A BOUNDARY SURVEY IN SECTION 35, TOWNSHIP 6 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA.

SURVEYOR'S NOTES

1. NO BOUNDARY SURVEY WAS PERFORMED AT THIS TIME.

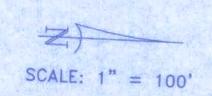
BEARINGS ARE BASED ON A DEED OF RECORD AS HANDED THIS OFFICE. THIS PARCEL IS IN ZONE 'AE' AND IS SUBJECT TO FLOODING. A BASE FLOOD ELEVATION IS ESTABLISHED TO BE 54 FEET AS PER FLOOD INSURANCE RATE MAP, DATED 4 FEB, 2009 CUB JECT TO CHANGE

4. THIS IS A SKETCH OF DESCRIPTION WITH TOPOGRAPHIC DATA SHOWN IN RELATION TO THE

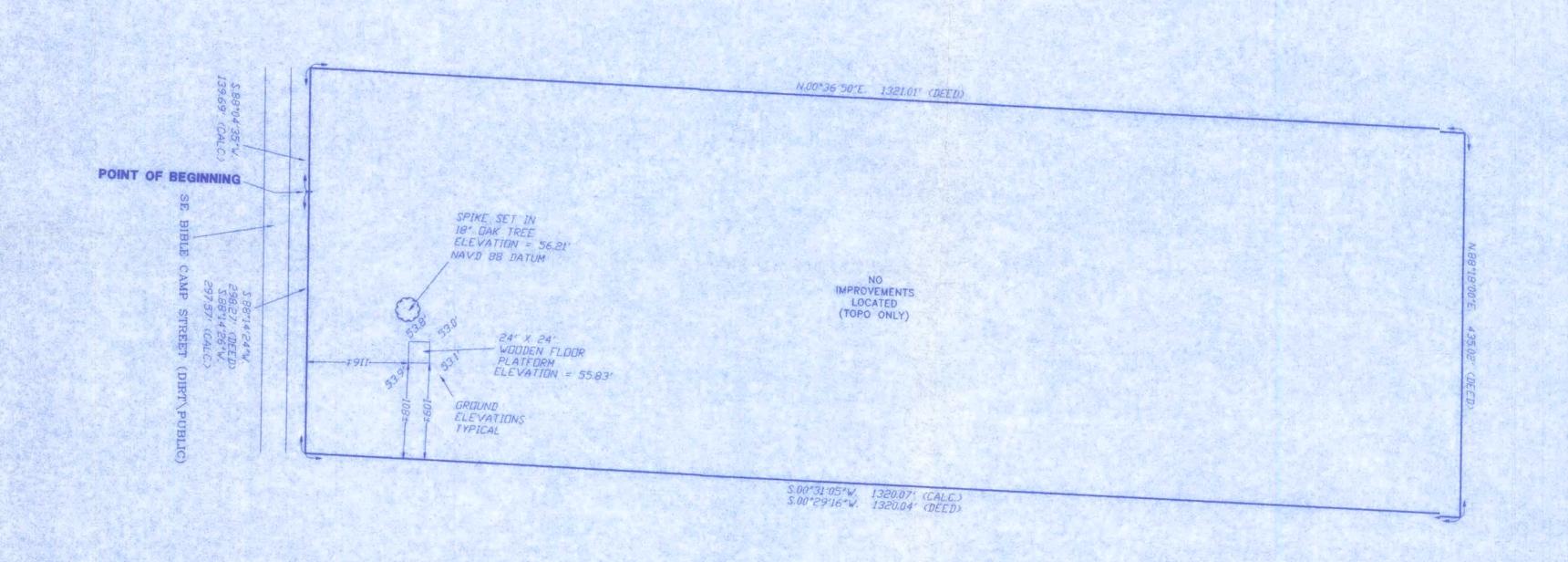
5. THE ELEVATIONS SHOWN HEREON ARE NAVD 88 DATUM.

DESCRIPTION SECTION 35, TOWNSHIP 6 SOUTH, RANGE IZ EAST: SECTION 35, TOWNSHIP 6 SOUTH, RANGE IZ EAST:
COMMENCE AT THE SOUTHWEST CORNER OF THE NW 1/4 OF SAID SECTION 35, ACCORDING TO A
SURVEY BY LE, BRITT, P.L.S. AND RUN \$,88°04'35*W., ALONG THE NORTHERLY MAINTAINED
RIGHT-OF-WAY OF BIBLE CAMP ROAD, 139.69 FEET TO A POINT ON THE WEST LINE OF SAID SECTION
ACCORDING TO DANIEL CROFT, P.L.S.; THENCE N.00°36'50°E., ALONG SAID WEST LINE, 1321.01 FEET TO
THE NORTHWEST CORNER OF THE SW 1/4 OF THE NW 1/4, ACCORDING TO SAID CROFT SURVEY,
CROFT SURVEY, 435.02 FEET; THENCE \$30°29'16"W., 1320.04 FEET TO A POINT ON THE SOUTH LINE
OF THE NW 1/4, ACCORDING TO SAID LE BRITT, P.L.S., THENCE \$.88°14'24"W., ALONG SAID SOUTH
LINE, BEING ALSO THE NORTHERLY MAINTAINED RIGHT-OF-WAY LINE OF BIBLE CAMP ROAD. 298.27
FEET TO THE POINT OF BEGINNING. ALSO KNOWN AS LOT 9, HAWKS RIDGE ACRES, PHASE II. FEET TO THE POINT OF BEGINNING. ALSO KNOWN AS LOT 9, HAWKS RIDGE ACRES, PHASE II.

SUBJECT TO UTILITY EASEMENTS ACROSS THE NORTH 10.00 FEET, THE EAST 10.00 FEET AND THE WEST 10.00 FEET THEREOF.



SYMBOL LEGEND 4"X4" CONCRETE MONUMENT FOUND 4"X4" CONCRETE MONUMENT SET IRON PIPE FOUND IRBN PIN AND CAP SET WATER METER CENTERLINE WELL SATELLITE DISH TELEPHONE BOX --E-- ELECTRIC LINES ----- WIRE FENCE --- CHAIN LINK FENCE ---- WOODEN FENCE



CERTIFIED TO:

ROBERT BEVILLE

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY INT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARI AS SET FORTH BY THE FLURIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17. FORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

PIELD SURVEY DATE

NOTE: UNLESS IT BEARS IE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, ETCH, PLAT DR MAP IS FOR INFORMATIONAL PURPOSES DNLY AND IS NOT VALID.

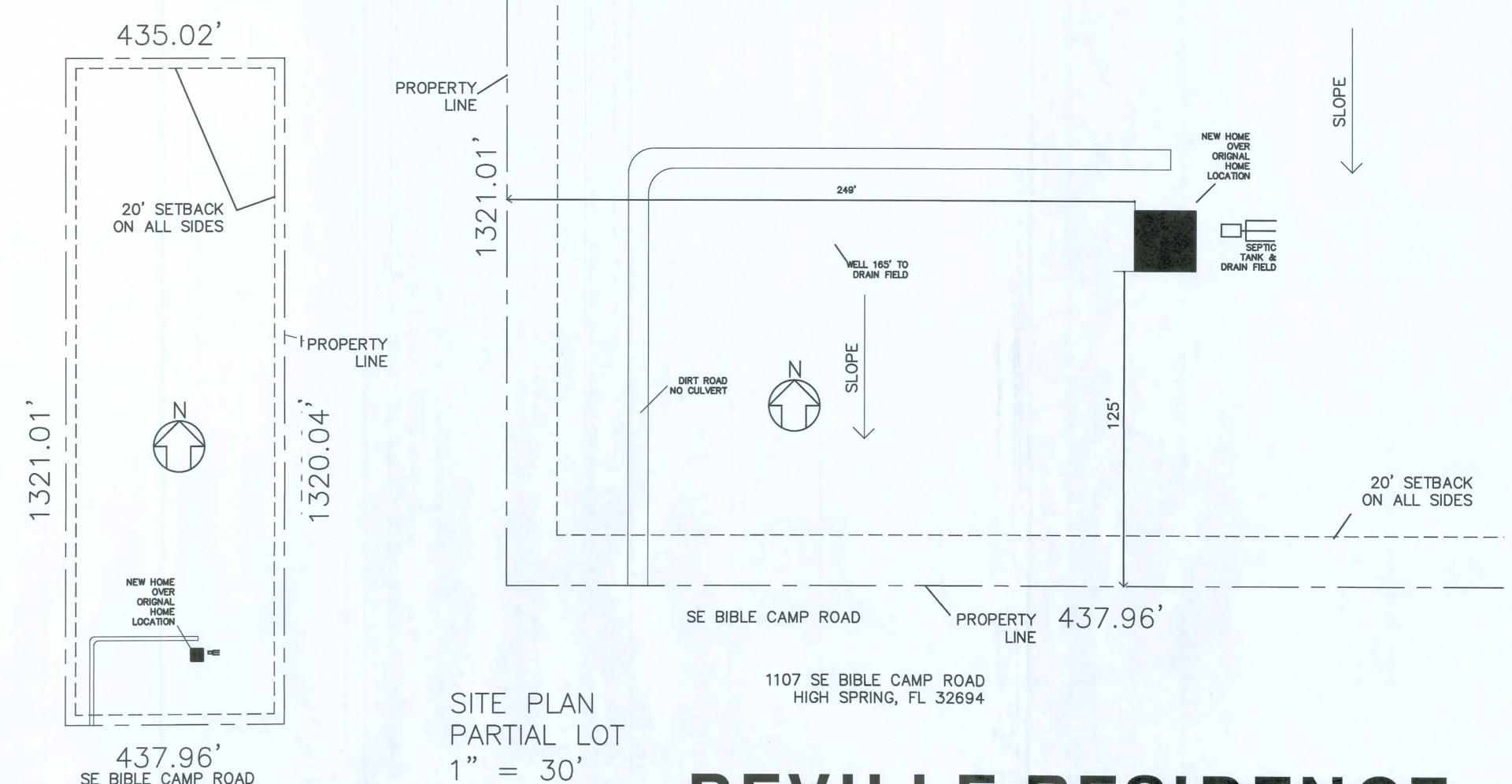


BRITT SURVEYING & MAPPING, LLC

LANND SURVEYORS AND MAPPERS, L.B. # 8016 2086 SW MAIN BLVD, SUITE, 112 LAKE CITY, FLORIDA 32025

www.brittsurvey.com TELEPHONE: (386) 752-7163 FFAX: (386) 752-5573

WORK ORDER # L-24583



BEVILLE RESIDENCE 1107 BIBLE CAMP RD

HIGH SPRINGS, FL 32694

SCOPE OF THE WORK

THIS RESIDENCE IS A REPLACEMENT RESIDENCE DUE TO A FIRE: THAT RECENTLY BURNED THE ORIGINAL RESIDENCE TO THE GROUND.

WE WILL BE USING THE EXISTING WELL, SEPTIC, ELECTRICAL POWER, AND DRIVEWAY.

SE BIBLE CAMP ROAD

OVERALL LOT

1" = 150'

1107 SE BIBLE CAMPP ROAD

HIGH SPRING, FL. 32694

THE NEW HOME WILL BE IN THE SAME LOCATION AS THE PRIOR HOME.

THE FLOOR ELEVATIONS WILL MATCH THAT OF THE PRIOR EXISTING HOME.

THE HOME WILL BE WOOD CONCTRUCTION WITH OPEN RAFTER(S.

BASIC WIND SPEED 130 MPH

RISK CATEGORY II WIND EXPOSURE B (SEE DETAILED WINDLOAD AND CONNECTOR DETAILS)

DESIGN DATA

WINDLOADS

APPLICABLE CODES INCLUDING ALL REVISIONS FORIDA BUILDING CODE 2014 FLORIDA BUILDING CODE RESIDENTIAL 2014 ELECTIRCAL CODE, NEC FLORIDA BUILDING CODE, MECHANICAL FLORIDA BUILDING CODE, PLUMBING 2014 FIRE CODE, NFPA 70 LIFE SAFETY CODE NFPA 101 ACCESSIBILITY CODE - FLORIDA BUILDING CODE ENERGY CODE - FLORIDA BUILDING CODE -

METHOD OF DESIGN THIS STUCTURE HAS BEEN DESIGNED TO MEET ALL LOAD REQUIREMENTS OF THE 2014 FBC RESIDENTIAL

BUILDING CLASSIFICATION -GROUP- R - REDIDENTIAL

BUILDING CONSTRUCTION TYPE

DESIGN LIVE LOAD (MINIMUM) FLOORS - 40 PSF BALCONIES - 100 PSF DECKS - 100 PSF STARIS - 40 PSF ROOFS - 20 PSF

FLOOR AREAS:

INTERIOR AREA NO A/C NO ATTIC (OPEN RAFTERS)

SHEET INDEX

A1 COVER SHEET - SITE PLAN A2 FLOOR PLAN - ELEVS - ELECTRICAL

FRAMING PLNS- FOUND PLNS - GEN NOTES

576 SF

SECTION

ATTACHED: WIND LOADS



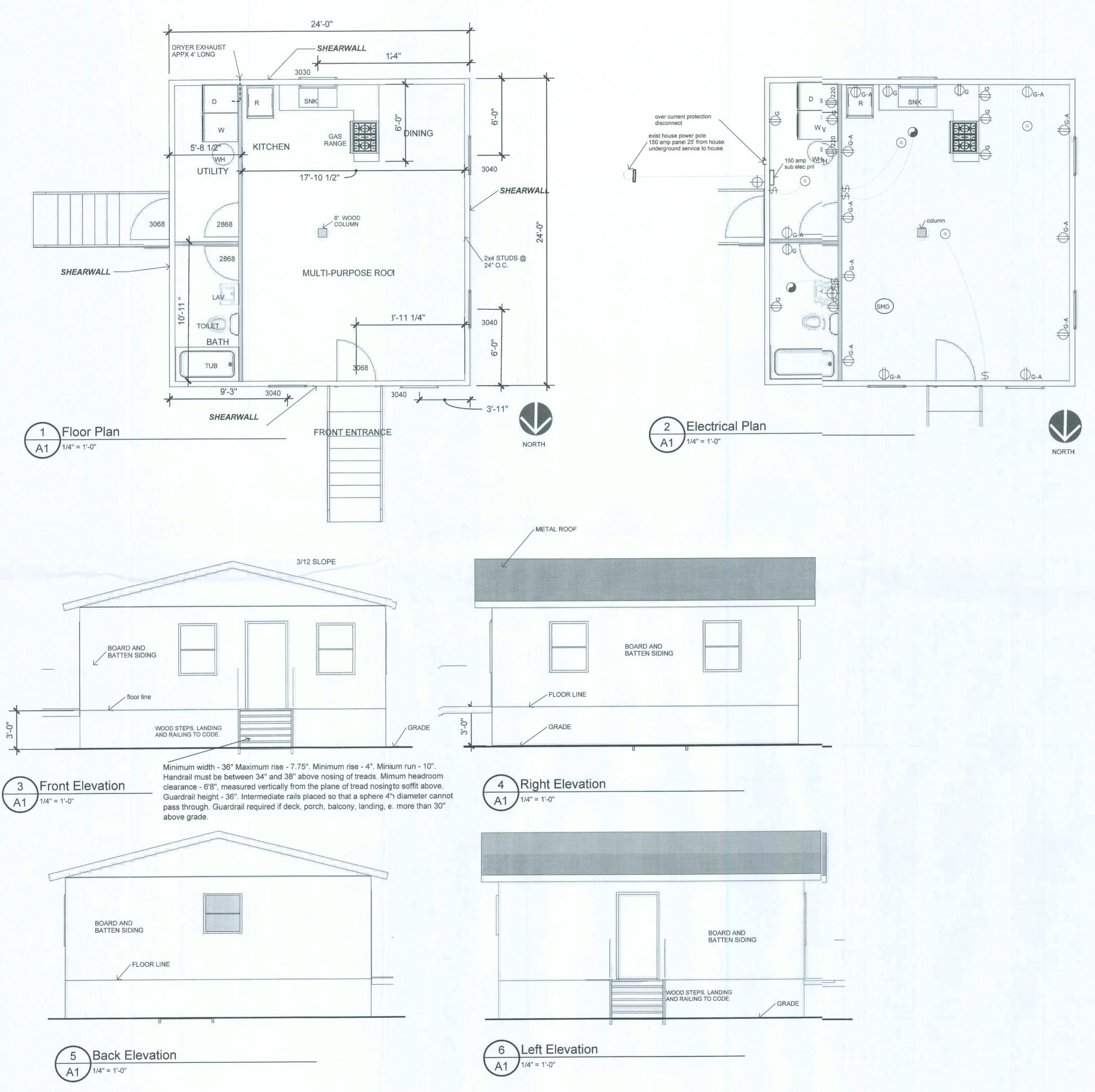
RAYMOS TOR

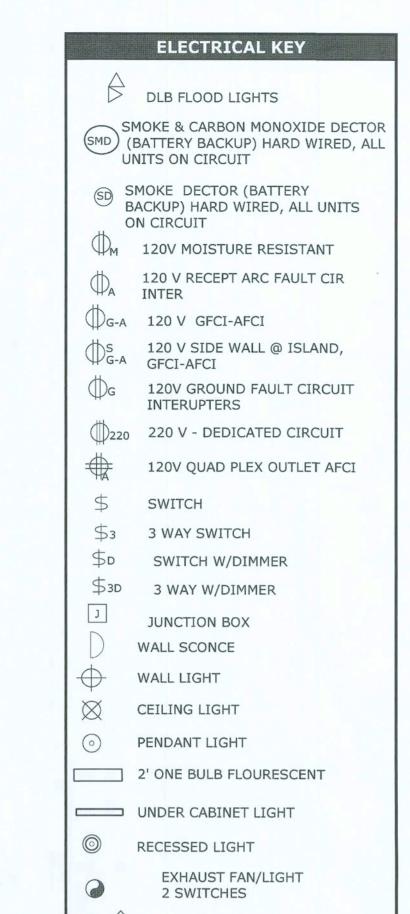
04 CE R 8 SIDEN(E CAMP RE: BLE GS, SE. BI SPRIN BE 1107 HIGH

REVISION DATE

3.27.17

SHEET





FAN/LIGHT, 2 CIRCUITS



ARCHITECT INC.

AA002909 PH/FAX 352-3782518 vraymos@gmail.com www.architectraymos.com 4825 SW 19th Street Gainesville FL 32608

SUBCONTRACTORS AND CONTRACTORS
SHALL BE IN CONFORMANCEWITH
APPLICABLE CITY, COUNTY, STATE AND
FEDERAL CODES. ALL DISCREPANCIES WITH
CONSTRUCTION DOCUMENTS SHALL BE
BROUGHT TO THE ARCHITECT'S ATTENTION
PRIOR TO PROCEEDING. VERIFY ALL FIELD
CONDITIONS AND DIMENSIONS.;

THIS DRAWING IS PROTECTED BY COMMON LAW COPY RIGHTS AND MAYNOT BE REPRODUCED IN ANY WAY VITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. CHANGES TO THE DRAWINGMAY ONLY BE MADE BY THE ARCHITECT. AIY OTHER CHANGES SHALL BE CONSTFUED AS A DEROGATION OF THE ARCHITECT'S COPY RIGHTS OR OTHER RESERVED RIGHTS.



Beville Residenc

Job Number:541

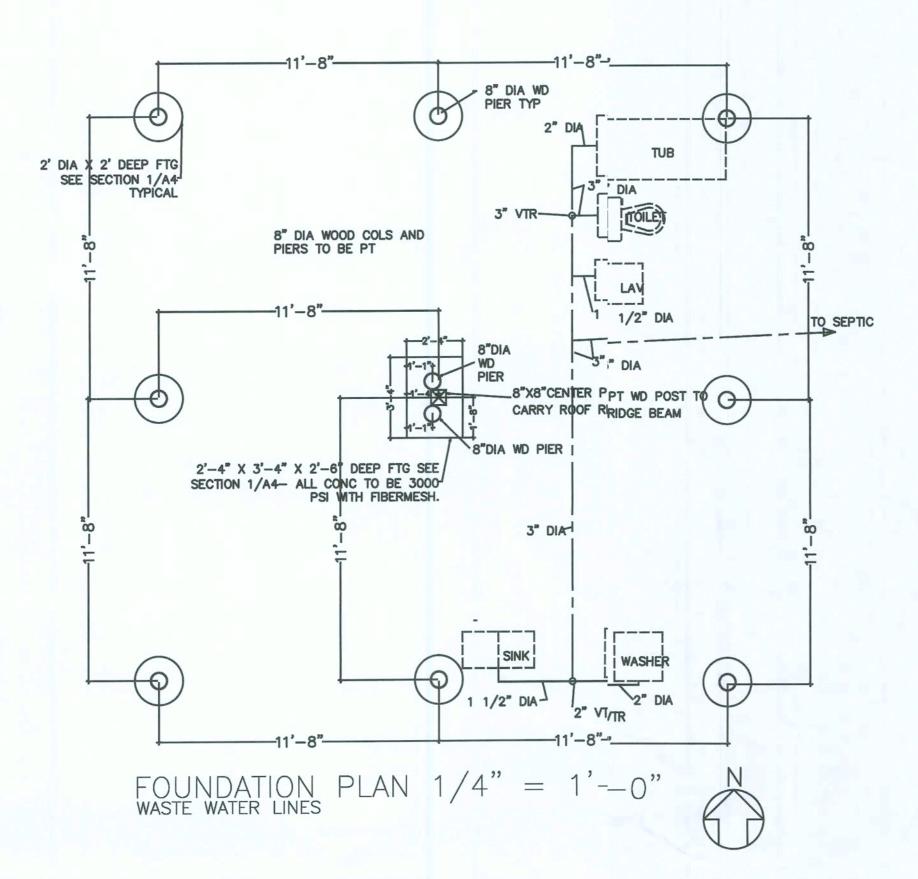
Document Date: March 27, 2017

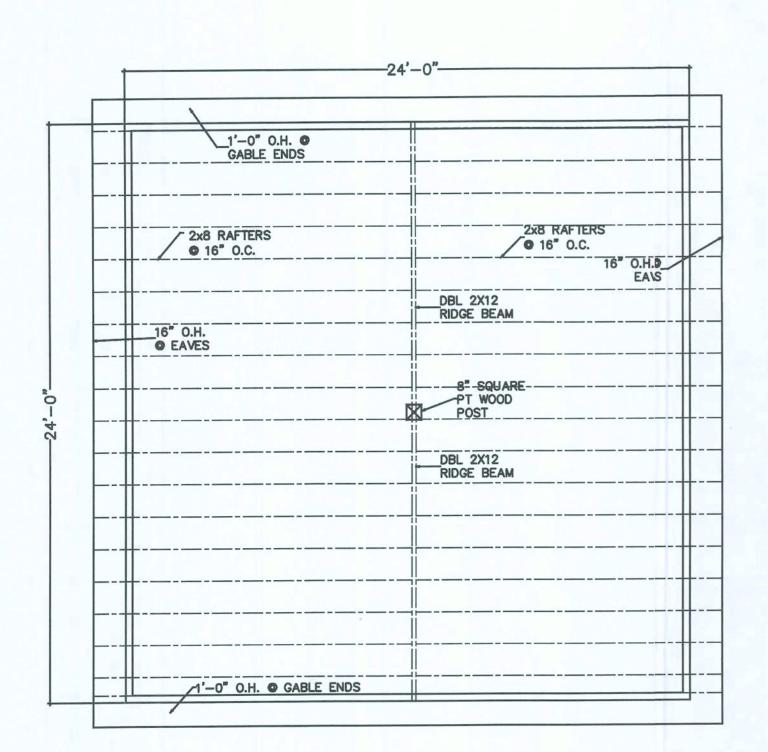
rev. date remark

PLANS -ELEVS

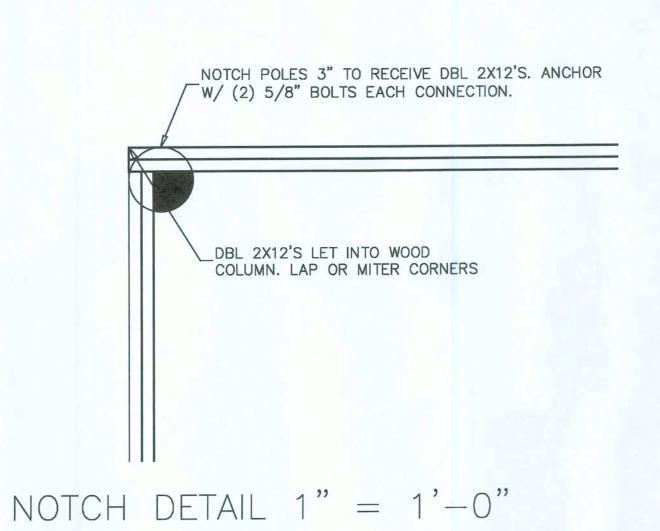


FLOOR FRAMING 1/4" = 1'-0"





ROOF FRAMING PLAN 1/4" = 1'-0"



GENERAL NOTES 1

- 1. ALL WORK SHALL CONFORM TO THE 'FLORIDA BUILDING CODE, THE NFPA LIFE SAFETY CODE, AND ALL OTHER APPLICABLE CODES AND ORDINANCES. OBTAIN ALL REQUIRED PERMITS FOR THE PROPER LEGAL EXECUTION OF THE WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS.
- 2. PROVIDE A CONTINUOUS LOAD PATH FROM TRUSSES OR RAFTERS TO FOUNDATION. IF ANY DISCREPANCIES, CALL DESIGNER FOR CLARIFICATION BEFORE PROCEEDING.
- 3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING ANY WORK. HE/SHE SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL SITE CONDITIONS FOUND DURING OR PRIOR TO DEMOLITION.
- 4. FOUNDATION DESIGN IS BASED ON 2000 PSF STABLE SOIL CONDITIONS. OWNER SHOULD CALL FOR SOIL TESTS AND ANALYSIS BY GEOTECHNICAL ENGINEER AND FOLLOW HIS RECCOMENDATIONS FOR SOIL PREPARATION AND FOUNDATION DESIGN. IF SOILS BEARING CAPACITY IS LESS THAN 2000 PSF, CONTACT DESIGNER FOR ADDITIONAL ENGINEERING.
- 5. PROVIDE TESTING ON SOIL COMPACTION PRIOR TO LAYING STEEL OR POURING CONCRETE. COMPACTION SHOULD ACHIEVE 95% MODIFIED PROCTOR DENSITY.
- 6. PROVIDE FIRE BLOCKING AT 8'-0" ABOVE FLOOR IN STUDS WALLS.
- PROVIDE ADEQUATE BLOCKING BEHIND ALL WALL MOUNTED FIXTURES
- 8. PROVIDE ALL ACCESSORIES, HARDWARE AND MISC. ITEMS AS PER DRAWINGS AND SPECIFICATIONS. ALL ITEMS SHALL BE INSTALLED AS PER MANUFACTURERS WRITTEN INSTRUCTIONS AND CUT SHEETS.
- 9. CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.

GENERAL NOTES 2

- ALL CONCRETE SHALL BE 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
- DELETED
- 3. ALL FLASHING TO MEET CODES. FOLLOW MANUFACTURER'S DATA SHEET AND SMACNA STANDARDS.
- 4. STRUCTURAL CONNECTORS LISTED ARE FOR EXAMPLE. OTHER PRODUCTS MAY BE SUBSITTUTED FOR ANY CONNECTORS LISTED PROVIDED THEY MEET THE REQUIRED LOAD CAPACITIES. FOLLOW MANUFACTURER'S INSTALLATION DATA. ANY CONNECTORS EXPOSED TO THE WEATHER SHALL BE HOT DIPPED GALVANIZED.
- ANCHOR BOLT MINIMUM EMBEDMENT IS 7" UNLESS OTHERWISE NOTED.
- ELECTRICAL INFORMATION IS DIAGRAMMATIC ONLY.
- 7. ALL FIXTURES AND EQUIPMENT MUST MEET THE OWNER'S APPROVAL PRIOR TO PURCHASE AND INSTALLATION
- 8. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. ALL WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
- 9. ALL WOOD AND WOOD CONSTRUCTION SHALL COMPLY WITH THE RELEVANT CODES AND SPECIFICATIONS AND THE 'AMERICAN INSTITUTE OF TIMBER CONSTRUCTION' (STANDARD MANUAL)
- 10. APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.
- 11. ALL SURFACES TO BE FINISHED SHALL BE CLEAN AND FREE OF FOREIGN MATERIALS, (DIRT, GREASE, ASPHALT, RUST, ETC.)
- 12. APPLICATION SHALL BE IN A WORKMANLIKE MANNER PROVIDING A SMOOTH SURFACE. APPLICATION RATE SHALL BE THAT RECOMMENDED BY THE MANUFACTURER. APPLICATION MAY BE BY BRUSH OR ROLLER, OR MAY BE BY SPRAY IF PAINT IS FORMULATED FOR SAME.
- 13. PROVIDE EXTERIOR AND INTERIOR SURFACE FINISHES AS SCHEDULED, AS APPROPRIATE FOR THEIR LOCATION OR EXPOSURE TO WEATHER, AND AS RECOMMENDED BY THE MANUFACTURER.
- 14. OTHER FINISHES AS PER CONSTRUCTION DOCUMENTS, FINISH SCHEDULE OR OWNER'S SPECIFICATIONS.
- 15. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. NOR WILL HE/SHE BE RESPONSIBLE FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, OR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

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RAYMOS@GMAIL.COM FLORIDA 3260R

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0.4 SIDENCE E CAMP RE FL 32694 SYILLE RES S.E. BIBLE SPRINGS, F 1107 HIGH REVISON DATE

SHEET



