

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 1-11)		Zoning Official <u>BK 11 JAN 2012</u>		Building Official <u>[Signature]</u>	
AP# <u>1201-10</u>	Date Received <u>1/6</u>	By <u>JW</u>	Permit # <u>29874</u>		
Flood Zone <u>X</u>	Development Permit <u>N/A</u>	Zoning <u>A-3</u>	Land Use Plan Map Category <u>A-3</u>		
Comments <u>Replacing Existing MH</u>					
FEMA Map# <u>N/A</u>	Elevation <u>N/A</u>	Finished Floor <u>1st fl</u>	River <u>N/A</u>	In Floodway <u>N/A</u>	
☒ Site Plan with Setbacks Shown		☒ EH # <u>12-0020E</u>		☐ EH Release <u>No</u>	
☐ Recorded Deed or Affidavit from land owner		☒ Installer Authorization <u>ON FILE</u>		☐ State Road Access <u>911 Sheet</u>	
☐ Parent Parcel # _____		☐ STUP-MH _____		☐ F W Comp. letter <u>VF Form</u>	
IMPACT FEES: EMS _____		Fire _____		Corr _____	
Road/Code _____		School _____		= TOTAL _____ Impact Fees Suspended March 2009 _____	
☐ Out County		☒ In County			

Property ID # 36-65-16-04076-142 Subdivision Parker Woods Lot 42

- New Mobile Home ☒ Used Mobile Home _____ MH Size 28x44 Year 2012
- Applicant Wendy Grennell Phone # 386-288-2428
- Address 3104 SW Old Wire Rd Ft White FL 32038
- Name of Property Owner Lola Pipkin Newman Phone # 386-292-3620
- 911 Address 448 SW Legree Terr Ft White FL 32038
- Circle the correct power company - FL Power & Light - Clay Electric
 (Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home Lola Pipkin Newman Phone # 386-292-3620
 Address 448 SW Legree Terrace Ft White FL 32038
- Relationship to Property Owner Same
- Current Number of Dwellings on Property (1)
- Lot Size _____ Total Acreage 5
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
 (Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home Yes (CHARGED) IND. FEE
- Driving Directions to the Property 441 South to CR 18 turn (R) to SW Legree Terr turn (L) to 448 on (R)
- Name of Licensed Dealer/Installer Rusty Knowles Phone # 386-755-6441
- Installers Address 5801 SW SR 47 Lake City FL 32024
 - License Number IH1038219 Installation Decal # 8958

JW spoke w/Wendy 1.12.12

COLUMBIA COUNTY PERMIT WORKSHEET

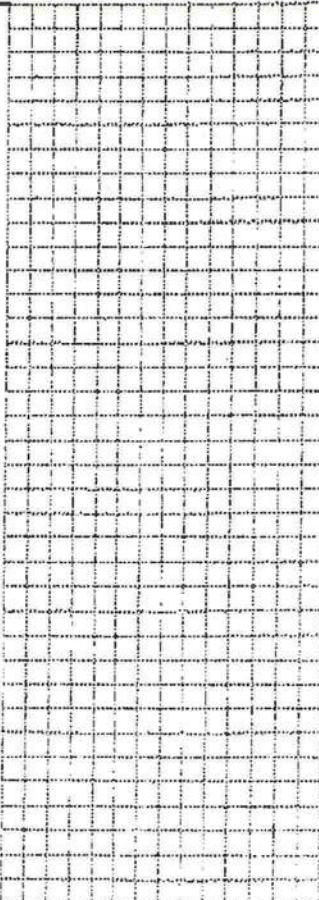
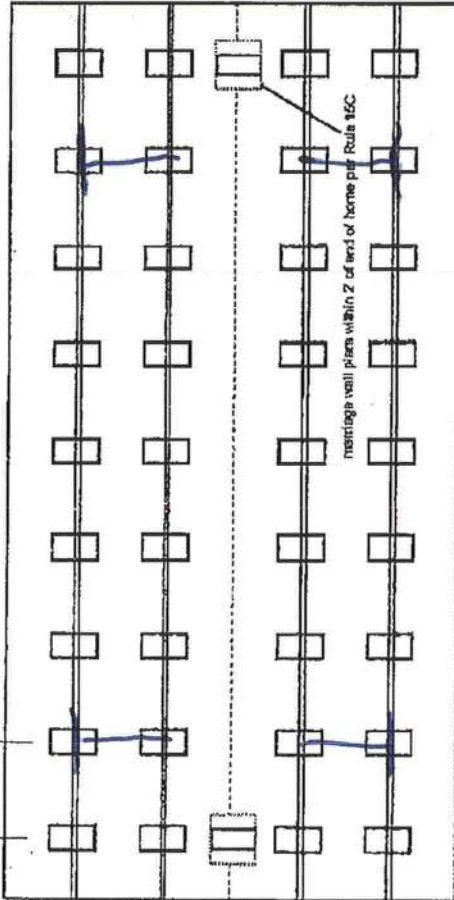
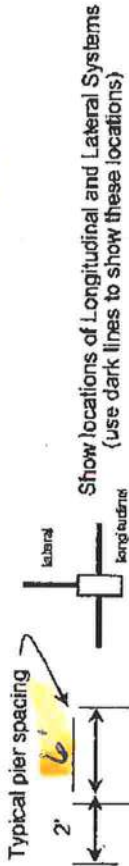
These worksheets must be completed and signed by the installer.
Submit the originals with the packet.

Installer Rusty L. Kwolek License # TH-1038219
911 Address where home is being installed. 448 SW Begree Terrace
Manufacturer Champion Length x width 28x40Box

NOTE: If home is a single wide fill out one half of the blocking plan
If home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's Initials RK



page 1 of 2

New Home ☒ Used Home ☐
Home installed to the Manufacturer's Installation Manual ☒
Home is installed in accordance with Rule 15-C ☐
Single wide ☐ Wind Zone II ☒ Wind Zone III ☐
Double wide ☒ Installation Decal # 8958
Triple/Quad ☐ Serial # ordered

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)	26" x 26" (676)
1000 dsf	3'	4'	4'	5'	6'	7'	8'
1500 dsf	4'	5'	6'	7'	8'	9'	10'
2000 dsf	5'	6'	7'	8'	9'	10'	11'
2500 dsf	6'	7'	8'	9'	10'	11'	12'
3000 dsf	7'	8'	9'	10'	11'	12'	13'
3500 dsf	8'	9'	10'	11'	12'	13'	14'

* Interpolated from Rule 15C-1 pier spacing table (226)

PIER PAD SIZES

l-beam pier pad size	Perimeter pier pad size	Other pier pad sizes (required by the mfg.)
<u>23 1/4 x 31 1/4</u>	<u>N/A</u>	<u>16 x 16</u>

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening 8' Pier pad size 16 x 16
ANCHORS ☒ 4 ft ☒ 5 ft
FRAME TIES ☐ within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)
Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer Oliver Technology
OTHER TIES
Number 14
Sidewall 14
Longitudinal 4
Marriage wall 24/2
Shearwall

COLUMBIA COUNTY PERMIT WORKSHEET

page 2 of 2

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf or check here to declare 1000 lb. soil ☒ without testing.

X 1.0 X 1.0 X 1.0

POCKET PENETROMETER TESTING METHOD

- Test the perimeter of the home at 6 locations.
- Take the reading at the depth of the footer.
- Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1.0 X 1.0 X 1.0

TORQUE PROBE TEST

The results of the torque probe test is 14 x 1/2 x 10/16 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

RK Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Rusty L. Knowles

Date Tested 1-4-12

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 15c-1

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 15c-1

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 15c-1

Site Preparation

Debris and organic material removed ☒ Swale ☒ Pad ☒ Other ☐

Fastening multi wide units

Floor: Type Fastener: lags Length: 6" Spacing: 18"
 Walls: Type Fastener: Studs Length: 4" Spacing: 24"
 Roof: Type Fastener: Studs Length: 14/20/1 Spacing: 48"

For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherstripping requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials RK

Type gasket Roll foam Installed: Between Floors Yes ☒
 Between Walls Yes ☒
 Bottom of ridgebeam Yes ☒

Weatherproofing

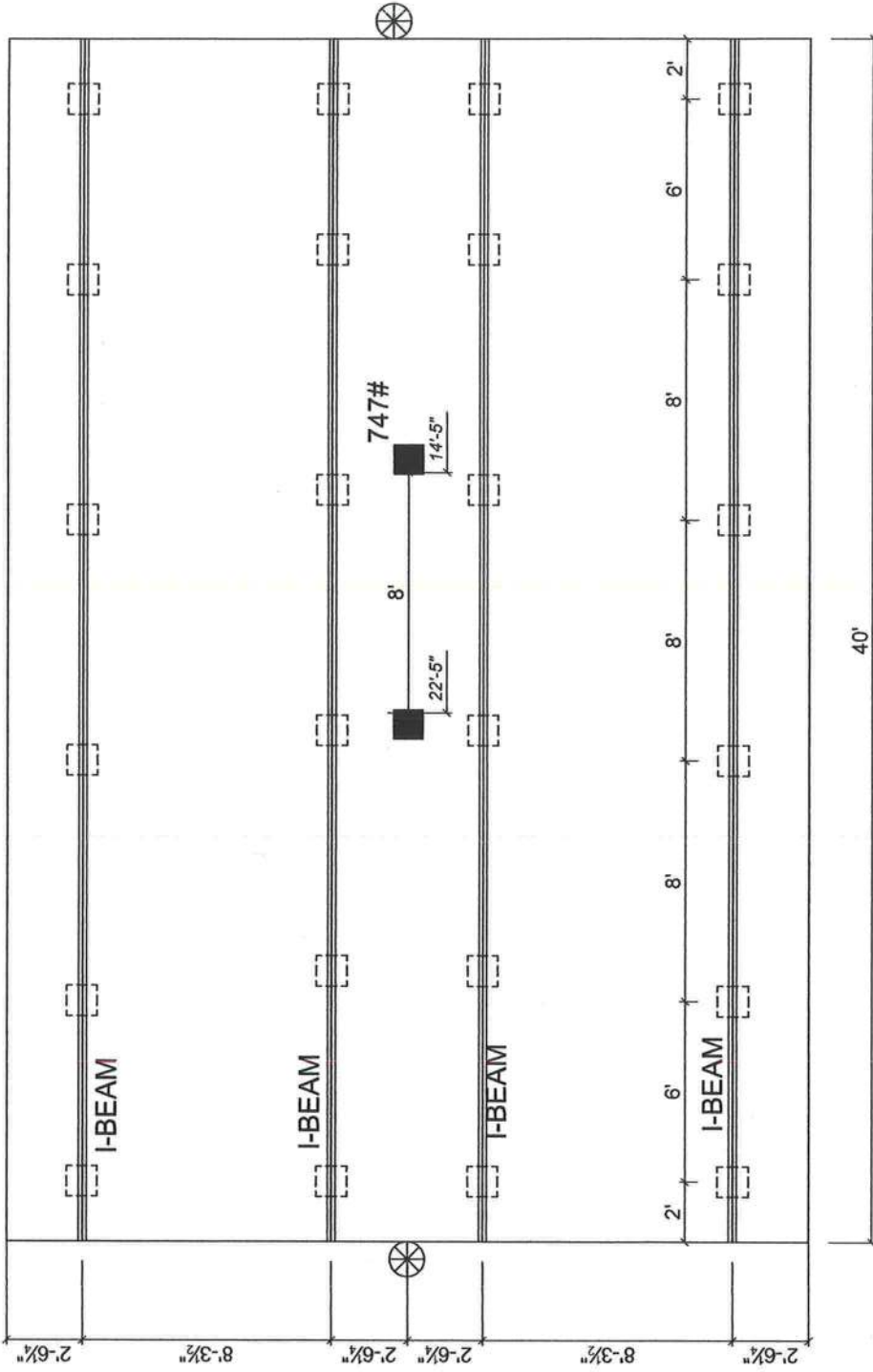
The bottomboard will be repaired and/or taped. Yes ☒ Pg. 15c-1
 Siding on units is installed to manufacturer's specifications. Yes ☒
 Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☒

Miscellaneous

Skirting to be installed. Yes ☒ No ☐
 Dryer vent installed outside of skirting. Yes ☒ N/A ☒
 Range downflow vent installed outside of skirting. Yes ☒ N/A ☒
 Drain lines supported at 4 foot intervals. Yes ☒
 Electrical crossovers protected. Yes ☒
 Other: 15c-1 may or may not have page # in setup

Installer verifies all information given with this permit worksheet is accurate and true based on the

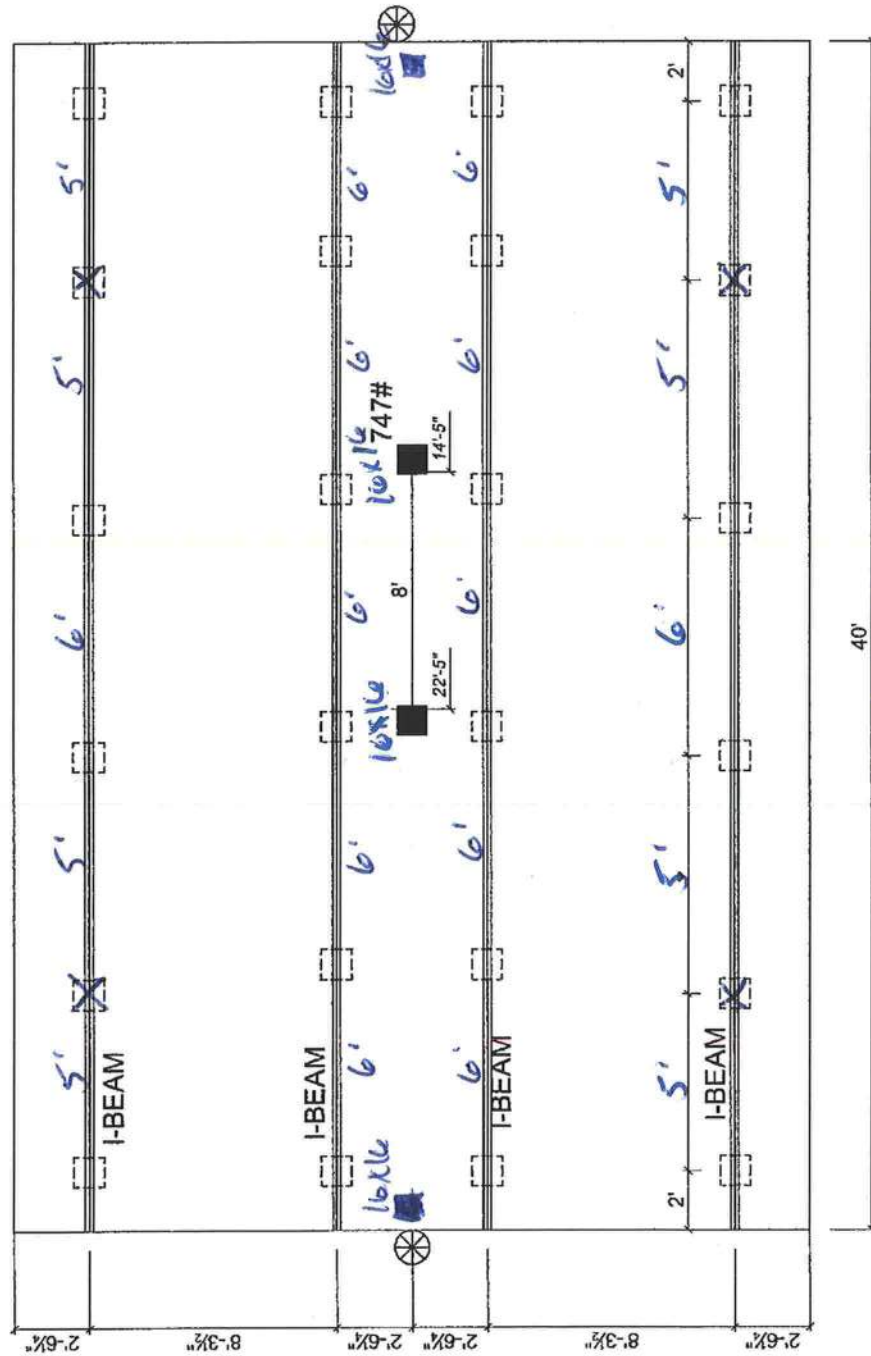
Installer Signature Rusty L. Knowles Date 1-4-12



- CENTER LINE TIE
- COLUMN BLOCKING
- SEE SOIL BEARING CAPACITY CHARTS FOR PAD SIZE
- BLOCKING

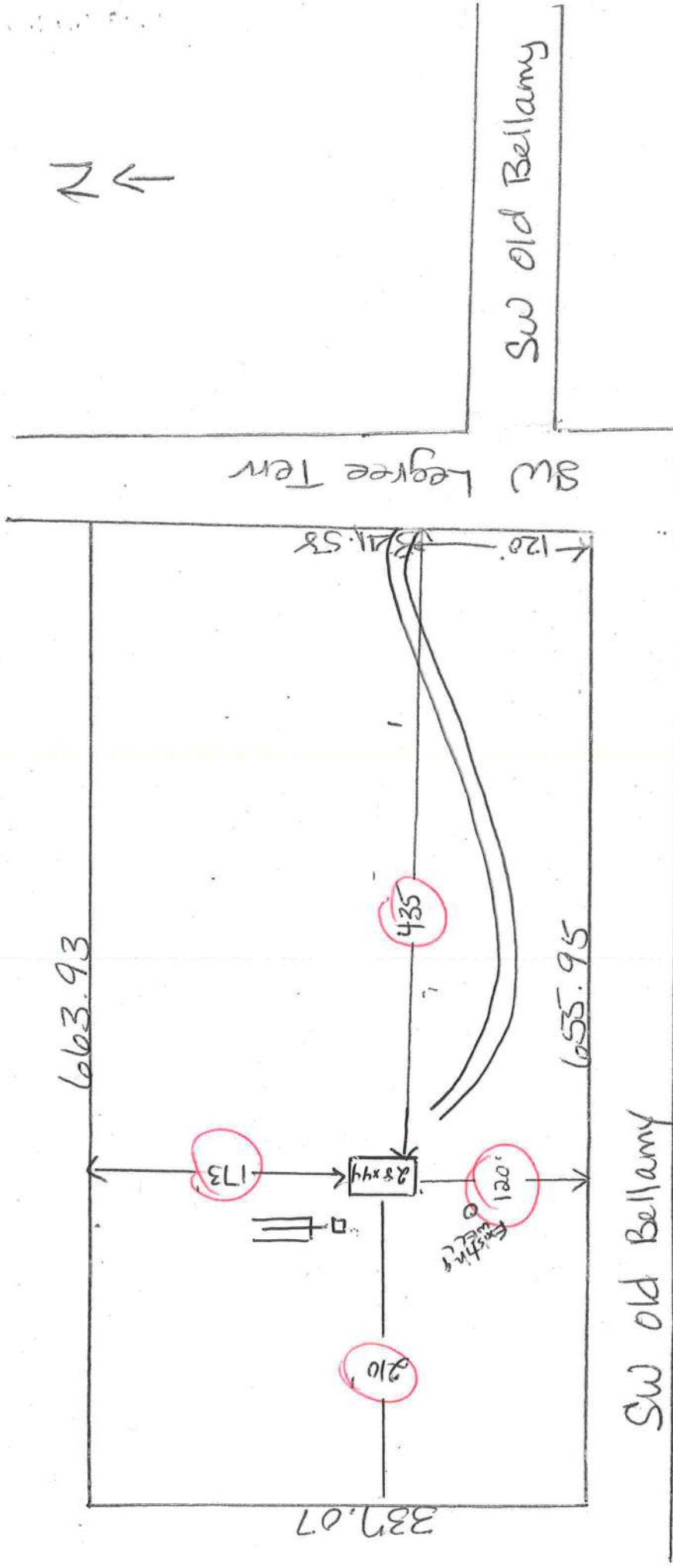
- 1) ALL EXTERIOR DOORS, BAY WINDOWS, RECESSED SIDEWALLS AND EXTERIOR WALL OPENINGS 48" OR GREATER. WILL REQUIRE BLOCKING ON EACH SIDE.

		APPROVER'S SEAL		MODIFICATIONS		MODEL: 261-4402M1-1	SHEET:	
		TITLE: PIER FOUNDATION		DATE: 12-6-11		SCALE:	S-20	
P.O. BOX 2097 HWY 100 EAST LAKE CITY, FL 32056		PROPRIETARY AND CONFIDENTIAL THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL PROPERTY OF CHAMPION FOUNDATION COPYRIGHT © 1975-2008 BY CHAMPION						



- 1) ALL EXTERIOR DOORS, BAY WINDOWS, RECESSED SIDEWALLS AND EXTERIOR WALL OPENINGS 48" OR GREATER. WILL REQUIRE BLOCKING ON EACH SIDE.

		APPROVER'S SEAL		MODIFICATIONS		MODEL: 261-4402M1-1	SHEET:
		TITLE: PIER FOUNDATION		DRAWN BY: ROD		DATE: 12-6-11	S-20
PROPRIETARY AND CONFIDENTIAL THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL PROPRIETARY AND CONFIDENTIAL MATERIALS OF CHAMPION. COPYRIGHT © 1976-2008 BY CHAMPION							
P.O. BOX 2097 HWY 100 EAST LAKE CITY, FL 32056							



448 SW Leqree Terrace
 Lot 42 Parker Woods S/D
 Parcel # 36-65-16-04076-142

Scale 1" = 100'

Site plan submitted by: Wendy Shennel

Existing Septic 900/335
 OK for up to 3 bedroom
 Installed 9-18-95

Jan 06 12 12:13p
Jan 03 12 03:48p
11/18/2011 14:32

Wendy Grennell
Wendy Grennell
3867582160

3867551031
3867551031
BUILDING AND ZONING

p. 1
p. 4
PAGE 03/03

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 12021-10 CONTRACTOR Rusty Knowles PHONE 755-6441

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

☒ ELECTRICAL 234	Print Name: <u>Michael Connor</u> License #: <u>ER13013192</u>	Signature: <u>Michael Connor</u> Phone #: <u>386-258-2233</u>
☒ MECHANICAL/ A/C 701	Print Name: <u>Robert Grant</u> License #: <u>CAC1814931</u>	Signature: <u>Robert Grant</u> Phone #: <u>800-859-3108</u>
☒ PLUMBING/ GAS 676	Print Name: <u>Rusty L. Knowles</u> License #: <u>IH-1038219</u>	Signature: <u>Rusty Knowles</u> Phone #: <u>386-755-6441</u>

Specialty License	License Number	Sub-Contractors Printed Name	Sub Contractors Signature
MASON			
CONCRETE FINISHER			

F. S. 440.103 Building permits; identification of minimum premium policy.—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Contractor Form: Subcontractor Form: 1/11

MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License

Any person who engages in mobile home installation shall obtain a mobile home installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction, of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said license shall be renewed annually, and each licensee shall pay a fee of \$150

I, Rusty L. Krawles, license number IH-1038219

state that the installation of the manufactured home for owner

Lola Pipkin Newman at

911 Address: 448 SW Legree Ter City Ft White

will be done under my supervision.

Signed: [Signature]
Mobile Home Installer

Sworn to and described before me this 4 day of January 2012

[Signature]
Notary public

Shirley M. Bennett Personally known ☒
Notary Name

DL ID _____



>> [Print as PDF](#) <<

LOT 42 PARKER WOODS S/D.		NEWMAN JESSE & LOLA		36-6S-16-04076-142		Columbia County 2011 R	
		448 SW LEGREE TERR				CARD 001 of 001	
		FT WHITE, FL 32038				BY JEFF	
				PRINTED 9/26/2011 11:32			
				APPR 8/11/2010 DFRP			

BUSE 000800 MOBILE HME	AE? Y	924 HTD AREA	89.829 INDEX	36616.02 PARKER WOODS	PUSE 000200 MOBILE HOME
MOD 2 MOBILE HME BATH	2.00	924 EFF AREA	20.661 E-RATE	100.000 INDX STR 36- 6S-16E	
EXW 26 ALM SIDING FIXT		19091 RCN		1985 AYB MKT AREA 02	5,918 BLDG
% N/A BDRM	3	31.00 %GOOD	5,918 B BLDG VAL	1985 EYB (PUD1	0 XFOB
RSTR 03 GABLE/HIP RMS				AC	33,164 LAND
RCVR 01 MINIMUM UNTS		3 FIELD CK:	HX AppYr 1998	NTCD	0 CLAS
% N/A C-W%		3 LOC: 448 LEGREE TER SW FORT WHITE		APPR CD	0 MKTUSE
INTW 05 DRYWALL HGHT		3 +-----66-----+		CNDO	39,082 JUST
% N/A PMTR		3 IBAS1997	I	SUBD	39,082 APPR
FLOR 14 CARPET	1.0	3 1	1	LOT	0 SOHD
10% 08 SHT VINYL ECON		3 4	4	MAP#	0 ASSD
HTTP 04 AIR DUCTED FUNC		3 +-----66-----+		HX	0 EXPT
A/C 03 CENTRAL SPCD				TXDT 003	0 COTXBL
QUAL 03 03 DEPR 09					
FNDN N/A UD-1 N/A					
SIZE N/A UD-2 N/A					
CEIL N/A UD-3 N/A					
ARCH N/A UD-4 N/A					
FRME 01 NONE UD-5 N/A					
KTCH 01 01 UD-6 N/A					
WNDO N/A UD-7 N/A					
CLAS N/A UD-8 N/A					
OCC N/A UD-9 N/A					
COND 02 02 % N/A					
SUB A-AREA % E-AREA SUB VALUE					
BAS97 924 100 924 5918					

TOTAL 924 924 5918		FIELD CK:	
-----EXTRA FEATURES-----		GRANTOR GRANTEE	

AE BN	CODE	DESC	LEN	WID	HGHT	QTY	QL	YR	ADJ	UNITS	UT	PRICE	ADJ	UT	PR	SPCD	%	%GOOD	XFOB	VALUE
-------	------	------	-----	-----	------	-----	----	----	-----	-------	----	-------	-----	----	----	------	---	-------	------	-------

LAND	DESC	ZONE	ROAD	{UD1	{UD3	FRONT	DEPTH	FIELD CK:												
AE	CODE	TOPO	UTIL	{UD2	{UD4	BACK	DT	ADJUSTMENTS		UNITS	UT	PRICE	ADJ	UT	PR				LAND	VALUE
Y	000200	MBL HM	RSFMH1	0002				1.00 1.00 1.00 1.00		5.000	AC	6232.950		6232.95					31,164	
			0002	0003																
Y	009945	WELL/SEPT	00	0002				1.00 1.00 1.00 1.00		1.000	UT	2000.000		2000.00					2,000	
			0002	0003																

44.45 Doc Note
2-18-95
Date

Agreement for Deed BK 0850 PG 1381

171 BUYER(BORROWER), NAME OR NAMES, AND MAILING ADDRESS:

JESSE NEWMAN

NAME
ELLA NEWMAN

NAME
RT 1 BOX 507

STREET ADDRESS
LAKE CITY, FL 32055

CITY
PARKER LAND CO.

SELLER (CREDITOR)

The Buyer hereby agrees to purchase from the Seller, and the Seller hereby agrees

to sell to the Buyer, that certain property situated in

County, Florida and more particularly described as:

LOT 42 PARKER WOODS

PLAT BOOK 6, PAGES 51, 81A, 81B.

OFFICIAL RECORDS

FILED AND RECORDED IN PUBLIC
RECORDS OF COLUMBIA COUNTY, FL

1997 DEC 18 PM 1:33

RECORDED

CLERK OF COURTS
COLUMBIA COUNTY, FLORIDA
BY: MCK

Purchase Price and Terms:

1. Purchase Price \$12,995.00
 2. Cash Down Payment (The annual percentage rate does not take into account your cash down payment.) \$295.00
 3. Amount Financed (The amount of credit provided to you or on your behalf.) \$12,700.00
 4. FINANCE CHARGE (The dollar amount the credit will cost you.) \$20,864.00
 5. Total of Payments (The amount you will have paid when you have made all scheduled payments.) \$33,564.00
 6. Total Sales Price (The total price of your purchase on credit, including your cash down payment of \$295.00, your finance charge of \$20,864.00) \$33,859.00
 7. ANNUAL PERCENTAGE RATE (The cost of your credit as a yearly rate.) Fixed ☒ Adjustable ☐ 12.0 %
- You have a right to receive at this time an itemization of the Amount Financed.
- This obligation does () does not (X) have a demand feature. If you pay off early, you will not have to pay a penalty.
- This obligation does () does not (X) include a balloon payment.
- Late Charge: Payments made more than 7 days late will be subject to 5% late fee.
- Security: You are giving a security interest in the property being purchased if you are not paying the entire purchase price in cash at closing.
- Buyer to pay Seller the Total of Payments (Line 5 above) in 240 equal monthly payments of \$139.85 each, commencing on April 1, 1995, and continuing on the same day of every successive month thereafter with a final payment of \$139.85. The finance charge begins to accrue from March 1, 1995.

Amount Financed	Finance Charge	Total of Payments	Total Sales Price
\$12,700.00	\$20,864.00	\$33,564.00	\$33,859.00

Documentary Stamp \$91.00
Intangible Tax
P. DeWitt Cason
Clerk of Court
By: MCK D.C.

This instrument prepared by Eric J. Parker, P.O. Box 7133, Gainesville, FL 32605.
Eric J. Parker is a licensed real estate broker with Jo Parker Realty, Inc.

THIS CONTRACT IS SUBJECT TO THE TERMS AND CONDITIONS ON REVERSE SIDE. This agreement is subject to confirmation and acceptance by the Seller.

Check if applicable: ☐ See attached Schedule "A," which is by this reference made a part hereof; the Buyer acknowledges that he has received, read and approved same.

Before I (we) signed this contract, I (we) received a copy of the Restrictive and Protective Covenants, and personally inspected the property described above.

Witness Signature
J.O. Bryant
Printed Name
J.O. Bryant
Witness Signature
Nicole Harris Hall
Printed Name
Nicole Harris Hall
Witness Signature
J.O. Bryant
Printed Name
J.O. Bryant
Witness Signature
Nicole Harris Hall
Printed Name
Nicole Harris Hall

Witness Signature
Jesse Newman
Printed Name
Jesse Newman
Witness Signature
Lola Newman
Printed Name
Lola Newman
Witness Signature
Parker Land Co.
Printed Name
Eric J. Parker
Printed Name
ERIC J. PARKER

Before me, a Notary Public in and for said County and State, appeared the officers, authorized agents, or individuals, to me known as the persons described in and who executed the foregoing agreement, and severally acknowledged the execution thereof to be their free act and deed for the use and purposes stated therein.

WITNESS my signature and official seal at ALACHUA County, State of Florida, this 18 day of February, 1995, as to Buyer(s). I relied upon the following form(s) of identification as to Buyer(s): Florida Drivers License and was in good (was/was not) taken.

Notary Signature, as to Buyer(s)
J.O. Bryant

Printed Notary Signature
My Commission Expires February 24, 1997

WITNESS my signature and official seal at ALACHUA County, State of Florida, this 18 day of February, 1995, as to Seller(s). I relied upon the following form(s) of identification as to Seller(s): Florida Drivers License and was in good (was/was not) taken.

Notary Signature, as to Seller(s)
J.O. Bryant

Printed Notary Signature
My Commission Expires February 24, 1997

CONDITIONS OF SALE AND AGREEMENT

References herein to the Buyer(s) and any pronouns relative thereto shall include the masculine, feminine, and neuter gender, and the singular and plural number, wherever the context requires.

TITLE GUARANTEE: Upon payment in full, Buyer(s) will receive warranty deed as set forth on the reverse side hereof. The sales conditions recited on back hereof are as a part of this contract as though set forth on the face of this contract. This property is sold and will be conveyed subject to restrictions, reservations and easements affecting the use of the property, common to the subdivision or as shown on the plat, if applicable. BUYER(S) SHALL HAVE THE RIGHT TO PREPAY ALL OR ANY PART OF THE BALANCE REMAINING DUE WITHOUT PENALTY.

This Contract and the rights and interests hereunder are not transferable by Buyer(s) without written consent of Seller(s), and then only upon the same terms and conditions herein contained, provided the Contract shall not be in default. Consent of Seller(s) shall not be unreasonably denied.

Upon payment in full for said property, Seller(s) shall deliver a Warranty Deed conveying title to said property to Buyer(s) free and clear of all encumbrances except restrictions, reservations and easements of record, common to the subdivision or shown on the plat thereof, taxes for the year this Contract is entered into and subsequent years, and any liens, encumbrances or title defects placed of record by or against the Buyer(s).

The Buyer(s) may prepay in whole or in part any sums due hereunder at any time before maturity without penalty. Buyer(s) will pay for required documentary stamps and recording costs of Warranty Deed.

It is understood and agreed that the Buyer(s) is of legal age, and the Buyer(s) hereby expressly waives any and all claims for damages because of any representation made by any person whomsoever other than as contained in this agreement, and the Seller(s) shall not be responsible or liable for any inducement, promise, representation, agreement, condition or stipulation not specifically set forth herein. This agreement is subject to prior sale and Seller(s) Approval.

It is mutually agreed by and between the parties hereto that the time of payments as provided for herein or any of them, shall be an essential part of this Agreement. All covenants and agreements herein contained shall extend to and be obligatory upon the heirs, executors, administrators, successors and assigns of the respective parties.

This Contract shall not be binding until signed by the Seller(s) or authorized agent of Seller(s) in the State of Florida, and shall be construed under the laws of the State of Florida.

It is hereby understood and agreed the property herein is being sold and purchased subject to restrictions, reservations and limitations affecting the use of the property common to the subdivision or shown on the plat, if applicable, which are now of record, and also subject to any existing easements for Public Utilities, and zoning requirements or easements of any governmental authority, State, County or Municipal, or Natural Resources and Pollution Cont. Depts.

In the event of the termination of this Agreement by BUYER(S) breach of covenants, the BUYER(S) shall be tenants at sufferance and shall not be entitled to any notice to vacate, and will vacate the premises immediately and will hold SELLER(S) harmless from any and all liabilities in the event it becomes necessary to enforce any of the covenants of this Agreement, and the BUYER(S) agrees to pay any and all attorney's fees and costs incurred in connection therewith.

The BUYER(S) agrees that no labor will be performed or materials furnished to this property without such items being fully paid for at the time said work is done or materials furnished, and that they will not cut any timber on the property without the prior written consent of the Seller(s), or otherwise the Buyer(s) shall be in default hereunder.

It is hereby understood and agreed that Seller(s) has the right to sell, assign or hypothecate this Agreement and the obligations of Buyer(s) will inure to the benefit of any assignee or purchaser of Seller(s) interest.

This contract constitutes the entire agreement between the parties hereto and shall inure to the benefit of, and be binding upon, their heirs, personal representatives, successors and assigns.

The buyer(s) does herein and hereby agree to purchase said land and pay the purchase price as herein above set forth. The buyers agree to pay all taxes, assessments and impositions levied or assessed against said property subsequent to the date hereof, at the time the same shall become due and payable, and if same shall not be promptly paid, the seller(s), their heirs, legal representatives or assigns may at any time pay the same and the amount of the taxes, assessments or impositions, shall be added to the amount of the Contract price still due and payable and every payment so made by the seller(s) shall draw interest at the highest legal interest rate for loans made in such amount by the Seller(s) to the Buyer(s).

The Buyer(s) covenants and agree that they will not permit, commit, or suffer any waste, impairment or deterioration of the property or any part thereof, and that will keep any improvements and the premises in good repair and condition through the life of this Contract, and will keep all improvements fully insured, with the Seller(s) named as joint loss payee.

If the Buyer shall fail or refuse to perform any covenant of this Contract for a period of thirty (30) days after Buyer's performance is due, the Seller shall have the right to declare the entire remainder due under this Contract immediately due and payable. Further, where default under the terms of this Contract exists, the Buyer waives the requirements of the Seller to give formal notice of exercise of right of acceleration of amounts due. Seller shall have the right to foreclose this Contract in the same manner provided for the foreclosure of mortgages under Florida law, and to have this agreement canceled. In such event the Buyer hereby agrees that all payments made to the Seller by the Buyer under the terms of this agreement shall be retained by the Seller as actual damages, and as a reasonable rental for the Buyer's use of the premises prior to the occurrence of such event.

This contract constitutes the entire agreement between the parties. Buyer(s) agree that no representations, oral or implied, have been made to Buyer(s) to induce them to enter into this agreement other than those expressly herein set forth. No waiver of any provision hereof shall constitute a continuing waiver of such provision or any other provision then or thereafter unless reduced to writing and expressly made a modification hereof.

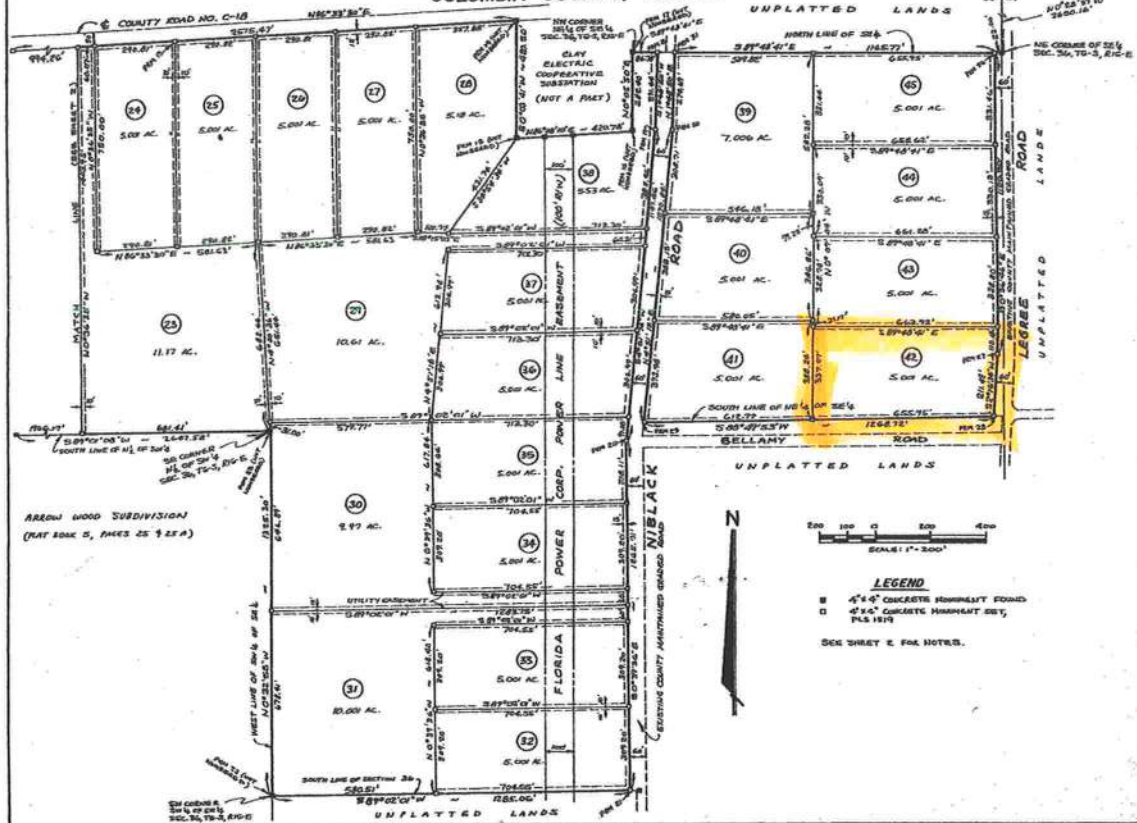
Time is of the essence of this Contract, and in case of failure of the Buyer(s) to make any of the payments or perform any of the other covenants on their part for a period of thirty (30) days after the same shall be due, this Contract shall be forfeited and terminated at the election of the Seller(s); and, the Buyer(s) shall forfeit all payments made by them on this Contract and forfeit all rights acquired hereunder, and such payments shall be retained by the Seller(s) as liquidated damages, and the Seller(s) shall have the right to reenter and take possession of said land and premises and every part thereof. In the event of a default hereunder which exists and continues for 90 days without being cured, then in this event the Buyer(s) expressly authorizes the Seller(s) or his authorized agent to execute any and all documents reasonably required for the limited purpose of reconveying the subject property to the Seller(s), and terminating all rights therein and hereunder of the Buyer(s). For example, if the Buyer(s) is in default and this agreement is therefore terminated, the affidavit of the seller(s) or its agent, attesting to the default of the Buyer(s) and the termination of this agreement, recorded in the official records, in the office of the County Clerk of the aforementioned county in which the property is located, shall be conclusive proof in favor of any subsequent, bona fide purchaser or encumbrancer for value, of such default and termination. In such case, the Buyer(s) hereby irrevocably appoints Seller(s) or his agent, his attorney in fact, to declare and record such affidavit, and agrees to be bound by such affidavit as his act and deed. All payments due hereunder shall be due and payable on the date herein set forth, and payments made more than seven (7) days after date shall be subject to a five percent (5%) late charge.

W. C. HALE & ASSOCIATES, INC.
2185 SOUTH FIRST STREET
P.O. BOX 1141
LAKE CITY, FLA. 32059
TEL. (904) 732-5640

PARKER WOODS
A SUBDIVISION IN
SECTIONS 35 AND 36, T6-S, R16-E
COLUMBIA COUNTY, FLORIDA

PAGE 28-2
81-3

SHEET 3 OF 3



App # 1201-10
Pipkin**COLUMBIA COUNTY 9-1-1 ADDRESSING**

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 1/6/2012 DATE ISSUED: 1/12/2012

ENHANCED 9-1-1 ADDRESS:

448 SW LEGREE TER

FORT WHITE FL 32038

PROPERTY APPRAISER PARCEL NUMBER:

36-6S-16-04076-142

Remarks:

RE-ISSUE OF EXISTING ADDRESS FOR NEW STRUCTURE ON
PARCEL. OLD STRUCTURE TO BE REMOVED.

Address Issued By: SIGNED: / RONAL N. CROFT
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION
INFORMATION RECEIVED FROM THE REQUESTER. SHOULD,
AT A LATER DATE, THE LOCATION INFORMATION BE FOUND
TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

App # 1201-10

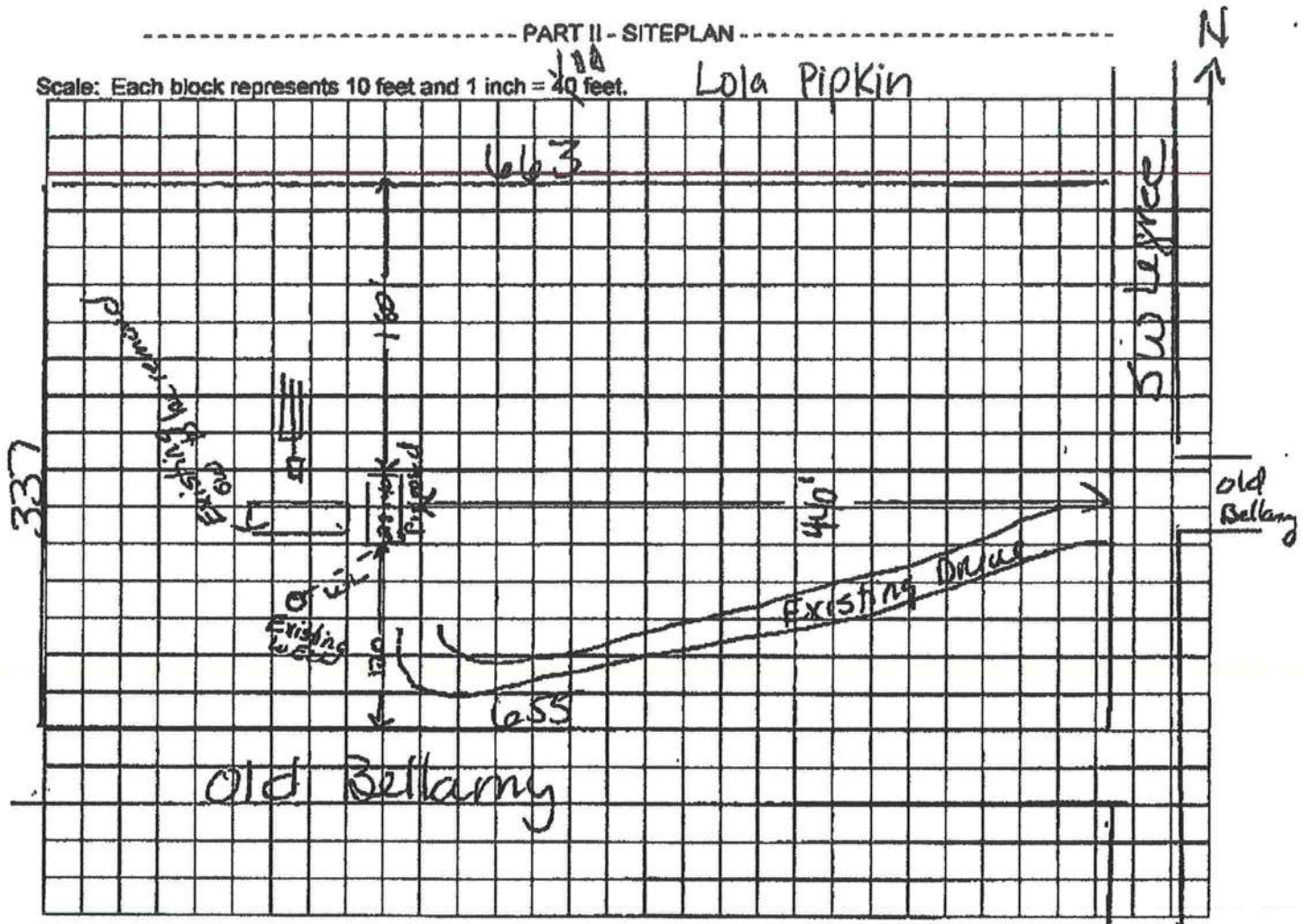
STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 12-0025E

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.

Lola Pipkin



Notes: _____

Site Plan submitted by: Wendy GrennellPlan Approved X

Not Approved _____

By Salbi Ford Env Health Director. Columbia

County Health Department

AgentDate 1-13-12**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**

Columbia County Property Appraiser

DB Last Updated: 11/15/2011

2011 Tax Year

Parcel: 36-6S-16-04076-142

<< Next Lower Parcel Next Higher Parcel >>

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

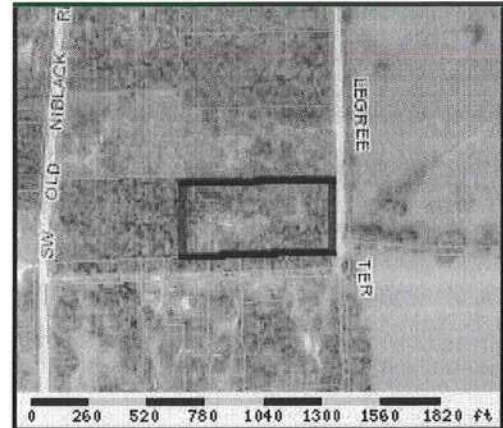
Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	NEWMAN JESSE & LOLA		
Mailing Address	448 SW LEGREE TERR FT WHITE, FL 32038		
Site Address	448 SW LEGREE TER		
Use Desc. (code)	MOBILE HOM (000200)		
Tax District	3 (County)	Neighborhood	36616
Land Area	5.000 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction. LOT 42 PARKER WOODS S/D.		

**Property & Assessment Values**

2011 Certified Values		
Mkt Land Value	cnt: (0)	\$33,164.00
Ag Land Value	cnt: (2)	\$0.00
Building Value	cnt: (1)	\$5,918.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$39,082.00
Just Value		\$39,082.00
Class Value		\$0.00
Assessed Value		\$33,364.00
Exempt Value	(code: HX)	\$25,000.00
Total Taxable Value	Cnty: \$8,364 Other: \$8,364 Schl: \$8,364	

2012 Working Values

NOTE:
2012 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
2/18/1995	850/1381	AD	V	U	01	\$13,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	MOBILE HME (000800)	1985	AL SIDING (26)	924	924	\$5,727.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000200	MBL HM (MKT)	5 AC	1.00/1.00/1.00/1.00	\$5,609.66	\$28,048.00
009945	WELL/SEPT (MKT)	1 UT - (0000000.000AC)	1.00/1.00/1.00/1.00	\$2,000.00	\$2,000.00

**CERTIFICATE OF
M/H OCCUPANCY**

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 36-6S-16-04076-142

Building permit No. 000029874

Permit Holder RUSTY KNOWLES

Owner of Building LOLA PIPKIN NEWMAN

Location: 448 SW LEGREE TERRACE, FT. WHITE, FL 32038

Date: 01/24/2012





Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)