

DATE 10/26/2009

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000028171

APPLICANT KENNETH KNOOP PHONE 727 243-2816
ADDRESS 5829 99TH TERR PINELLAS PARK FL 33782
OWNER KENNETH KNOOP PHONE 727 243-2816
ADDRESS 619 SW NEWARK DRIVE FT. WHITE FL 32038
CONTRACTOR OWNER BUILDER PHONE
LOCATION OF PROPERTY 47S, TR ON US 27, TL RIVERSIDE DR., TL UTAH, TR
NEWARK, VEARS TO RIGHT, 5TH AND 6TH LOT ON LEFT
TYPE DEVELOPMENT DETACHED GARAGE ESTIMATED COST OF CONSTRUCTION 10000.00
HEATED FLOOR AREA TOTAL AREA 1120.00 HEIGHT STORIES 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH 4/12 FLOOR SLAB
LAND USE & ZONING A-3 MAX. HEIGHT 15
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 24-6S-15-01393-000 SUBDIVISION 3 RIVERS ESTATES
LOT 5/6 BLOCK PHASE 22 UNIT TOTAL ACRES 7.83

000001769

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
WAIVER 09-508 BK HD N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: INSPECTOR TO CHECK AND CONFIRM NORTH SIDE OF PROPERTY
SETBACKS OF 25 FEET,

Check # or Cash 8063

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Insulation date/app. by
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 50.00 CERTIFICATION FEE \$ 5.60 SURCHARGE FEE \$ 5.60
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 136.20
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

CK# 8063 8084

For Office Use Only Application # 0900-34 Date Received 10/13 By JW Permit # 1769 28171
Zoning Official AK Date 15-10-09 Flood Zone X Land Use A-3 Zoning A-3
FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner HO Date 10-26-09
Comments Inspector please confirm North side property setback of 25'
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____
School _____ = TOTAL N/A Accessory structure

Septic Permit No. 09-0508 Fax 386-294-2485
Name Authorized Person Signing Permit KENNETH A KNOOP Phone 727-243-2816
Address 5829 99 TERRACE N PINELLAS PARK FL 33702
Owners Name KENNETH A KNOOP Phone 727-243-2816
911 Address 619 S.W. NEWARK ROAD, FT WHITE FL 32038
Contractors Name OWNER/Builder Phone _____

Address _____

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address FRANCE ENGINEERING 2920 MEBINNIS ARM ROAD

Mortgage Lenders Name & Address N/A TALLAHASSEE, FL 32312

Circle the correct power company - FL Power & Light Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 00-00-00-01393-000 Estimated Cost of Construction \$10,000.00%

Subdivision Name 3 RIVERS ESTATES Lot 5/6 Block - Unit 22 Phase -

Driving Directions FROM FT WHITE, US 27 NORTH/WEST, TURN L. ON RIVERSIDE DR.,
TURN L. ON UTAH, TURN R. ON NEWARK, WHEN ROAD BEARS R. AWAY FROM
POWER LINES IT IS 5+6 LOTS ON LEFT Number of Existing Dwellings on Property 0

Construction of GARAGE (Detached) Total Acreage 1.83 Lot Size 200x400

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 15'4"

Actual Distance of Structure from Property Lines - Front 170' Side 15' Side 157' Rear 180'

Number of Stories 1 Heated Floor Area N/A Total Floor Area 1120 Roof Pitch 4/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Sent Kenneth 10/26/09
A FAX

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

Kurt A. Karp
Owners Signature

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

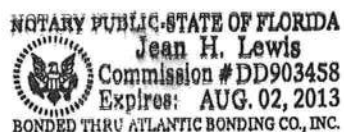
Kurt A. Karp
Contractor's Signature (Permitee)

Contractor's License Number _____
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 13 day of October 2009
Personally known _____ or Produced Identification DL

Jean H. Lewis
State of Florida Notary Signature (For the Contractor)

SEAL:



10/15/2009 11:50 3867582160

BUILDING AND ZONING

PAGE 01/01



Columbia County, Florida Planning & Zoning Department

Review of Building Permit for compliance with
County's Comprehensive Plan and
Land Development Regulations

From ~~To~~: Kenneth A. Kneof *KNOOP*

Fax: 386.294.2485

TO ~~From~~: Brian L. Kepner, County Planner

Fax: 386.758.2160

Number of Pages : 1

Date : 15 October 2009

*FIND ATTACHED THE REVISION
REQUESTED.*

RE: Building Permit Application 0910-34

Dear Mr. Kneof: *KNOOP*

The above referenced building permit application for a detached garage is located within an Agriculture-3 (A-3) zoning district. The setback requirements in this district are as follows; 30 feet from the front, 25 feet from the sides and 25 feet from the rear. The application and site plan submitted shows the distance from the north side property line to be 15 feet. Please submit a revised site plan showing the required side setback of 25 feet. If you wish to leave the detached garage as indicated on the application, a variance would have to be approved. Variances require a public hearing before the Board of Adjustment and there is a \$750.00 fee involved. Applications are available here at the Building and Zoning Department or on line at the County's website www.columbiacountyfla.com.

If you have any questions concerning this matter, please do not hesitate to contact me at 386.758.1007.

Sincerely,

Brian L. Kepner
Land Development Regulation Administrator,
County Planner

CONFIDENTIALITY NOTICE: This facsimile transmission is confidential and is intended only for the review of the party to whom it is addressed. It may contain proprietary and/or privileged information protected by law. If you are not the intended recipient, you may not use, copy or distribute this facsimile message or its attachments. If you have received this transmission in error, please immediately telephone the sender above to arrange for its return.

#031



Columbia County, Florida Planning & Zoning Department

Review of Building Permit for compliance with
County's Comprehensive Plan and
Land Development Regulations

To: Kenneth A. Knoof

Fax: 386.294.2485

From : Brian L. Kepner, County Planner

Fax: 386.758.2160

Number of Pages : 1

Date : 15 October 2009

RE: Building Permit Application 0910-34

Dear Mr. Knoof:

The above referenced building permit application for a detached garage is located within an Agriculture-3 (A-3) zoning district. The setback requirements in this district are as follows; 30 feet from the front, 25 feet from the sides and 25 feet from the rear. The application and site plan submitted shows the distance from the north side property line to be 15 feet. Please submit a revised site plan showing the required side setback of 25 feet. If you wish to leave the detached garage as indicated on the application, a variance would have to be approved. Variances require a public hearing before the Board of Adjustment and there is a \$750.00 fee involved. Applications are available here at the Building and Zoning Department or on line at the County's website www.columbiacountyfla.com.

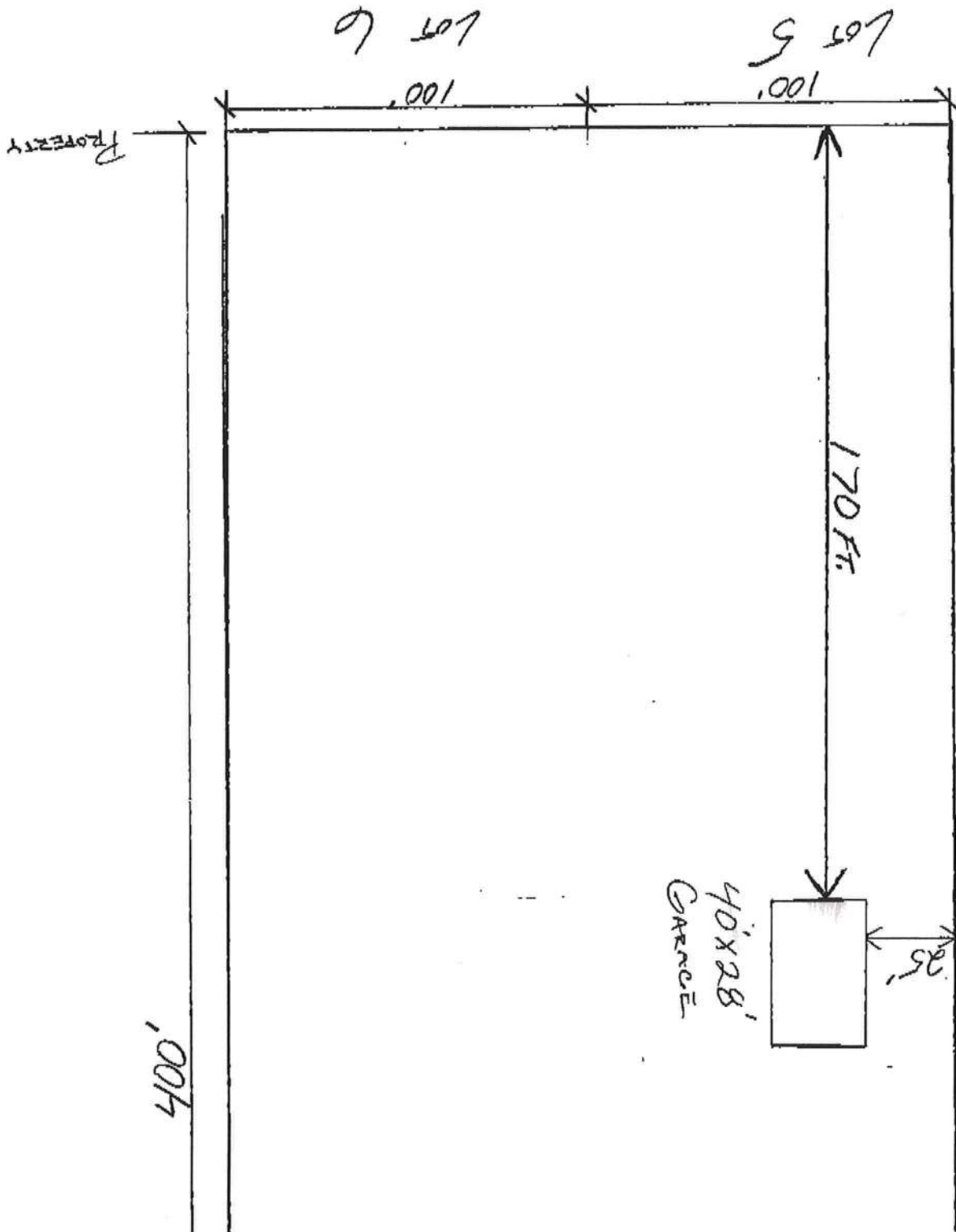
If you have any questions concerning this matter, please do not hesitate to contact me at 386.758.1007.

Sincerely,

A handwritten signature in black ink, appearing to read "Brian L. Kepner", written over a red circular stamp.

Brian L. Kepner
Land Development Regulation Administrator,
County Planner

CONFIDENTIALITY NOTICE: This facsimile transmission is confidential and is intended only for the review of the party to whom it is addressed. It may contain proprietary and/or privileged information protected by law. If you are not the intended recipient, you may not use, copy or distribute this facsimile message or its attachments. If you have received this transmission in error, please immediately telephone the sender above to arrange for its return.





COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myflorida.com/dbpr/pro/cilb/index.html> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

3 RIVERS ESTATES UNIT 22 LOTS 5+6

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

TYPE OF CONSTRUCTION

- () Single Family Dwelling () Two-Family Residence () Farm Outbuilding
() Addition, Alteration, Modification or other Improvement
() Commercial, Cost of Construction _____ Construction of _____
(X) Other GARAGE

I KENNETH A KNOOP, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Kenneth A Knop

Owner Builder Signature

Date

10/13/09

NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification DL

Notary Signature Gale Tedder

Date

10/13/09



FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative Paul H. Hume



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

04-0508
PERMIT NO. 938419
DATE PAID: 10/12/09
FEE PAID: 310.00
RECEIPT #: 1190451

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Kenneth KnoopAGENT: ROCKY FORD, A & B CONSTRUCTIONTELEPHONE: 386-497-2311MAILING ADDRESS: P.O. BOX 39 FT. WHITE, FL, 32038

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (a) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 5/6 BLOCK: na SUB: 3 Rivers Estates unit 22 PLATTED: 1966PROPERTY ID #: 00-00-00-01393-000 ZONING: Res. I/M OR EQUIVALENT: ☐ Y ☒ NPROPERTY SIZE: 1.83 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ <2000GPD ☐ >2000GPDIS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y ☒ N DISTANCE TO SEWER: FTPROPERTY ADDRESS: SW Newark Drive, Fort White, FL, 32038DIRECTIONS TO PROPERTY: From Fort White, 27 north / west, TL on Riverside Dr.,

TL on Utah, TR on Newark, When road bares right it will be the 5th lot on
the left

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	Garage	0	1120	Zone X
2				
3				

[N] Floor/Equipment Drains. [N] Other (Specify) SIGNATURE: Rocky D Ford DATE: 10/5/2009



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM

PERMIT #: **12-SC-1005003**
APPLICATION #: **AP938419**
DATE PAID: **10-6-09**
FEE PAID: **310.00**
RECEIPT #: **1196431**
DOCUMENT #: **PR787204**

CONSTRUCTION PERMIT FOR: OSTDS New
APPLICANT: KENNETH**09-0508 KNOOP
PROPERTY ADDRESS: SW NEWARK Dr Fort White, FL 32038
LOT: 5/8 BLOCK: NA SUBDIVISION: 3 Rivers Est U-22
PROPERTY ID #: 01393-000 [SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [900] GALLONS / GPD Septic CAPACITY
A [] GALLONS / GPD N/A CAPACITY
N [] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS]
K [] GALLONS DOSING TANK CAPACITY [] GALLONS @ [] DROPS PER 24 HRS #pumps []
D [250] SQUARE FEET SYSTEM
R [] SQUARE FEET N/A SYSTEM
A TYPE SYSTEM: [X] STANDARD [] FILLED [] MOUND []
I CONFIGURATION: [X] TRENCH [] BED []
N
F LOCATION OF BENCHMARK: nail in oak tree south of site
I ELEVATION OF PROPOSED SYSTEM SITE [12.00] [INCHES] FT [] ABOVE / BELOW BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [42.00] [INCHES] FT [] ABOVE / BELOW BENCHMARK/REFERENCE POINT
L
D FILL REQUIRED: [0.00] INCHES EXCAVATION REQUIRED: [0.00] INCHES

O The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with
T s. 64E-6.013(3)(f), FAC.
H
E
R

SPECIFICATIONS BY: Rocky Ford TITLE: M. Contractor
APPROVED BY: Sallie Ford TITLE: EH Director Columbia CHD
DATE ISSUED: 10/08/2009 EXPIRATION DATE: 04/08/2011

Columbia County Property Appraiser

DB Last Updated: 10/9/2009

2009 Preliminary Values

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 00-00-00-01393-000

Search Result: 1 of 1

Owner & Property Info

Owner's Name	KNOOP KENNETH A		
Site Address			
Mailing Address	5829 99TH TER PINELLAS PARK, FL 34666		
Use Desc. (code)	VACANT (000000)		
Neighborhood	100000.22	Tax District	3
UD Codes	MKTA02	Market Area	02
Total Land Area	1.836 ACRES		
Description	LOTS 5 & 6 UNIT 22 THREE RIVERS ESTATES. ORB 598-639,		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$30,600.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$30,600.00

Just Value	\$30,600.00
Class Value	\$0.00
Assessed Value	\$30,600.00
Exemptions	\$0.00
Total Taxable Value	County: \$30,600.00 City: \$30,600.00 Other: \$30,600.00 School: \$30,600.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
NONE						

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	0000002.000 LT - (0000001.836AC)	1.00/1.00/0.90/1.00	\$15,300.00	\$30,600.00

Columbia County Property Appraiser

DB Last Updated: 10/9/2009

1 of 1

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: mu_croft@columbiacountyfla.com**Addressing Maintenance**

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 10/13/2009 DATE ISSUED: 10/15/2009

ENHANCED 9-1-1 ADDRESS:

619 SW NEWARK DR

FORT WHITE FL 32038

PROPERTY APPRAISER PARCEL NUMBER:

00-00-00-01393-000

Remarks:

LOTS 5 & 6 UNIT 22 THREE RIVERS ESTATES

Address Issued By:



Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

1554

#28171

NOTICE OF COMMENCEMENT

 last:200912018187 Date:10/28/2009 Time:1:46 PM
 DC,P.DeWitt Cason,Columbia County Page 1 of 1 B:1183 P:737

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 00-00-00-01393-000

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): 3 RIVERS ESTATES, UNIT 22, LOTS 5 + 6
 a) Street (job) Address: _____
2. General description of improvements: 3 CAR GARAGE WITH BATH ROOM
3. Owner Information
 a) Name and address: KENNETH A KNOOP 5829 99 TERRACE N. PINELAND PARK FL 33782
 b) Name and address of fee simple titleholder (if other than owner) _____
 c) Interest in property _____
4. Contractor Information
 a) Name and address: N/A
 b) Telephone No.: _____ Fax No. (Opt.) _____
5. Surety Information
 a) Name and address: _____
 b) Amount of Bond: N/A
 c) Telephone No.: _____ Fax No. (Opt.) _____
6. Lender
 a) Name and address: N/A
 b) Phone No.: _____
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served
 a) Name and address: N/A
 b) Telephone No.: _____ Fax No. (Opt.) _____
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b) Florida Statutes:
 a) Name and address: N/A
 b) Telephone No.: _____ Fax No. (Opt.) _____
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

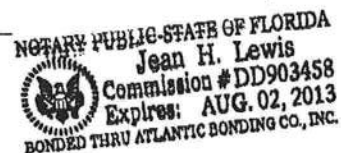
 STATE OF FLORIDA
 COUNTY OF COLUMBIA

 10. Kenneth A Knoop
 Signature of Owner or Owner's Authorized Office/Director/Partner/Manager

KENNETH A KNOOP
 Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 13 day of October, 2009, by:
Kenneth Knoop as Property Owner (type of authority, e.g. officer, trustee, attorney
 fact) for _____ (name of party on behalf of whom instrument was executed).

 Personally Known _____ OR Produced Identification Type DL

 Notary Signature Jean H. Lewis Notary Stamp or Seal:


11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Kenneth A Knoop
 Signature of Natural Person Signing (in line #10 above.)



COLUMBIA COUNTY BUILDING DEPARTMENT RESIDENTIAL CHECK LIST REQUIRMENTS

MINIMUM PLAN REQUIREMENTS FOR THE FLORIDA BUILDING CODE RESIDENTIAL 2007 ONE (1) AND TWO (2) FAMILY DWELLINGS

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current 2007 FLORIDA BUILDING CODES RESIDENTIAL. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the FLORIDA BUILDING CODES RESIDENTIAL (Florida Wind speed map) SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE -----110 MPH
NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

GENERAL REQUIREMENTS:
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

Items to Include-
Each Box shall be
Circled as
Applicable

			Yes	No	N/A
1	Two (2) complete sets of plans containing the following:				
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void				
3	Condition space (Sq. Ft.) <i>N/A</i>	Total (Sq. Ft.) under roof <i>1120 SF</i>			

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

Site Plan information including:

4	Dimensions of lot or parcel of land	✓		
5	Dimensions of all building set backs	✓		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	✓		
7	Provide a full legal description of property.	✓		

Wind-load Engineering Summary, calculations and any details required

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		IIIII	IIIII	IIIII
		YES	NO	N/A
8	Plans or specifications must show compliance with FBCR Chapter 3			
9	Basic wind speed (3-second gust), miles per hour	✓		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated) B	✓		
11	Wind importance factor and nature of occupancy	✓		
12	The applicable internal pressure coefficient, Components and Cladding	✓		
13	The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component, cladding materials not specifically designed by the registered design professional.	✓		

Elevations Drawing including:

14	All side views of the structure	✓		
15	Roof pitch	✓		
16	Overhang dimensions and detail with attic ventilation	✓		
17	Location, size and height above roof of chimneys			✓
18	Location and size of skylights with Florida Product Approval			✓
18	Number of stories	✓		
20A	Building height from the established grade to the roofs highest peak 15'-4"	✓		

Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	✓		
21	Raised floor surfaces located more than 30 inches above the floor or grade			✓
22	All exterior and interior shear walls indicated	✓		
23	Shear wall opening shown (Windows, Doors and Garage doors)	✓		
24	Emergency escape and rescue opening shown in each bedroom (net clear opening shown)			✓
25	Safety glazing of glass where needed			✓
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FBCR)			✓
27	Stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails (see FBCR SECTION 311)			✓
28	Identify accessibility of bathroom (see FBCR SECTION 322)			✓

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plan (see Florida product approval form)

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable
---	--	--

FBCR 403: Foundation Plans

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	✓		
30	All posts and/or column footing including size and reinforcing	✓		
31	Any special support required by soil analysis such as piling.			✓
32	Assumed load-bearing value of soil _____ Pound Per Square Foot			
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type)	✓		

FBCR 506: CONCRETE SLAB ON GRADE

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	✓		
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	✓		

FBCR 320: PROTECTION AGAINST TERMITES

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or submit other approved termite protection methods. Protection shall be provided by registered termiticides	✓		
----	---	---	--	--

FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

37	Show all materials making up walls, wall height, and Block size, mortar type	✓		
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement	✓		

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer			✓
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers			✓
41	Girder type, size and spacing to load bearing walls, stem wall and/or piers			✓
42	Attachment of joist to girder			✓
43	Wind load requirements where applicable			✓
44	Show required under-floor crawl space			✓
45	Show required amount of ventilation opening for under-floor spaces			✓
46	Show required covering of ventilation opening			✓
47	Show the required access opening to access to under-floor spaces			✓
	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges &			✓

48	intermediate of the areas structural panel sheathing			✓
49	Show Draftstopping, Fire caulking and Fire blocking			✓
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 309			✓
51	Provide live and dead load rating of floor framing systems (psf).			✓

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

GENERAL REQUIREMENTS: APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls			✓
53	Fastener schedule for structural members per table FBCR 602.3 are to be shown			✓
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing			✓
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems			✓
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBCR Table 502.5 (1)			✓
57	Indicate where pressure treated wood will be placed			✓
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas			✓
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail			✓

FBCR :ROOF SYSTEMS:

60	Truss design drawing shall meet section FBCR 802.10 Wood trusses	✓		
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer	✓		
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	✓		
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	✓		
64	Provide dead load rating of trusses	✓		

FBCR 802:Conventional Roof Framing Layout

65	Rafter and ridge beams sizes, span, species and spacing			✓
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating			✓
67	Valley framing and support details			✓
68	Provide dead load rating of rafter system			✓

FBCR Table 602,3(2) & FBCR 803 ROOF SHEATHING

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	✓		
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	✓		

FBCR ROOF ASSEMBLIES FRC Chapter 9

71	Include all materials which will make up the roof assembles covering	✓		
72	Submit Florida Product Approval numbers for each component of the roof assembles covering	✓		

FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter 11 Residential buildings compliance methods. *Two of the required forms are to be submitted, showing dimensions condition area equal to the total condition living space area*

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
73	Show the insulation R value for the following areas of the structure			✓
74	Attic space			✓
75	Exterior wall cavity			✓
76	Crawl space			✓

HVAC information

77	Submit two copies of a Manual J sizing equipment or equivalent computation study			✓
78	Exhaust fans locations in bathrooms			✓
79	Show clothes dryer route and total run of exhaust duct			✓

Plumbing Fixture layout shown

80	All fixtures waste water lines shall be shown on the foundation plan	✓		
81	Show the location of water heater	✓		

Private Potable Water

82	Pump motor horse power	1		
83	Reservoir pressure tank gallon capacity			
84	Rating of cycle stop valve if used			

Electrical layout shown including

85	Switches, outlets/receptacles, lighting and all required GFCI outlets identified	✓		
86	Ceiling fans			✓
87	Smoke detectors & Carbon dioxide detectors			✓
88	Service panel, sub-panel, location(s) and total ampere ratings	✓		
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.	✓ U.B. SERVICE		

90	Appliances and HVAC equipment and disconnects			✓
91	Arc Fault Circuits (AFCI) in bedrooms			✓

Disclosure Statement for Owner Builders *If you as the applicant will be acting as an owner builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.*

Notice Of Commencement

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable
---	--

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

		YES	NO	N/A
92	Building Permit Application A current Building Permit Application form is to be completed and submitted for all residential projects	✓		
93	Parcel Number The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested	✓		
94	Environmental Health Permit or Sewer Tap Approval A copy of a approved Columbia County Environmental Health (386) 758-1058	✓		
95	City of Lake City A permit showing an approved waste water sewer tap			✓
96	Toilet facilities shall be provided for all construction sites	✓		
97	Town of Fort White (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.			✓
98	Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations			✓
99	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the base flood elevation (100 year flood) has been established			
100	A development permit will also be required. Development permit cost is \$50.00			
101	Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.	✓		
102	911 Address: If the project is located in an area where a 911 address has not been issued, then application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125			

Section R101.2.1 of the Florida Building Code Residential:

The provisions of Chapter 1, Florida Building Code, Building shall govern the administration and enforcement of the Florida Building Code, Residential.

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

When the submitted application is approved for permitting the applicant will be notified by phone as to the date and time a building permit will be prepared and issued by the Columbia County Building & Zoning Department

PRODUCT APPROVAL SPECIFICATION SHEET

Location: _____

Project Name: _____

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are **applying for a building permit on or after April 1, 2004**. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS			
1. Swinging	CURRIES	HOLLOW METAL DOOR + FRAME	FL 6351-R1
2. Sliding			
3. Sectional	OVERHEAD DOOR CO.	OVERHEAD GARAGE DOOR	FL 11522
4. Roll up			
5. Automatic			
6. Other			
B. WINDOWS	N/A		
1. Single hung			
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
C. PANEL WALL			
1. Siding	CERTAINTEED	4 1/2" DUTCH LAP HORIZONTAL SIDING	FL 1573, FL 10421
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles			
2. Underlayments	CERTAINTEED	30 # FELT	
3. Roofing Fasteners			
4. Non-structural Metal Rf	BERRIDGE	ZEE LOCK - DOUBLE LOCK	FL 11159.2 R1
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys			
14. Cements-Adhesives – Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
E. SHUTTERS			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight			
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor			
2. Truss plates			
3. Engineered lumber			
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection.

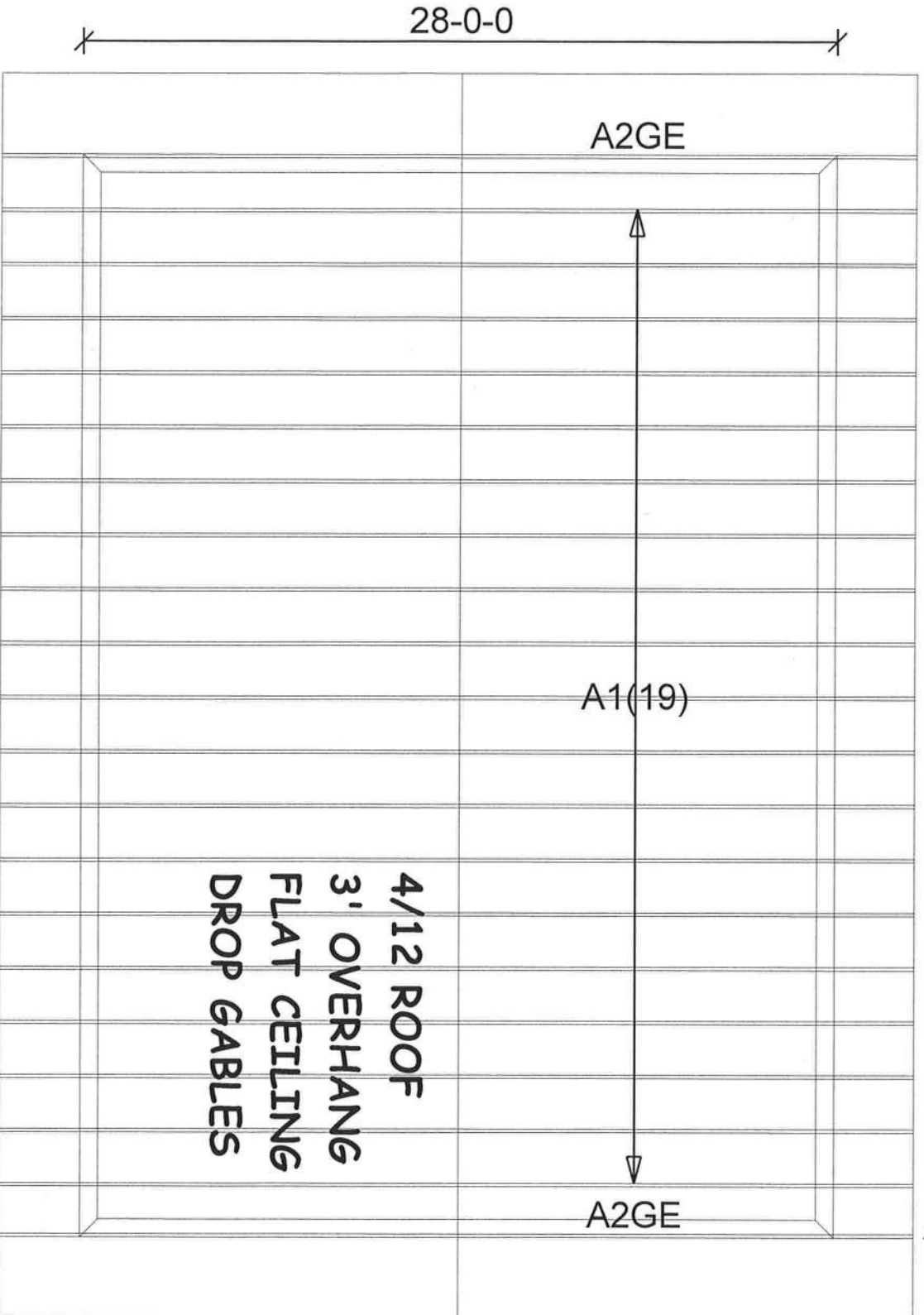
Contractor or Contractor's Authorized Agent Signature

Print Name

Date

VERIFY LAYOUT, DIMENSIONS AND TRUSS PROFILES

40-0-0



****I/WE HAVE REVIEWED LAYOUT DIMENSIONS AND TRUSS PROFILES AND ACCEPT PACKAGE AS SUBMITTED.

NAME _____ DATE _____
SIGNATURE _____

****REVISIONS NEEDED****

Mayo Truss Co. Inc.

845 East US 27

MAYO, FL 32066

(386)294-3988

(877)-558-6262

KEN KNOOP

ITCHETUCNEE

120 MPH ASCE WIND LOAD

Roof Loading

TC Live: 20.00 psf

TC Dead: 10.00 psf

BC Live: 0.00 psf

BC Dead: 10.00 psf

TC Stress Inc: 25.00

BC Stress Inc: 25.00

Spacing: 2-0-0 o.c.

Account: INDIVIDUAL

Job: KNOOP-KEN

Designer: C. LITTLE

Checker:

Date: 10-09-09



RE: KNOOP-KEN - ROOF DESIGN INFO

Site Information:

Customer Info: KEN KNOOP Model: KEN KNOOP
Lot/Block: . Subdivision: .
Address: .
City: ITCHETUCNEE State: FLORIDA

Name Address and License # of Structural Engineer of Record, If there is one, for the building.

Name: License #:
Address:
City: State:

General Truss Engineering Criteria & Design Loads (Individual Truss Design Drawings Show Special Loading Conditions):

Design Code: FBC2007 ☐ Design Program: Robbins OnLine Plus 25.0.008 ☐
Wind Code: ASCE 7-05 Wind Speed: 120 mph Floor Load: N/A psf
Roof Load: 40.0 psf

This package includes 2 individual, dated Truss Design Drawings and 0 Additional Drawings.
With my seal affixed to this sheet, I hereby certify that I am the Truss Design Engineer and this index sheet conforms to 61G15-31.003, section 5 of the Florida Board of Professional Engineers Rules.

No.	Seal#	Truss Name	Date
1	T3505022	A1	10/8/09
2	T3505023	A2GE	10/8/09

The truss drawing(s) referenced above have been prepared by Robbins Engineering, Inc. under my direct supervision based on the parameters provided by Mayo Truss Company, Inc..

Truss Design Engineer's Name: Albani, Thomas

My license renewal date for the state of Florida is February 28, 2011.

NOTE: The seal on these drawings indicate acceptance of professional engineering responsibility solely for the truss components shown. The suitability and use of this component for any particular building is the responsibility of the building designer, per ANSI/TPI-1 Sec. 2.

6904 Parke East Boulevard
Tampa, FL 33610-4115
Phone: 813-972-1135 • Fax: 813-971-6117
www.robbseng.com

Thomas Albani, FL Lic. #39380
Robbins Engineering
6904 Parke East Blvd
Tampa, FL, 33610
FL Cert.#5555

DALLAS

TAMPA

FT. WORTH
Albani, Thomas

October 8, 2009

1 of 1

HO 3-15
TC 3-0-0 | 5-4-9 | 10-3-6 | 14-0-0 | 17-8-10 | 22-7-7 | 28-0-0 | 3-0-0

5-11-11
4-11-15

4x4 = A
W: 800
R: 1311
U: 278

2x4 = H
5x5 = SPL I
3x4 = G

4x4 = B
5x5 = JSPL
5x7 = SPL

2x4 = K
3x4 = F

4x4 = C
W: 800
R: 1311
U: 278

BC | 7-9-14 | 14-0-0 | 20-2-2 | 28-0-0

28-0-0

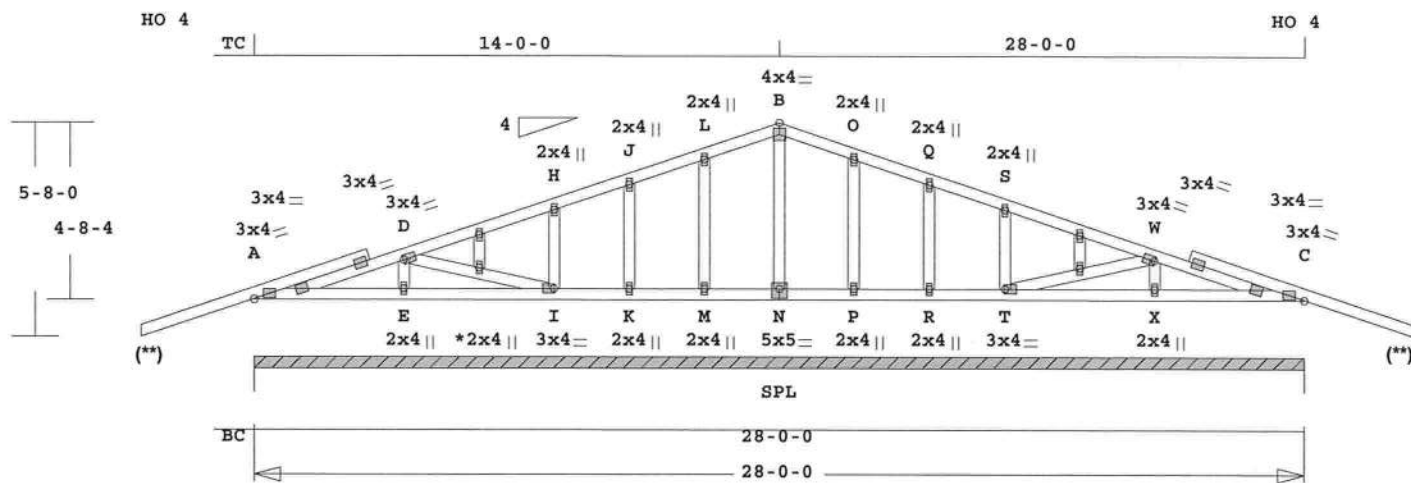
ALL PLATES ARE MT2020

Scale: 0.192" = 1'

Thomas Albani, FL Lic. #39380
Robbins Engineering
6904 Parke East Blvd
Tampa, FL, 33610
FL Cert.#5555

October 8, 2009

Job KNOOP-KEN	Mark A2GE	Quan 2	Type TR	Span 280000	P1-H1 4	Left OH 0	Right OH 0	Engineering T3505023
KEN KNOOP								



ALL PLATES ARE MT2020
See * For Typical Gable Plate Size and Placement

Scale: 0.195" = 1'

Robbins Engineering, Inc./Online Plus™ APPROX. TRUSS WEIGHT: 190.1 LBS

Online Plus -- Version 25.0.008
RUN DATE: 08-OCT-09

CSI -Size- ---Lumber---
TC 0.13 2x 4 SP-#2 (**)
BC 0.08 2x 4 SP-#2
WB 0.02 2x 4 SP-#2
GW 0.02 2x 4 SP-#2

Brace truss as follows:
O.C. From To
TC Cont. 0- 0- 0 28- 0- 0
BC Cont. 0- 0- 0 28- 0- 0

psf-Ld Dead Live
TC 10.0 20.0
BC 10.0 0.0
TC+BC 20.0 20.0
Total 40.0 Spacing 24.0"
Lumber Duration Factor 1.25
Plate Duration Factor 1.25
TC Fb=1.15 Fc=1.10 Ft=1.10
BC Fb=1.10 Fc=1.10 Ft=1.10

Total Load Reactions (Lbs)
Jt Down Uplift Horiz-
A 2240 462 U 67 R

Jt Brg Size Required
A 336.0" 0"-to- 336"

Plus 9 Wind Load Case(s)
Plus 1 UBC LL Load Case(s)
Plus 1 DL Load Case(s)

Membr CSI P Lbs Axl-CSI-Bnd
-----Top Chords-----
A -D 0.13 126 C 0.00 0.13
D -H 0.13 39 C 0.00 0.13
H -J 0.11 77 T 0.00 0.11
J -L 0.05 112 T 0.01 0.04
L -B 0.05 155 T 0.01 0.04
B -O 0.05 155 T 0.01 0.04
O -Q 0.05 112 T 0.01 0.04
Q -S 0.11 77 T 0.00 0.11
S -W 0.13 39 C 0.00 0.13
W -C 0.13 126 C 0.00 0.13

-----Bottom Chords-----
A -E 0.08 5 T 0.00 0.08
E -I 0.08 0 T 0.00 0.08
I -K 0.06 0 T 0.00 0.06
K -M 0.02 0 T 0.00 0.02
M -N 0.02 0 T 0.00 0.02
N -P 0.02 0 T 0.00 0.02
P -R 0.02 0 T 0.00 0.02
R -T 0.06 0 T 0.00 0.06
T -X 0.08 0 T 0.00 0.08

X -C 0.08 5 T 0.00 0.08
-----Webs-----
D -I 0.02 188 T
T -W 0.02 188 T
-----Gable Webs-----
E -D 0.02 191 C
I -H 0.02 200 C
K -J 0.01 94 T
M -L 0.02 197 T
N -B 0.02 86 C
P -O 0.02 197 T
R -Q 0.01 94 T
T -S 0.02 200 C
X -W 0.02 191 C

TL Defl 0.00" in T -X L/999
LL Defl 0.00" in T -X L/999
Shear // Grain in D -H 0.15

Plates for each ply each face.
Plate - MT20 20 Ga, Gross Area
Plate - MT2H 20 Ga, Gross Area
Jt Type Plt Size X Y JSI
A MT20 3.0x 4.0 Ctr Ctr 0.56
D MT20 3.0x 4.0 Ctr Ctr 0.36
H MT20 2.0x 4.0 Ctr Ctr 0.23
J MT20 2.0x 4.0 Ctr Ctr 0.23
L MT20 2.0x 4.0 Ctr Ctr 0.23
B MT20 4.0x 4.0 Ctr Ctr 0.46
O MT20 2.0x 4.0 Ctr Ctr 0.23
Q MT20 2.0x 4.0 Ctr Ctr 0.23
S MT20 2.0x 4.0 Ctr Ctr 0.23
W MT20 3.0x 4.0 Ctr Ctr 0.36
C MT20 3.0x 4.0 Ctr Ctr 0.56
E MT20 2.0x 4.0 Ctr Ctr 0.29
I MT20 3.0x 4.0 Ctr Ctr 0.33
K MT20 2.0x 4.0 Ctr Ctr 0.29
M MT20 2.0x 4.0 Ctr Ctr 0.29
N MT20 5.0x 5.0 Ctr-0.5 0.39
P MT20 2.0x 4.0 Ctr Ctr 0.29
R MT20 2.0x 4.0 Ctr Ctr 0.29
T MT20 3.0x 4.0 Ctr Ctr 0.33
X MT20 2.0x 4.0 Ctr Ctr 0.29

2 Gable studs to be attached
with 2.0x4.0 plates each end.

REVIEWED BY:
Robbins Engineering, Inc.
6904 Parke East Blvd.
Tampa, FL 33610

REFER TO ROBBINS ENG. GENERAL
NOTES AND SYMBOLS SHEET FOR
ADDITIONAL SPECIFICATIONS.

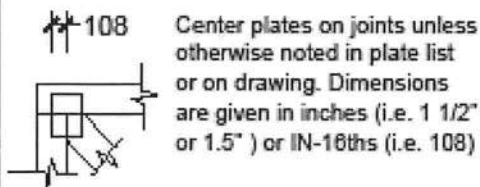
NOTES:
Trusses Manufactured by:

Mayo Truss Co. Inc.
Analysis Conforms To:
FBC2007
TPI 2002
WARNING Do Not Cut overframe
member between outside of
truss and first tie-plate
to inside of heel plate.
Design checked for 10 psf non-
concurrent LL on BC.
Refer to Gen Det 3 series for
web bracing and plating.
Wind Loads - ANSI / ASCE 7-05
Truss is designed as
Components and Claddings*
for Exterior zone location.
Wind Speed: 120 mph
Mean Roof Height: 15'-0
Exposure Category: B
Occupancy Factor : 1.00
Building Type: Enclosed
TC Dead Load: 5.0 psf
BC Dead Load: 5.0 psf
Max comp. force 200 Lbs
Max tens. force 197 Lbs
Quality Control Factor 1.25
This truss is designed for a
creep factor of 1.5 which is
used to calculate total load
deflection.

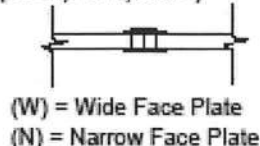
Thomas Albani, FL Lic. #39380
Robbins Engineering
6904 Parke East Blvd
Tampa, FL, 33610
FL Cert.#5555

ROBBINS ENG. GENERAL NOTES & SYMBOLS

PLATE LOCATION



FLOOR TRUSS SPLICE (3X2, 4X2, 6X2)



LATERAL BRACING

Designates the location for continuous lateral bracing (CLB) for support of individual truss members only. CLBs must be properly anchored or restrained to prevent simultaneous buckling of adjacent truss members.

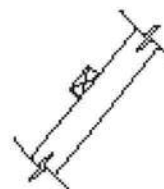
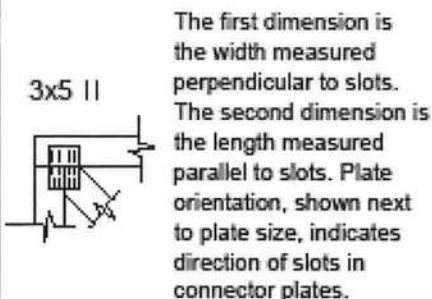
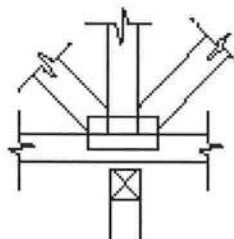
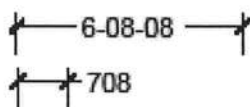


PLATE SIZE AND ORIENTATION



DIMENSIONS

All dimensions are shown in FT-IN-SX (i.e. 6' 8 1/2" or 6-08-08). Dimensions less than one foot are shown in IN-SX only (i.e. 708).



BEARING

When truss is designed to bear on multiple supports, interior bearing locations should be marked on the truss. Interior support or temporary shoring must be in place before erecting this truss. If necessary, shim bearings to assure solid contact with truss.

ROBBINS connector plates shall be applied on both faces of truss at each joint. Center the plates, unless indicated otherwise. No loose knots or wane in plate contact area. Splice only where shown. Overall spans assume 4" bearing at each end, unless indicated otherwise. Cutting and fabrication shall be performed using equipment which produces snug-fitting joints and plates. Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication and the attached truss designs are not applicable for use with fire retardant lumber and some preservative treatments. Nails specified on truss design drawings refer to common wire nails, except as noted. The attached design drawings were prepared in accordance with " National Design Specifications for Wood Construction" (AF & PA), " National Design Standard for Metal Plate Connected Wood Truss Construction" (ANSI/TPI 1), and HUD Design Criteria for Trussed Rafters.

Robbins Eng. Co. bears no responsibility for the erection of trusses, field bracing or permanent truss bracing. Refer to BCSI 1-03 as published by Truss Plate Institute, 218 North Lee Street, Suite 312, Alexandria, Virginia 22314. Persons erecting trusses are cautioned to seek professional advice concerning proper erection bracing to prevent toppling and " dominoing ". Care should be taken to prevent damage during fabrication, storage, shipping and erection. Top and bottom chords shall be adequately braced in the absence of sheathing or rigid ceiling, respectively. It is the responsibility of others to ascertain that design loads utilized on these drawings meet or exceed the actual dead loads imposed by the structure and the live loads imposed by the local building code or historical climatic records.

FURNISH A COPY OF THE ATTACHED TRUSS DESIGN DRAWINGS TO ERECTION CONTRACTOR. IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER TO REVIEW THESE DRAWINGS AND VERIFY THAT DATA, INCLUDING DIMENSIONS & LOADS, CONFORM TO ARCHITECTURAL PLAN / SPECS AND THE TRUSS PLACEMENT DIAGRAM FURNISHED BY THE TRUSS FABRICATOR.



6904 Parke East Blvd.
Tampa, FL 33610-4115
Tel: 813-972-1135 Fax: 813-971-6117

www.robbinseng.com



Attn: Weegie

**Columbia County Building Department
Culvert Waiver**

**Culvert Waiver No.
000001769**

DATE: 10/26/2009 BUILDING PERMIT NO. 28171

APPLICANT KENNETH KNOOP PHONE 727 243-2816

ADDRESS 5829 99TH TERRACE PINELLAS PARK FL 33782

OWNER KENNETH KNOOP PHONE 727 243-2816

ADDRESS 619 SW NEWARK DRIVE FT. WHITE FL 32038

CONTRACTOR OWNER BUILDER PHONE _____

LOCATION OF PROPERTY 47S, TR ON US 27, TL ON RIVERSIDE, TL UTAH, TR NEWARK,

BEARS TO RIGHT, 5TH AND 6TH LOTS ON LEFT

SUBDIVISION/LOT/BLOCK/PHASE/UNIT 3 RIVERS ESTATES 5/6 22

PARCEL ID # 00-00-00-01393-000

I HEREBY CERTIFY THAT I UNDERSTAND AND WILL FULLY COMPLY WITH THE DECISION OF THE COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT IN CONNECTION WITH THE HEREIN PROPOSED APPLICATION.

SIGNATURE: X- [Signature]

A SEPARATE CHECK IS REQUIRED
MAKE CHECKS PAYABLE TO BCC

Amount Paid 50.00

PUBLIC WORKS DEPARTMENT USE ONLY

I HEREBY CERTIFY THAT I HAVE EXAMINED THIS APPLICATION AND DETERMINED THAT THE CULVERT WAIVER IS:

APPROVED NOT APPROVED - NEEDS A CULVERT PERMIT

COMMENTS: _____

SIGNED: James Thomas DATE: 11-12-09

ANY QUESTIONS PLEASE CONTACT THE PUBLIC WORKS DEPARTMENT AT 386-752-5955.

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160



COLUMBIA COUNTY OFFICE OF CIVIL ENGINEERING

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 24-6S-15-01393-000

Building permit No. 000028171

Use Classification DETACHED GARAGE

Fire: 0.00

Permit Holder OWNER BUILDER

Waste:

Owner of Building KENNETH KNOOP

Total: 0.00

Location: 619 SW NEWARK DRIVE, FT. WHITE, FL

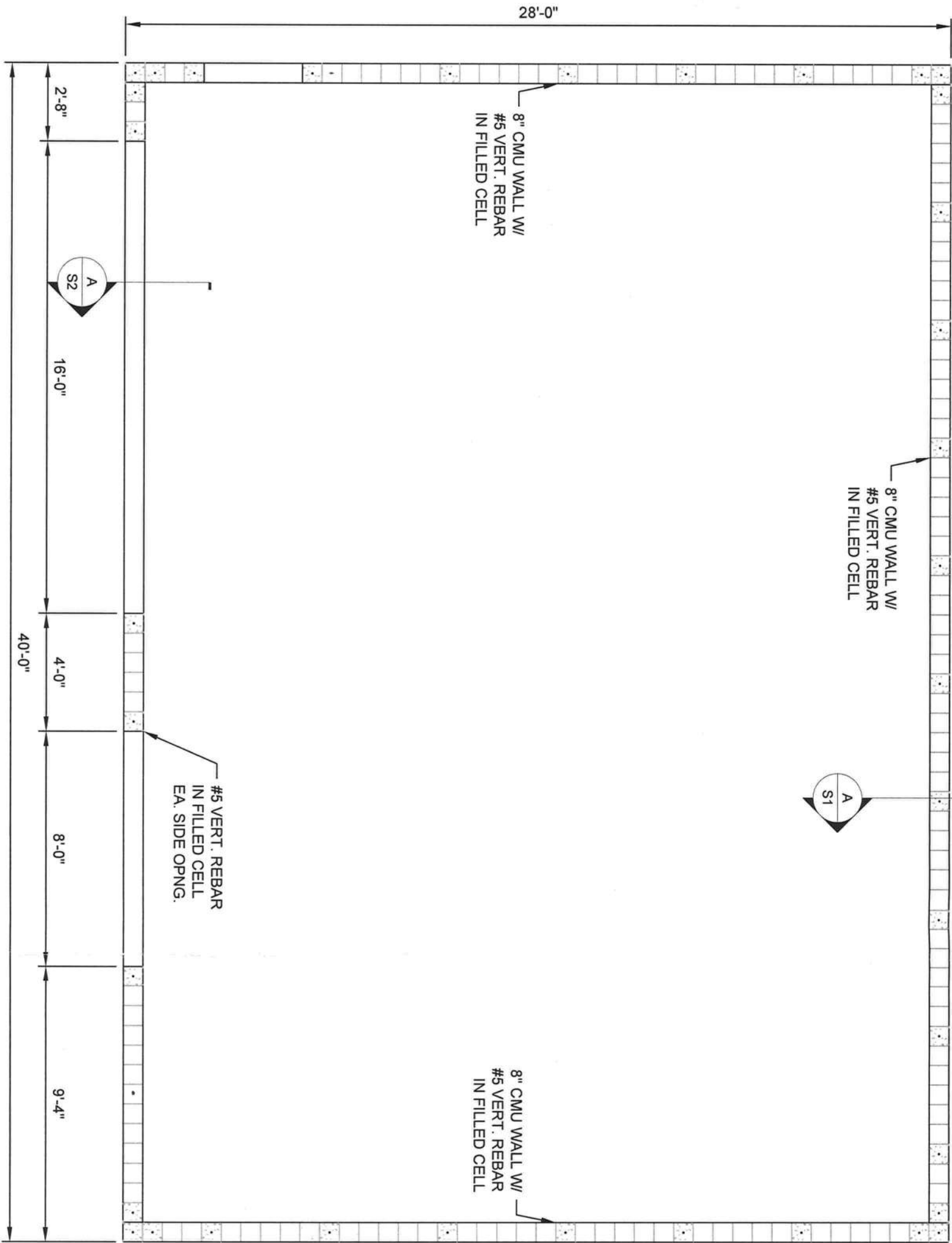
Date: 07/28/2010



Building Inspector

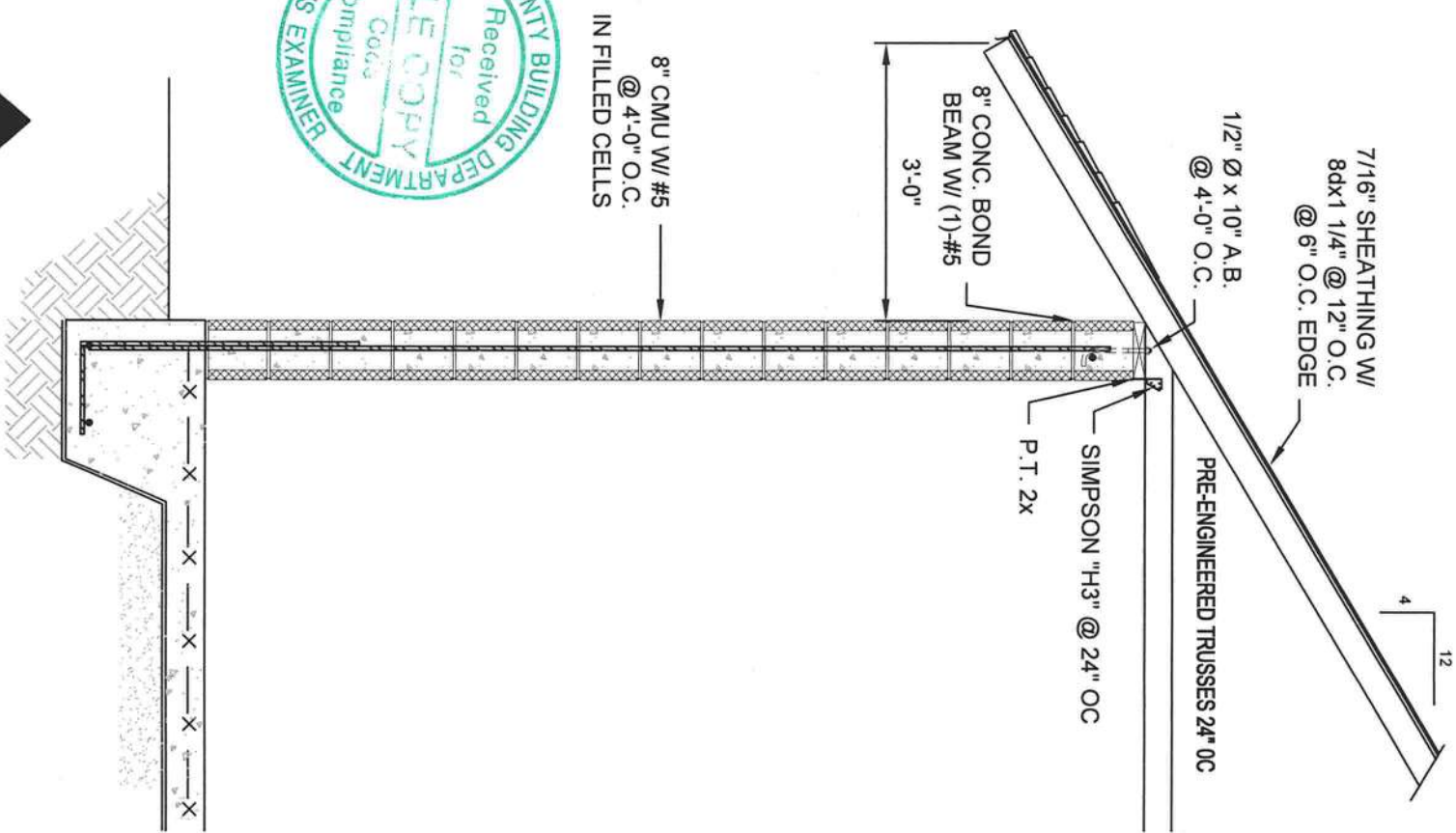
POST IN A CONSPICUOUS PLACE
(Business Places Only)

PROJECT: GARGE OUT BUILDING
DATE: 06-17-09
SHEET S1 OF S2



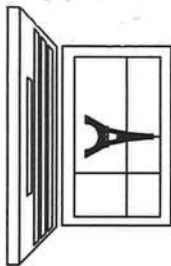
MASONRY REINF. PLAN

SCALE 1/4" = 1'-0"



J. SCOTT FRANCE
FL. P.E. # 63012

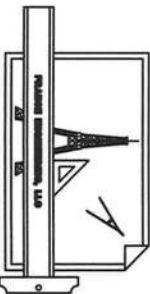
J. Scott France
6-17-09



FRANCE ENGINEERING, LLC

CONSULTING - STRUCTURAL - ENGINEERING

2920 MEGINNIS ARM ROAD
TALLAHASSEE, FLORIDA 32312
OFFICE 850-386-7100 FAX 850-386-6595
email: sfrance@francepe.com



7/16" SHEATHING W/
8dx1 1/4" @ 12" O.C.
@ 6" O.C. EDGE

1/2" Ø x 10" A.B.
@ 4'-0" O.C.

PRE-ENGINEERED TRUSSES 24" OC

SIMPSON "H3" @ 24" OC

P.T. 2x

8" CONC. BOND
BEAM W/ (1)-#5
3'-0"

8" CMU LINTEL
BEAM W/ (1)-#5
OVER 10 FT. OPNG.

8" CMU LINTEL
BEAM W/ (1)-#5
POURED SOLID

12

4

(1)-#5 VERT. REBAR
IN FILLED CELL
@ 4'-0" O.C.

1-#5 @ BOND BEAM
CONT.

1-#4 @ LINTEL BEAM

1-#4 EA. SIDE
OF OPENING, TYPICAL

24" OR 40 BAR DIA.
TYPICAL

MASONRY REINF. LAYOUT

SCALE 1/4" = 1'-0"

DESIGN LOADS

ROOF DEAD LOAD 10 PSF
ROOF LIVE LOAD 30 PSF

WIND LOAD PER ASCE 7-05

WIND LOAD 110 MPH
EXPOSURE "B"
IMPORTANCE FACTOR 1.0
INTERNAL PRESSURE ±0.18
BUILDING ENCLOSURE: ENCLOSED
BUILDING END ZONE "a" = 3 FT.

C&C	AREA	10 SF
ZONE 1	13 PSF	-20 PSF
ZONE 2	13 PSF	-35 PSF
ZONE 3	13 PSF	-51 PSF
OH Z2	-44 PSF	
OH Z3	-72 PSF	
ZONE 4	22 PSF	-24 PSF
ZONE 5	22 PSF	-29 PSF

MASONRY STRUCTURAL NOTES

1. ALL BLOCK WALLS TO BE REINFORCED WITH VERTICAL REINFORCING BARS IN GROUTED CELLS @ 4'-0" OC.
2. PROVIDE BOND BEAM AT ROOF LEVEL.
3. ALL VERTICAL REINFORCING REBAR TO BE #5 BARS. BARS ARE TO BE PLACE PER NOTE #1, AT JAMBS OF ALL WALL OPENINGS, AND IN EACH CORNER OF A CHANGE OF WALL DIRECTION.
4. PROVIDE FULL MORTAR BEDDING AND GROUT ALL CELLS CONTAINING REINFORCING INCLUDING BOND BEAMS. CONSOLIDATE GROUT IN CELLS TO INSURE COMPLETE FILLING.
5. WALL OPENING LOCATIONS MAY BE SHIFTED AS REQD TO SUIT FIELD CONDITIONS, HOWEVER THE FOLLOWING RULES MUST APPLY:
 - A. REBAR MUST BE LOCATED AT EVERY CORNER OF CHANGE IN WALL DIRECTION.
 - B. REBAR MUST BE LOCATED ADJACENT TO ALL OPENINGS WITHIN THE FIRST 10" OF BOTH SIDE.
 - C. REBAR SPACING, UNDER NO CIRCUMSTANCES, SHALL EXCEED THE DESIGN SPACING CALLED OUT ON PLANS AND DETAILS.
 - D. WALL OPENING SIZES MAY NOT BE CHANGED UNLESS PERMISSION IS GIVEN BY DESIGNING ENGINEER.
6. PROVIDE HORIZONTAL JOINT REINFORCEMENT AT EVERY FOURTH COURSE.

SPECIFICATIONS

MORTAR: TYPE 'S' PORTLAND CEMENT/LIME PER ASTM C-270

GROUT: ASTM C476 +/- 8" MIN. SLUMP
STRENGTH f'm = 4000 PSI

REINFORCING: ASTM A615-GRADE 40 OR 60

WALL DESIGN STRENGTH f'm = 5000 PSI
DESIGN CODE: ACI-530-02

WALL SECTION @ DOORWAY

SCALE 1/2" = 1'-0"

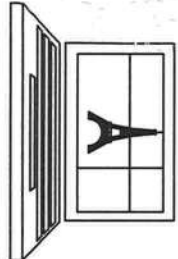
A
S2

PROJECT: GARGE OUT BUILDING
DATE: 06-17-09
SHEET S2 OF S2

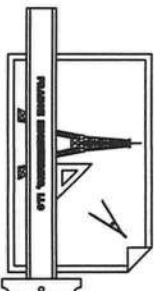
J. SCOTT FRANCE
FL P.E. # 63012

J. Scott France
6-17-09

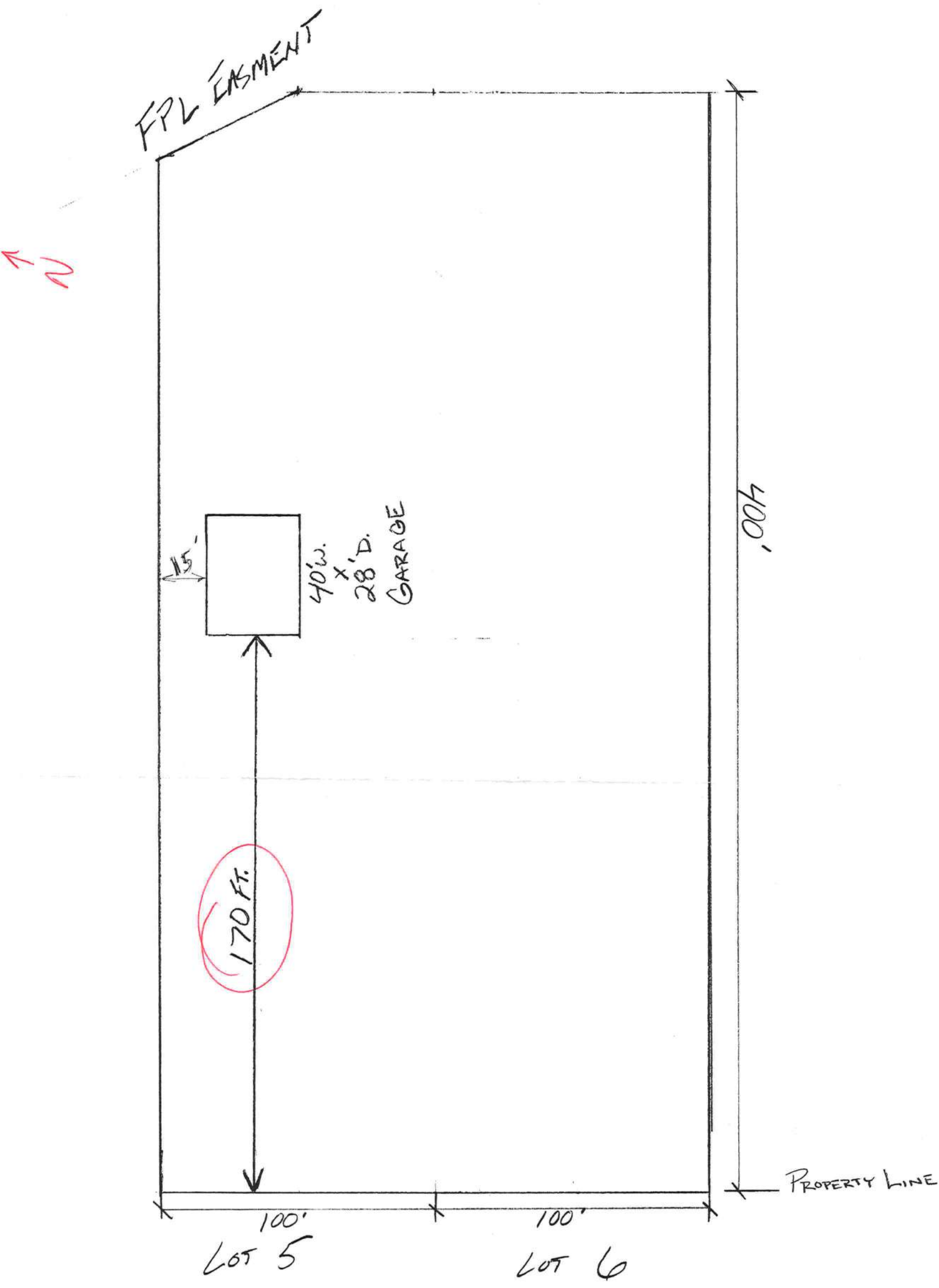
FRANCE ENGINEERING, LLC
CONSULTING - STRUCTURAL - ENGINEERING

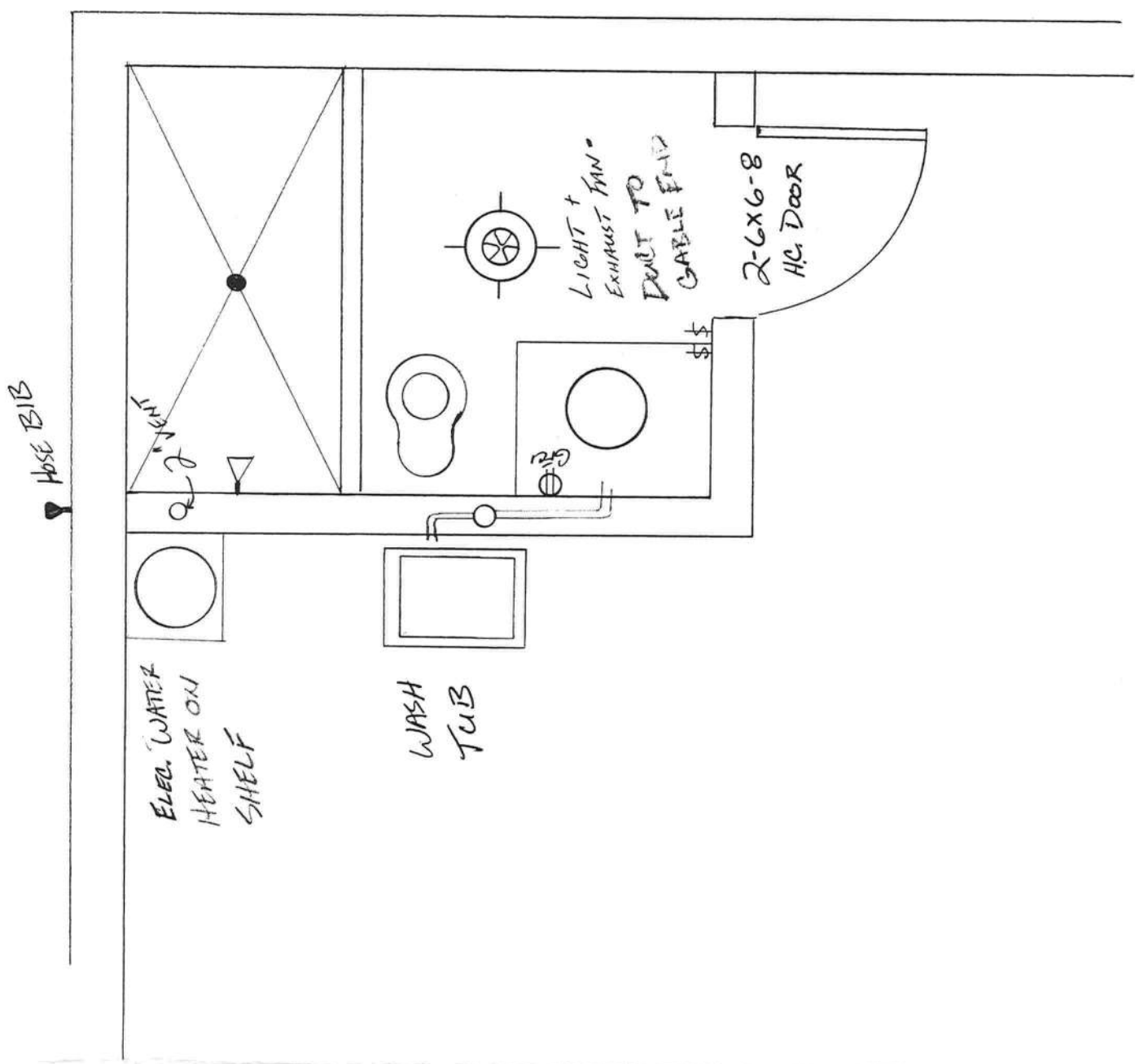


2920 MEGINNIS ARM ROAD
TALLAHASSEE, FLORIDA 32312
OFFICE 850-386-7100 FAX 850-386-6595
email: sfrance@francepe.com



Revised Oct. 15, 2009

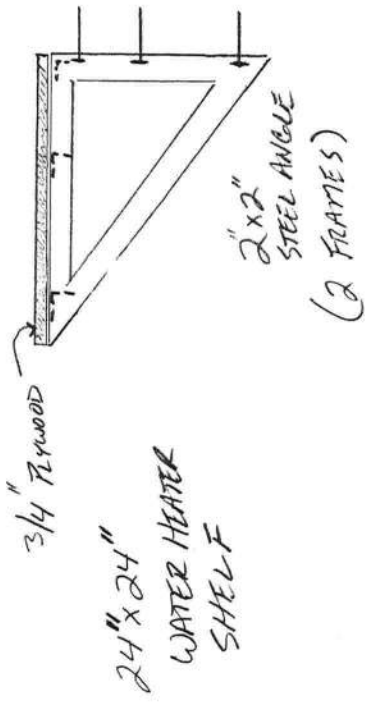
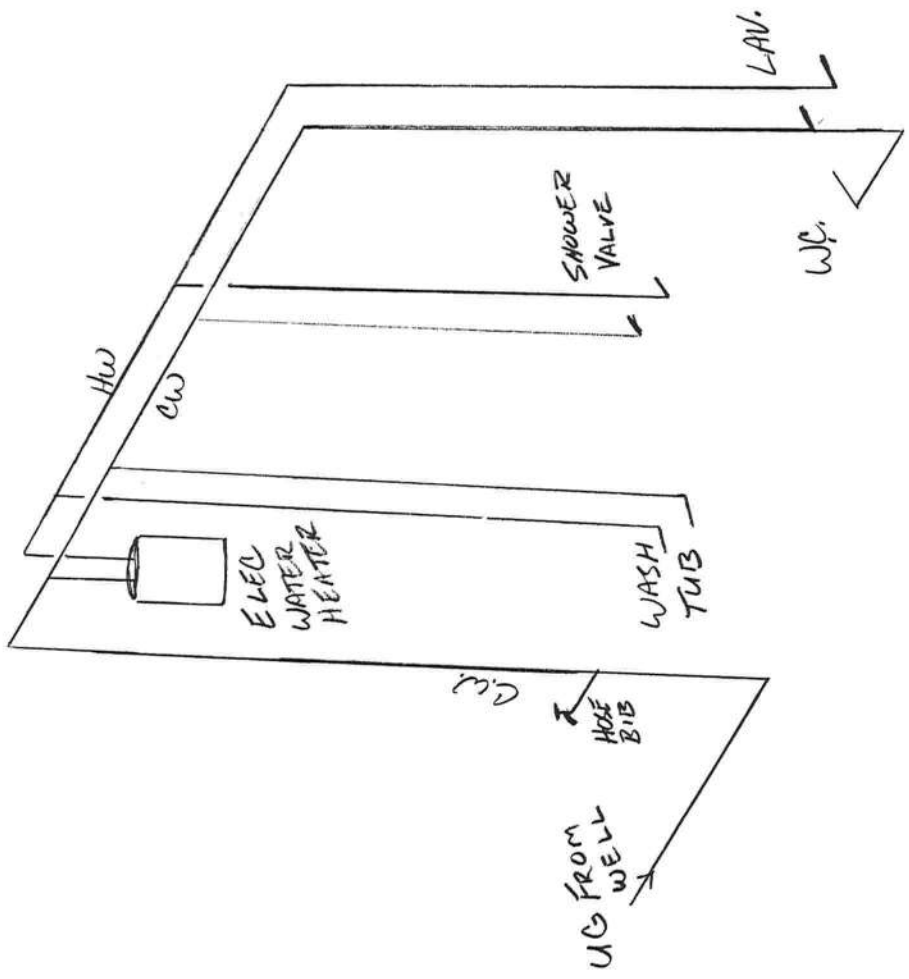




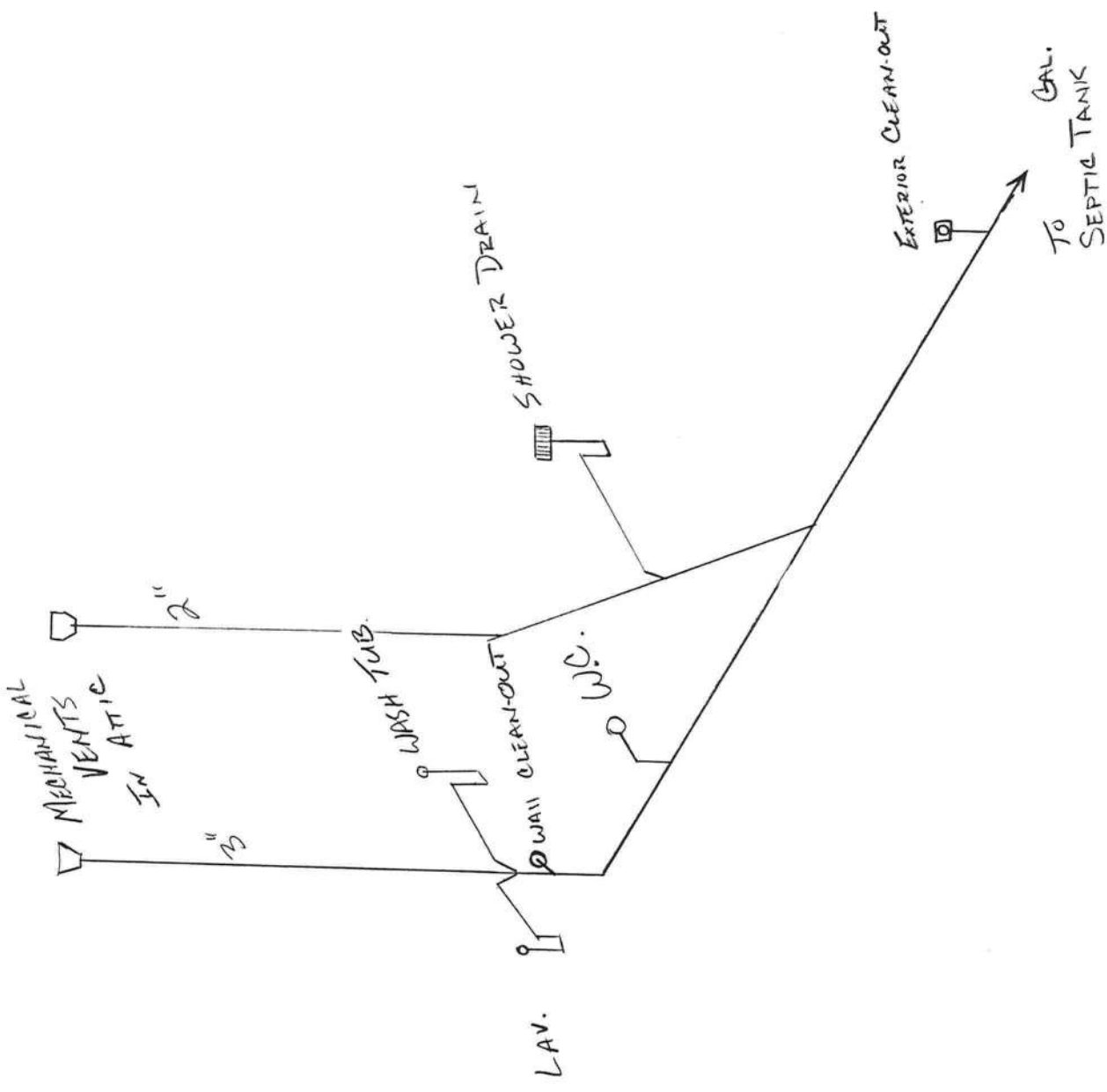
ENLARGED REST ROOM PLAN

KHOOP GARAGE

WATER RISER DIAGRAM



WASTE RISER DIAGRAM



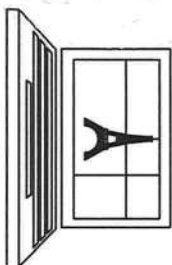


MASONRY REINF. PLAN

SCALE 1/4" = 1'-0"

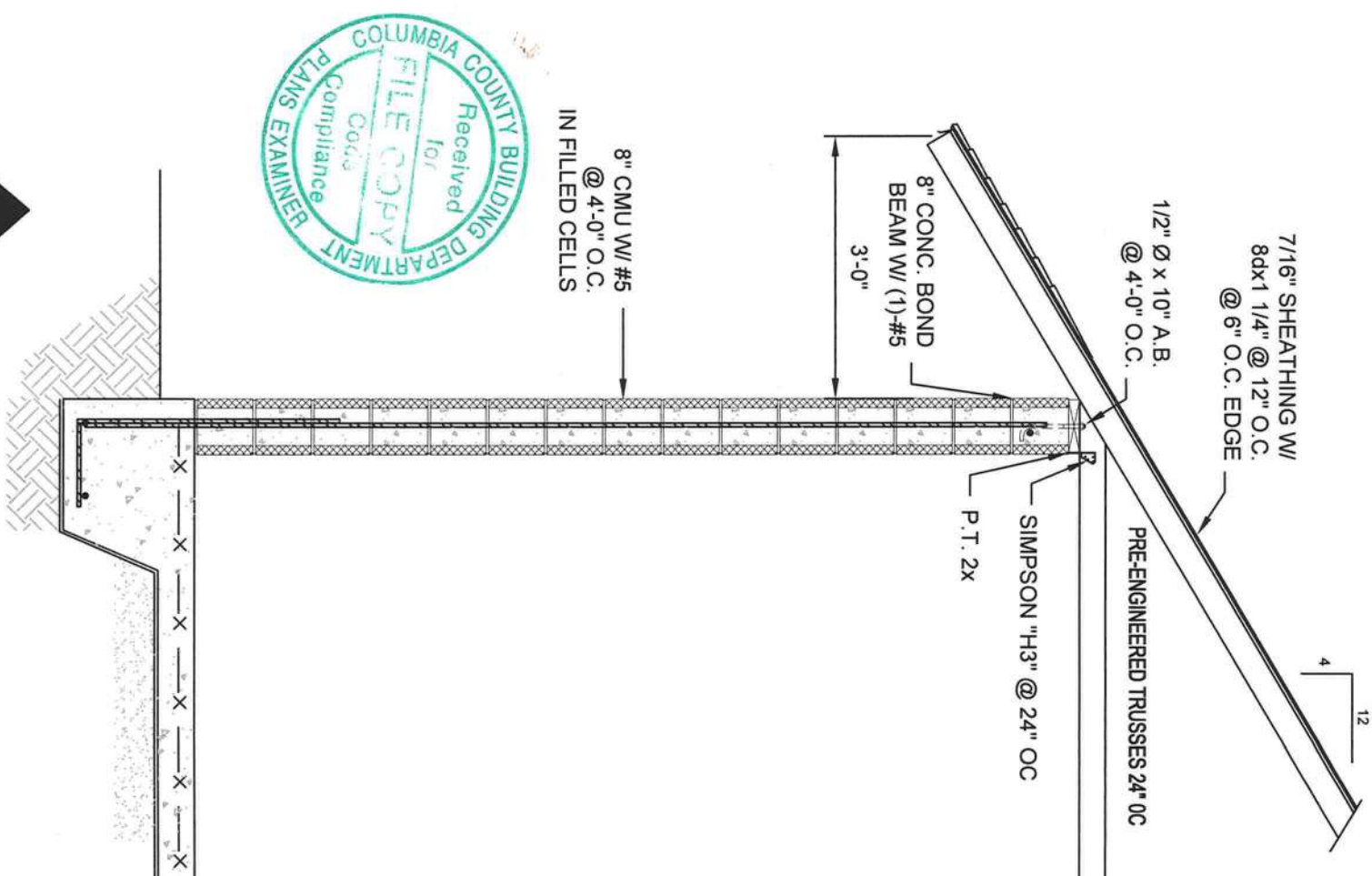
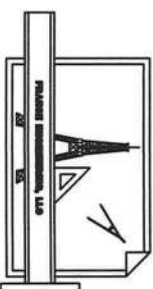
J. SCOTTFRANCE
FL P.E. # 63012

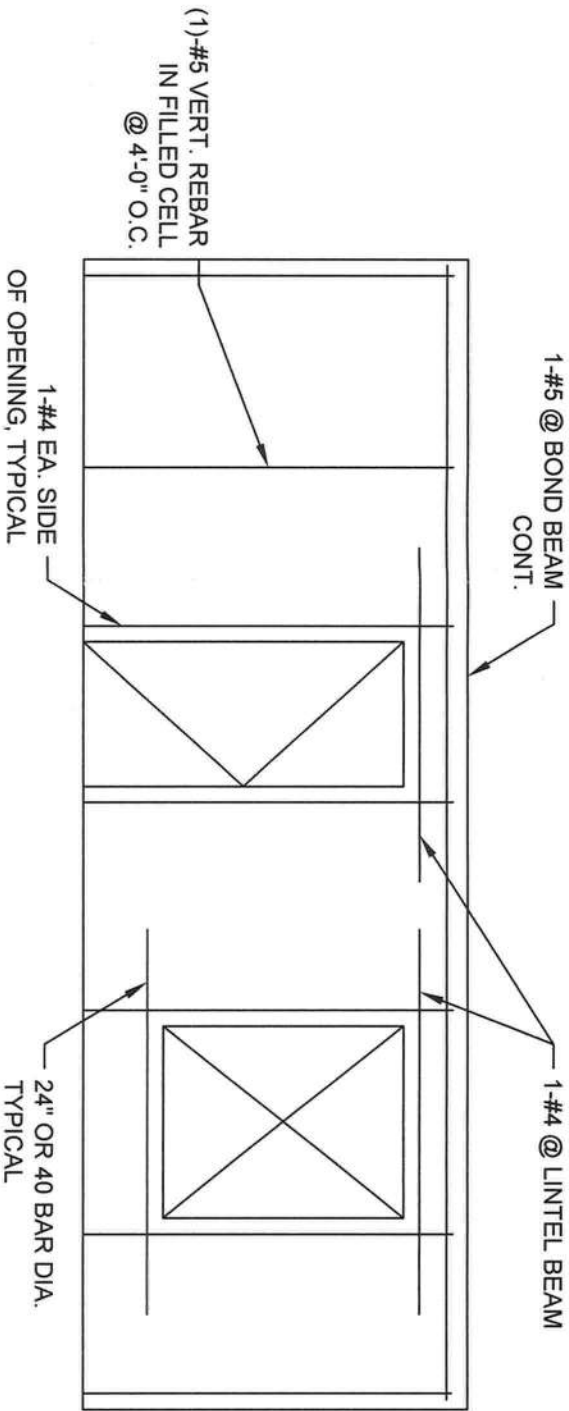
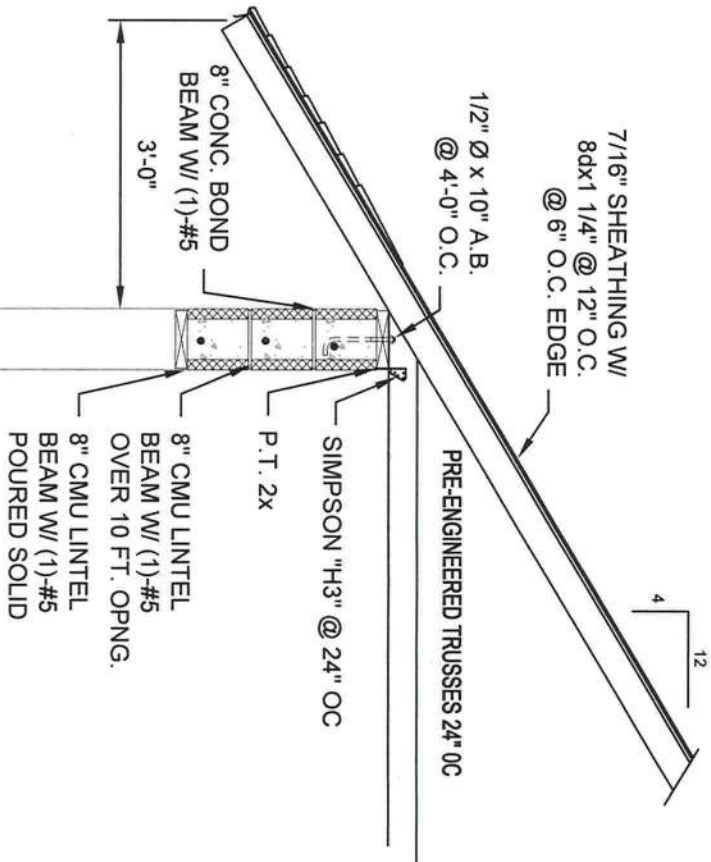
6-17-09



FRANCE ENGINEERING, LLC
CONSULTING - STRUCTURAL - ENGINEERING

2920 MEGINNIS ARM ROAD
TALLAHASSEE, FLORIDA 32312
OFFICE 850-386-7100 FAX 850-386-6595
email: sfrance@francepe.com





MASONRY REINF. LAYOUT
SCALE 1/4" = 1'-0"

MASONRY STRUCTURAL NOTES

- 1. ALL BLOCK WALLS TO BE REINFORCED WITH VERTICAL REINFORCING BARS IN GROUTED CELLS @ 4'-0" OC.
- 2. PROVIDE BOND BEAM AT ROOF LEVEL.
- 3. ALL VERTICAL REINFORCING REBAR TO BE #5 BARS. BARS ARE TO BE PLACE PER NOTE #1, AT JAMBS OF ALL WALL OPENINGS, AND IN EACH CORNER OF A CHANGE OF WALL DIRECTION.
- 4. PROVIDE FULL MORTAR BEDDING AND GROUT ALL CELLS CONTAINING REINFORCING INCLUDING BOND BEAMS. CONSOLIDATE GROUT IN CELLS TO INSURE COMPLETE FILLING.
- 5. WALL OPENING LOCATIONS MAY BE SHIFTED AS REQD TO SUIT FIELD CONDITIONS, HOWEVER THE FOLLOWING RULES MUST APPLY:
 - A. REBAR MUST BE LOCATED AT EVERY CORNER OF CHANGE IN WALL DIRECTION.
 - B. REBAR MUST BE LOCATED ADJACENT TO ALL OPENINGS WITHIN THE FIRST 10" OF BOTH SIDE.
 - C. REBAR SPACING, UNDER NO CIRCUMSTANCES, SHALL EXCEED THE DESIGN SPACING CALLED OUT ON PLANS AND DETAILS.
 - D. WALL OPENING SIZES MAY NOT BE CHANGED UNLESS PERMISSION IS GIVEN BY DESIGNING ENGINEER.
- 6. PROVIDE HORIZONTAL JOINT REINFORCEMENT AT EVERY FOURTH COURSE.

DESIGN LOADS

ROOF DEAD LOAD 10 PSF
ROOF LIVE LOAD 30 PSF

WIND LOAD PER ASCE 7-05

WIND LOAD 110 MPH
EXPOSURE "B"
IMPORTANCE FACTOR 1.0
INTERNAL PRESSURE ±0.18
BUILDING ENCLOSURE: ENCLOSED
BUILDING END ZONE "a" = 3 FT.

C&C	AREA	10 SF
ZONE 1	13 PSF	-20 PSF
ZONE 2	13 PSF	-35 PSF
ZONE 3	13 PSF	-51 PSF
OH Z2	-44 PSF	
OH Z3	-72 PSF	
ZONE 4	22 PSF	-24 PSF
ZONE 5	22 PSF	-29 PSF

SPECIFICATIONS

MORTAR: TYPE 'S' PORTLAND CEMENT/LIME PER ASTM C-270

GROUT: ASTM C476 +/- 8" MIN. SLUMP
STRENGTH f'm = 4000 PSI

REINFORCING: ASTM A615-GRADE 40 OR 60

WALL DESIGN STRENGTH f'm = 5000 PSI
DESIGN CODE: ACI-530-02

J. SCOTT FRANCE
FL P.E. # 63012
J. Scott France
6-17-09

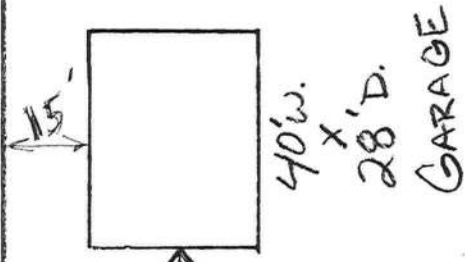
FRANCE ENGINEERING, LLC
CONSULTING - STRUCTURAL - ENGINEERING

2920 MEGINNIS ARM ROAD
TALLAHASSEE, FLORIDA 32312
OFFICE 850-386-7100 FAX 850-386-6595
email: sfrance@francepe.com

Revised Oct. 15, 2009

FPL EASEMENT

N



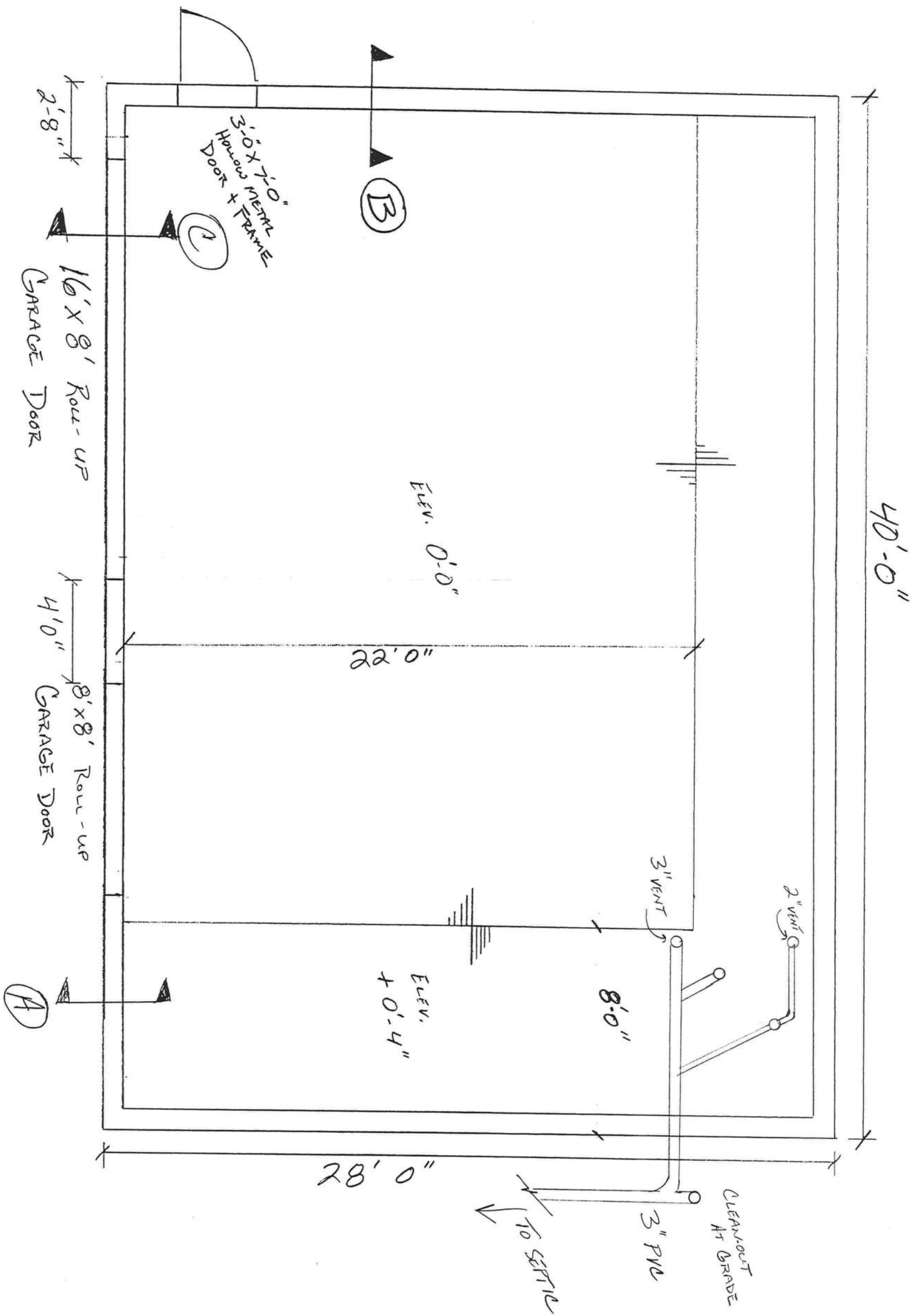
170 Ft.

400'

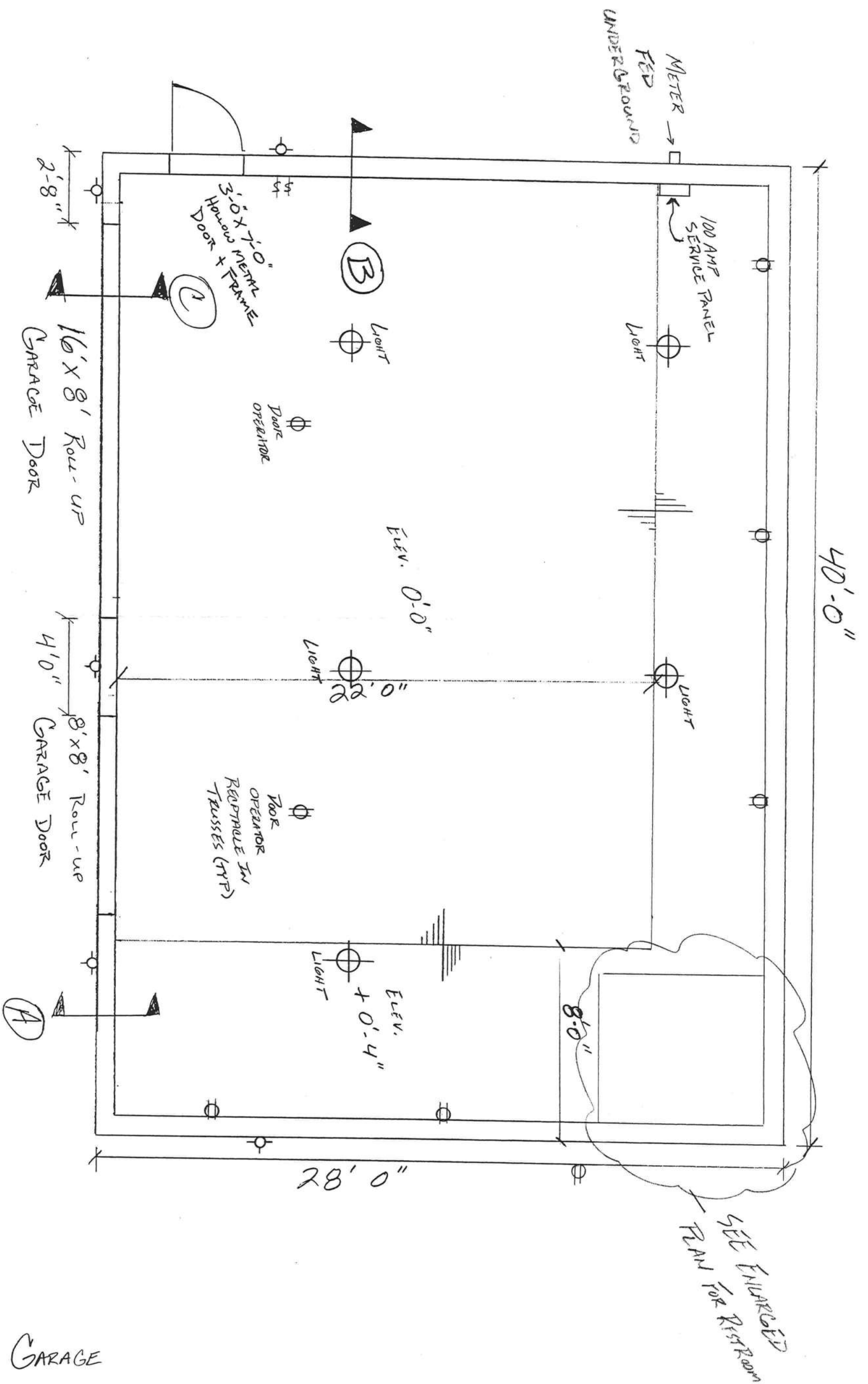
PROPERTY LINE

100'
LOT 5

100'
LOT 6

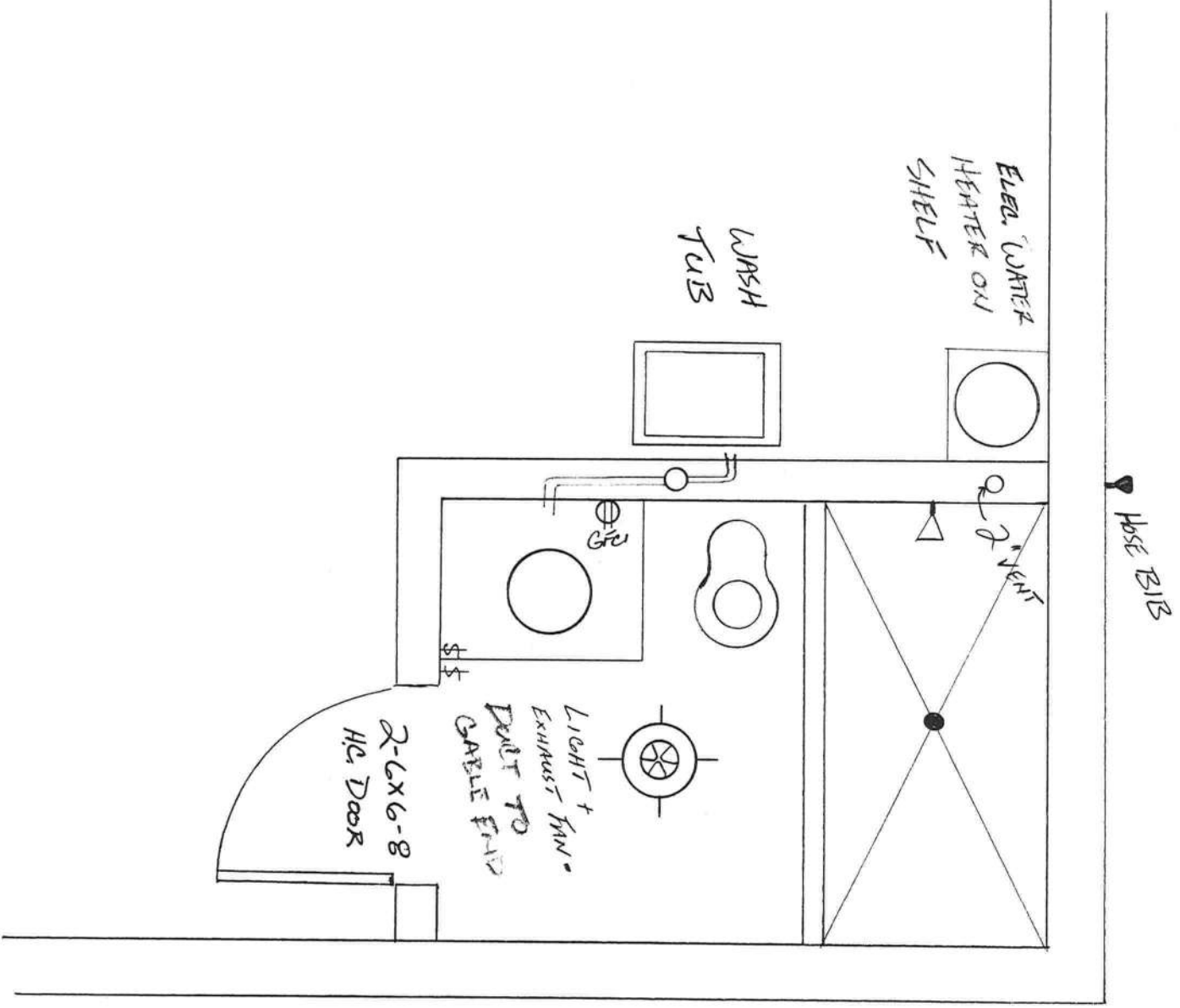


1/4" SCALE



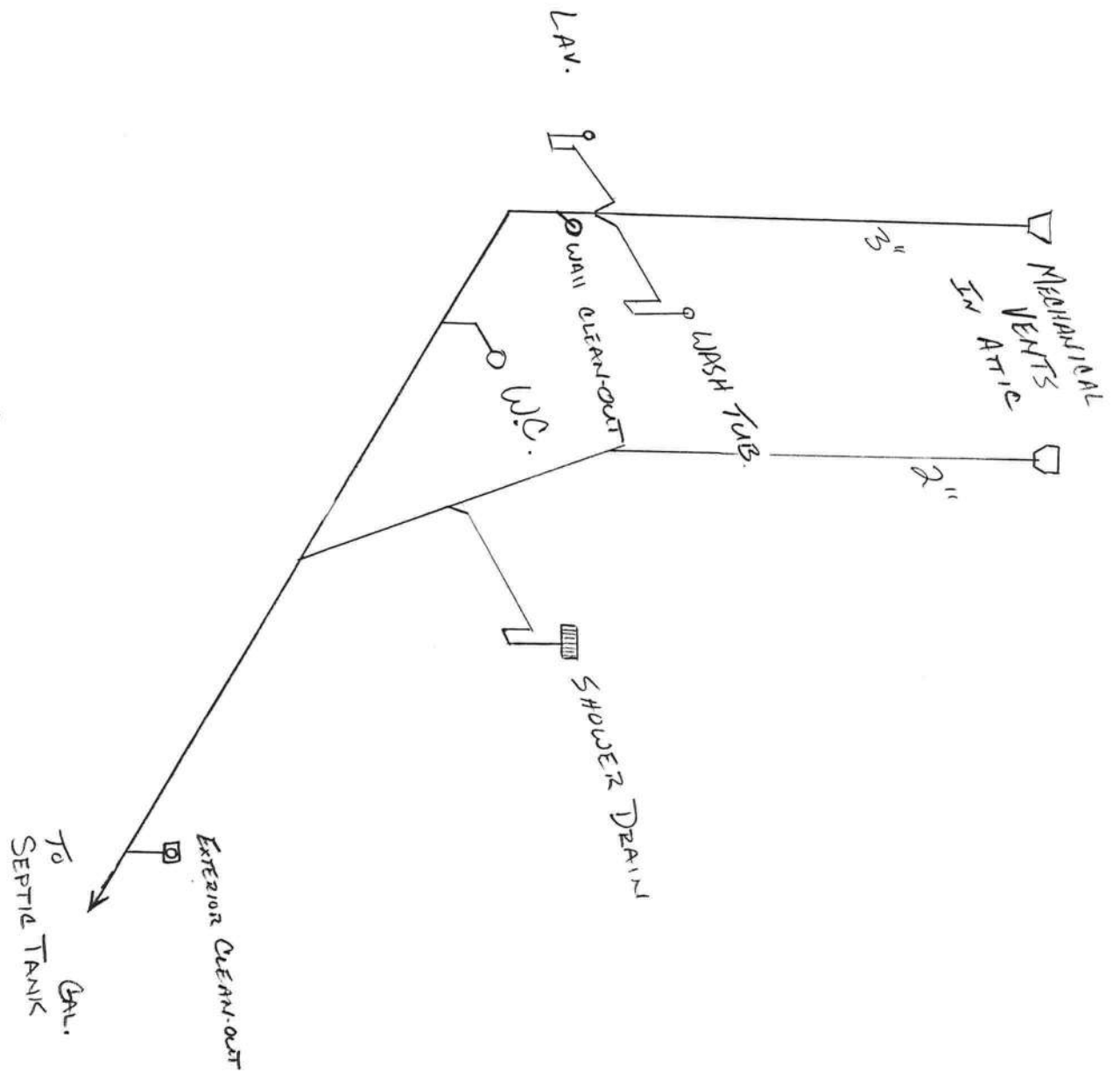
1/4" SCALE

KNOOP GARAGE



ENLARGED REST ROOM PLAN

WASTE RISER DIAGRAM



WATER RISER DIAGRAM

