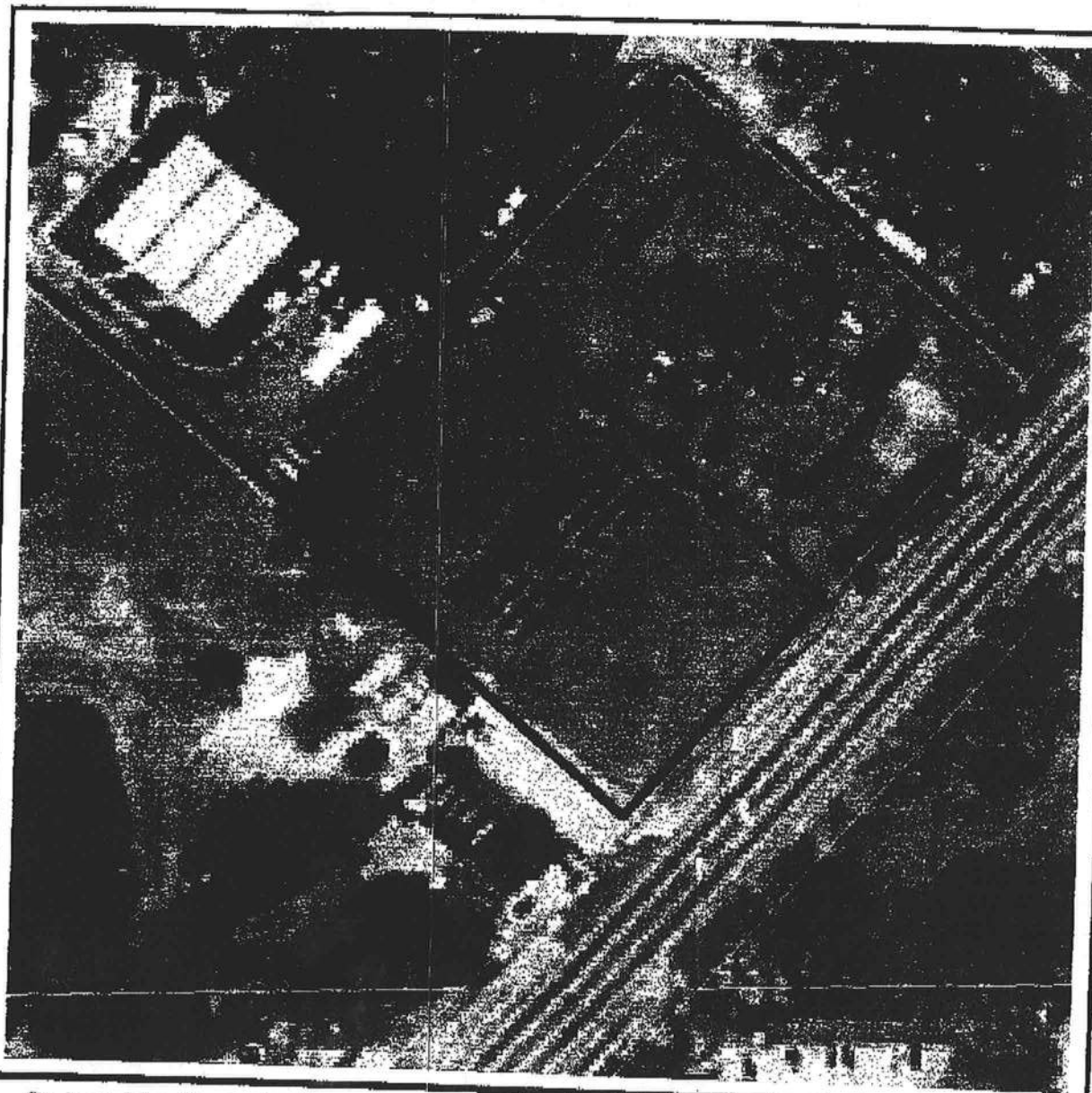
Inst: 2005011479 Date: 05/16/2005 Time: 12:22
Doc Stamp-Deed: 1050.00
DC, P. Dewitt Cason, Columbia County B: 1046 P: 598

STATE OF FLORIDA, COUNTY OF COLUMBIA
I HEREBY CERTIFY, that the above and foregoing
is a true copy of the original filed in this office.
P. DEWITT CASON, CLERK OF COURTS

By *Rose Ann Cullen*
Deputy Clerk

Date *Sept 6 2006*





Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 385-758-1083

PARCEL: 01-4S-16-02692-002 - VACANT COM (001000)

| | | |
|---------------------------------|---------|-------------|
| Name: CURREA CAROLINA | LandVal | \$94,960.00 |
| Site: | BldgVal | \$0.00 |
| Mail: 4206 NW WISTERIA DR | AppVal | \$94,960.00 |
| LAKE CITY, FL 32055 | JustVal | \$94,960.00 |
| Sales | Assd | \$94,960.00 |
| Info 5/9/2005 \$150,000.00V / U | Exmpt | \$0.00 |
| | Taxable | \$94,960.00 |

0 39 78 117 ft



This information, GIS Map Updated: 9/1/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Notice of Treatment

ADD TO
12471

Applicator: Florida Pest Control & Chemical Co. (www.flapest.com)

Address: 53650 BAYVIEW AVE

City LAKE CITY Phone 752-1703

Site Location: Subdivision

Lot # _____ Block# _____ Permit # 25693

Address 876 SW SR 247

BROWN ZEPHIRUS COAST

Product used

Active Ingredient

% Concentration

- | | | |
|---|----------------------------------|-------|
| <input type="checkbox"/> Dursban TC | Chlorpyrifos | 0.5% |
| <input type="checkbox"/> Termidor | Fipronil | 0.06% |
| <input checked="" type="checkbox"/> Bora-Care | Disodium Octaborate Tetrahydrate | 23.0% |

Type treatment:

☐ Soil

☒ Wood

Area Treated

Square feet

Linear feet

Gallons Applied

| | | | |
|-----------------|-------------|------------|------------|
| <u>Dwelling</u> | <u>4263</u> | <u>810</u> | <u>9.0</u> |
| <u>Office</u> | _____ | _____ | _____ |
| _____ | _____ | _____ | _____ |
| _____ | _____ | _____ | _____ |

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line _____.

5-31-07

Date

8:00

Time

F099

Print Technician's Name

Remarks: _____

Applicator - White

Permit File - Canary

Permit Holder - Pink

6/04

©

ZE 0007 **Notice of Treatment** 12471

Applicator: Florida Pest Control & Chemical Co. (www.flapest.com)

Address: 536 SE BAYVIEW Ave

City: LAKE CITY **Phone:** 752 1203

Site Location: Subdivision BRIAN Zecher Lust Eduardo Barba/A

Lot # _____ **Block#** _____ **Permit #** 25693

Address 876 SW SR 247

Product used

Active Ingredient

% Concentration

☒ Premise Imidacloprid 0.1%

☐ Termidor Fipronil 0.12%

☐ Bora-Care Disodium Octaborate Tetrahydrate 23.0%

Type treatment:

☐ Soil

☐ Wood

Area Treated

Square feet

Linear feet

Gallons Applied

COMMERCIAL

268

188

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line _____

4-25-07

Date

3:45

Time

F 299

Print Technician's Name

Remarks: _____

Applicator - White

Permit File - Canary

Permit Holder - Pink

10/05

©

CERTIFICATE OF OCCUPANCY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 01-4S-16-02692-002

Building permit No. 000025693

Use Classification COMM. BUILDING

Fire: 42.45

Permit Holder BRYAN ZECHER

Waste:

Owner of Building DR. EDUARDO BEDOYA

Total: 42.45

Location: 876 SW SR 247S, LAKE CITY, FL

Date: 09/20/2007

Harry Dickel

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)



PROJECT SUMMARY

Short Desc: New Prj

Owner: Dr. Eduardo Bedoya

Address1: Hwy 247

Address2:

Type: Healthcare-Clinic

Jurisdiction: COLUMBIA COUNTY, COLUMBIA COUNTY, FL (221000)

Cond Area: 4167 SF

No of Storeys: 1

Permit No: 0

Description: Eye Center of North Florida

City: Lake City

State: FL

Zip: 32055

Class: New Finished building

Cond & UnCond Area: 4167 SF

Area entered from Plans 4228 SF

Max Tonnage 5

If different, write in: _____

221000

Permit # 25693
Bryan Zeckel - contractor

Compliance Summary

| Component | Design | Criteria | Result |
|--|---------|----------|--------------|
| Gross Energy Use | 3,387.2 | 3,723.0 | PASSES |
| LIGHTING CONTROLS | | | PASSES |
| EXTERNAL LIGHTING | | | PASSES |
| HVAC SYSTEM | | | PASSES |
| PLANT | | | None Entered |
| WATER HEATING SYSTEMS | | | PASSES |
| PIPING SYSTEMS | | | None Entered |
| Met all required compliance from Check List? | | | Yes/No/NA |

IMPORTANT NOTE: An input report of this design building must be submitted along with this Compliance Report.

CERTIFICATIONS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code

Prepared By:

William H. Freeman

Building Official:

Date:

3/27/07

Date:

I certify that this building is in compliance with the FLorida Energy Efficiency Code

Owner Agent:

Date:

If Required by Florida law, I hereby certify (*) that the system design is in compliance with the FLorida Energy Efficiency Code

Architect: William H. Freeman

Reg No: PE#56001

Electrical Designer: William H. Freeman

Reg No: PE#56001

Lighting Designer: William H. Freeman

Reg No: PE#56001

Mechanical Designer: William H. Freeman

Reg No: PE#56001

Plumbing Designer: William H. Freeman

Reg No:

PE#56001

(*) Signature is required where Florida Law requires design to be performed by registered design professionals. Typed names and registration numbers may be used where all relevant information is contained on signed/sealed plans.

Project: New Prj
 Title: Eye Center of North Florida
 Type: Healthcare-Clinic
 (WEA File: JACKSONVILLE.TMY)

Whole Building Compliance

| | Design | Reference |
|--|----------------|----------------|
| Total | 91.00 | 100.00 |
| | \$3,387 | \$3,723 |
| ELECTRICITY(MBtu/k | 91.00 | 100.00 |
| Wh/\$) | 66941 | 73577 |
| | \$3,387 | \$3,723 |
| AREA LIGHTS | 15.90 | 20.68 |
| | 11699 | 15220 |
| | \$592 | \$770 |
| MISC EQUIPMT | 12.55 | 12.55 |
| | 9244 | 9244 |
| | \$468 | \$468 |
| PUMPS & MISC | 0.08 | 0.08 |
| | 59 | 59 |
| | \$3 | \$3 |
| SPACE COOL | 24.34 | 23.82 |
| | 17909 | 17520 |
| | \$906 | \$887 |
| VENT FANS | 38.13 | 42.87 |
| | 28030 | 31534 |
| | \$1,418 | \$1,596 |
| Credits & Penalties (if any): Modified Points: = 91 | | |
| | | PASSES |

Project: New Prj
Title: Eye Center of North Florida
Type: Healthcare-Clinic
(WEA File: JACKSONVILLE.TMY)

External Lighting Compliance

| Description | Category | Allowance (W/Unit) | Area or Length or No. of Units (Sqft or ft) | ELPA (W) | CLP (W) |
|-------------|-----------------------------------|-----------------------|---|-------------|------------|
| Ext Light 1 | Building facades (by linear foot) | 5.00 | 120.0 | 600 | 250 |

Design: 0 (W)

PASSES

Allowance: 0 (W)

Project: New Prj
Title: Eye Center of North Florida
Type: Healthcare-Clinic
(WEA File: JACKSONVILLE.TMY)

Lighting Controls Compliance

| Acronym | Ashrae ID | Description | Area (sq.ft) | No. of Tasks | Design CP | Min CP | Compliance |
|------------|--------------|---|-----------------|-----------------|--------------|-----------|------------|
| Pr0Zo1Sp1 | .004 | Exam/Treatment (Hospital) | 117 | 1 | 6 | 6 | PASSES |
| Pr0Zo1Sp2 | .004 | Exam/Treatment (Hospital) | 150 | 1 | 2 | 2 | PASSES |
| Pr0Zo1Sp3 | 17 | Office - Enclosed | 56 | 1 | 6 | 6 | PASSES |
| Pr0Zo1Sp4 | 9 | Food Service - Bar/Lounge | 84 | 1 | 2 | 2 | PASSES |
| Pr0Zo1Sp5 | .001 | Card File and Cataloging (Library) | 64 | 1 | 4 | 4 | PASSES |
| Pr0Zo1Sp6 | 6 | Toilet and Washroom | 49 | 1 | 3 | 3 | PASSES |
| Pr0Zo1Sp7 | 12 | Lobby (General) - Reception and Waiting | 70 | 1 | 10 | 10 | PASSES |
| Pr0Zo1Sp8 | 1 | Electrical Mechanical Equipment Room - General | 56 | 1 | 1 | 1 | PASSES |
| Pr0Zo1Sp9 | 3 | Storage & Warehouse - Bulky Active Storage | 42 | 1 | 2 | 2 | PASSES |
| Pr0Zo1Sp10 | 5 | Corridor | 60 | 1 | 5 | 5 | PASSES |
| Pr0Zo1Sp11 | 16 | Office - Open Plan | 63 | 1 | 6 | 6 | PASSES |
| Pr0Zo1Sp12 | 13 | All Sports - Seating Area | 90 | 1 | 1 | 1 | PASSES |
| Pr0Zo1Sp13 | 13 | All Sports - Seating Area | 42 | 1 | 1 | 1 | PASSES |
| Pr0Zo1Sp14 | .001 | General Exhibition (Museum) | 144 | 1 | 2 | 2 | PASSES |
| Pr0Zo1Sp15 | .002 | Laboratory | 160 | 1 | 2 | 2 | PASSES |

PASSES

Project: New Prj
 Title: Eye Center of North Florida
 Type: Healthcare-Clinic
 (WEA File: JACKSONVILLE.TMY)

System Report Compliance

Pr0Sy1 System 1 Constant Volume Air Cooled No. of Units
 Split System < 65000 Btu/hr 2

| Component | Category | Capacity | Design Eff | Eff Criteria | Design IPLV | IPLV Criteria | Compliance |
|-----------------------------|--|----------|------------|--------------|-------------|---------------|------------|
| Cooling System | Air Cooled < 65000 Btu/h | | 13.00 | 13.00 | 8.00 | | PASSES |
| Air Handling System -Supply | Cooling Capacity Air Handler (Supply) - Constant Volume | | 0.80 | 0.90 | | | PASSES |

PASSES

Plant Compliance

| Description | Installed No | Size | Design Eff | Min Eff | Design IPLV | Min IPLV | Category | Compliance |
|-------------|--------------|------|------------|---------|-------------|----------|----------|------------|
|-------------|--------------|------|------------|---------|-------------|----------|----------|------------|

None

Project: New Prj
 Title: Eye Center of North Florida
 Type: Healthcare-Clinic
 (WEA File: JACKSONVILLE.TMY)

Water Heater Compliance

| Description | Type | Category | Design Eff | Min Eff | Design Loss | Max Loss | Compliance |
|----------------|-----------------------|------------|------------|---------|-------------|----------|------------|
| Water Heater 1 | Electric water heater | <= 12 [kW] | 0.90 | 0.86 | | | PASSES |

PASSES

Piping System Compliance

| Category | Pipe Dia [inches] | Is Runout? | Operating Temp [F] | Ins Cond [Btu-in/hr .SF.F] | Ins Thick [in] | Req Ins Thick [in] | Compliance |
|----------|----------------------|---------------|--------------------------|----------------------------------|-------------------|-----------------------|------------|
| | | | | | | | None |

Project: New Prj
Title: Eye Center of North Florida
Type: Healthcare-Clinic
(WEA File: JACKSONVILLE.TMY)

Other Required Compliance

| Category | Section | Requirement (write N/A in box if not applicable) | Check |
|--------------|---------|--|-------------------------------------|
| Infiltration | 406.1 | Infiltration Criteria have been met | <input checked="" type="checkbox"/> |
| System | 407.1 | HVAC Load sizing has been performed | <input checked="" type="checkbox"/> |
| Ventilation | 409.1 | Ventilation criteria have been met | <input checked="" type="checkbox"/> |
| ADS | 410.1 | Duct sizing and Design have been performed | <input checked="" type="checkbox"/> |
| T & B | 410.1 | Testing and Balancing will be performed | <input checked="" type="checkbox"/> |
| Motors | 414.1 | Motor efficiency criteria have been met | <input checked="" type="checkbox"/> |
| Lighting | 415.1 | Lighting criteria have been met | <input checked="" type="checkbox"/> |
| O & M | 102.1 | Operation/maintenance manual will be provided to owner | <input checked="" type="checkbox"/> |
| Roof/Ceil | 404.1 | R-19 for Roof Deck with supply plenums beneath it | <input checked="" type="checkbox"/> |
| Report | 101 | Input Report Print-Out from EnergyGauge FlaCom attached? | <input checked="" type="checkbox"/> |

EnergyGauge FLA/COM 2004 v3.00
INPUT DATA REPORT

Project Information

| | |
|---|---|
| Project Name: New Pri | Orientation: North |
| Project Title: Eye Center of North Florida | Building Type: Healthcare-Clinic |
| Address: Hwy 247 | Building Classification: New Finished building |
| State: FL | No. of Storeys: 1 |
| Zip: 32055 | GrossArea: 4167 SF |
| Owner: Dr. Eduardo Bedoya | |

Zones

| No | Acronym | Description | Type | Area [sf] | Multiplier | Total Area [sf] |
|----|---------|-------------|-------------|--------------|------------|--------------------|
| 1 | Pr0Zo1 | Zone 1 | CONDITIONED | 4167.0 | 1 | 4167.0 |

Spaces

| No | Acronym | Description | Type | Depth [ft] | Width [ft] | Height [ft] | Multi plier | Total Area [sf] | Total Volume [cf] |
|----|---------|-------------|------|---------------|---------------|----------------|----------------|--------------------|----------------------|
|----|---------|-------------|------|---------------|---------------|----------------|----------------|--------------------|----------------------|

| | | | | | | | | |
|-----------------------------|---------------------|------------------|---|----|-----|---------------|---|--------------------------|
| 1 | Compact Fluorescent | General Lighting | 4 | 15 | 60 | Manual On/Off | 1 | <input type="checkbox"/> |
| In Space: Pr0Zo1Sp4 | | | | | | | | |
| 1 | Compact Fluorescent | General Lighting | 4 | 25 | 100 | Manual On/Off | 1 | <input type="checkbox"/> |
| In Space: Pr0Zo1Sp5 | | | | | | | | |
| 1 | Compact Fluorescent | General Lighting | 4 | 15 | 60 | Manual On/Off | 1 | <input type="checkbox"/> |
| In Space: Pr0Zo1Sp6 | | | | | | | | |
| 1 | Incandescent | General Lighting | 1 | 40 | 40 | Manual On/Off | 1 | <input type="checkbox"/> |
| In Space: Pr0Zo1Sp7 | | | | | | | | |
| 1 | Compact Fluorescent | General Lighting | 4 | 15 | 60 | Manual On/Off | 1 | <input type="checkbox"/> |
| In Space: Pr0Zo1Sp8 | | | | | | | | |
| 1 | Incandescent | General Lighting | 1 | 75 | 75 | Manual On/Off | 1 | <input type="checkbox"/> |
| In Space: Pr0Zo1Sp9 | | | | | | | | |
| 1 | Incandescent | General Lighting | 1 | 25 | 25 | Manual On/Off | 1 | <input type="checkbox"/> |
| In Space: Pr0Zo1Sp10 | | | | | | | | |
| 1 | Compact Fluorescent | General Lighting | 2 | 15 | 30 | Manual On/Off | 1 | <input type="checkbox"/> |
| In Space: Pr0Zo1Sp11 | | | | | | | | |
| 1 | Compact Fluorescent | General Lighting | 4 | 15 | 60 | Manual On/Off | 1 | <input type="checkbox"/> |
| In Space: Pr0Zo1Sp12 | | | | | | | | |
| 1 | Compact Fluorescent | General Lighting | 4 | 20 | 80 | Manual On/Off | 1 | <input type="checkbox"/> |
| In Space: Pr0Zo1Sp13 | | | | | | | | |
| 1 | Incandescent | General Lighting | 1 | 25 | 25 | Manual On/Off | 1 | <input type="checkbox"/> |
| In Space: Pr0Zo1Sp14 | | | | | | | | |
| 1 | Compact Fluorescent | General Lighting | 3 | 40 | 120 | Manual On/Off | 1 | <input type="checkbox"/> |
| In Space: Pr0Zo1Sp15 | | | | | | | | |
| 1 | Compact Fluorescent | General Lighting | 4 | 20 | 80 | Manual On/Off | 1 | <input type="checkbox"/> |

Walls

| No | Description | Type | Width [ft] | H (Effec) [ft] | Multi plier | Area [sf] | Direction [Btu/hr. sf. F] | Conductance | Heat Capacity [Btu/sf.F] | Dens. [lb/cf] | R-Value [h.s.f.F/Btu] |
|------------------------|-------------|------|------------|----------------|-------------|-----------|---------------------------|-------------|--------------------------|---------------|-----------------------|
| In Zone: Pr0Zo1 | | | | | | | | | | | |

| | | | | | | | | | | | | |
|---|------------|---|-------|------|---|-------|-------|--------|-------|-------|-----|--------------------------|
| 1 | North Wall | 0.75 in. stucco, 2x4x16" oc, R11Batt, 0.5 in. gyp | 79.00 | 9.00 | 1 | 711.0 | North | 0.1118 | 1.183 | 14.94 | 8.9 | <input type="checkbox"/> |
| 2 | East Wall | 0.75 in. stucco, 2x4x16" oc, R11Batt, 0.5 in. gyp | 56.00 | 9.00 | 1 | 504.0 | East | 0.1118 | 1.183 | 14.94 | 8.9 | <input type="checkbox"/> |
| 3 | South Wall | 0.75 in. stucco, 2x4x16" oc, R11Batt, 0.5 in. gyp | 79.00 | 9.00 | 1 | 711.0 | South | 0.1118 | 1.183 | 14.94 | 8.9 | <input type="checkbox"/> |
| 4 | West Wall | 0.75 in. stucco, 2x4x16" oc, R11Batt, 0.5 in. gyp | 56.00 | 9.00 | 1 | 504.0 | West | 0.1118 | 1.183 | 14.94 | 8.9 | <input type="checkbox"/> |

Windows

| No | Description | Type | Shaded | U [Btu/hr sf F] | SHGC | Vis.Tra | W [ft] | H (Effec) [ft] | Multi plier | Total Area [sf] | |
|---------------------------|--------------|--------------|--------|--------------------|------|---------|-----------|-------------------|----------------|--------------------|--------------------------|
| In Zone: Pr0Zo1 | | | | | | | | | | | |
| In Wall: Pr0Zo1Wa1 | | | | | | | | | | | |
| 1 | Pr0Zo1Wa1Wi1 | User Defined | No | 1.2500 | 0.82 | 0.76 | 3.00 | 5.00 | 1 | 15.0 | <input type="checkbox"/> |
| In Wall: Pr0Zo1Wa3 | | | | | | | | | | | |
| 1 | Pr0Zo1Wa3Wi1 | User Defined | No | 1.2500 | 0.82 | 0.76 | 6.00 | 5.00 | 1 | 30.0 | <input type="checkbox"/> |
| In Wall: Pr0Zo1Wa4 | | | | | | | | | | | |
| 1 | Pr0Zo1Wa4Wi1 | User Defined | No | 1.2500 | 0.82 | 0.76 | 3.00 | 5.00 | 2 | 30.0 | <input type="checkbox"/> |

Doors

| No | Description | Type | Shaded? | Width [ft] | H (Effec) [ft] | Multi plier | Area [sf] | Cond. [Btu/hr. sf. F] | Dens. Heat Cap. [lb/cf] [Btu/sf. F] | R-Value [h.sf.F/Btu] | |
|---------------------|---------------|----------------------------|---------|---------------|-------------------|----------------|--------------|--------------------------|--|-------------------------|--------------------------|
| In Zone: Pr0Zol | | | | | | | | | | | |
| In Wall: Pr0Zol1Wal | | | | | | | | | | | |
| 1 | Pr0Zol1WalDr1 | Solid core flush (2.25) | No | 3.00 | 7.00 | 1 | 21.0 | 0.3504 | 0.00 | 2.85 | <input type="checkbox"/> |
| In Wall: Pr0Zol1Wa3 | | | | | | | | | | | |
| 1 | Pr0Zol1Wa3Dr1 | Solid core flush (2.25) | No | 6.00 | 7.00 | 1 | 42.0 | 0.3504 | 0.00 | 2.85 | <input type="checkbox"/> |
| In Wall: Pr0Zol1Wa4 | | | | | | | | | | | |

| | | | | | | | | | | | | |
|---|-------------|----------------------------|----|------|------|---|------|--------|------|------|------|--------------------------|
| 1 | Pr0Zo1W4Dr1 | Solid core flush (2.25) | No | 3.00 | 7.00 | 1 | 21.0 | 0.3504 | 0.00 | 0.00 | 2.85 | <input type="checkbox"/> |
|---|-------------|----------------------------|----|------|------|---|------|--------|------|------|------|--------------------------|

Roofs

| No | Description | Type | Width [ft] | H (Effec) [ft] | Multi plier | Area [sf] | Tilt [deg] | Cond. [Btu/hr. Sf. F] | Heat Cap. Dens. [Btu/sf. F] | Dens. [lb/cf] | R-Value [h.s.f.F/Btu] | |
|------------------------|-------------|----------------------------|---------------|-------------------|----------------|--------------|---------------|--------------------------|--------------------------------|------------------|--------------------------|--------------------------|
| In Zone: Pr0Zo1 | | | | | | | | | | | | |
| 1 | Pr0Zo1Rf1 | Mtl Bldg Roof/R-19 Batt | 56.00 | 65.00 | 1 | 3640.0 | 0.00 | 0.0492 | 1.34 | 9.49 | 20.3 | <input type="checkbox"/> |
| 2 | Pr0Zo1Rf2 | Mtl Bldg Roof/R-19 Batt | 14.00 | 42.00 | 1 | 588.0 | 0.00 | 0.0492 | 1.34 | 9.49 | 20.3 | <input type="checkbox"/> |

Skylights

| No | Description | Type | U [Btu/hr sf F] | SHGC | Vis.Trans | W [ft] | H (Effec) [ft] | Multiplier | Area [Sf] | Total Area [Sf] | |
|------------------------------|-------------|------|--------------------|------|-----------|-----------|-------------------|------------|--------------|--------------------|--|
| In Zone: In Roof: | | | | | | | | | | | |
| <input type="checkbox"/> | | | | | | | | | | | |

Floors

| No | Description | Type | Width [ft] | H (Effec) [ft] | Multi plier | Area [sf] | Cond. [Btu/hr. sf. F] | Heat Cap. Dens. [Btu/sf. F] | Dens. [lb/cf] | R-Value [h.s.f.F/Btu] | |
|------------------------|-------------|---|---------------|-------------------|----------------|--------------|--------------------------|--------------------------------|------------------|--------------------------|--------------------------|
| In Zone: Pr0Zo1 | | | | | | | | | | | |
| 1 | Pr0Zo1F11 | 1 ft. soil, concrete floor, carpet and rubber pad | 65.00 | 56.00 | 1 | 3640.0 | 0.1745 | 54.00 | 108.00 | 5.73 | <input type="checkbox"/> |
| 2 | Pr0Zo1F12 | 1 ft. soil, concrete floor, carpet and rubber pad | 14.00 | 42.00 | 1 | 588.0 | 0.1745 | 54.00 | 108.00 | 5.73 | <input type="checkbox"/> |

Systems

| Pr0Sy1 | | System 1 | Constant Volume Air Cooled Split System < 65000 Btu/hr | | No. Of Units | 2 |
|-----------|--|----------|---|------|--------------|--------------------------|
| Component | Category | Capacity | Efficiency | IPLV | | |
| 1 | Cooling System (Air Cooled < 65000 Btu/h Cooling Capacity) | 60000.00 | 13.00 | 8.00 | | <input type="checkbox"/> |
| 2 | Air Handling System -Supply (Air Handler (Supply) - Constant Volume) | 2000.00 | 0.80 | | | <input type="checkbox"/> |

Plant

| Equipment | Category | Size | Inst.No | Eff. | IPLV |
|-----------|----------|------|---------|------|--------------------------|
| | | | | | <input type="checkbox"/> |

Water Heaters

| W-Heater Description | CapacityCap.Unit | I/P Rt. | Efficiency | Loss |
|-------------------------|------------------|---------|-------------|--------------------------|
| 1 Electric water heater | 50 [Gal] | [kW] | 0.9000 [Ef] | [Btu/h] |
| | | | | <input type="checkbox"/> |

Ext-Lighting

| Description | Category | No. of Luminaires | Watts per Luminaire | Area/Len/No. of units [sf/ft/No] | Control Type | Wattage [W] |
|---------------|-----------------------------------|----------------------|------------------------|-------------------------------------|----------------------|--------------------------|
| 1 Ext Light 1 | Building facades (by linear foot) | 2 | 250 | 120.00 | Photo Sensor control | 500.00 |
| | | | | | | <input type="checkbox"/> |

Piping

| No | Type | Operating Temperature [F] | Insulation Conductivity [Btu-in/h.s.f.F] | Nominal pipe Diameter [in] | Insulation Thickness [in] | Is Runout? |
|----|------|---------------------------|--|----------------------------|---------------------------|--------------------------|
| | | | | | | <input type="checkbox"/> |

Fenestration Used

| Name | Glass Type | No. of Panes | Glass Conductance [Btu/h.s.f.F] | SHGC | VLТ |
|--------------------|--------------|--------------|---------------------------------|--------|--------------------------|
| ASHULSgIClrAll Frn | User Defined | 1 | 1.2500 | 0.8200 | 0.7600 |
| | | | | | <input type="checkbox"/> |

Materials Used

| Mat No | Acronym | Description | Only R-Value Used | RValue [h.s.f.F/Btu] | Thickness [ft] | Conductivity [Btu/h.ft.F] | Density [lb/cf] | SpecificHeat [Btu/lb.F] |
|--------|---------|----------------------------|-------------------|----------------------|----------------|---------------------------|-----------------|--------------------------|
| 187 | Mat1187 | GYP OR PLAS BOARD, 1/2IN | No | 0.4533 | 0.0417 | 0.0920 | 50.00 | 0.2000 |
| 178 | Mat1178 | CARPET W/RUBBER PAD | Yes | 1.2300 | | | | <input type="checkbox"/> |
| 265 | Mat265 | Soil, 1 ft | No | 2.0000 | 1.0000 | 0.5000 | 100.00 | 0.2000 |
| 48 | Mat48 | 6 in. Heavyweight concrete | No | 0.5000 | 0.5000 | 1.0000 | 140.00 | <input type="checkbox"/> |
| 267 | Mat267 | 0.75" stucco | No | 0.1563 | 0.0625 | 0.4000 | 16.00 | <input type="checkbox"/> |
| 266 | Mat266 | 2x4@16" oc + R11 Batt | No | 8.3343 | 0.2917 | 0.0350 | 9.70 | 0.2000 |
| 23 | Mat23 | 6 in. Insulation | No | 20.0000 | 0.5000 | 0.0250 | 5.70 | <input type="checkbox"/> |
| 94 | Mat94 | BUILT-UP ROOFING, 3/8IN | No | 0.3366 | 0.0313 | 0.0930 | 70.00 | 0.3500 |
| | | | | | | | | <input type="checkbox"/> |

Constructs Used

| No | Name | Simple Construct | Massless Construct | Conductance [Btu/h.s.f.] | Heat Capacity [Btu/sf.F] | Density [lb/cf] | RValue [h.s.f./Btu] |
|-------|--|----------------------------|--------------------|--------------------------|--------------------------|-----------------|--------------------------|
| 1009 | 0.75 in. stucco, 2x4x16" oc, R11 Batt, 0.5 in. gyp | No | No | 0.11 | 1.18 | 14.94 | 8.9 |
| | | | | | | | <input type="checkbox"/> |
| Layer | Material No. | Material | Thickness [ft] | Framing Factor | | | |
| 1 | 267 | 0.75" stucco | 0.0625 | 0.000 | | | <input type="checkbox"/> |
| 2 | 266 | 2x4@16" oc + R11 Batt | 0.2917 | 0.000 | | | <input type="checkbox"/> |
| 3 | 187 | GYP OR PLAS BOARD, 1/2IN | 0.0417 | 0.000 | | | <input type="checkbox"/> |
| No | Name | Simple Construct | Massless Construct | Conductance [Btu/h.s.f.] | Heat Capacity [Btu/sf.F] | Density [lb/cf] | RValue [h.s.f./Btu] |
| 1056 | Mtl Bldg Roof/R-19 Batt | No | No | 0.05 | 1.34 | 9.49 | 20.3 |
| | | | | | | | <input type="checkbox"/> |
| Layer | Material No. | Material | Thickness [ft] | Framing Factor | | | |
| 1 | 94 | BUILT-UP ROOFING, 3/8IN | 0.0313 | 0.000 | | | <input type="checkbox"/> |
| 2 | 23 | 6 in. Insulation | 0.5000 | 0.000 | | | <input type="checkbox"/> |
| No | Name | Simple Construct | Massless Construct | Conductance [Btu/h.s.f.] | Heat Capacity [Btu/sf.F] | Density [lb/cf] | RValue [h.s.f./Btu] |
| 1057 | 1 ft. soil, concrete floor, carpet and rubber pad | No | No | 0.17 | 54.00 | 108.00 | 5.7 |
| | | | | | | | <input type="checkbox"/> |
| Layer | Material No. | Material | Thickness [ft] | Framing Factor | | | |
| 1 | 265 | Soil, 1 ft | 2.0000 | 0.000 | | | <input type="checkbox"/> |
| 2 | 48 | 6 in. Heavyweight concrete | 0.5000 | 0.000 | | | <input type="checkbox"/> |
| 3 | 178 | CARPET W/RUBBER PAD | | 0.000 | | | <input type="checkbox"/> |

| No | Name | Simple Construct | Massless Construct | Conductance [Btu/h.sf.F] | Heat Capacity [Btu/sf.F] | Density [lb/cf] | R Value [h.sf.F/Btu] |
|-------|-------------------------|--------------------------|--------------------|--------------------------|--------------------------|-----------------|----------------------|
| 1058 | Solid core flush (2.25) | No | Yes | 0.35 | | | 2.9 |
| | | | | | | | |
| Layer | Material No. | Material | Thickness [ft] | Framing Factor | | | |
| 1 | 279 | Solid core flush (2.25") | | 0.000 | | | |



25693

Land Surveyors
and Mappers

BRITT SURVEYING

830 West Duval Street • Lake City, FL 32055
Phone (386) 752-7163 • Fax (386) 752-5573

04/27/07

L-18332

To Whom It May Concern:

C/o: Brian Zecher Construction

Re: 01-4S-16-02692-002

Permit # 25693

The elevation of the foundation is found to be 154.95 feet. The highest adjacent grade is 154.49 feet and the lowest adjacent grade is 154.39 feet. The elevations shown hereon are based on NGVD 29 datum.

L. Scott Britt
PLS #5757

COLUMBIA COUNTY FIRE DEPARTMENT

135 NE HERNANDO AVENUE

P. O. BOX 1529

SUITE 203

LAKE CITY, FL 32055



PHONE (386) 754-7089

FAX (386) 758-2182

A.B. ATKINSON, III
Fire Chief


To: Edward Bedoya

From: Jeffrey Crawford, Fire Inspector

Date: 29 March 07

Re: Plans Review

A Plans review was performed today of the proposed construction of the Doctors Office, submitted by Edward Bedoya, to be located at 876 SW Branford Highway. We recommend approval of provided plans.


Jeffrey Crawford
License # 136416

LATERAL TOE-NAIL DETAIL

ST-TOENAIL

MITek Industries, Chesterfield, MO Page 1 of 1

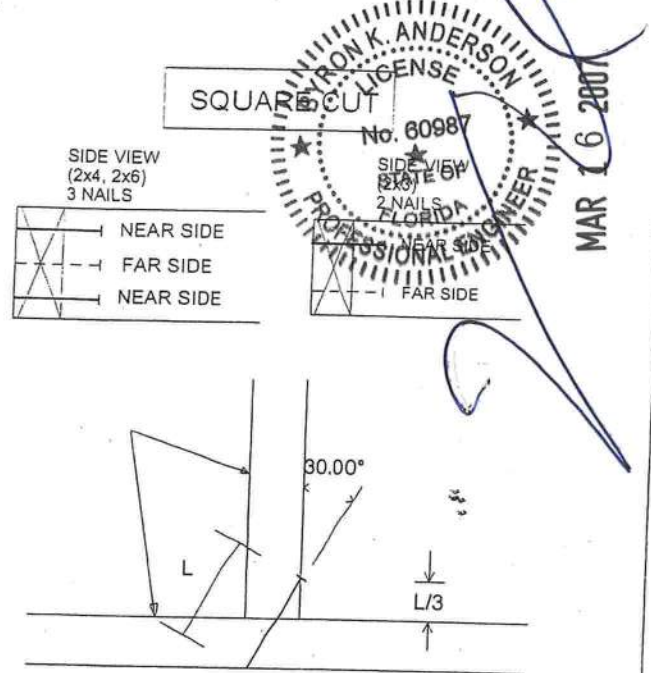
NOTES:

1. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END AS SHOWN.
2. THE END DISTANCE, EDGE DISTANCE, AND SPACING OF NAILS SHALL BE SUCH AS TO AVOID UNUSUAL SPLITTING OF THE WOOD.
3. ALLOWABLE VALUE SHALL BE THE LESSER VALUE OF THE BOTTOM CHORD SPECIES FOR MEMBERS OF DIFFERENT SPECIES.

TOE-NAIL SINGLE SHEAR VALUES PER NDS 2001 (lb/nail)

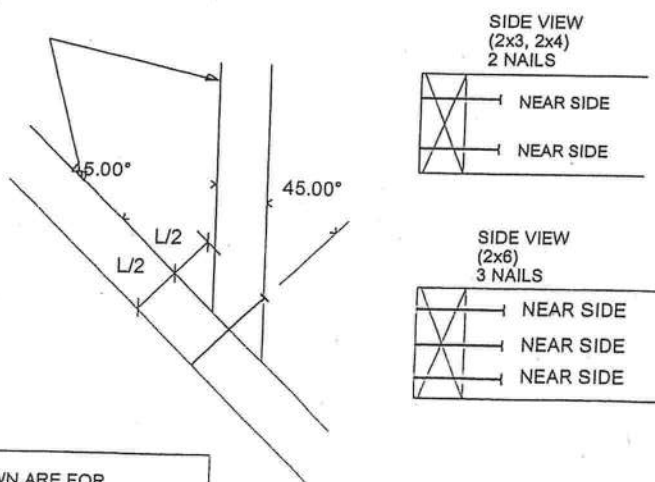
| | DIAM. | SYP |
|------------|-------|-------|
| 3.5" LONG | .131 | 83.3 |
| | .135 | 89.6 |
| | .162 | 118.3 |
| 3.25" LONG | .128 | 80.5 |
| | .131 | 83.3 |
| | .148 | 102.1 |
| 3.0" LONG | .120 | 70.5 |
| | .128 | 80.5 |
| | .131 | 83.3 |
| | .148 | 102.1 |

VALUES SHOWN ARE CAPACITY PER TOE-NAIL.
APPLICABLE DURATION OF LOAD INCREASES MAY BE APPLIED.



45 DEGREE ANGLE BEVEL CUT

This detail may only be applied to Pre-engineered truss drawings signed and sealed by Structural Engineering and Inspections Inc.



VIEWS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY

Byron K. Anderson, FL PE 60987 EB #9196

The seal on this drawing indicates acceptance of professional engineering responsibility solely for the truss component design shown. The suitability and use of this component for any particular building design is the responsibility of the building designer.

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4:42:05 PM 12/7/2006

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Licensee Details**Licensee Information**

Name: **ZECHER, BRYAN CHRISTIAN (Primary Name)**
BRYAN ZECHER CONSTRUCTION INC (DBA Name)
Main Address: **P O BOX 815**
LAKE CITY Florida 32056
County: **COLUMBIA**

License Mailing:

License Location: **465 NW ORANGE ST**
LAKE CITY FL 32055
County: **COLUMBIA**

License Information

License Type: **Certified Building Contractor**
Rank: **Cert Building**
License Number: **CBC054575**
Status: **Current,Active**
Licensure Date: **12/05/1991**
Expires: **08/31/2008**

Special Qualifications Qualification Effective

Bldg Code Core Course
Credit

Qualified Business License Required **04/13/2004**

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| | | | | | |
|---|--------------|--------------------|-----------|----------|--|
| Job L230370 | Truss CJ1 | Truss Type JACK | Qty 10 | Ply 1 | DR. BEDOYA |
| Builders FirstSource, Lake City, FL 32055 | | | | | Job Reference (optional) 6.300 s Apr 19 2006 Mitek Industries, Inc. Thu Mar 15 07:24:27 2007 Page 1 |

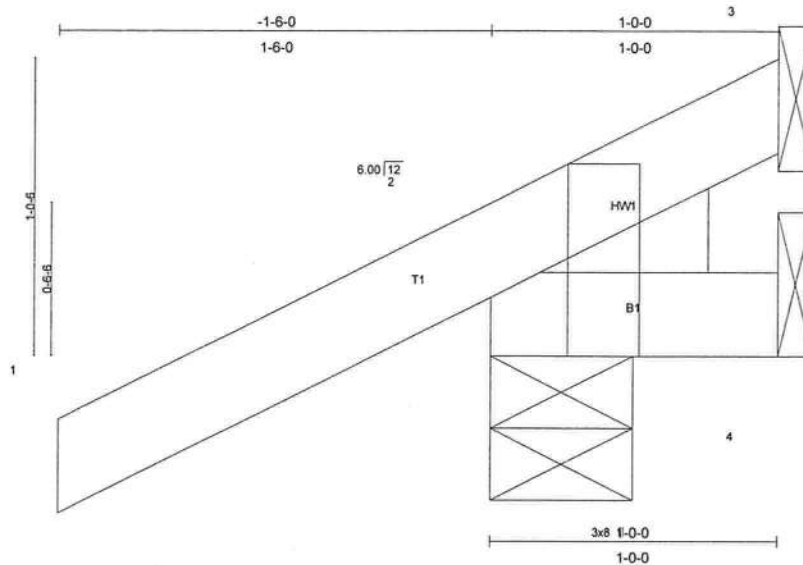


Plate Offsets (X,Y): [2-0-3-8,Edge]

| LOADING (psf) | SPACING | CSI | DEFL | in | (loc) | l/defl | L/d | PLATES | GRIP |
|---------------|----------------------|----------|----------|-------|-------|--------|-----|--------|--------------|
| TCLL 20.0 | 2-0-0 | TC 0.14 | Vert(LL) | -0.00 | 2 | >999 | 240 | MT20 | 244/190 |
| TCDL 7.0 | Plates Increase 1.25 | BC 0.01 | Vert(TL) | -0.00 | 2 | >999 | 180 | | |
| BCLL 10.0 | Lumber Increase 1.25 | WB 0.00 | Horz(TL) | -0.00 | 3 | n/a | n/a | | |
| BCDL 5.0 | Rep Stress Incr YES | (Matrix) | | | | | | | |
| | Code FBC2004/TPI2002 | | | | | | | | |
| | | | | | | | | | Weight: 7 lb |

LUMBER

TOP CHORD 2 X 4 SYP No.2
 BOT CHORD 2 X 4 SYP No.2
 WEDGE
 Left: 2 X 4 SYP No.3

BRACING

TOP CHORD Structural wood sheathing directly applied or 1-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS (lb/size) 2=192/0-6-0, 4=14/Mechanical, 3=-44/Mechanical

Max Horz 2=67(load case 5)
 Max Uplift 2=-171(load case 5), 3=-44(load case 1)
 Max Grav 2=192(load case 1), 4=14(load case 1), 3=51(load case 5)

FORCES (lb) - Maximum Compression/Maximum Tension

TOP CHORD 1-2=0/27, 2-3=-57/35
 BOT CHORD 2-4=0/0

JOINT STRESS INDEX

2 = 0.09 and 2 = 0.00

NOTES

- 1) Wind: ASCE 7-02; 110mph (3-second gust); h=20ft; TCDL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Exterior(2) zone; Lumber DOL=1.60 plate grip DOL=1.60. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.
- 2) All bearings are assumed to be SYP No.2 crushing capacity of 565.00 psi
- 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 171 lb uplift at joint 2 and 44 lb uplift at joint 3.

LOAD CASE(S) Standard

| | | | | | |
|----------------|--------------|--------------------------|-----------|----------|---|
| Job L230370 | Truss EJ7 | Truss Type MONO TRUSS | Qty 41 | Ply 1 | DR. BEDOYA <small>Job Reference (optional)</small> |
|----------------|--------------|--------------------------|-----------|----------|---|

Builders FirstSource, Lake City, FL 32055 6.300 s Apr 19 2006 MiTek Industries, Inc. Thu Mar 15 15:53:22 2007 Page 1

| | | | | | | | | | | |
|-------------------------------------|----------------------|-------|----------|----------|----------|--------|------|--------|------|---------|
| Plate Offsets (X,Y): [2:0-3-8,Edge] | | | | | | | | | | |
| LOADING (psf) | SPACING | 2-0-0 | CSI | DEFL | in (loc) | l/defl | L/d | PLATES | GRIP | |
| TCLL 20.0 | Plates Increase | 1.25 | TC 0.46 | Vert(LL) | -0.13 | 2-4 | >604 | 240 | MT20 | 244/190 |
| TCDL 7.0 | Lumber Increase | 1.25 | BC 0.37 | Vert(TL) | -0.22 | 2-4 | >364 | 180 | | |
| BCLL 10.0 | Rep Stress Incr | YES | WB 0.00 | Horz(TL) | -0.00 | 3 | n/a | n/a | | |
| BCDL 5.0 | Code FBC2004/TPI2002 | | (Matrix) | | | | | | | |
| Weight: 26 lb | | | | | | | | | | |

LUMBER
 TOP CHORD 2 X 4 SYP No.2
 BOT CHORD 2 X 4 SYP No.2
 WEDGE
 Left: 2 X 4 SYP No.3

BRACING
 TOP CHORD Structural wood sheathing directly applied or 6-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS (lb/size) 3=166/Mechanical, 2=385/0-3-8, 4=109/Mechanical
 Max Horz 2=204(load case 5)
 Max Uplift 3=-143(load case 5), 2=-166(load case 5)

FORCES (lb) - Maximum Compression/Maximum Tension
 TOP CHORD 1-2=0/27, 2-3=-96/62
 BOT CHORD 2-4=0/0

JOINT STRESS INDEX
 2 = 0.65 and 2 = 0.00

NOTES
 1) Wind: ASCE 7-02; 110mph (3-second gust); h=20ft; TCDL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Interior(1) zone; Lumber DOL=1.60 plate grip DOL=1.60.
 This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.
 2) All bearings are assumed to be SYP No.2 crushing capacity of 565.00 psi
 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 143 lb uplift at joint 3 and 166 lb uplift at joint 2.

LOAD CASE(S) Standard

| | | | | | |
|---|---------------|--------------------------|--|----------|------------|
| Job L230370 | Truss EJ7A | Truss Type MONO TRUSS | Qty 1 | Ply 2 | DR. BEDOYA |
| Builders FirstSource, Lake City, FL 32055 | | | Job Reference (optional) 6.300 s Apr 19 2006 MiTek Industries, Inc. Thu Mar 15 14:13:21 2007 Page 1 | | |

Scale = 1:25.6

| | | | | | |
|---------------|----------------------|----------|-----------------------------|--------|---------|
| LOADING (psf) | SPACING | CSI | DEFL | PLATES | GRIP |
| TCLL 20.0 | Plates Increase 1.25 | TC 0.34 | in (loc) l/defl L/d | MT20 | 244/190 |
| TCDL 7.0 | Lumber Increase 1.25 | BC 0.67 | Vert(LL) -0.13 1-3 >616 240 | | |
| BCLL 10.0 | Rep Stress Incr NO | WB 0.02 | Vert(TL) -0.21 1-3 >385 180 | | |
| BCDL 5.0 | Code FBC2004/TPI2002 | (Matrix) | Horz(TL) 0.00 n/a n/a | | |
| Weight: 76 lb | | | | | |

| | |
|--|---|
| LUMBER TOP CHORD 2 X 4 SYP No.2 BOT CHORD 2 X 8 SYP 2400F 2.0E WEBS 2 X 4 SYP No.3 | BRACING TOP CHORD Structural wood sheathing directly applied or 7-0-0 oc purlins. BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing. |
|--|---|

REACTIONS (lb/size) 1=2846/0-6-0, 3=2846/Mechanical
 Max Horz 1=161(load case 4)
 Max Uplift 1=1032(load case 4), 3=1117(load case 4)

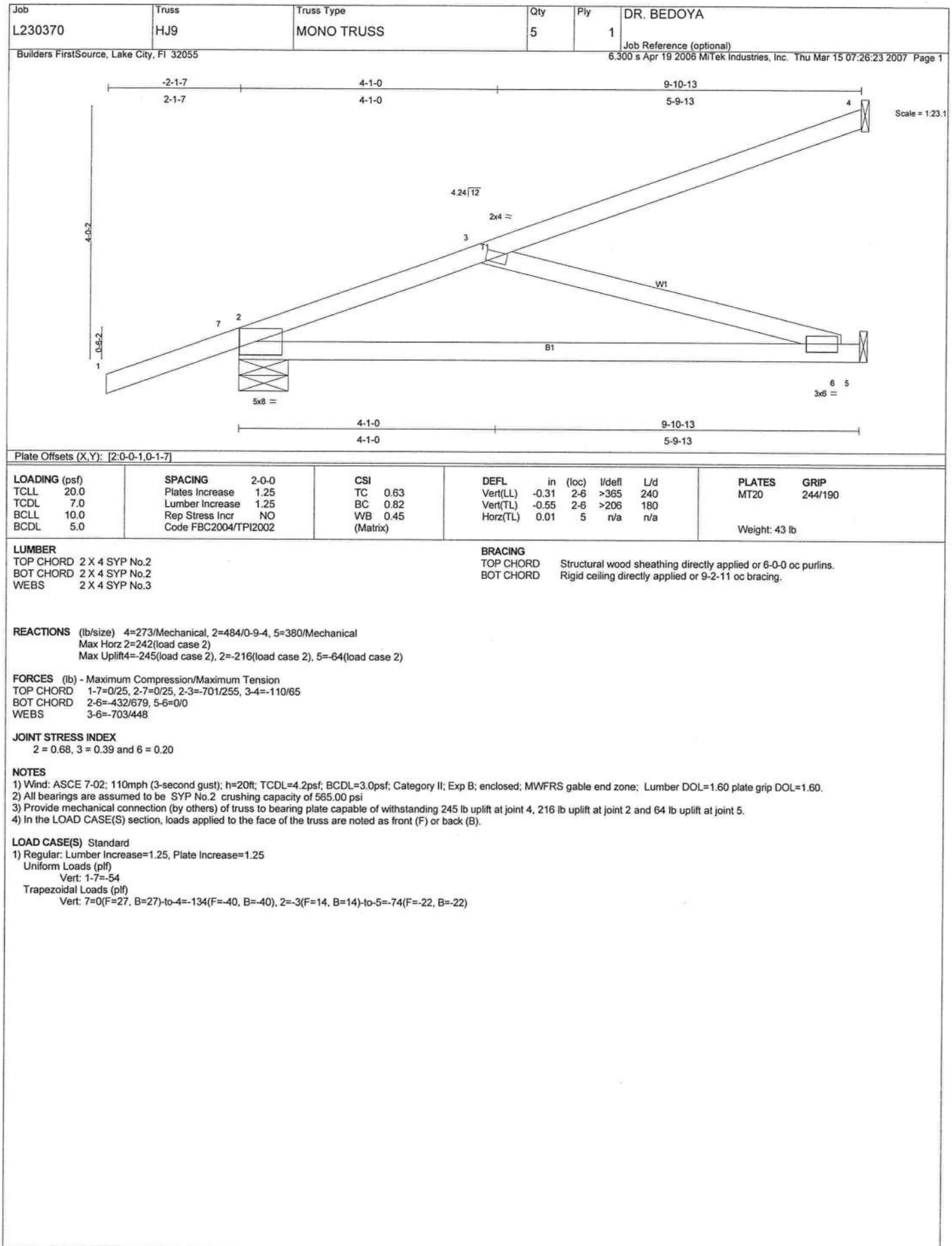
FORCES (lb) - Maximum Compression/Maximum Tension
 TOP CHORD 1-2=-94/70
 BOT CHORD 1-3=0/0
 WEBS 2-3=-186/146

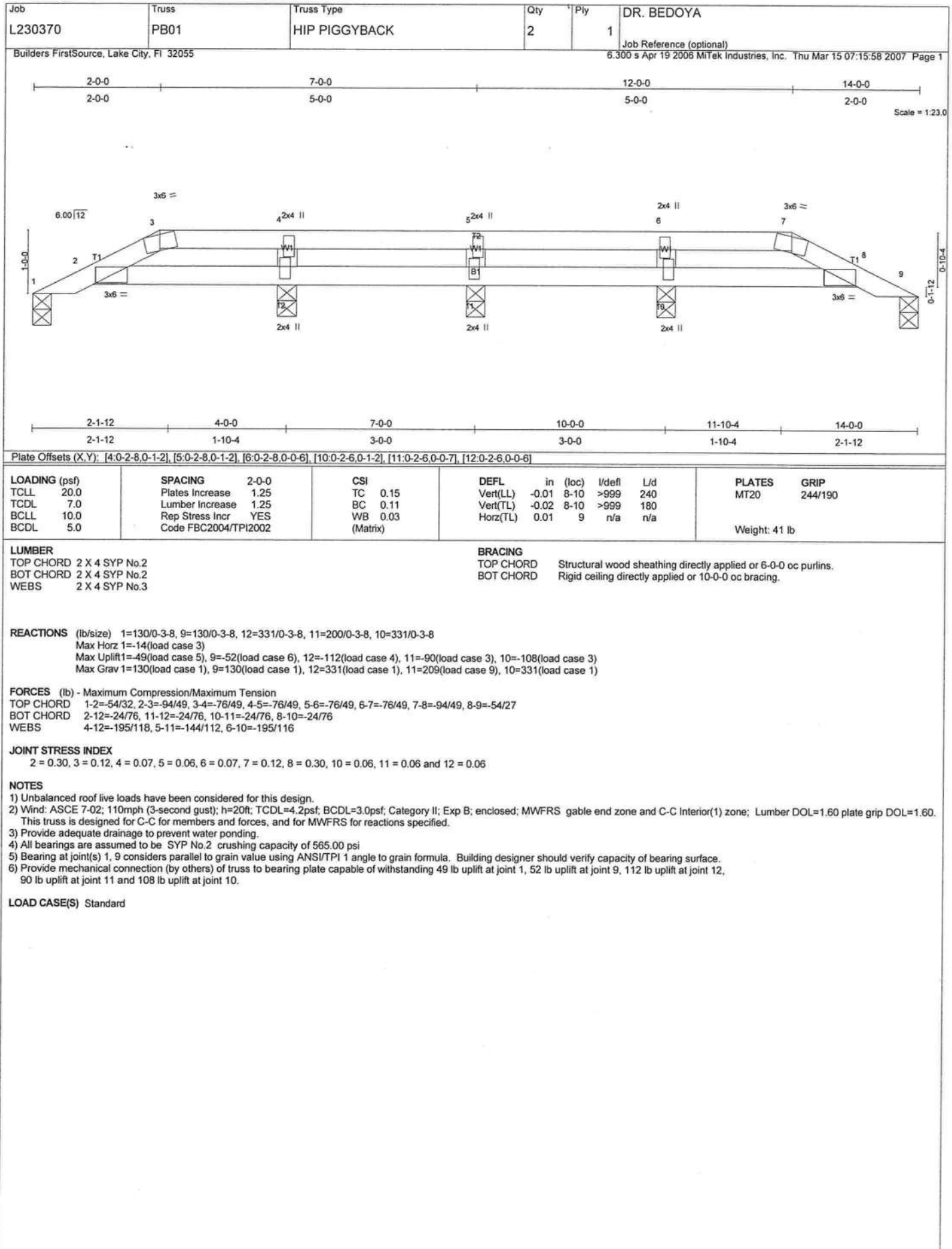
JOINT STRESS INDEX
 1 = 0.24, 2 = 0.04 and 3 = 0.02

NOTES

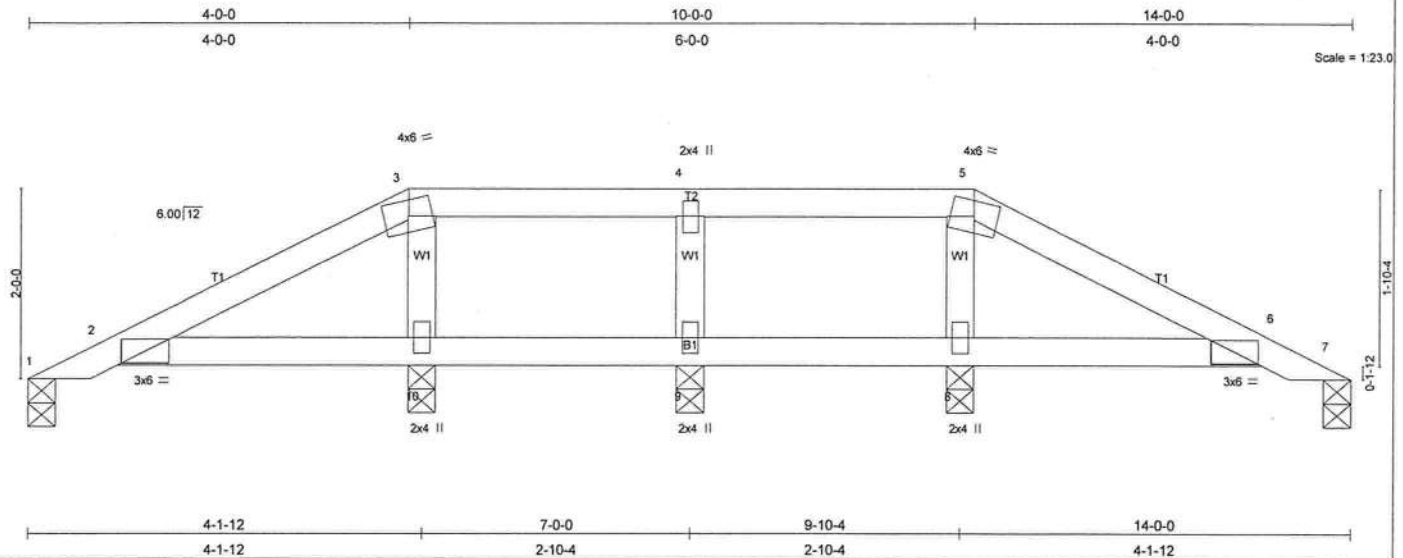
- 2-ply truss to be connected together with 10d (0.131"x3") nails as follows:
 Top chords connected as follows: 2 X 4 - 1 row at 0-9-0 oc.
 Bottom chords connected as follows: 2 X 8 - 2 rows at 0-7-0 oc.
 Webs connected as follows: 2 X 4 - 1 row at 0-9-0 oc.
- All loads are considered equally applied to all plies, except if noted as front (F) or back (B) face in the LOAD CASE(S) section. Ply to ply connections have been provided to distribute only loads noted as (F) or (B), unless otherwise indicated.
- Wind: ASCE 7-02; 110mph (3-second gust); h=20ft; TCCL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone; Lumber DOL=1.60 plate grip DOL=1.60.
- All bearings are assumed to be SYP No.2 crushing capacity of 565.00 psi
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1032 lb uplift at joint 1 and 1117 lb uplift at joint 3.

LOAD CASE(S) Standard
 1) Regular: Lumber Increase=1.25, Plate Increase=1.25
 Uniform Loads (plf)
 Vert: 1-2=-54, 1-3=-808(F=-778)





| | | | | | |
|---|---------------|-----------------------------|--|----------|------------|
| Job L230370 | Truss PB02 | Truss Type HIP PIGGYBACK | Qty 2 | Ply 1 | DR. BEDOYA |
| Builders FirstSource, Lake City, FL 32055 | | | Job Reference (optional) 6.300 s Apr 19 2006 Mitek Industries, Inc. Thu Mar 15 07:17:50 2007 Page 1 | | |



| | | | | | |
|----------------------|----------------------|------------|------------------------------|---------------|-------------|
| LOADING (psf) | SPACING | CSI | DEFL | PLATES | GRIP |
| TCLL 20.0 | 2-0-0 | TC 0.14 | in (loc) l/defl L/d | MT20 | 244/190 |
| TCDL 7.0 | Plates Increase 1.25 | BC 0.10 | Vert(LL) -0.01 2-10 >999 240 | | |
| BCLL 10.0 | Lumber Increase 1.25 | WB 0.04 | Vert(TL) -0.01 2-10 >999 180 | | |
| BCDL 5.0 | Rep Stress Incr YES | (Matrix) | Horz(TL) 0.00 7 n/a n/a | | |
| | Code FBC2004/TPI2002 | | | Weight: 46 lb | |

LUMBER
 TOP CHORD 2 X 4 SYP No.2
 BOT CHORD 2 X 4 SYP No.2
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Structural wood sheathing directly applied or 6-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing.

REACTIONS (lb/size) 1=63/0-3-8, 7=63/0-3-8, 10=396/0-3-8, 8=396/0-3-8, 9=204/0-3-8
 Max Horz 1=-28(load case 3)
 Max Uplift 1=-26(load case 5), 7=-36(load case 6), 10=-136(load case 5), 8=-126(load case 6), 9=-101(load case 3)
 Max Grav 1=80(load case 9), 7=80(load case 10), 10=396(load case 1), 8=396(load case 1), 9=223(load case 9)

FORCES (lb) - Maximum Compression/Maximum Tension
 TOP CHORD 1-2=-32/38, 2-3=-67/216, 3-4=-29/176, 4-5=-29/176, 5-6=-57/216, 6-7=-32/21
 BOT CHORD 2-10=-151/92, 9-10=-176/100, 8-9=-176/100, 6-8=-151/88
 WEBS 3-10=-271/136, 5-8=-271/127, 4-9=-157/119

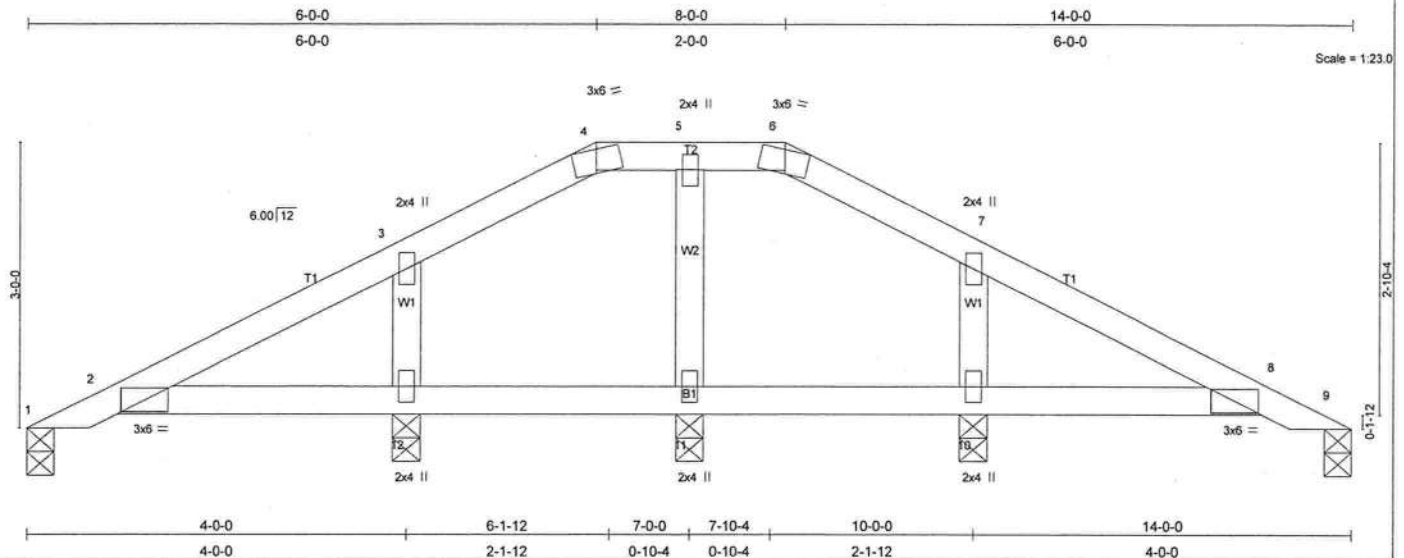
JOINT STRESS INDEX
 2 = 0.22, 3 = 0.40, 4 = 0.07, 5 = 0.40, 6 = 0.22, 8 = 0.10, 9 = 0.07 and 10 = 0.10

NOTES

- 1) Unbalanced roof live loads have been considered for this design.
- 2) Wind: ASCE 7-02; 110mph (3-second gust); h=20ft; TCDL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Interior(1) zone; Lumber DOL=1.60 plate grip DOL=1.60. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.
- 3) Provide adequate drainage to prevent water ponding.
- 4) All bearings are assumed to be SYP No.2 crushing capacity of 565.00 psi
- 5) Bearing at joint(s) 1, 7 considers parallel to grain value using ANSI/TPI 1 angle to grain formula. Building designer should verify capacity of bearing surface.
- 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 26 lb uplift at joint 1, 36 lb uplift at joint 7, 136 lb uplift at joint 10, 126 lb uplift at joint 8 and 101 lb uplift at joint 9.

LOAD CASE(S) Standard

| | | | | | |
|---|---------------|-----------------------------|--|----------|------------|
| Job L230370 | Truss PB03 | Truss Type HIP PIGGYBACK | Qty 2 | Ply 1 | DR. BEDOYA |
| Builders FirstSource, Lake City, FL 32055 | | | Job Reference (optional) 6.300 s Apr 19 2006 MiTek Industries, Inc. Thu Mar 15 07:19:20 2007 Page 1 | | |



| LOADING (psf) | SPACING | CSI | DEFL | PLATES | GRIP |
|---------------|----------------------|----------|------------------------------|---------------|---------|
| TCLL 20.0 | 2-0-0 | TC 0.15 | in (loc) l/defl L/d | MT20 | 244/190 |
| TCDL 7.0 | Plates Increase 1.25 | BC 0.10 | Vert(LL) -0.01 8-10 >999 240 | | |
| BCLL 10.0 | Lumber Increase 1.25 | WB 0.04 | Vert(TL) -0.01 8-10 >999 180 | | |
| BCDL 5.0 | Rep Stress Incr YES | (Matrix) | Horz(TL) 0.01 9 n/a n/a | | |
| | Code FBC2004/TPI2002 | | | Weight: 48 lb | |

LUMBER
 TOP CHORD 2 X 4 SYP No.2
 BOT CHORD 2 X 4 SYP No.2
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Structural wood sheathing directly applied or 6-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS (lb/size) 1=77/0-3-8, 9=77/0-3-8, 11=293/0-3-8, 12=337/0-3-8, 10=337/0-3-8
 Max Horz 1=-43(load case 3)
 Max Uplift 1=-27(load case 6), 9=-33(load case 6), 11=-48(load case 4), 12=-162(load case 5), 10=-156(load case 6)
 Max Grav 1=87(load case 9), 9=87(load case 10), 11=293(load case 1), 12=340(load case 9), 10=340(load case 10)

FORCES (lb) - Maximum Compression/Maximum Tension
 TOP CHORD 1-2=-36/54, 2-3=-77/165, 3-4=0/117, 4-5=0/104, 5-6=0/104, 6-7=0/117, 7-8=-53/165, 8-9=-36/20
 BOT CHORD 2-12=-104/92, 11-12=-104/92, 10-11=-104/92, 8-10=-104/92
 WEBS 5-11=-226/70, 3-12=-211/162, 7-10=-211/157

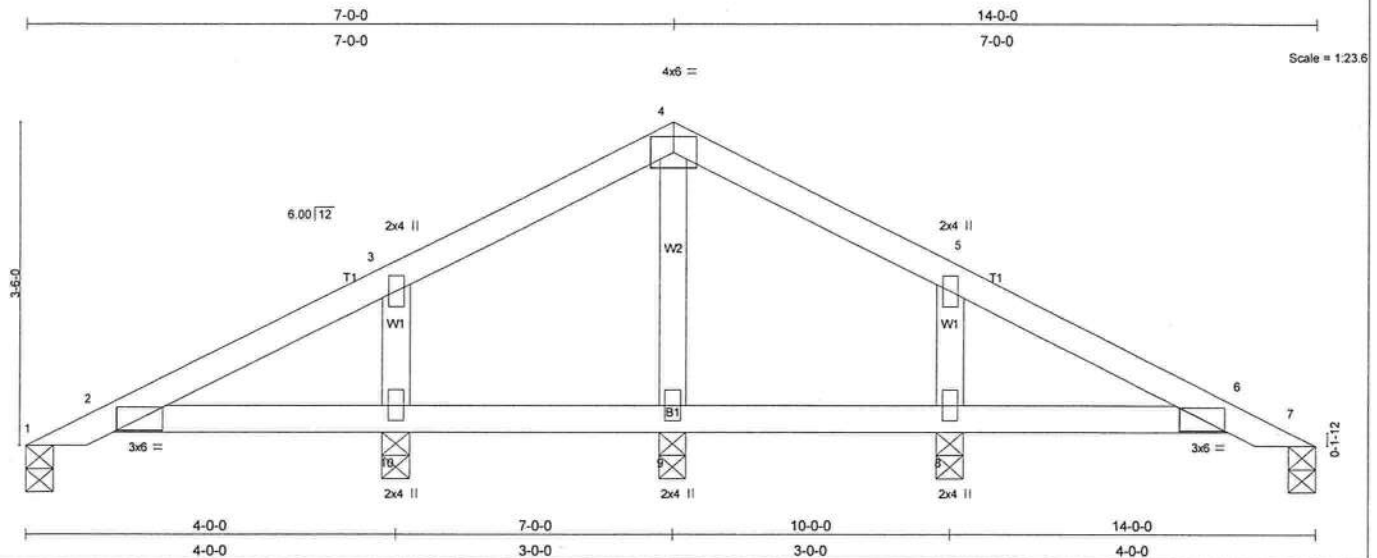
JOINT STRESS INDEX
 2 = 0.24, 3 = 0.09, 4 = 0.13, 5 = 0.08, 6 = 0.13, 7 = 0.09, 8 = 0.24, 10 = 0.09, 11 = 0.08 and 12 = 0.09

NOTES

- 1) Unbalanced roof live loads have been considered for this design.
- 2) Wind: ASCE 7-02; 110mph (3-second gust); h=20ft; TCCL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Interior(1) zone; Lumber DOL=1.60 plate grip DOL=1.60. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.
- 3) Provide adequate drainage to prevent water ponding.
- 4) All bearings are assumed to be SYP No.2 crushing capacity of 565.00 psi
- 5) Bearing at joint(s) 1, 9 considers parallel to grain value using ANSI/TPI 1 angle to grain formula. Building designer should verify capacity of bearing surface.
- 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 27 lb uplift at joint 1, 33 lb uplift at joint 9, 48 lb uplift at joint 11, 162 lb uplift at joint 12 and 156 lb uplift at joint 10.

LOAD CASE(S) Standard

| | | | | | |
|---|---------------|-------------------------|--|----------|------------|
| Job L230370 | Truss PB04 | Truss Type PIGGYBACK | Qty 5 | Ply 1 | DR. BEDOYA |
| Builders FirstSource, Lake City, FL 32055 | | | Job Reference (optional) 6.300 s Apr 19 2006 MiTek Industries, Inc. Thu Mar 15 07:20:05 2007 Page 1 | | |



| LOADING (psf) | SPACING | CSI | DEFL | in | (loc) | I/defl | L/d | PLATES | GRIP |
|---------------|----------------------|----------|----------|-------|-------|--------|-----|---------------|---------|
| TCLL 20.0 | 2'-0" | TC 0.15 | Vert(LL) | -0.01 | 2-10 | >999 | 240 | MT20 | 244/190 |
| TCDL 7.0 | Plates Increase 1.25 | BC 0.10 | Vert(TL) | -0.01 | 2-10 | >999 | 180 | | |
| BCLL 10.0 | Lumber Increase 1.25 | WB 0.06 | Horz(TL) | 0.00 | 7 | n/a | n/a | | |
| BCDL 5.0 | Rep Stress Incr YES | (Matrix) | | | | | | | |
| | Code FBC2004/TPI2002 | | | | | | | Weight: 49 lb | |

LUMBER
 TOP CHORD 2 X 4 SYP No.2
 BOT CHORD 2 X 4 SYP No.2
 WEBS 2 X 4 SYP No.3

BRACING
 TOP CHORD Structural wood sheathing directly applied or 6'-0" oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10'-0" oc bracing.

REACTIONS (lb/size) 1=67/0-3-8, 7=67/0-3-8, 9=342/0-3-8, 10=322/0-3-8, 8=322/0-3-8
 Max Horz 1=50(load case 4)
 Max Uplift 1=-27(load case 6), 7=-30(load case 6), 9=-57(load case 5), 10=-166(load case 5), 8=-162(load case 6)
 Max Grav 1=79(load case 9), 7=79(load case 10), 9=342(load case 1), 10=332(load case 9), 8=332(load case 10)

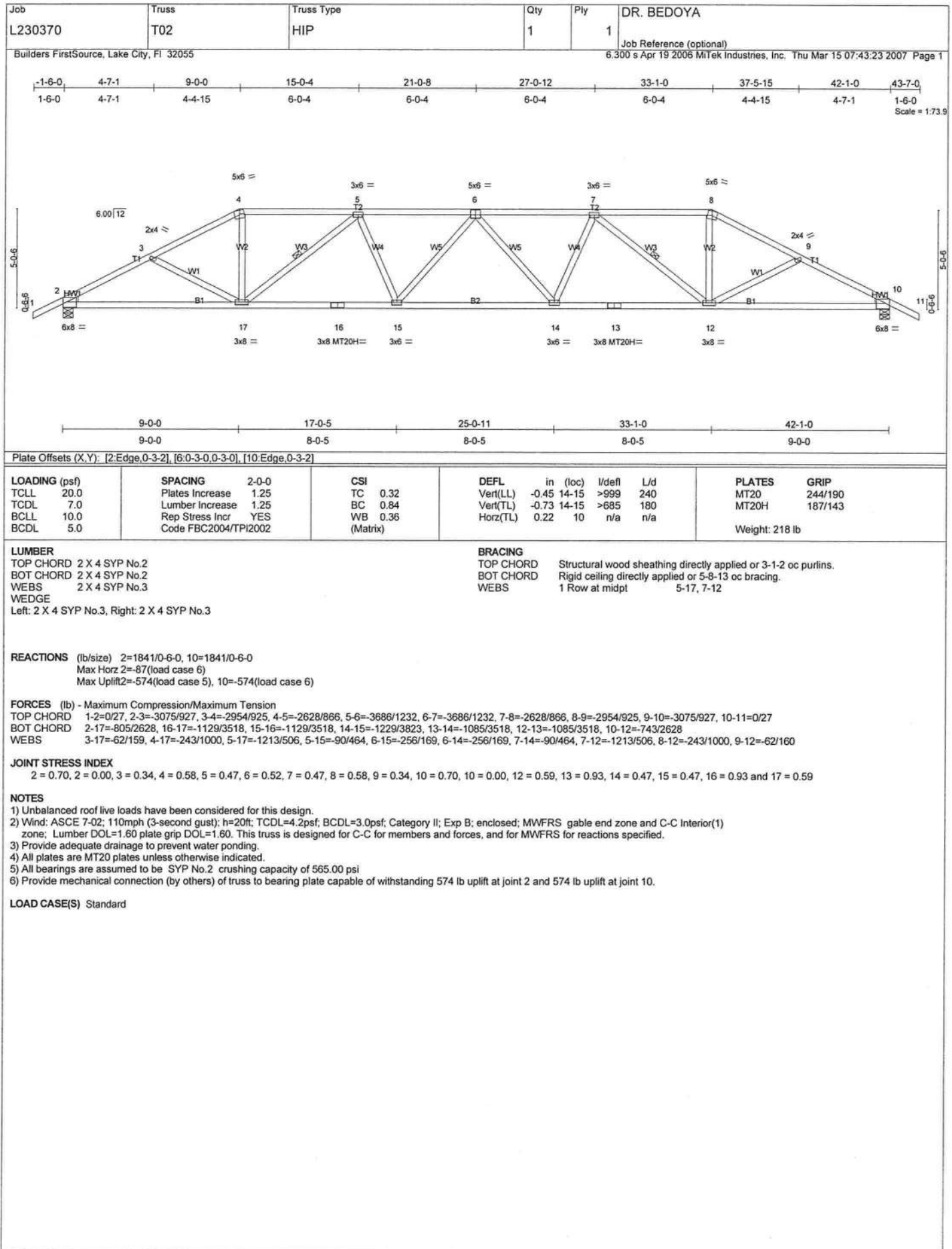
FORCES (lb) - Maximum Compression/Maximum Tension
 TOP CHORD 1-2=-46/60, 2-3=-92/197, 3-4=-5/181, 4-5=0/181, 5-6=-61/197, 6-7=-32/18
 BOT CHORD 2-10=-134/98, 9-10=-134/98, 8-9=-134/98, 6-8=-134/98
 WEBS 4-9=-274/82, 3-10=-205/168, 5-8=-205/165

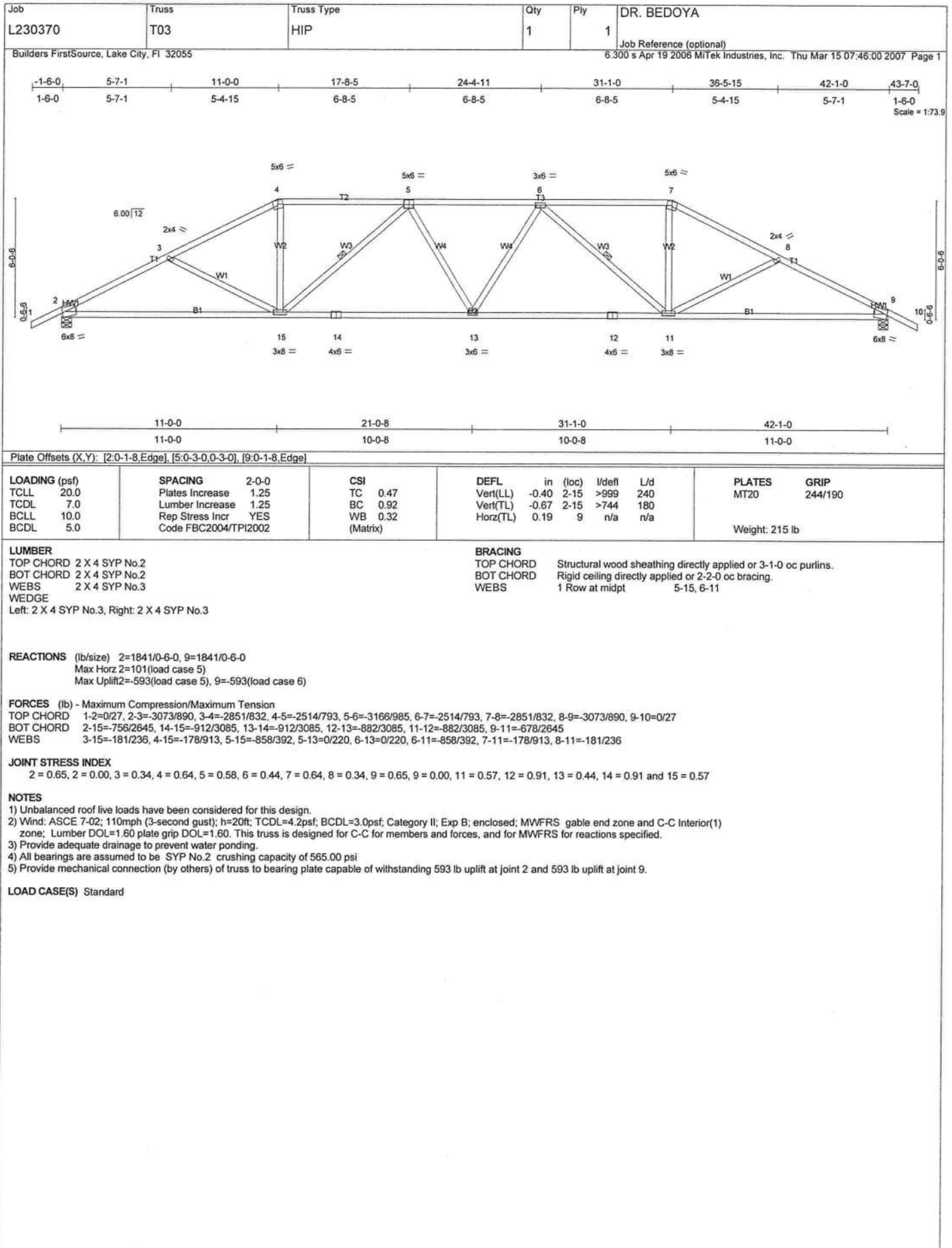
JOINT STRESS INDEX
 2 = 0.22, 3 = 0.09, 4 = 0.15, 5 = 0.09, 6 = 0.22, 8 = 0.10, 9 = 0.10 and 10 = 0.10

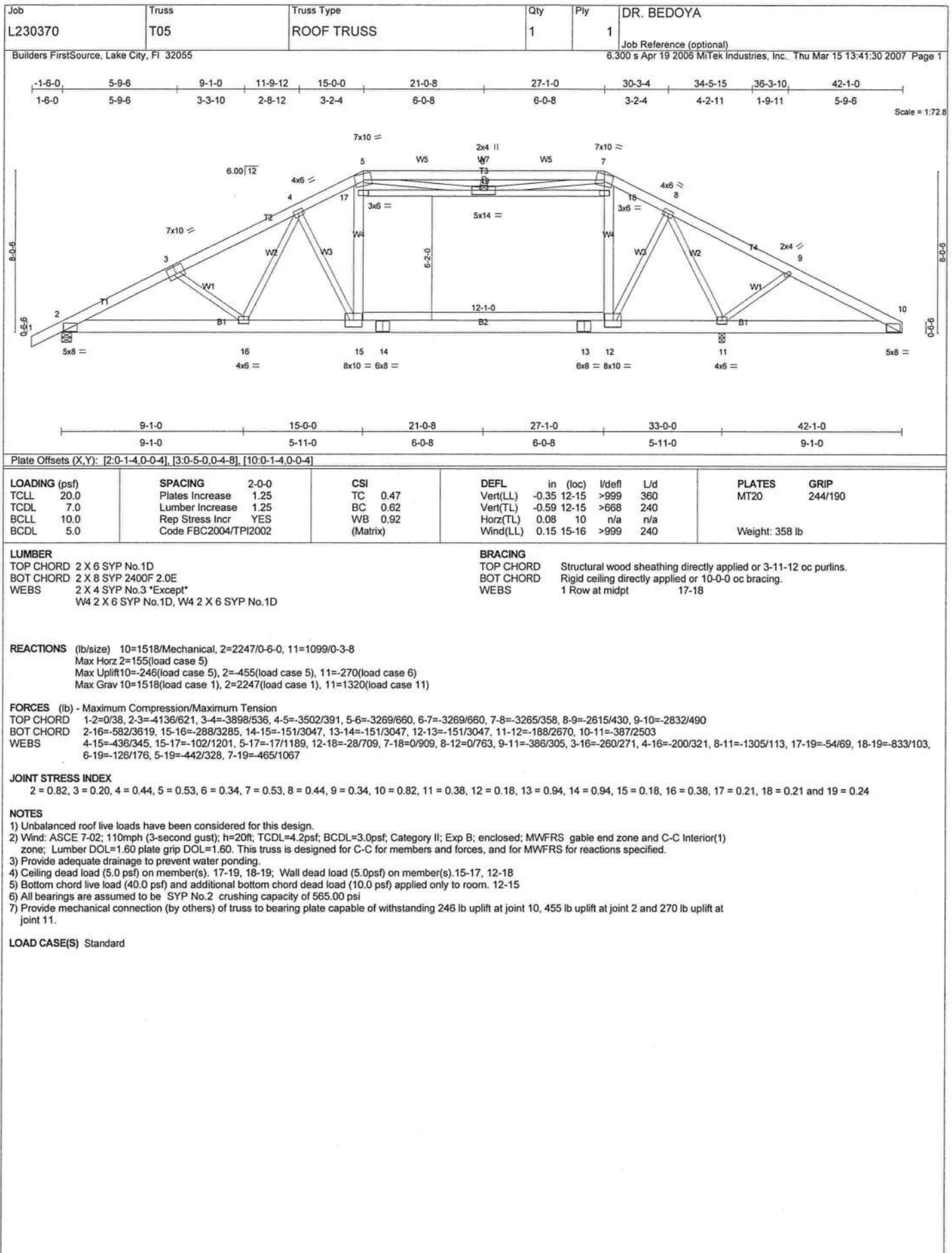
NOTES

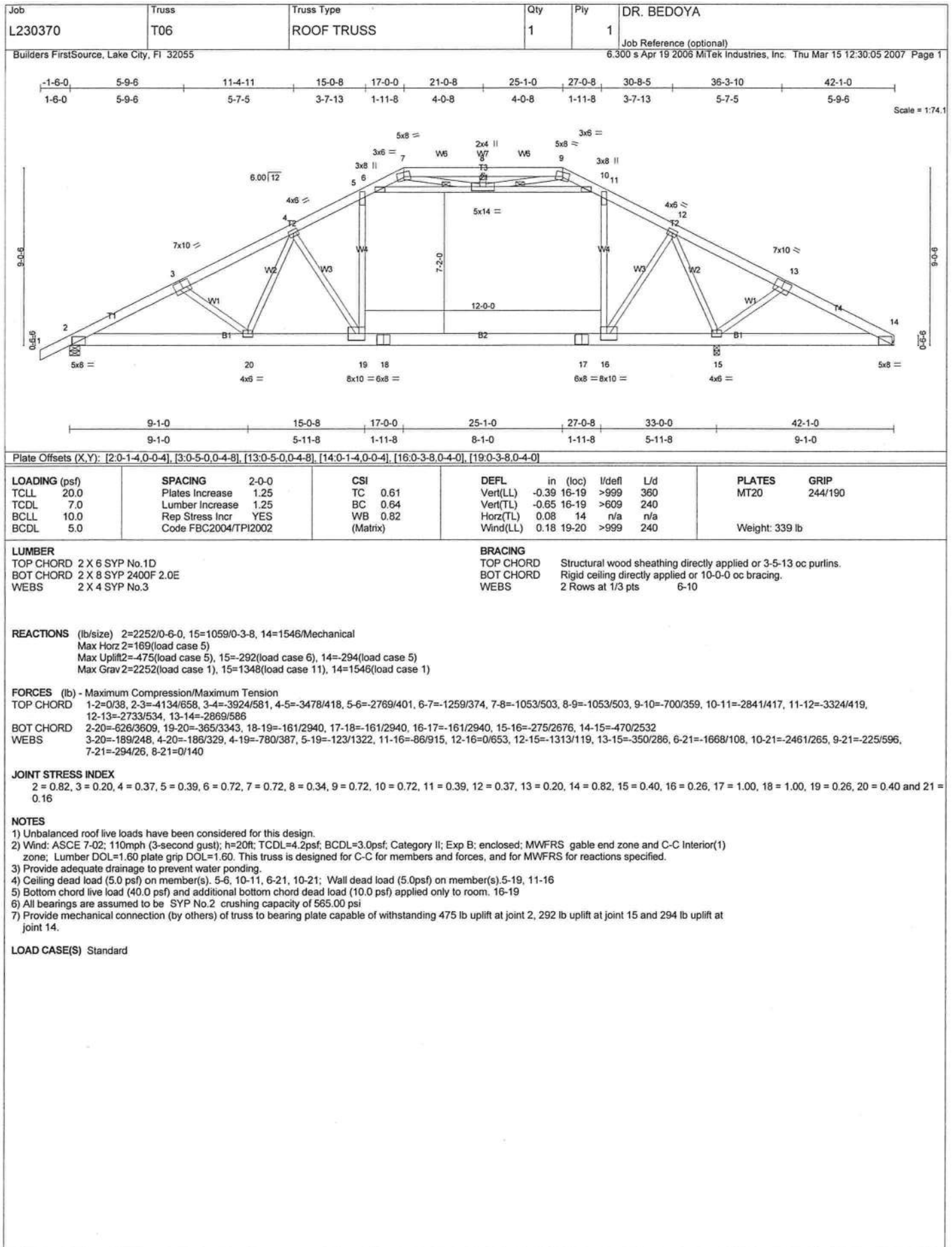
- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-02; 110mph (3-second gust); h=20ft; TCDL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Interior(1) zone; Lumber DOL=1.60 plate grip DOL=1.60. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.
- All bearings are assumed to be SYP No.2 crushing capacity of 565.00 psi
- Bearing at joint(s) 1, 7 considers parallel to grain value using ANSI/TPI 1 angle to grain formula. Building designer should verify capacity of bearing surface.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 27 lb uplift at joint 1, 30 lb uplift at joint 7, 57 lb uplift at joint 9, 166 lb uplift at joint 10 and 162 lb uplift at joint 8.

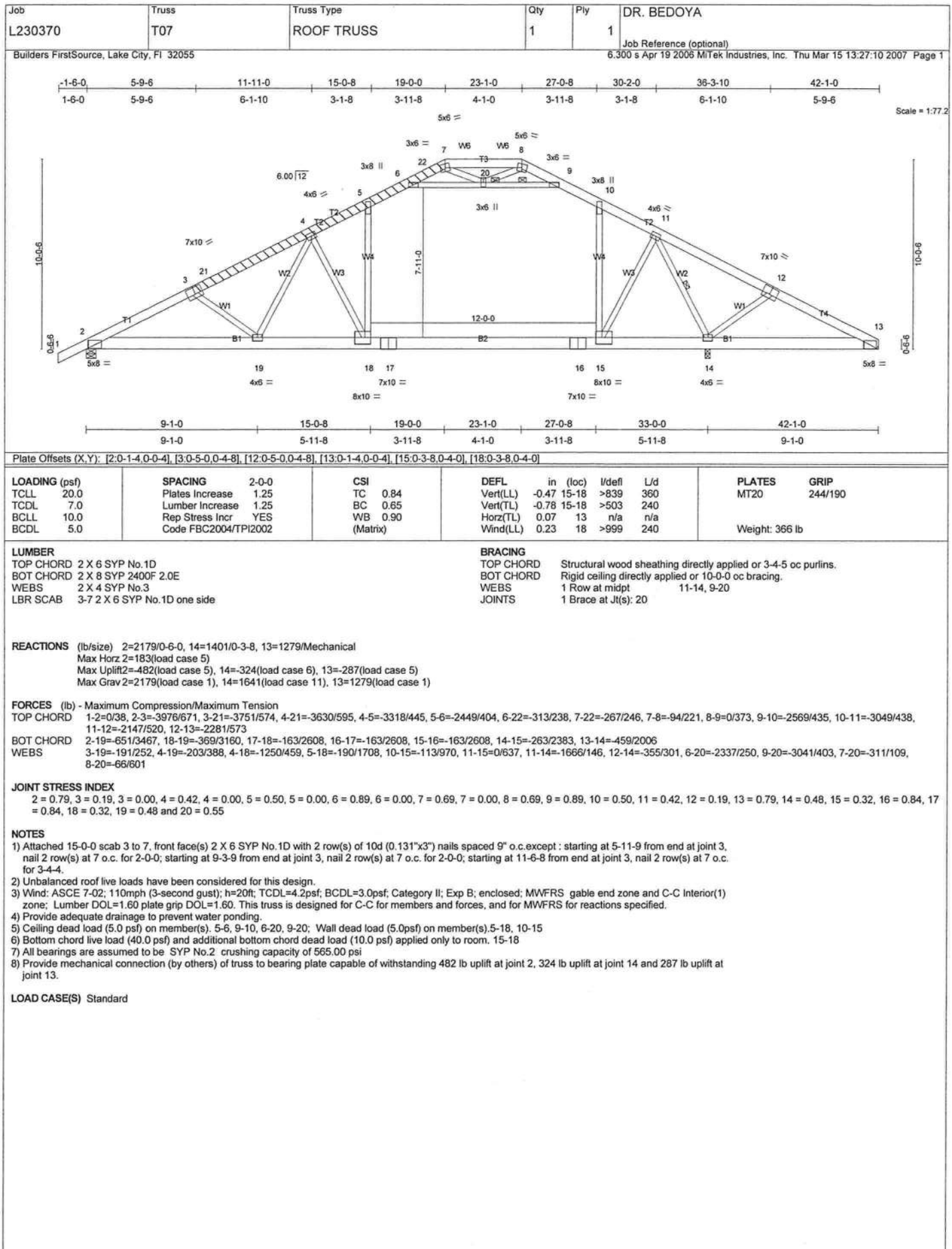
LOAD CASE(S) Standard

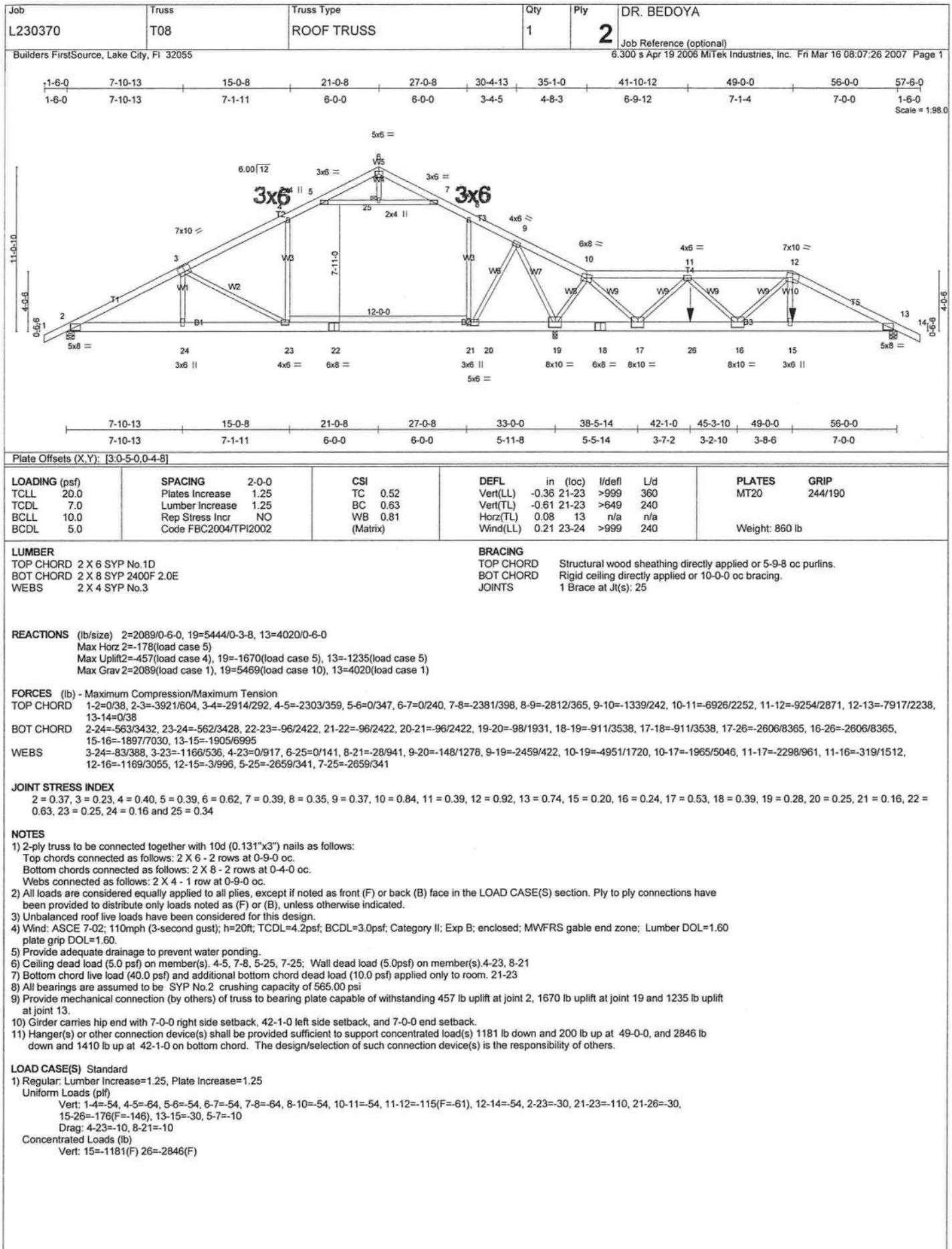


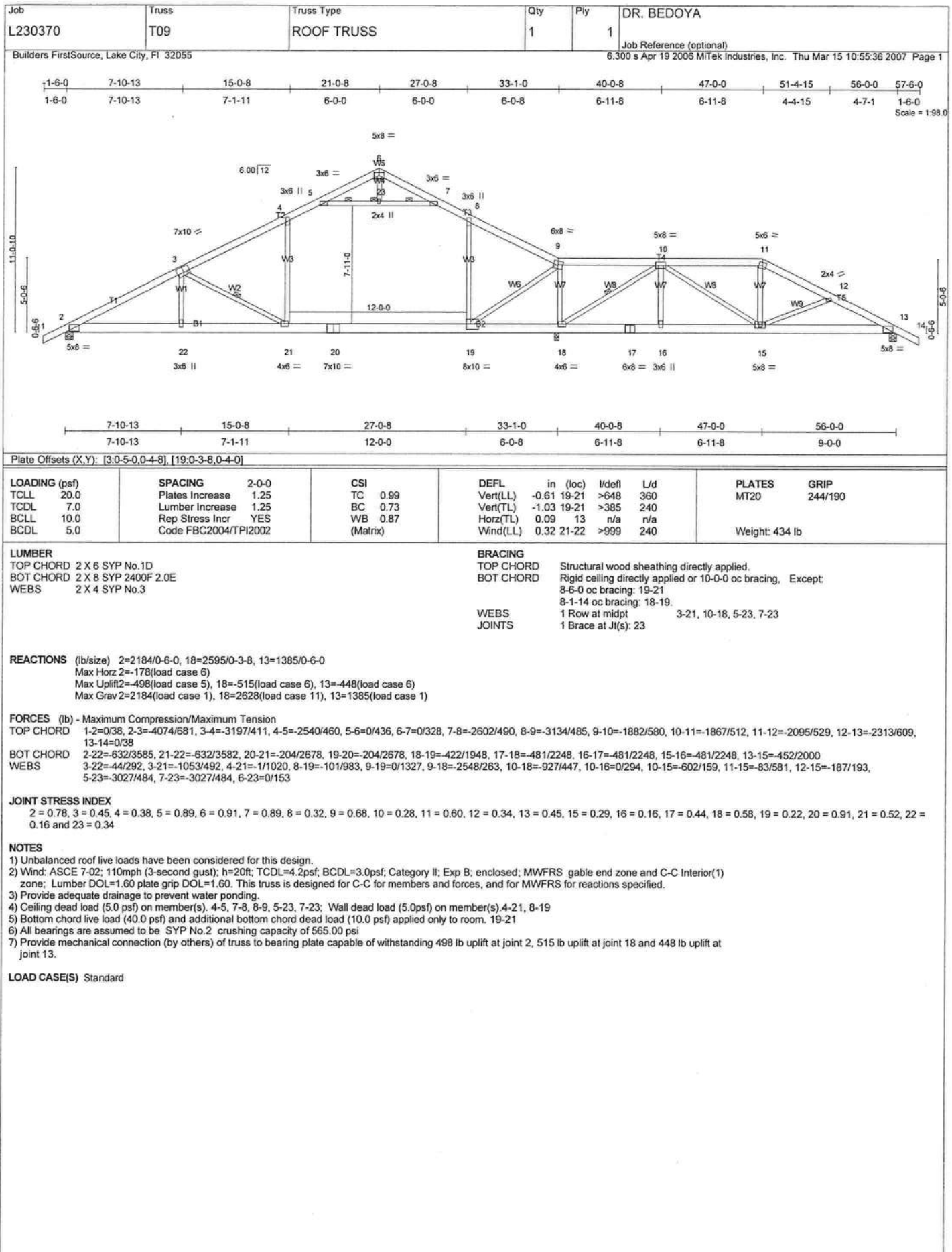


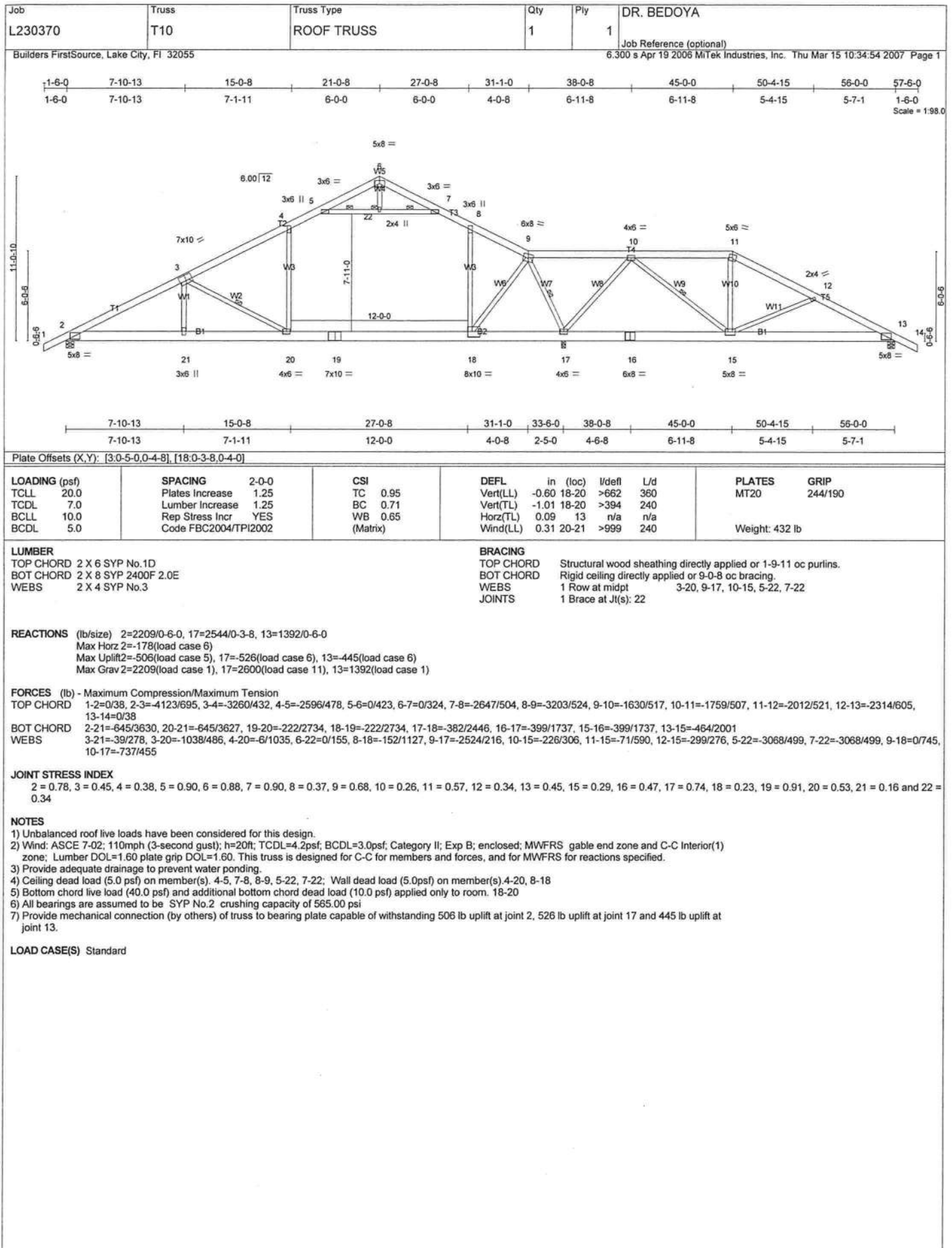


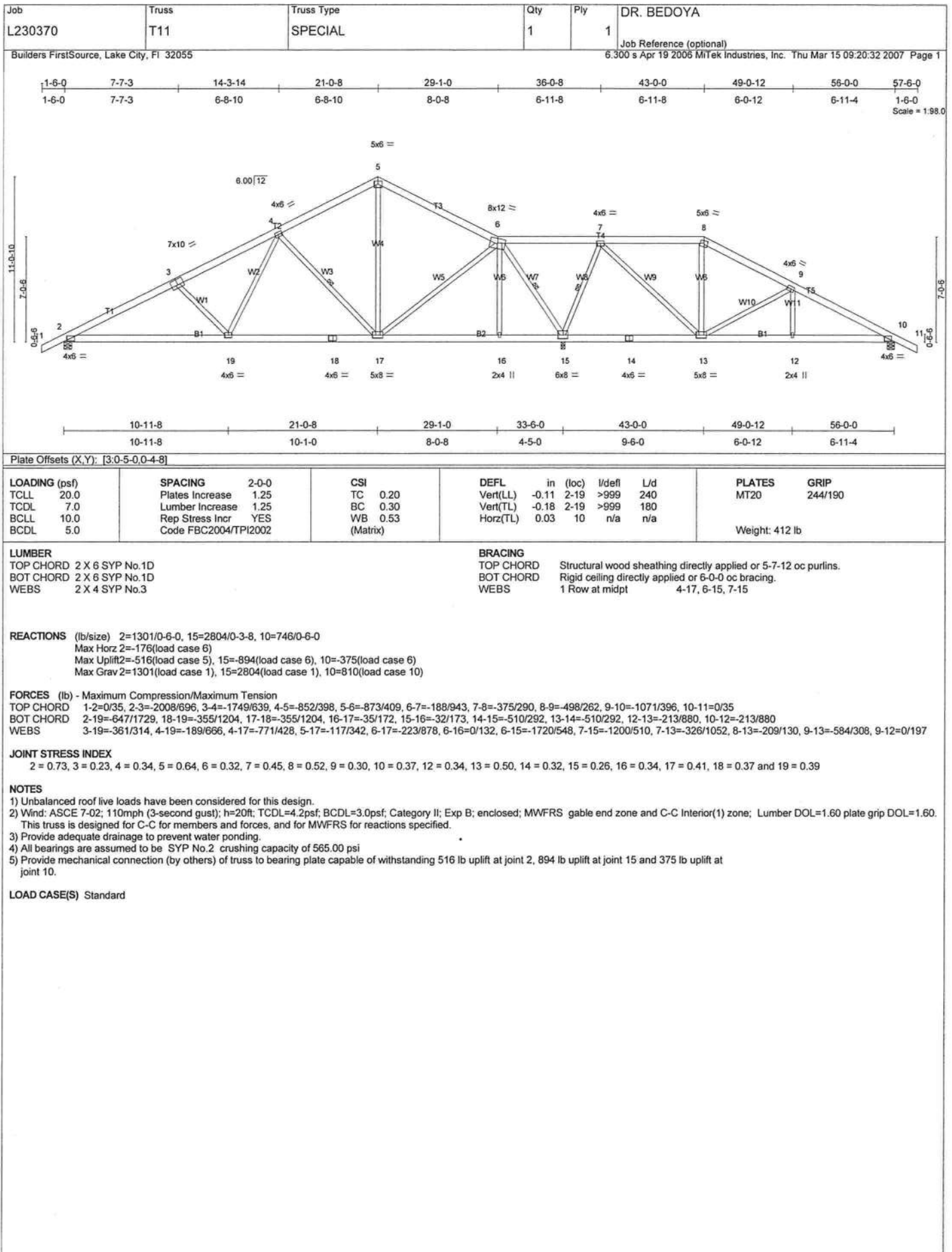






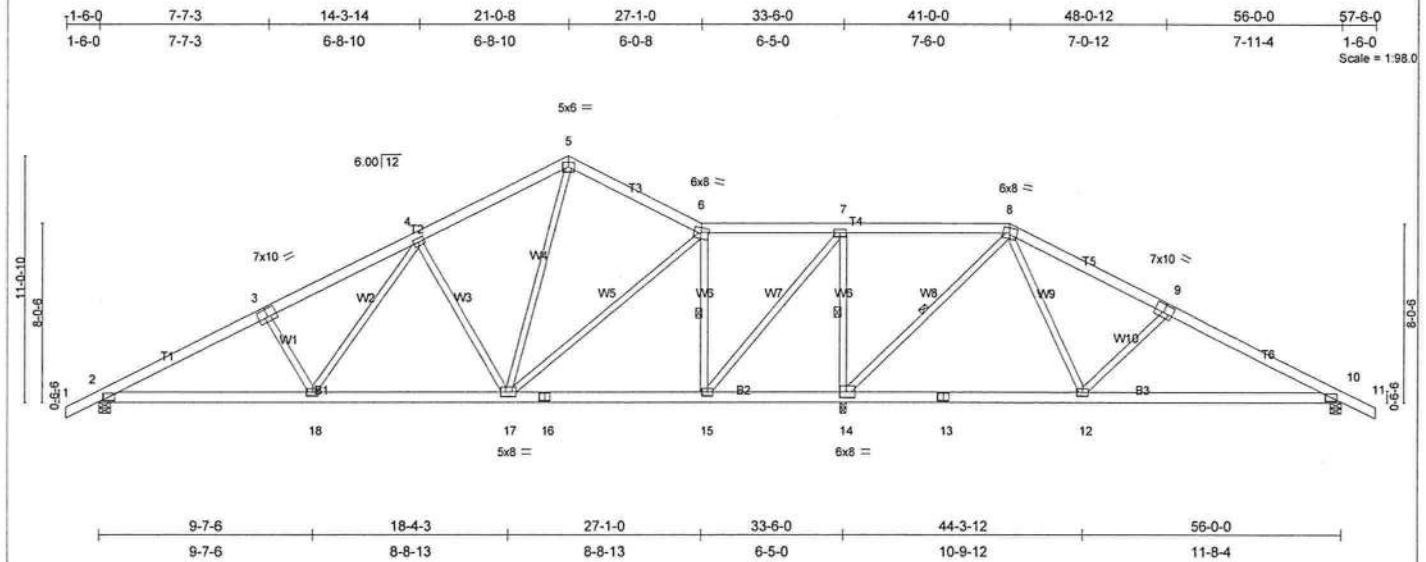






| | | | | | |
|---|--------------|-----------------------|--------------------------|----------|------------|
| Job L230370 | Truss T12 | Truss Type SPECIAL | Qty 1 | Ply 1 | DR. BEDOYA |
| Builders FirstSource, Lake City, FL 32055 | | | Job Reference (optional) | | |

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| | | | | | |
|---|----------------------|------------|-------------------------------|----------------|-------------|
| Plate Offsets (X,Y): [3-0-5-0,0-4-8], [9-0-5-0,0-4-8], [14-0-3-8,0-3-0] | | | | | |
| LOADING (psf) | SPACING | CSI | DEFL | PLATES | GRIP |
| TCLL 20.0 | 2-0-0 | TC 0.21 | in (loc) l/defl L/d | MT20 | 244/190 |
| TCCL 7.0 | Plates Increase 1.25 | BC 0.26 | Vert(LL) -0.11 10-12 >999 240 | | |
| BCCL 10.0 | Lumber Increase 1.25 | WB 0.83 | Vert(TL) -0.18 10-12 >999 180 | | |
| BCCL 5.0 | Rep Stress Incr YES | (Matrix) | Horz(TL) 0.03 10 n/a n/a | | |
| | Code FBC2004/TPI2002 | | | Weight: 414 lb | |

| | |
|---------------------------|--|
| LUMBER | BRACING |
| TOP CHORD 2 X 6 SYP No.1D | TOP CHORD Structural wood sheathing directly applied or 5-8-15 oc purlins. |
| BOT CHORD 2 X 6 SYP No.1D | BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing. |
| WEBS 2 X 4 SYP No.3 | WEBS 1 Row at midpt 6-15, 7-14, 8-14 |

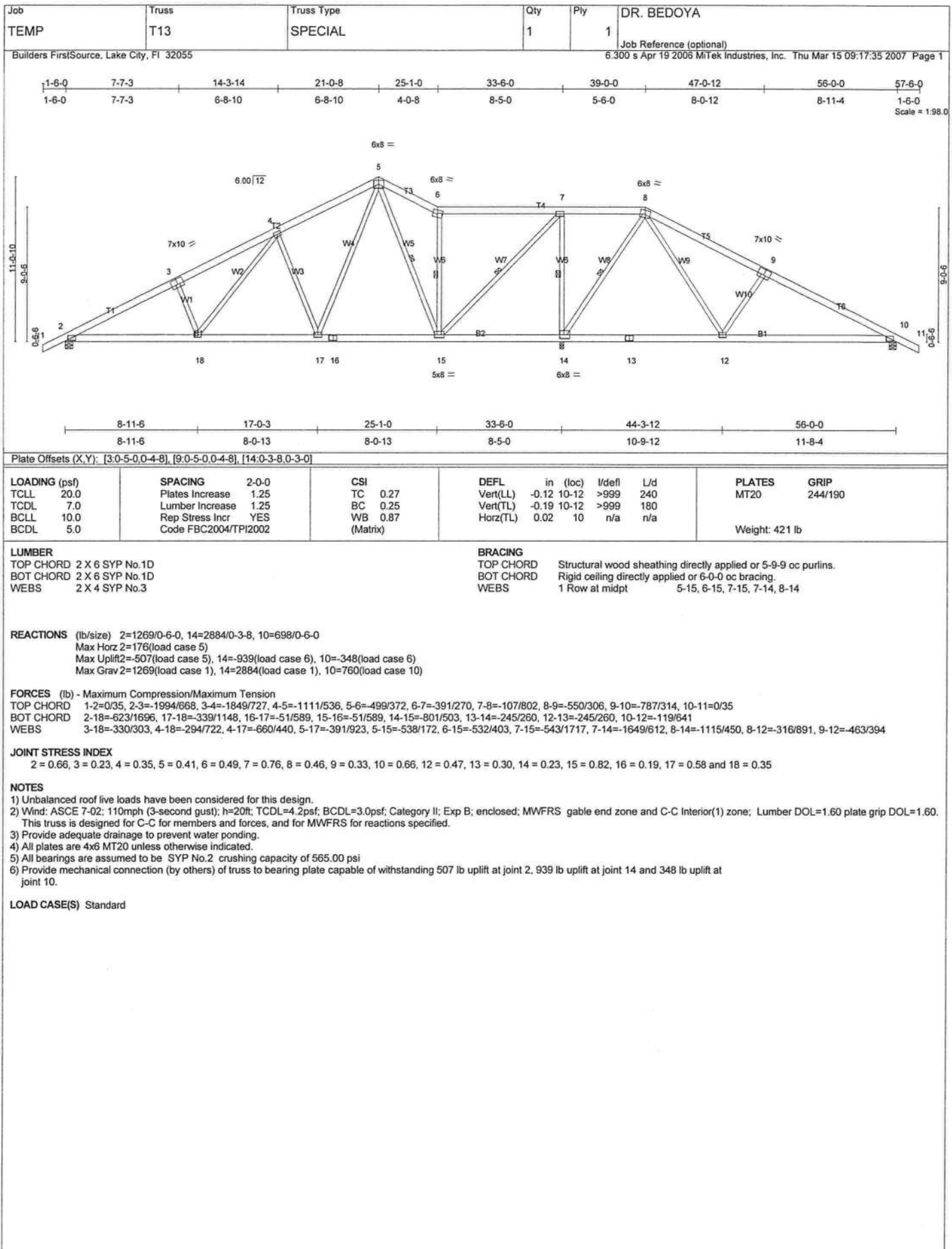
| | |
|--|---|
| REACTIONS (lb/size) | 2=1298/0-6-0, 14=2811/0-3-8, 10=741/0-6-0 |
| Max Horz 2=176(load case 5) | |
| Max Uplift 2=516(load case 5), 14=895(load case 6), 10=375(load case 6) | |
| Max Grav 2=1298(load case 1), 14=2811(load case 1), 10=806(load case 10) | |

| | |
|--|--|
| FORCES (lb) - Maximum Compression/Maximum Tension | |
| TOP CHORD 1-2=0/35, 2-3=-2025/692, 3-4=-1850/706, 4-5=-1062/495, 5-6=-915/457, 6-7=-266/248, 7-8=-114/784, 8-9=-629/318, 9-10=-912/385, 10-11=0/35 | |
| BOT CHORD 2-18=-643/1740, 17-18=-357/1200, 16-17=-13/287, 15-16=-13/287, 14-15=-784/439, 13-14=-122/189, 12-13=-122/189, 10-12=-191/757 | |
| WEBS 3-18=-333/302, 4-18=-254/691, 4-17=-679/429, 5-17=-212/487, 6-17=-181/625, 6-15=-1075/441, 7-15=-510/1646, 7-14=-1687/621, 8-14=-1203/448, 8-12=-200/727, 9-12=-410/343 | |

| | |
|---|--|
| JOINT STRESS INDEX | |
| 2 = 0.67, 3 = 0.23, 4 = 0.34, 5 = 0.48, 6 = 0.27, 7 = 0.77, 8 = 0.52, 9 = 0.27, 10 = 0.72, 12 = 0.43, 13 = 0.34, 14 = 0.23, 15 = 0.77, 16 = 0.11, 17 = 0.35 and 18 = 0.35 | |

| | |
|---|--|
| NOTES | |
| 1) Unbalanced roof live loads have been considered for this design. | |
| 2) Wind: ASCE 7-02; 110mph (3-second gust); h=20ft; TCCL=4.2psf; BCCL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Interior(1) zone; Lumber DOL=1.60 plate grip DOL=1.60. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified. | |
| 3) Provide adequate drainage to prevent water ponding. | |
| 4) All plates are 4x6 MT20 unless otherwise indicated. | |
| 5) All bearings are assumed to be SYP No.2 crushing capacity of 565.00 psi | |
| 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 516 lb uplift at joint 2, 895 lb uplift at joint 14 and 375 lb uplift at joint 10. | |

| | |
|------------------------------|--|
| LOAD CASE(S) Standard | |
|------------------------------|--|



| | | | | | |
|----------------|--------------|-------------------|-----------|----------|------------|
| Job L230370 | Truss T15 | Truss Type HIP | Qty 12 | Ply 1 | DR. BEDOYA |
|----------------|--------------|-------------------|-----------|----------|------------|

Builders FirstSource, Lake City, FL 32055

Job Reference (optional)

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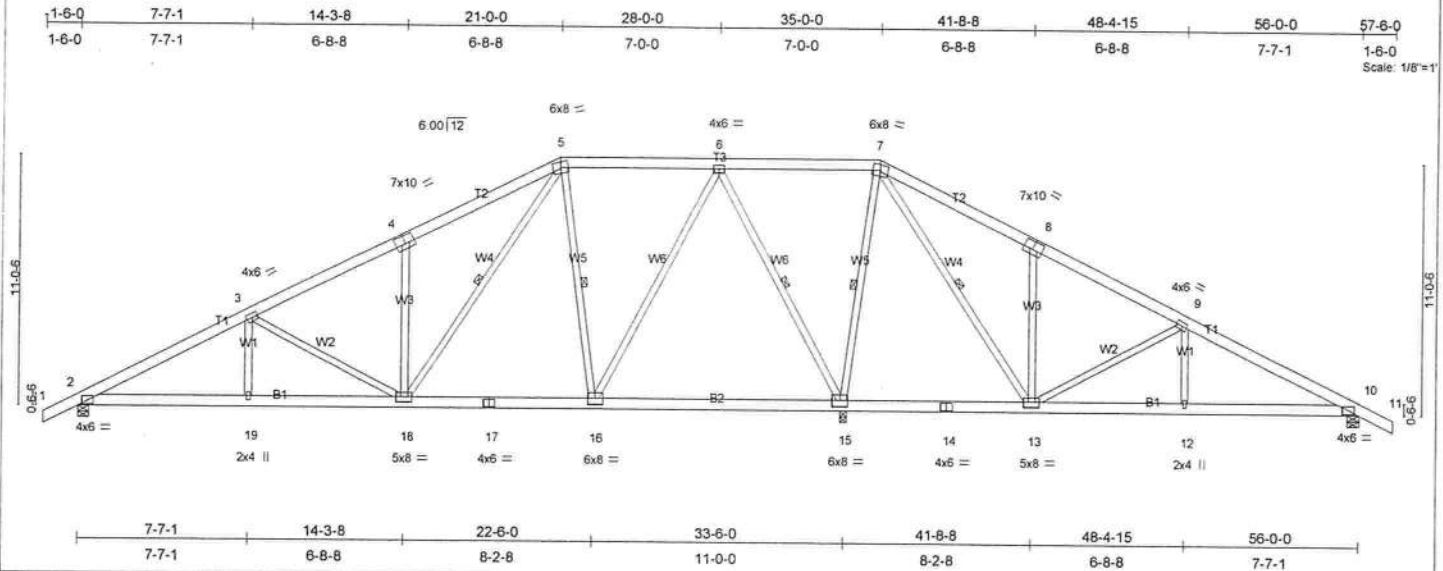


Plate Offsets (X,Y): [4-0-5-0,0-4-8], [8-0-5-0,0-4-8]

| | | | | | |
|----------------------|----------------------|------------|-------------------------------|----------------|-------------|
| LOADING (psf) | SPACING | CSI | DEFL | PLATES | GRIP |
| TCLL 20.0 | 2-0-0 | TC 0.19 | in (loc) l/defl L/d | MT20 | 244/190 |
| TCDL 7.0 | Plates Increase 1.25 | BC 0.27 | Vert(LL) -0.09 18-19 >999 240 | | |
| BCLL 10.0 | Lumber Increase 1.25 | WB 1.00 | Vert(TL) -0.14 18-19 >999 180 | | |
| BCDL 5.0 | Rep Stress Incr YES | (Matrix) | Horz(TL) 0.03 15 n/a n/a | | |
| | Code FBC2004/TPI2002 | | | Weight: 434 lb | |

LUMBER

TOP CHORD 2 X 6 SYP No.1D
 BOT CHORD 2 X 6 SYP No.1D
 WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Structural wood sheathing directly applied or 5-8-12 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing. Except:
 6-0-0 oc bracing: 15-16,13-15.
 WEBS 1 Row at midpt 5-18, 5-16, 6-15, 7-15, 7-13

REACTIONS (lb/size) 2=1230/0-6-0, 15=2978/0-3-8, 10=643/0-6-0

Max Horz 2=-176(load case 6)
 Max Uplift 2=-503(load case 5), 15=-773(load case 5), 10=-361(load case 6)
 Max Grav 2=1283(load case 9), 15=2978(load case 1), 10=725(load case 10)

FORCES (lb) - Maximum Compression/Maximum Tension

TOP CHORD 1-2=0/35, 2-3=-2057/656, 3-4=-1418/516, 4-5=-1409/683, 5-6=-548/343, 6-7=-49/793, 7-8=-186/371, 8-9=-200/283, 9-10=-868/355, 10-11=0/35
 BOT CHORD 2-19=-611/1748, 18-19=-611/1748, 17-18=-152/641, 16-17=-152/641, 15-16=-80/330, 14-15=-607/414, 13-14=-607/414, 12-13=-169/696, 10-12=-169/696
 WEBS 3-19=0/233, 3-18=-642/330, 4-18=-344/326, 5-18=-527/1023, 5-16=-706/369, 6-16=-343/1125, 6-15=-1550/509, 7-15=-1291/511, 7-13=-524/1017, 8-13=-335/322, 9-13=-690/343, 9-12=0/245

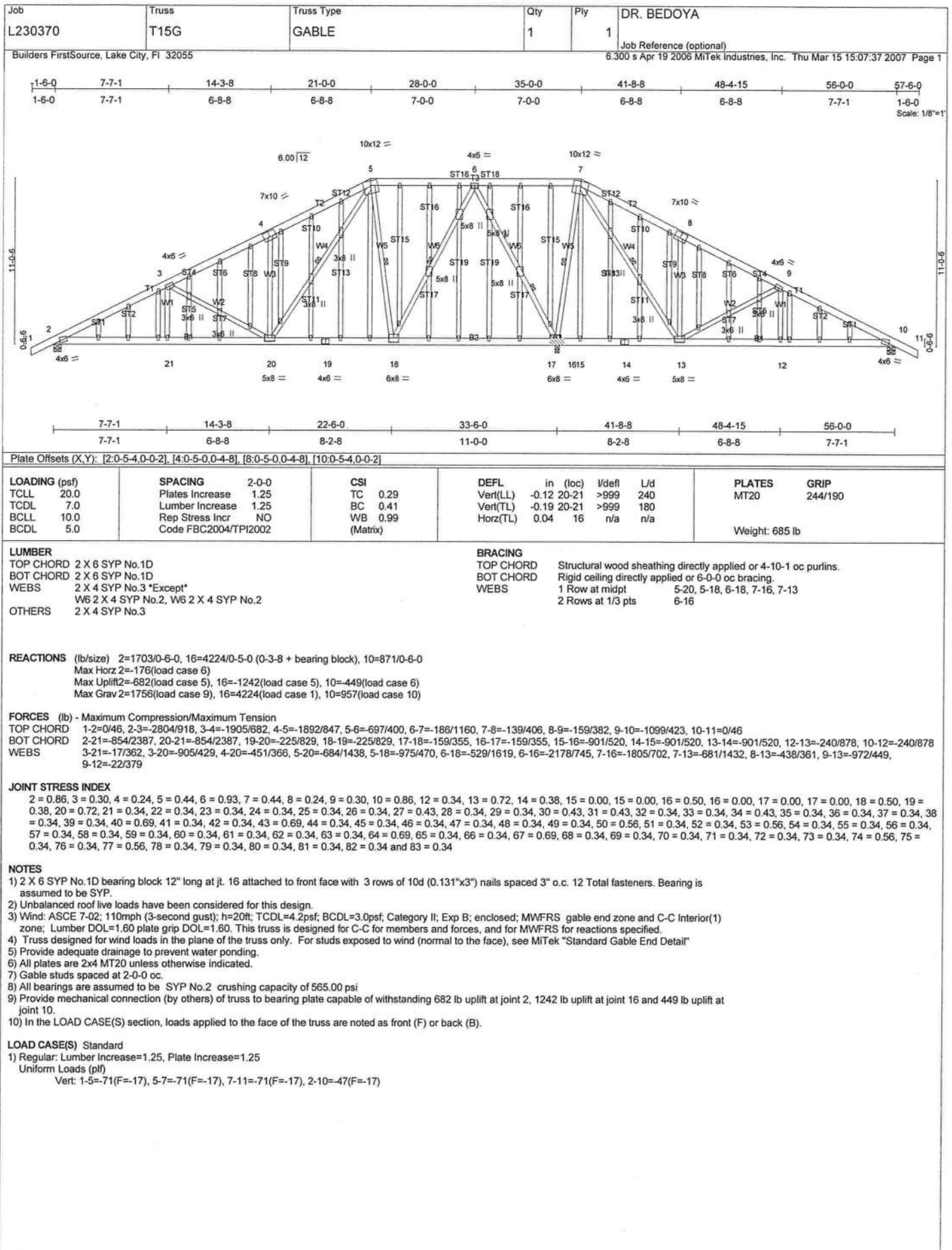
JOINT STRESS INDEX

2 = 0.68, 3 = 0.30, 4 = 0.20, 5 = 0.62, 6 = 0.64, 7 = 0.62, 8 = 0.20, 9 = 0.30, 10 = 0.68, 12 = 0.34, 13 = 0.51, 14 = 0.26, 15 = 0.35, 16 = 0.35, 17 = 0.26, 18 = 0.51 and 19 = 0.34

NOTES

- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-02, 110mph (3-second gust); h=20ft; TCCL=4.2psf; BCDL=3.0psf; Category II, Exp B; enclosed; MWFRS gable end zone and C-C Interior(1) zone; Lumber DOL=1.60 plate grip DOL=1.60. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.
- Provide adequate drainage to prevent water ponding.
- All bearings are assumed to be SYP No.2 crushing capacity of 565.00 psi
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 503 lb uplift at joint 2, 773 lb uplift at joint 15 and 361 lb uplift at joint 10.

LOAD CASE(S) Standard



| | | | | | |
|---|---------------------|--------------------------|--|-----------------|------------|
| Job TEMP | Truss T17 | Truss Type HIP | Qty 1 | Ply 1 | DR. BEDOYA |
| Builders FirstSource, Lake City, FL 32055 | | | 6.300 s Apr 19 2006 MiTek Industries, Inc. Thu Mar 15 08:31:29 2007 Page 1 | | |

| | | | | | | | | | | | |
|-------|--------|--------|--------|--------|--------|--------|--------|--------|---------|--------|--------|
| 1-6-0 | 4-11-4 | 9-0-0 | 15-9-0 | 22-6-0 | 28-0-0 | 33-6-0 | 40-3-0 | 47-0-0 | 51-0-12 | 56-0-0 | 57-6-0 |
| 1-6-0 | 4-11-4 | 4-0-12 | 6-9-0 | 6-9-0 | 5-6-0 | 5-6-0 | 6-9-0 | 6-9-0 | 4-0-12 | 4-11-4 | 1-6-0 |

Scale: 1/8"=1'

| | | | | | | |
|-------|--------|--------|--------|--------|--------|--------|
| 9-0-0 | 15-9-0 | 22-6-0 | 33-6-0 | 40-3-0 | 47-0-0 | 56-0-0 |
| 9-0-0 | 6-9-0 | 6-9-0 | 11-0-0 | 6-9-0 | 6-9-0 | 9-0-0 |

Plate Offsets (X,Y): [6:0-5:0,0-4-8], [8:0-5:0,0-4-8]

| | | | | | |
|----------------------|----------------------|------------|-------------------------------|----------------|-------------|
| LOADING (psf) | SPACING | CSI | DEFL | PLATES | GRIP |
| TCLL 20.0 | 2-0-0 | TC 0.29 | in (loc) l/defl L/d | MT20 | 244/190 |
| TCDL 7.0 | Plates Increase 1.25 | BC 0.32 | Vert(LL) -0.10 20 >999 240 | | |
| BCLL 10.0 | Lumber Increase 1.25 | WB 0.75 | Vert(TL) -0.16 17-18 >999 180 | | |
| BCDL 5.0 | Rep Stress Incr YES | (Matrix) | Horz(TL) 0.04 12 n/a n/a | | |
| | Code FBC2004/TPI2002 | | | Weight: 391 lb | |

LUMBER
TOP CHORD 2 X 6 SYP No.1D
BOT CHORD 2 X 6 SYP No.1D
WEBS 2 X 4 SYP No.3

BRACING
TOP CHORD Structural wood sheathing directly applied or 5-8-12 oc purlins.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing. Except:
WEBS 6-0-0 oc bracing: 15-17, 14-15.
1 Row at midpt 7-17, 9-17

REACTIONS (lb/size) 2=1286/0-6-0, 17=2841/0-3-8, 12=723/0-6-0
Max Horz 2=91(load case 5)
Max Uplift 2=452(load case 5), 17=-969(load case 4), 12=-337(load case 6)
Max Grav 2=1294(load case 9), 17=2841(load case 1), 12=739(load case 10)

FORCES (lb) - Maximum Compression/Maximum Tension
TOP CHORD 1-2=0/35, 2-3=-2073/625, 3-4=-1880/607, 4-5=-1662/579, 5-6=-1351/532, 6-7=-1351/532, 7-8=-417/1377, 8-9=-417/1377, 9-10=-576/281, 10-11=-690/264, 11-12=-925/361, 12-13=0/35
BOT CHORD 2-21=-547/1789, 20-21=-641/1889, 19-20=-641/1889, 18-19=-641/1889, 17-18=-84/168, 16-17=-104/119, 15-16=-104/119, 14-15=-104/119, 12-14=-202/784
WEBS 3-21=-164/183, 4-21=-84/496, 5-21=-369/235, 5-20=0/152, 5-18=-663/234, 6-18=-335/233, 7-18=-471/1549, 7-17=-1951/764, 8-17=-371/244, 9-17=-1608/551, 9-15=0/132, 9-14=-165/718, 10-14=-38/114, 11-14=-238/200

JOINT STRESS INDEX
2 = 0.72, 3 = 0.34, 4 = 0.51, 5 = 0.42, 6 = 0.44, 7 = 0.78, 8 = 0.44, 9 = 0.42, 10 = 0.51, 11 = 0.34, 12 = 0.72, 14 = 0.33, 15 = 0.34, 16 = 0.52, 17 = 0.58, 18 = 0.58, 19 = 0.52, 20 = 0.34 and 21 = 0.33

NOTES
1) Unbalanced roof live loads have been considered for this design.
2) Wind: ASCE 7-02; 110mph (3-second gust); h=20ft; TCDL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Interior(1) zone; Lumber DOL=1.60 plate grip DOL=1.60. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.
3) Provide adequate drainage to prevent water ponding.
4) All bearings are assumed to be SYP No.2 crushing capacity of 565.00 psi
5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 452 lb uplift at joint 2, 969 lb uplift at joint 17 and 337 lb uplift at joint 12.

LOAD CASE(S) Standard

| | | | | | |
|---|---------------------|--------------------------|--|-----------------|------------|
| Job TEMP | Truss T18 | Truss Type HIP | Qty 1 | Ply 1 | DR. BEDOYA |
| Builders FirstSource, Lake City, FL 32055 | | | Job Reference (optional) 6.300 s Apr 19 2006 MiTek Industries, Inc. Thu Mar 15 08:36:08 2007 Page 1 | | |

| | | | | | |
|----------------------|----------------------|------------|-------------------------------|----------------|-------------|
| LOADING (psf) | SPACING | CSI | DEFL | PLATES | GRIP |
| TCLL 20.0 | 2-0-0 | TC 0.28 | in (loc) l/defl L/d | MT20 | 244/190 |
| TCDL 7.0 | Plates Increase 1.25 | BC 0.32 | Vert(LL) -0.12 15-17 >999 240 | | |
| BCLL 10.0 | Lumber Increase 1.25 | WB 0.89 | Vert(TL) -0.20 15-17 >999 180 | | |
| BCDL 5.0 | Rep Stress Incr YES | (Matrix) | Horz(TL) 0.04 10 n/a n/a | | |
| | Code FBC2004/TPI2002 | | | Weight: 379 lb | |

| | |
|---------------------------|---|
| LUMBER | BRACING |
| TOP CHORD 2 X 6 SYP No.1D | TOP CHORD Structural wood sheathing directly applied or 5-8-3 oc purlins. |
| BOT CHORD 2 X 6 SYP No.1D | BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing. Except: |
| WEBS 2 X 4 SYP No.3 | WEBS 6-0-0 oc bracing: 12-14. |
| | 1 Row at midpt 6-14 |

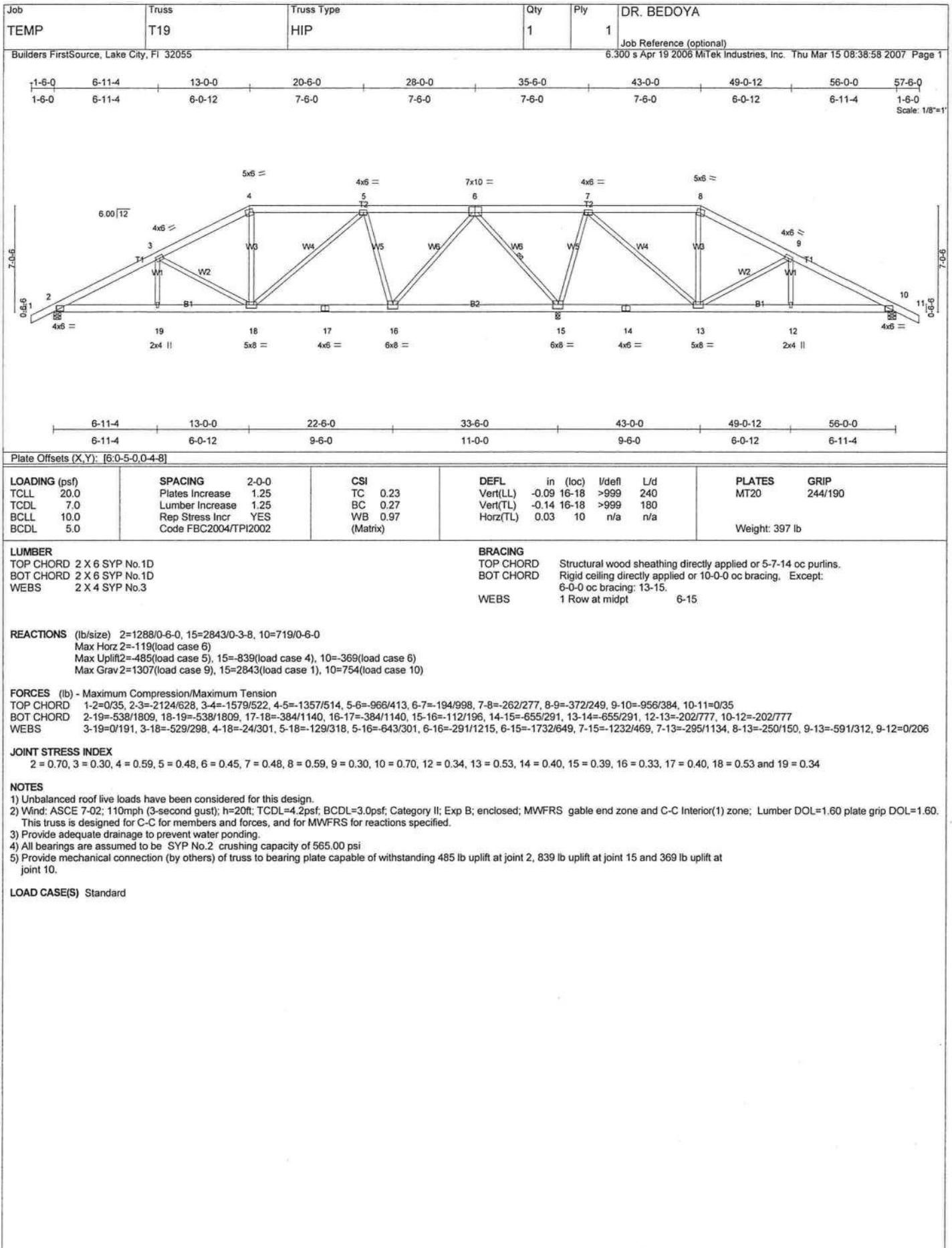
REACTIONS (lb/size) 2=1293/0-6-0, 14=2826/0-3-8, 10=733/0-6-0
 Max Horz 2=105(load case 5)
 Max Uplift 2=470(load case 5), 14=909(load case 4), 10=357(load case 6)
 Max Grav 2=1304(load case 9), 14=2826(load case 1), 10=757(load case 10)

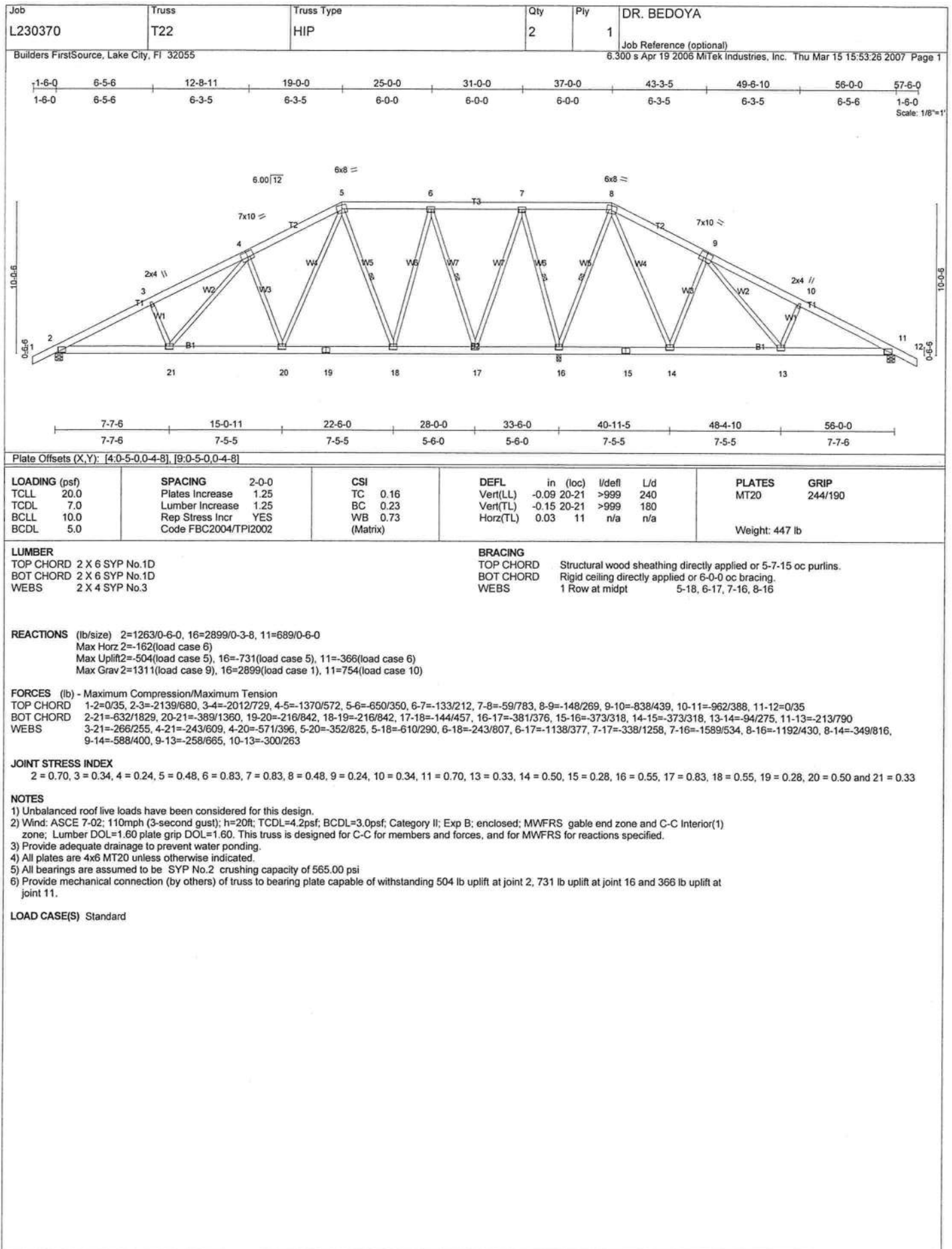
FORCES (lb) - Maximum Compression/Maximum Tension
 TOP CHORD 1-2=0/35, 2-3=-2068/641, 3-4=-1788/553, 4-5=-1558/536, 5-6=-1112/432, 6-7=-318/1149, 7-8=-476/287, 8-9=-599/257, 9-10=-920/404, 10-11=0/35
 BOT CHORD 2-17=-549/1791, 16-17=-491/1414, 15-16=-491/1414, 14-15=-112/237, 13-14=-540/246, 12-13=-540/246, 10-12=-236/784
 WEBS 3-17=-269/258, 4-17=-12/371, 5-17=-66/194, 5-15=-651/333, 6-15=-314/1261, 6-14=-1892/754, 7-14=-1287/532, 7-12=-261/1163, 8-12=-160/167, 9-12=-339/274

JOINT STRESS INDEX
 2 = 0.77, 3 = 0.34, 4 = 0.69, 5 = 0.48, 6 = 0.49, 7 = 0.48, 8 = 0.69, 9 = 0.34, 10 = 0.77, 12 = 0.54, 13 = 0.53, 14 = 0.30, 15 = 0.30, 16 = 0.53 and 17 = 0.54

NOTES
 1) Unbalanced roof live loads have been considered for this design.
 2) Wind: ASCE 7-02; 110mph (3-second gust); h=20ft; TCCL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Interior(1) zone; Lumber DOL=1.60 plate grip DOL=1.60.
 This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.
 3) Provide adequate drainage to prevent water ponding.
 4) All bearings are assumed to be SYP No.2 crushing capacity of 565.00 psi
 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 470 lb uplift at joint 2, 909 lb uplift at joint 14 and 357 lb uplift at joint 10.

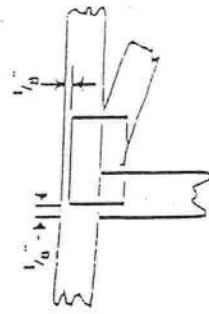
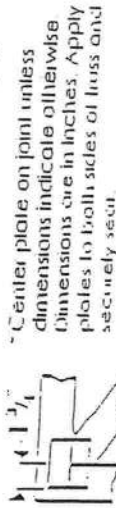
LOAD CASE(S) Standard





Symbols

PLATE LOCATION AND ORIENTATION



* For 4 x 2 orientation, locate plates 1/8" from outside edge of luss and vertical webs.

* This symbol indicates the required direction of slots in connector plates



PLATE SIZE

4 x 4

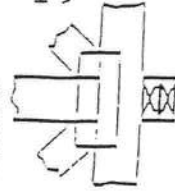
The first dimension is the width perpendicular to slots. Second dimension is the length parallel to slots.

LATERAL BRACING



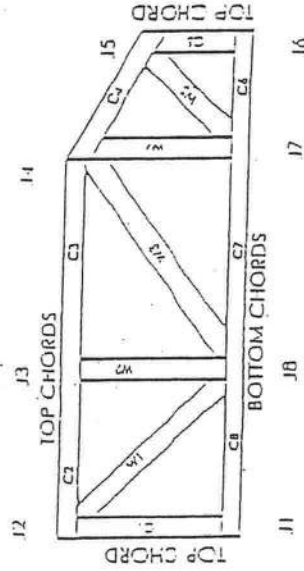
Indicates location of required continuous lateral bracing.

BEARING



Indicates location of joints at which bearings (supports) occur.

Numbering System

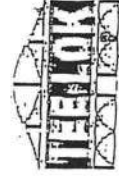


JOINTS AND CHORDS ARE NUMBERED CLOCKWISE AROUND THE TRUSS STARTING AT THE LOWEST JOINT FARTHEST TO THE LEFT.

WEBS ARE NUMBERED FROM LEFT TO RIGHT

CONNECTOR PLATE CODE APPROVALS

| | |
|-------------|--------------------|
| BOCA | 96-31, 96-67 |
| ICBO | 3907, 4922 |
| SBCCI | 9627, 9432A |
| WISC/DIIIIR | 960022-W, 970036-H |
| IIR | 561 |



General Safety Notes

Failure to Follow Could Cause Properly Damage or Personal Injury

1. Provide copies of this luss design to the building designer, erection supervisor, property owner and all other interested parties.
2. Cut members to bear lightly against each other.
3. Place plates on each face of luss at each joint and embed fully. Avoid knots and wane at joint locations.
4. Unless otherwise noted, locate chord splices at 1/2 panel length (14' 6" from adjacent joint.)
5. Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication.
6. Unless expressly noted, this design is not applicable for use with fire retardant or preservative treated lumber.
7. Camber is a non-structural consideration and is the responsibility of luss fabricator. General practice is to camber for dead load deflection.
8. Plate type, size and location dimensions shown indicate minimum plating requirements.
9. Lumber shall be of the species and size, and in all respects, equal to or better than the grade specified.
10. Top chords must be sheathed or pulins provided at spacing shown on design.
11. Bottom chords require lateral bracing at 10' ll. spacing, or less. If no ceiling is installed, unless otherwise noted.
12. Anchorage and / or load transferring connections to lusses are the responsibility of others unless shown.
13. Do not overload roof or floor lusses with stacks of construction materials.
14. Do not cut or alter luss member or plate without prior approval of a professional engineer.
15. Care should be exercised in handling, erection and installation of lusses.

PRODUCT APPROVAL SPECIFICATION SHEET

Location: _____

Project Name: _____

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

| Category/Subcategory | Manufacturer | Product Description | Approval Number(s) |
|----------------------------|-------------------|---------------------|-----------------------|
| A. EXTERIOR DOORS | | | |
| 1. Swinging | | | |
| 2. Sliding | | | |
| 3. Sectional | | | |
| 4. Roll up | N/A | | |
| 5. Automatic | N/A | | |
| 6. Other | — | | |
| B. WINDOWS | | | |
| 1. Single hung | Capital/Jordan | | FL 675 / FL 1378-R1 |
| 2. Horizontal Slider | " " | | FL 685 / FL 1384-R1 |
| 3. Casement | — | | |
| 4. Double Hung | — | | |
| 5. Fixed | C/J | | FL 681 / FL 1383-R1 |
| 6. Awning | — | | |
| 7. Pass-through | — | | |
| 8. Projected | — | | |
| 9. Mullion | — | | |
| 10. Wind Breaker | — | | |
| 11. Dual Action | — | | |
| 12. Other | | | |
| C. PANEL WALL | | | |
| 1. Siding | Hardy Plank | | FL 889-R1 |
| 2. Soffits | Ashley Aluminum | | FL 4168 |
| 3. EIFS | — | | |
| 4. Storefronts | — | | |
| 5. Curtain walls | — | | |
| 6. Wall louver | — | | |
| 7. Glass block | — | | |
| 8. Membrane | — | | |
| 9. Greenhouse | — | | |
| 10. Other | | | |
| D. ROOFING PRODUCTS | | | |
| 1. Asphalt Shingles | FLK / Certainfeed | | FL 728-R1 / FL 250-R1 |
| 2. Underlayments | Felt | | FL 1814 |
| 3. Roofing Fasteners | Nails | | ROM 3378 |
| 4. Non-structural Metal Rf | — | | |
| 5. Built-Up Roofing | — | | |
| 6. Modified Bitumen | — | | |
| 7. Single Ply Roofing Sys | — | | |
| 8. Roofing Tiles | — | | |
| 9. Roofing Insulation | — | | |
| 10. Waterproofing | — | | |
| 11. Wood shingles /shakes | — | | |
| 12. Roofing Slate | — | | |

COLUMBIA COUNTY BUILDING DEPARTMENT**COMMERCIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST
FOR FLORIDA BUILDING CODE 2001 WITH AMENDMENTS**

ALL REQUIREMENTS LISTED ARE SUBJECT TO CHANGE
EFFECTIVE MARCH 1, 2002

ALL BUILDING PLANS MUST INCLUDE THE FOLLOWING ITEMS AND INDICATE COMPLIANCE WITH CHAPTER 1606 OF THE FLORIDA BUILDING CODE 2001 WITH AMENDMENTS BY PROVIDING CALCULATIONS AND DETAILS THAT HAVE THE SIGNATURE AND SEAL OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA. THE FOLLOWING BASIC WIND SPEED AS PER SECTION 1606 SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE _____ 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE _____ 110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

GENERAL REQUIREMENTS: Two (2) complete sets of plans containing a floor plan, site plan, foundation plan, floor/roof framing plan or truss layout, wall sections and all exterior elevations with the following criteria and documents:

Applicant**Plans Examiner**

- | | | |
|-------------------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | All drawings must be clear, concise and drawn to scale ("Optional" details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Designers name and signature on document (FBC 104.2.1) If licensed architect or engineer, official seal shall be affixed. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>Two (2) Copies of Approved Site Plan</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>Minimum Type Construction</u> (FBC Table 500) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>Wind Load Engineering Summary, calculations and any details required:</u> |
| | | a) Plans or specifications must state compliance with FBC Section 1606 |
| | | b) The following information must be shown as per section 1606.1.7 FBC |
| | | 1. Basic wind speed (MPH) |
| | | 2. Wind importance factor (I) and building category |
| | | 3. Wind exposure - If more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated |
| | | 4. The applicable internal pressure coefficient |
| | | 5. Components and Cladding. The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>Fire Resistant Construction Requirements shall include:</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | a) Fire resistant separations (listed system) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | b) Fire resistant protection for type of construction |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | c) Protection of openings and penetrations of rated walls (listed systems) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | d) Fire blocking and draft-stopping |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | e) Calculated fire resistance |

☒ ☐
☐ ☐
Fire Suppression Systems shall include: (To be reviewed by Fire Department)

- a) Fire sprinklers
- b) Fire alarm system (early warning) with name of licensed installer. If not shown on plans or not known at time of permitting, a separate permit shall be required by the licensed installer
- c) Smoke evacuation system schematic
- d) Stand-pipes
 - Pre-engineered system
 - Riser diagram

☒ ☐
Life Safety Systems shall include: (To be reviewed by Fire Department)

- a) Occupancy load and egress capacity
- b) Early warning
- c) Smoke control
- d) Stair pressurization
- e) Systems schematic

☒ ☐
Occupancy Load/Egress Requirements shall include:

- a) Occupancy load (gross and net)
- b) Means of egress
 - exit access, exit and exit discharge
- c) Stair construction/geometry and protection
- d) Doors
- e) Emergency lighting and exit signs
- f) Specific occupancy requirements
 - 1. Construction requirements
 - 2. Horizontal exits/exit passageways

☒ ☐
Structural Requirements shall include:

- a) Soil conditions/analysis
- b) Show type of termite treatment (termicide or alternative method)
- c) Design loads
- d) Wind requirements
- e) Building envelope
- f) Structural calculations
- g) Foundations
- h) Wall systems
- i) Floor systems
- j) Roof systems
- k) Threshold inspection plan (if applicable)
- l) Stair systems

☒ ☐
Materials shall include:

- a) Wood
- b) Steel
- c) Aluminum
- d) Concrete
- e) Plastic
- f) Glass (mfg. Listing for wind zone including details for installation and attachments)
- g) Masonry
- h) Gypsum board and plaster
- i) Insulating (mechanical)
- j) Roofing (mfg. Listed system for wind zone with installation and attachments)
- k) Insulation

Accessibility Requirements shall include:

- a) Site requirements
- b) Accessible route
- c) Vertical accessibility
- d) Toilet and bathing facilities
- e) Drinking fountains
- f) Equipment
- g) Special occupancy requirements
- h) Fair housing requirements

Interior Requirements shall include:

- a) Interior finishes (flame spread/smoke develop)
- b) Light and ventilation
- c) Sanitation

Special Systems shall include:

- a) Elevators
- b) Escalators
- c) Lifts

Swimming Pools – Commercial – Plans shall be signed and sealed by a Professional Engineer registered in the State of Florida and approved by the Department of Business and Professional Regulation/Health Department indicating compliance with the Florida Administrative Code, Chapter 64E-9 And Section 424 of the Florida Building Code

Electrical:

- a) Electrical wiring, services, feeders and branch circuits, over-current protection, grounding, wiring methods and materials, GFCIs
- b) Equipment
- c) Special Occupancies
- d) Emergency Systems
- e) Communication Systems
- f) Low Voltage
- g) Load calculations
- h) Riser diagram

Plumbing:

- a) Minimum plumbing facilities
- b) Fixture requirements
- c) Water supply piping
- d) Sanitary drainage
- e) Water heaters
- f) Vents
- g) Roof drainage
- h) Back flow prevention
- i) Irrigation
- j) Location of water supply
- k) Grease traps
- l) Environmental requirements
- m) Plumbing riser

Mechanical:

- | | | |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | a) Energy calculation (signed and sealed by Architect or Engineer, registered in the State of Florida) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | b) Exhaust systems (clothes dryer exhaust, kitchen equipment exhaust, Specialty equipment exhaust) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | c) Equipment |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | d) Equipment location |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | e) Make-up air |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | f) Roof mounted equipment |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | g) Duct systems |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | h) Ventilation |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | i) Combustion air |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | j) Chimneys, fireplaces and vents |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | k) Appliances |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | l) Boilers |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | m) Refrigeration |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | n) Bathroom ventilation |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | o) Laboratory |

Gas:

- | | | |
|-------------------------------------|--------------------------|----------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | a) Gas piping |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | b) Venting |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | c) Combustion air |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | d) Chimney's and vents |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | e) Appliances |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | f) Type of gas |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | g) Fireplaces |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | h) LP tank locations |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | i) Riser diagram/shut offs |

Disclosure Statement for Owner Builders

*****Notice of Commencement Required Before Any Inspections will be Done**

Private Potable Water:

- | | | |
|--------------------------|--------------------------|-----------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Size of pump motor |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Size of pressure tank |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Cycle stop valve if used |

> city water



Cal-Tech Testing, Inc.

- Engineering
- Geotechnical
- Environmental

P.O. Box 1625 • Lake City, FL 32056

4784 Rosselle Street • Jacksonville, FL 32254

2230 Greensboro Highway • Quincy, FL 32351

LABORATORIES

Tel. (386) 755-3633 • Fax (386) 752-5456

Tel. (904) 381-8901 • Fax (904) 381-8902

Tel. (850) 442-3495 • Fax (850) 442-4008

March 28, 2007

Bryan Zecher Construction
P.O. Box 815
Lake City, Florida 32056
Attention: Mr. Bryan Zecher

Reference: Office Building for Dr. Bedoya
County Road 247
Lake City, Florida
Cal-Tech Project No. 07-158

Dear Mr. Zecher,

Cal-Tech Testing, Inc. has completed the subsurface investigation and engineering evaluation for the proposed office building at the above referenced location. Our work was performed in conjunction with and authorized by you.

Introduction

We understand you will construct a single-story, wood-frame office building with a plan area of approximately 5,100 square feet. Support for the structure is to be provided by conventional, shallow spread footings. We understand that the design bearing pressure for the foundations is 2,000 pounds per square foot (psf). Detailed foundation loads have not been provided; however, we assume column and wall loads will not exceed 20 kips and 2.0 kips per foot, respectively.

The purposes of our investigation were to evaluate the existing subgrade soils for an allowable bearing pressure of 2,000 psf and to present recommendations for foundation design and construction.

Site Investigation

The subsurface conditions were investigated by performing four Standard Penetration Test borings advanced to a depth of 15 feet. The borings were performed at the approximate locations indicated on the attached Report of Soil Borings, and were located in the field at stakes placed by the client.

The Standard Penetration Test (ASTM D-1586) is performed by driving a standard split-barrel sampler into the soil by blows of a 140-pound hammer falling 30 inches. The number of blows required to drive the sampler 1 foot, after seating 6 inches, is designated the penetration resistance, or N-value; this value is an index to soil density or consistency.

Findings

In general, the borings initially encountered loose slightly silty fine sands (SP/SM) to a depth of about two feet. This was underlain by loose to medium dense fine sands to a depth of about four feet. Next, loose to dense slightly clayey fine sands (SP/SC) to clayey fine sands (SC) was encountered to the termination depth in boring B-2, and to a depth of about 13 feet in borings B-1, B-3 and B-4. Very stiff sandy clays (CL) were encountered to the termination depth of 15 feet in borings B-1, B-3 and B-4.

Ground water was encountered at depths ranging from 4.5 to 7 feet at the time of our investigation.

For a more detailed description of the subsurface conditions encountered, please refer to the attached Report of Soil Borings. Note that the transition between soil layers may be gradual and not abrupt as indicated by the logs; therefore, the thickness of soil layers should be considered approximate.

Discussion and Recommendations

Based on the results of our test borings, it is our opinion the site soils are suitable to provide support for the building using conventional, shallow spread footings. We concur that the foundations may be sized using a maximum soil bearing pressure of 2,000 psf; however, we recommend foundations have minimum widths of 18 and 24 inches for strip and isolated footings, respectively, even though the allowable soil bearing pressure may not be developed. The bottoms of foundations should be embedded a minimum of 18 inches below the lowest adjacent grade (finished surface grade, for example).

Due to the varying density of the immediate bearing soils, we believe it would be beneficial to proof-roll and then proof-compact the bearing soils in all foundation and floor slab areas. These bearing soils should be proof-compacted to a minimum of 95% of the Modified Proctor maximum dry density to a depth of at least 2 feet. Compaction of the bearing soils will reduce settling of the foundations and thereby reduce the likelihood of distress in the structure.

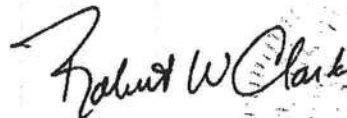
Our evaluation is based upon subsurface conditions encountered at this site and as presented within this report. However, subsurface conditions may exist that differ from our findings. We request that we be notified if substantially different subsurface conditions are encountered.

We appreciate the opportunity to be of service on this project and look forward to a continued association. Please do not hesitate to contact us should you have questions concerning this report or if we may be further assistance.

Respectfully submitted,
Cal-Tech Testing, Inc.



Linda Creamer
President / CEO

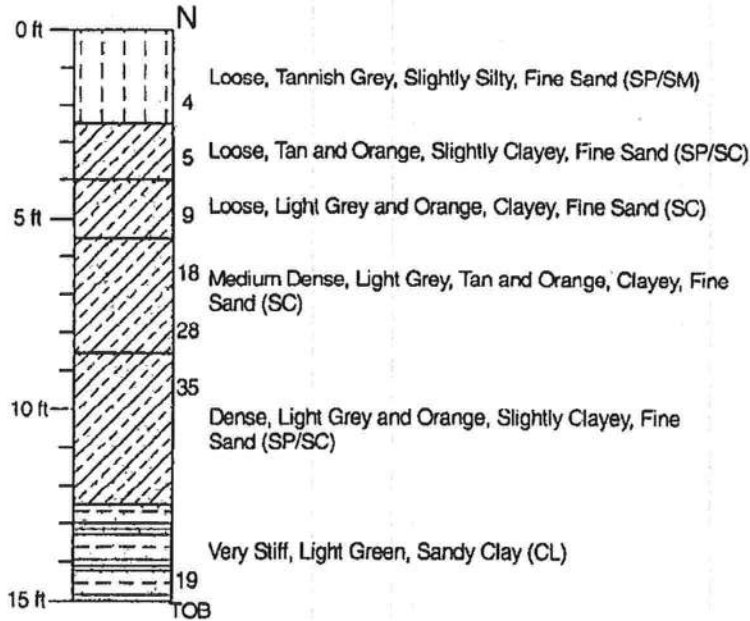


Robert W. Clark, P.E. 3/28/07
Geotechnical Engineer
Registered Florida No. 52210

B-1

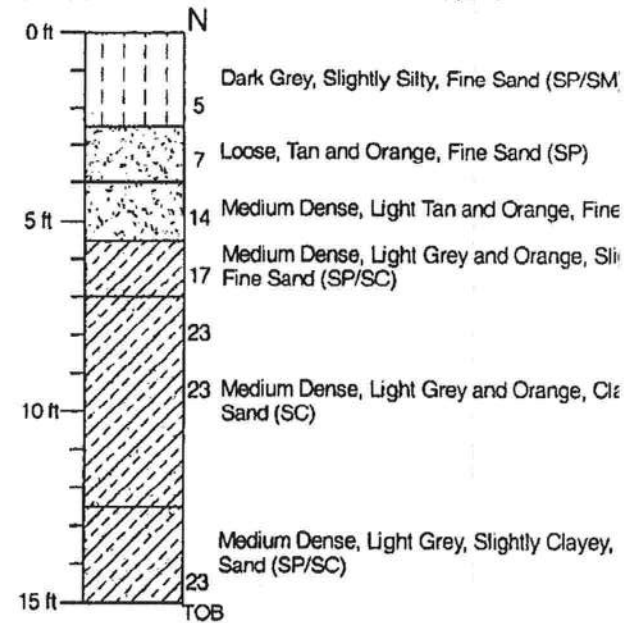
Water Table: 7.0 ft.

Depth (ft)

Soil Description**B-2**

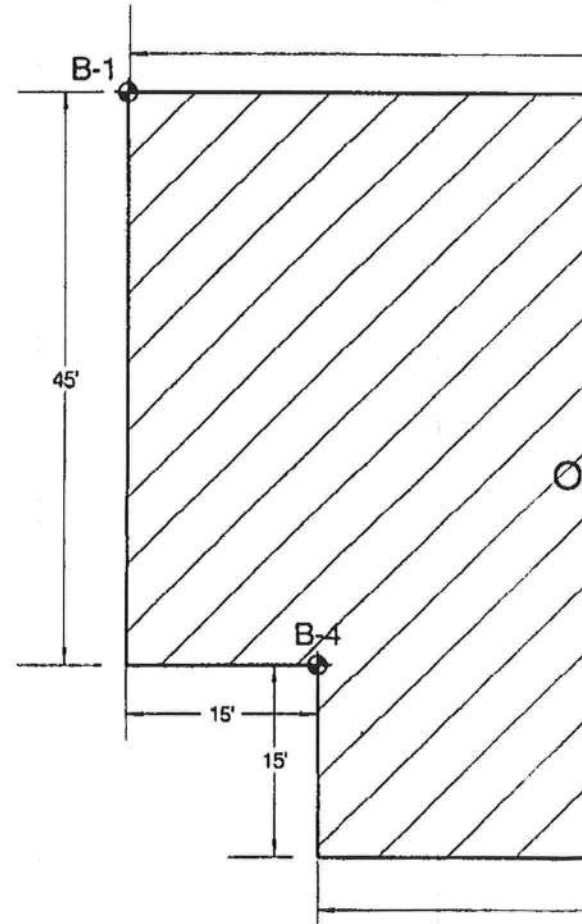
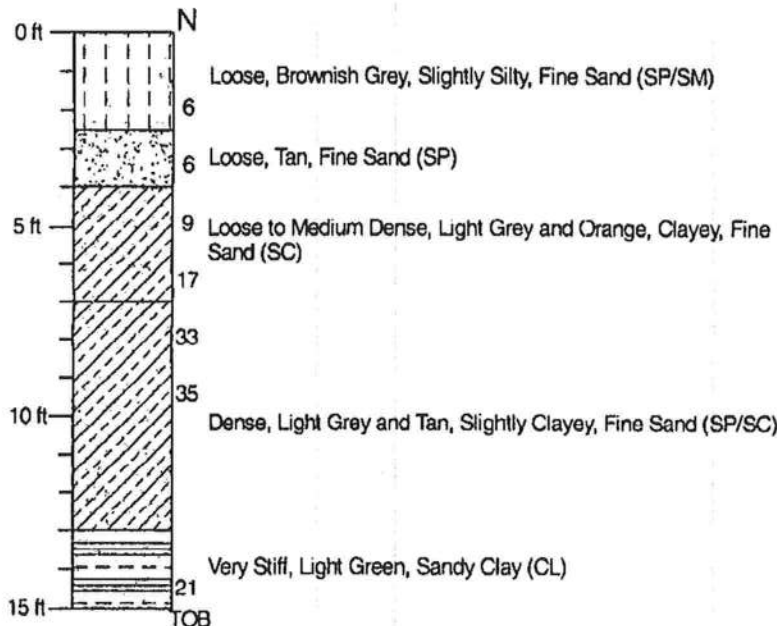
Water Table: 4.5 ft.

Depth (ft)

Soil Description**B-4**

Water Table: 6.0 ft.

Depth (ft)

Soil Description**REVISIONS**

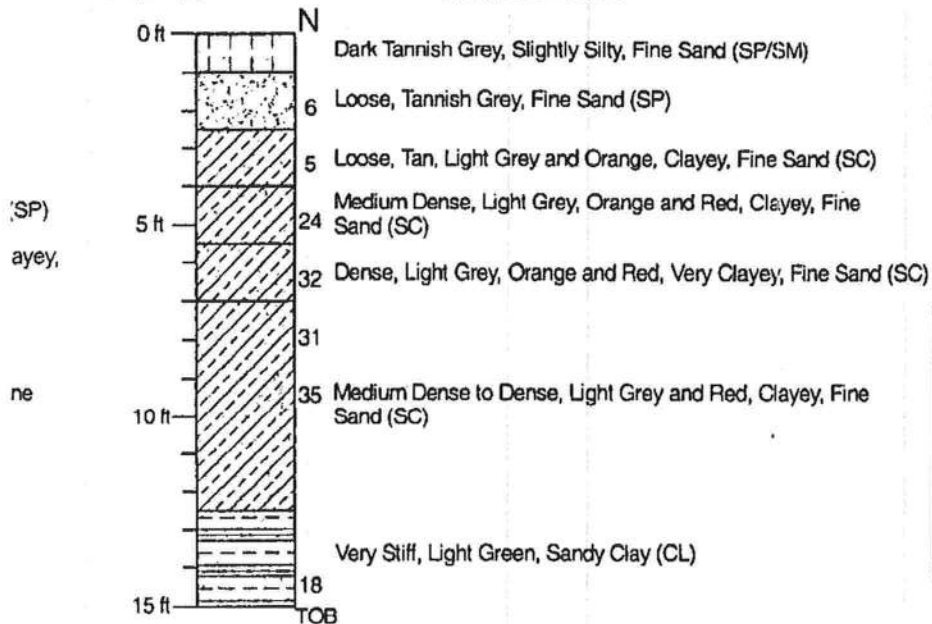
| DATE | BY | DESCRIPTION | DATE | BY | DESCRIPTION | DRAWN BY | NAMES | DATE |
|------|----|-------------|------|----|-------------|------------------|------------|---------|
| | | | | | | CHECKED BY | S C Young | 3/22/07 |
| | | | | | | CHECKED BY | B Williams | 3/19/07 |
| | | | | | | APPROVED BY | | |
| | | | | | | CAL-TECH JOB NO. | | 07-158 |

ENGINEER OF RECORD
CAL-TECH TESTING,P.O. BOX 1825
LAKE CITY, FL 32056
PHONE NO (386) 755-3633
FAX NO (386) 752-5456

B-3

Water Table: 5.0 ft.

Depth (ft)

Soil DescriptionENGINEERING CLASSIFICATIONGRANULAR MATERIALS-

| Relative Density | SPT (Blows/12 inches) |
|------------------|-----------------------|
| Very Loose | Less than 4 |
| Loose | 4-10 |
| Medium Dense | 11-30 |
| Dense | 31-50 |
| Very Dense | Greater than 50 |

| | |
|--------------|-----------------|
| Very Loose | Less than 4 |
| Loose | 4-10 |
| Medium Dense | 11-30 |
| Dense | 31-50 |
| Very Dense | Greater than 50 |

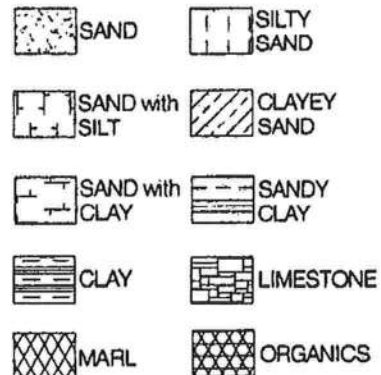
SILTS AND CLAYS-

| Consistency | SPT (Blows/12 inches) |
|--------------|-----------------------|
| Very Soft | Less than 2 |
| Soft | 2-4 |
| Medium Stiff | 5-8 |
| Stiff | 9-15 |
| Very Stiff | 16-30 |
| Hard | Greater than 30 |

| | |
|--------------|-----------------|
| Very Soft | Less than 2 |
| Soft | 2-4 |
| Medium Stiff | 5-8 |
| Stiff | 9-15 |
| Very Stiff | 16-30 |
| Hard | Greater than 30 |

LEGEND:

- TOB Termination of Boring
- GSE Ground Surface Elevation
- ∇ Ground Water at Time of Drilling
- ∇ Wet Season Water Table
- N Standard Penetration Resistance in Blows Per 12 inches (18-inch Spoon, ASTM D-1586)
- WOR Weight of Rod
- WOH Weight of Hammer
- MC Moisture Content (%)
- OC Organic Content (%)
- 200 Percent Passing No. 200 U.S. Standard Sieve
- LL Liquid Limit
- PI Plasticity Index
- (SP) Unified Soil Classification Based on Visual Observation and Laboratory Tests



SEAL

DR. BEDOYA
OFFICE BUILDING
LAKE CITY, FLORIDA

ROBERT W. CLARK
P.E. 52210

| ROAD NO | COUNTY | FINANCIAL PROJECT ID |
|----------|----------|----------------------|
| S.R. 247 | COLUMBIA | |

REPORT OF SOIL BORINGS

SHEET NO.

1 of 1

**Cal-Tech Testing, Inc.**

• Engineering
• Geotechnical
• Environmental
Laboratory

P.O. Box 1625 • Lake City, FL 32050-1625 • Tel(386)755-3633 • Fax(386)762-6456

6919 Distribution Ave. S., Unit #5, Jacksonville, FL 32257 • Tel(904)282-4048 • Fax(904)282-4047

2230 Greensboro Hwy • Quincy, FL 32351 • Tel(850)442-3495 • Fax(850)442-4008

REPORT OF IN-PLACE DENSITY TEST

JOB NO.: 07-160

DATE TESTED: 3/23/07

DATE REPORTED: 3/23/07

| | |
|--|---|
| PROJECT: | Dr. Bedoya Eye Center |
| CLIENT: | Dale's Excavation, 6139 SW SR 47, Lake City, FL 32024 |
| GENERAL CONTRACTOR: | Dale's Excavation |
| EARTHWORK CONTRACTOR: | Dale's Excavation |
| INSPECTOR: | G. Osburn |
| ASTM METHOD (D-2922) Nuclear | SOIL USE BUILDING FILL |
| SPECIFICATION REQUIREMENTS: 95% | |

| TEST NO. | TEST LOCATION | TEST DEPTH | WET DENSITY (lb/ft ³) | MOISTURE PERCENT | DRY DENSITY (lb/ft ³) | PROCTOR TEST NO. | PROCTOR VALUE | % MAXIMUM DENSITY |
|----------|-------------------|------------|-----------------------------------|------------------|-----------------------------------|------------------|---------------|-------------------|
| 1 | Lift #1 SW Corner | 12" | 128.6 | 13.1 | 113.7 | 1 | 113.6 | 100% |
| 2 | Lift #2 SW Corner | 12" | 128.3 | 13.9 | 110.9 | 1 | 113.6 | 98% |
| 3 | SE Corner | 12" | 128.4 | 10.6 | 114.3 | 1 | 113.6 | 101% |
| 4 | NE Corner | 12" | 119.9 | 8.1 | 110.9 | 1 | 113.6 | 98% |
| 5 | NW Corner | 12" | 128.6 | 13.1 | 113.7 | 1 | 113.6 | 100% |

REMARKS: The Above Tests Meet Specification Requirements.

| PROCTORS | | | | |
|-------------|------------------------------|---|-------------|------------------------|
| PROCTOR NO. | SOIL DESCRIPTION | MAXIMUM DRY UNIT WEIGHT (lb/ft ³) | OPT. MOIST. | TYPE |
| 1 | Greyish Tan Fine Sand w/Silt | 113.6 | 10.2 | MODIFIED (ASTM D-1557) |
| | | | | |
| | | | | |

Respectfully Submitted,
CAL-TECH TESTING, INC.

Reviewed By:

Linda M. Creamer
Linda M. Creamer, CEO, DBE
President - CEO

Bryan Zecher
Date: 3/23/07
Florida Registration No: 52210

EE
The test results presented in this report are specific only to the samples tested at the time of testing. The tests were performed in accordance with generally accepted methods and standards. Since material conditions can vary between test locations and change with time, sound judgement should be exercised with regard to the use and interpretation of the data.

CYPRESS HILLS CALVARY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 11-4S-16-02905-223

Building permit No. 000025692

Use Classification SFD, UTILITY

Fire: 77.00

Permit Holder ROB STEWART

Waste: 201.00

Owner of Building CYPRESS HOMES & LAND

Total: 278.00

Location: 561 SW KIRBY RD, LAKE CITY, FL

Date: 10/19/2007

Building Inspector

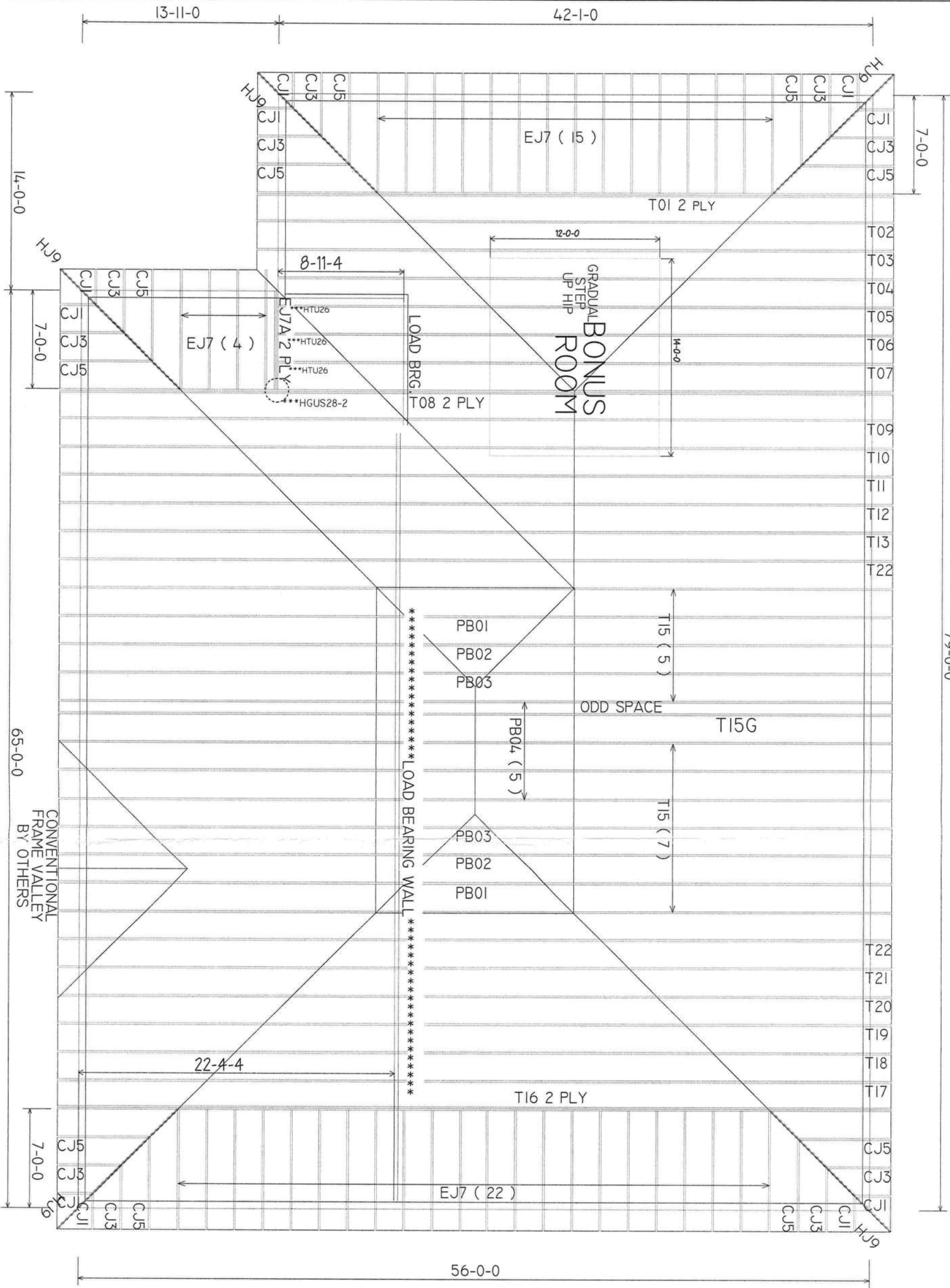
POST IN A CONSPICUOUS PLACE
(Business Places Only)



DROPPED CLGS.
9' CLG.

NOTE: JOB NOT LOADED FOR COMMERCIAL DESIGN CRITERIA

79-0-0



VERIFY O/H

18" O/H
6/12

BEARING HEIGHT SCHEDULE

10'

NOTES:

- 1) REFER TO HDB R1 (RECOMMENDATIONS FOR HANDLING INSTALLATION AND TEMPORARY BRACING) REFER TO ENGINEERED DRAWINGS FOR PERMANENT BRACING REQUIRED.
- 2) ALL TRUSSES (INCLUDING TRUSSES UNDER VALLEY FRAMING) MUST BE COMPLETELY DECKED OR REFER TO DETAIL V05 FOR ALTERNATE BRACING REQUIREMENTS.
- 3) ALL VALLEYS ARE TO BE CONVENTIONALLY FRAMED BY DOILER.
- 4) ALL TRUSSES ARE DESIGNED FOR 2 OC MAXIMUM SPACING, UNLESS OTHERWISE NOTED.
- 5) ALL WALLS SHOWN ON PLACEMENT PLAN ARE CONSIDERED TO BE LOAD BEARING, UNLESS OTHERWISE NOTED.
- 6) 5Y4Z TRUSSES MUST BE INSTALLED WITH THE TOP BEING UP.
- 7) ALL ROOF TRUSSES HANGERS TO BE SAMPSON H506 UNLESS OTHERWISE NOTED. ALL FLOOR TRUSSES HANGERS TO BE SAMPSON TH4422 UNLESS OTHERWISE NOTED.
- 8) BEAMHEAD/DECK/INTEL (HDB) TO BE FURNISHED BY DOILER.

SHOP DRAWING APPROVAL

THIS LAYOUT IS THE SOLE SOURCE FOR FABRICATION OF TRUSSES AND VIDS. ALL PREVIOUS ARCHITECTURAL OR OTHER TRUSS LAYOUTS, REVIEW AND APPROVAL OF THIS LAYOUT MUST BE RECEIVED BEFORE ANY TRUSSES WILL BE BUILT. VERIFY ALL CONDITIONS TO INSURE AGAINST CHANGES THAT WILL RESULT IN EXTRA CHARGES TO YOU.

Engineered Drawing Date: _____

Approved By: _____ Date: _____



PHONE: 904-437-3344 FAX: 904-437-3494

Jacksonville

PHONE: 904-772-6100 FAX: 904-772-1973

Lake City

PHONE: 904-755-6894 FAX: 904-755-7973

Sanford

PHONE: 407-322-0059 FAX: 407-322-9553

BUILDER: BRYAN ZECHER

DESIGN: DR. BEDOYA

DATE: 3/15/07 SCALE: NTS

WEEK: WWL L230370