

DATE 05/13/2005

Columbia County Building Permit

This Permit Expires One Year From the Date of Issue

PERMIT

000023143

APPLICANT SADIE PETTREY PHONE 386.364.6464
ADDRESS POB 460 LIVE OAK FL 32064
OWNER ALTON B. & VIRGINIA JOHNSON PHONE 850.689.1154
ADDRESS 4720 SW ELIM CHURCH ROAD FT. WHITE FL 32038
CONTRACTOR PAUL SPICER PHONE 386.364.6464
LOCATION OF PROPERTY 47-S TO C-238,TR GO APPROX. 500YDS ON L.

TYPE DEVELOPMENT SFD & UTILITY ESTIMATED COST OF CONSTRUCTION 82000.00
HEATED FLOOR AREA 1640.00 TOTAL AREA 2446.00 HEIGHT 19.40 STORIES 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH 6'12 FLOOR CONC
LAND USE & ZONING A-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 21-6S-16-03899-107 SUBDIVISION ICHETUCKNEE OAKS
LOT 7/8 BLOCK PHASE UNIT TOTAL ACRES 10.00

CGC016855
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 05-0226-N BLK Y
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: 1 FOOT ABOVE ROAD
NOC ON FILE.

Check # or Cash 2230

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 410.00 CERTIFICATION FEE \$ 12.23 SURCHARGE FEE \$ 12.23
MISC. FEES \$.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ WASTE FEE \$
FLOOD ZONE DEVELOPMENT FEE \$ CULVERT FEE \$ TOTAL FEE 484.46
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only: Application No. 0304-94 Date Received 4/28/05 By JW Permi No. 23143
Application Approved by - Zoning Official BLK Date 10.05.05 Plans Examiner OK JTH Date 5-13-05
Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3
Comments 911 ADDRESS NEEDED RECD (RECD SH) -2230..

Applicants Name Spicer Construction, Inc Sadie Petrey Phone 386-364-6464
Address P.O.Box 460 Live Oak, FL 32064

Owners Name Alton B or Virginia C. Johnson Phone 850-689-1154

911 Address 4720 SW ELM CHURCH RD, Ft White, FL 32038

Contractors Name Vern Spicer / Spicer Construction, Inc Phone 386-364-6464

Address P.O.Box 460 Live Oak, FL 32064

Fee Simple Owner Name & Address None

Bonding Co. Name & Address None

Architect/Engineer Name & Address SPICER, PAUL - Draftsman, Gary Gill

Mortgage Lenders Name & Address None

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy

Property ID Number 21-6S-16-03899-107 (107) Estimated Cost of Construction 118,225.00

Subdivision Name Ichetucknee Oaks Lot 7 & 8 Block N/A Unit Phase

Driving Directions 47 South, right on CR 238, approx 500 Ft on left

Type of Construction SF Residential Number of Existing Dwellings on Property none

Total Acreage 10 Lot Size Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 210 Side 210 Side 210 Rear 210

Total Building Height 19.75 Number of Stories 1 Heated Floor Area 1640 Roof Pitch 6/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to most the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me

this 27th day of April 2005

Personally known ✓ or Produced Identification

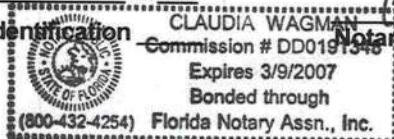
Contractor Signature

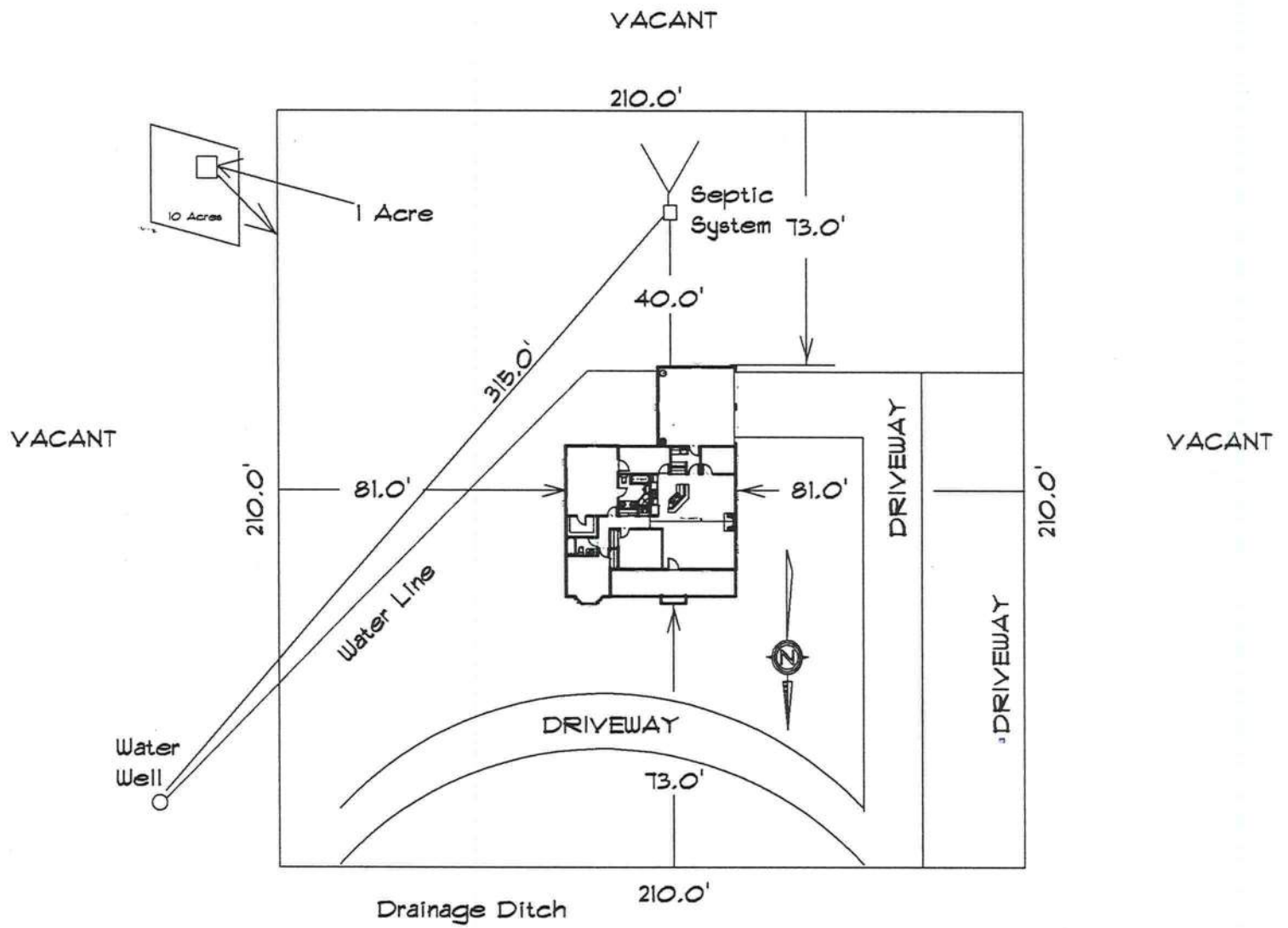
Contractors License Number CGC016855

Competency Card Number

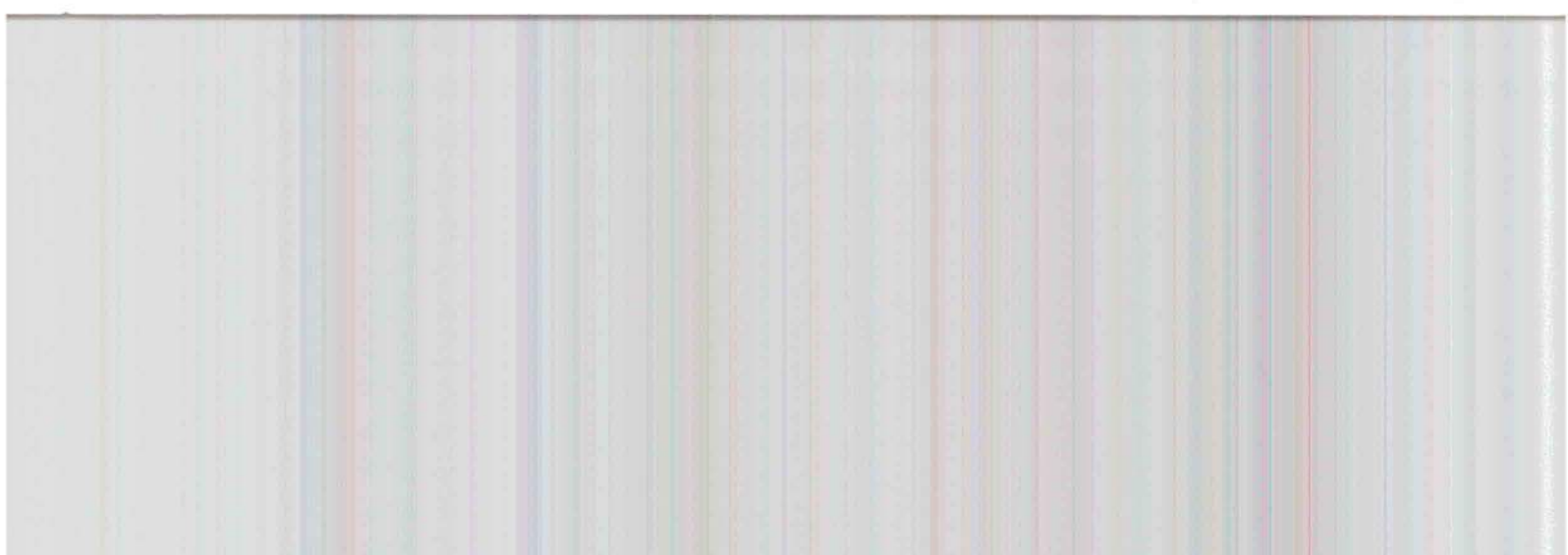
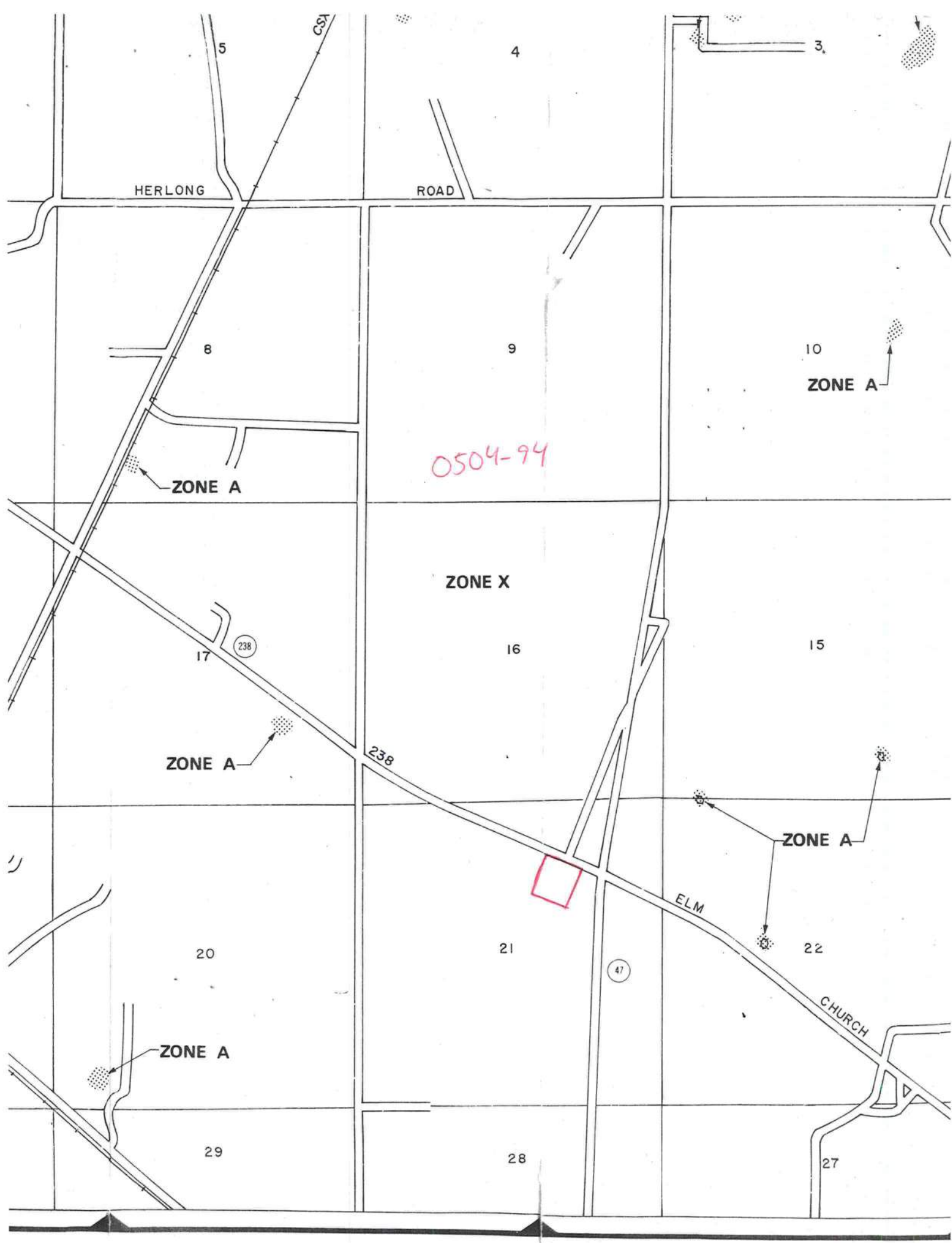
NOTARY STAMP/SEAL

Claudia Wagman
Notary Signature





Elm Church Road (CR 238)



COLUMBIA COUNTY 9-1-1 ADDRESSING

263 NW Lake City Ave. * P. O. Box 2949 * Lake City, FL 32056-2949
PHONE: (386) 752-8787 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE ISSUED: March 11, 2005

ENHANCED 9-1-1 ADDRESS:

(FORT WHITE, FL 32038)
4720 SW ELIM CHURCH RD (LAKE CITY, FL 32038)

Addressed Location 911 Phone Number: NOT AVAIL.

OCCUPANT NAME: NOT AVAIL.

OCCUPANT CURRENT MAILING ADDRESS: _____

PROPERTY APPRAISER MAP SHEET NUMBER: 52

PROPERTY APPRAISER PARCEL NUMBER: 21-6S-16-03899-107

Other Contact Phone Number (If any): _____

Building Permit Number (If known): _____

Remarks: LOTS 7 AND 8, ICHETUCKNEE OAKS S/D

Address Issued By: _____

Columbia County 9-1-1 Addressing Department

Application # 0504-94



COLUMBIA COUNTY
9-1-1 ADDRESSING
APPROVED

NOTICE OF COMMENCEMENT

STATE OF FLORIDA COUNTY OF COLUMBIA

The undersigned hereby gives notice that improvements will be made to certain real property, and in accordance with Chapter 713, the following information is protected in this Notice of Commencement.

1. Description of Property: Section 21, Township 6 South, Range 16 East

2. General Description of Improvement: New Construction

3. Owner Information:

- a. Name: Alton B. or Virginia C. Johnson
Address: 1598 HWY 90 W , BAKER, FL. 32531
Interest in Property: Owner

- b. Fee Simple Titleholder (If other than owner)

Name:

Address:

Inst:2005009892 Date:04/28/2005 Time:16:09

YMK DC, P. DeWitt Cason, Columbia County B:1044 P:1785

4. Contractor: Name: Spicer Construction, Inc
Address: P.O. Box 460 Live Oak, FL 3206

5. Surety: a. Name: None
Address:
b. Amount of Bond:

6. Lender: Name: None
Address:

7. Persons within the state of Florida designated by owner upon whom notices or other documents may serve as provided by Florida Statutes, 713.13 (a) (7): None

8. In addition to himself, owner designates Spicer Construction, Inc.

to receive a copy of the Lienor's Notice as provided in Florida Statutes 713.13 (1) (b).

9. Expiration date of Notice of Commencement (expiration is 1 year from the date of recording unless a different date is specified):

Prepared By: Sadie Pettrey

Address: P.O. Box 460 Live Oak, FL 32064

Telephone: (386) 364-6464

Sworn to and subscribed before me this 18th day of Feb 2005

Personally Know

Produced ID ✓

Did / Did not take an Oath

Alton B. Johnson
Type Owners Name: Alton B. Johnson

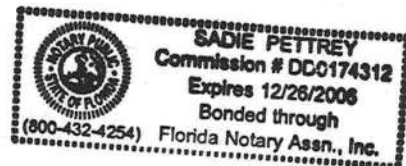
Virginia C. Johnson
Type Owners Name: Virginia C. Johnson

Sadie Pettrey
Signature

Print Notary's Name Sadie Pettrey

Notary Public, State of Florida

Commission expiry and Number 12/26/06



	Columbia County	
86000	Land	001 *
	AG	000
	Bldg	000
	Xfea	000
86000	TOTAL	B

1	LOTS 7 & 8 ICHETUCKNEE OAKS	S/D. 882-2271, 885-531,	2
3	'889-585', '1031-2621', WD '1039-	'660'.	4
5			6
7			8
9			10
11			12
13			14
15			16
17			18
19			20
21			22
23			24
25			26
27			28

Mnt' ' 3/11/2005 KYLIE

F1=Task F3=Exit F4=Prompt F10=GoTo PgUp/PgDn F24=More

21-6S-16-03899-107

LOTS 7 & 8 ICHETUCKNEE OAKS	JOHNSON ALTON B & VIRGINIA C	21-6S-16-03899-107	Columbia County
S/D. 882-2271, 885-531,	P O BOX 581		
889-585, 1031-2621, WD 1039-660.	FT WHITE	FL 32038	PRINTED 4/04/2005 8:42 APPR 10/23/2002 HC

USE	AE?	HTD AREA	.000 INDEX	21616.00	NBHD	PROP USE	009
MOW	BATH	EFF AREA	E-RATE	.000	INDX	STR 21- 6S-16E	
EXW	FIXT	RCN			AYB	MKT AREA 02	
%	BDRM	%GOOD	BLDG VAL		EYB	(PUD1	
RSTR	RMS					AC	10.000
RCVR	UNTS	FIELD CK:				NTCD	
%	C-W%	LOC: ICHETUCKNEE OAKS				APPR CD	
INT	HGHT					CNDO	
%	PMTR					SUBD	
FLR	STYS					BLK	
%	ECON					LOT	
HTTP	FUNC					MAP# 52	
A/C	SPCD						
QUAL	DEPR					TXDT	003
FNDN	UD-1						
SIZE	UD-2					-----	BLDG TRA
CEIL	UD-3						
ARCH	UD-4						
FRME	UD-5						
KTCH	UD-6						
WNDO	UD-7						
CLAS	UD-8						
OCC	UD-9						
COND	%					-----	PERMIT
SUB	A-AREA % E-AREA	SUB VALUE				NUMBER	DESC
						-----	SALE
						BOOK	PAGE DATE
						1039	660 2/28/2001
						GRANTOR	GLEN ROHM
						GRANTEE	ALTON B & VIRGI
						1031	2621 11/22/2001
						GRANTOR	VANHOY HAROLD B
						GRANTEE	GLEN G ROHM
TOTAL							

TOTAL

EXTRA FEATURES										GRANTEE GLEN G ROHM					
AE BN CODE	DESC	LEN	WID	HGHT	QTY QL	YR	ADJ	UNITS UT	PRICE	ADJ UT PR	SPCD %				
	LAND DESC	ZONE ROAD {UD1 {UD3 FRONT DEPTH								FIELD CK:					
AE CODE	TOPO UTIL {UD2 {UD4 BACK DT								ADJUSTMENTS	UNITS UT	PRICE	ADJ UT PR			
Y 009900 AC NON-AG	0002								1.00 1.00 1.00 1.00	2.000 LT	43000.000	43000.0			
	0002 0003														

L001 - LOTS 7 & 8
 SALE - SALE IS FOR 8 LOTS TOTALING 40 AC
 SALE - LOTS 1,2,3,6,7,8
 2005

L001 - EACH LOT IS 5 AC
SALE - SALE FOR 6 LOTS, ASSESSED FOR 9
SALE - SALE FOR 1 LOT (LOT 10)

E X

7

ZONE A

0505-33

OAK

RIDGE

778

18

CSX

R16E
R17E

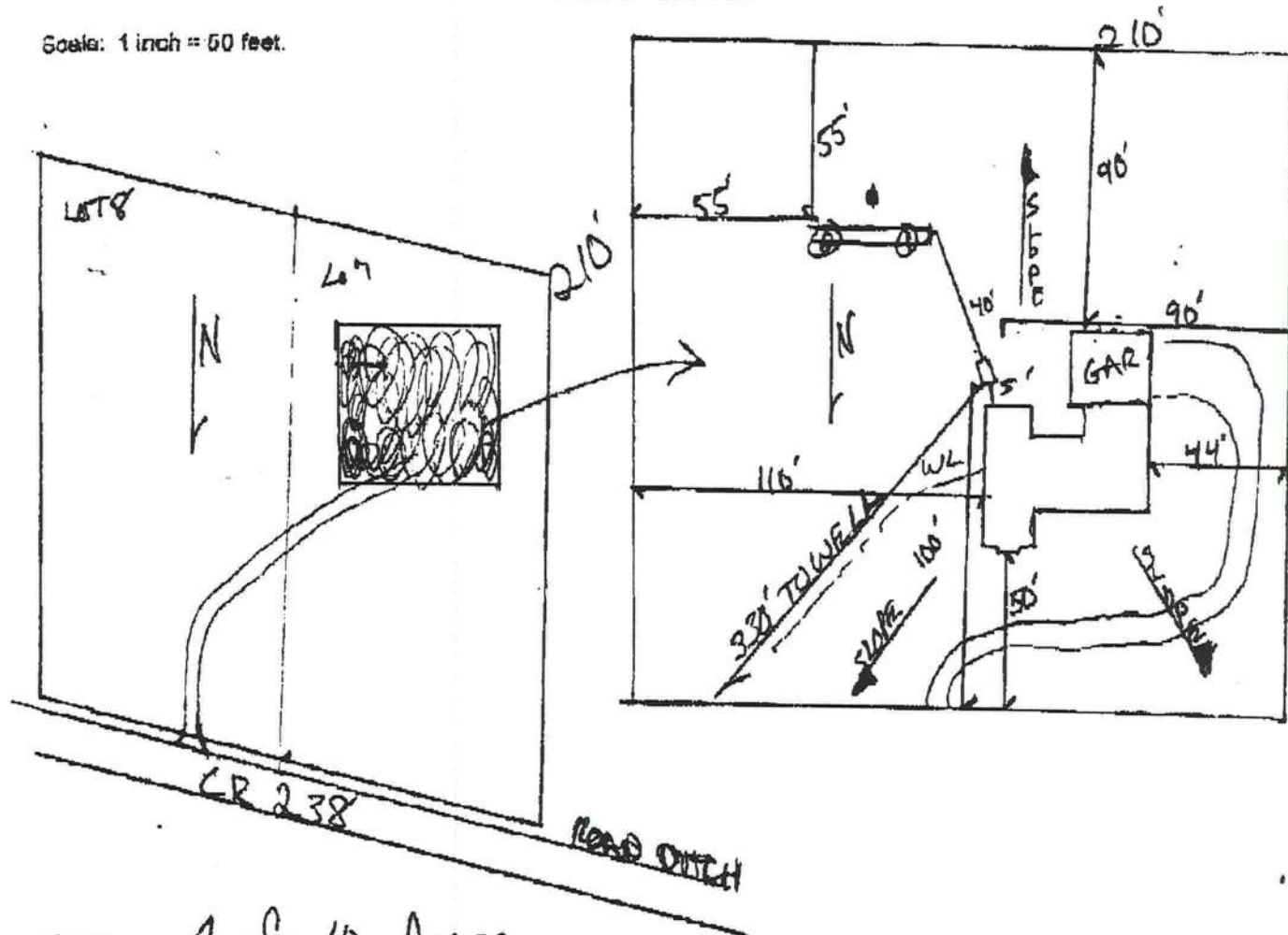
19

MITCHELL JOHNSON

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMITPermit Application Number 05-0226N

----- PART II - SITEPLAN -----

Scale: 1 inch = 50 feet.

Notes: 1 of 10 AcresSite Plan submitted by: Rock D 7-0Plan Approved ☒Not Approved ☐By Sally Haddy ESI-COLUMBIA

Master Contractor

Date 3-8-05

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

FLORIDA ENERGY EFFICIENCY CODE
FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name:	Alton Johnson residence	Builder:	Spicer Construction
Address:	CR238	Permitting Office:	2010MSA
City, State:	Ft White, FL 32038-	Permit Number:	23143
Owner:		Jurisdiction Number:	221000
Climate Zone:	North		

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 28.2 kBtu/hr
3. Number of units, if multi-family	1		SEER: 12.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	No	c. N/A	
6. Conditioned floor area (ft²)	1645 ft²	13. Heating systems	
7. Glass area & type	Single Pane	a. Electric Heat Pump	Cap: 29.0 kBtu/hr
a. Clear glass, default U-factor	0.0 ft²		HSPF: 7.20
b. Default tint	0.0 ft²	b. N/A	
c. Labeled U or SHGC	0.0 ft²	c. N/A	
8. Floor types		14. Hot water systems	
a. Slab-On-Grade Edge Insulation	R=0.0, 244.7(p) ft	a. Electric Resistance	Cap: 30.0 gallons
b. N/A			EF: 0.89
c. N/A		b. N/A	
9. Wall types		c. Conservation credits	
a. Frame, Wood, Exterior	R=13.0, 2230.7 ft²	(HR-Heat recovery, Solar	
b. Frame, Wood, Adjacent	R=11.0, 180.0 ft²	DHP-Dedicated heat pump)	
c. N/A		15. HVAC credits	
d. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
e. N/A		HF-Whole house fan,	
10. Ceiling types		PT-Programmable Thermostat,	
a. Under Attic	R=30.0, 2106.7 ft²	MZ-C-Multizone cooling,	
b. N/A		MZ-H-Multizone heating)	
c. N/A			
11. Ducts			
a. Sup: Unc. Ret: Unc. AH: Garage	Sup. R=6.0, 133.4 ft		
b. N/A			

Glass/Floor Area: 0.11	Total as-built points: 26902	PASS
	Total base points: 28216	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature]

DATE: 4/27/05

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: _____

DATE: _____



SUMMER CALCULATIONS
Residential Whole Building Performance Method A - Details

ADDRESS: CR238, Ft White, FL, 32038-

PERMIT #:

BASE				AS-BUILT								
GLASS TYPES .18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt			Area X SPM X SOF = Points				
.18	1645.0	20.04	5933.8	Double, Clear	NW	2.0	4.0	9.0	25.97	0.78	183.3	
				Double, Clear	NW	2.0	6.0	60.0	25.97	0.88	1365.5	
				Double, Clear	NE	8.0	6.0	30.0	29.56	0.53	469.9	
				Double, Clear	NE	2.0	6.0	30.0	29.56	0.87	767.5	
				Double, Clear	SW	2.0	6.0	15.0	40.16	0.81	486.8	
				Double, Clear	SE	2.0	6.0	30.0	42.75	0.81	1033.4	
				As-Built Total:			174.0			4306.3		
WALL TYPES Area X BSPM = Points				Type	R-Value			Area X SPM = Points				
Adjacent	180.0	0.70	126.0	Frame, Wood, Exterior	13.0			2230.7	1.50	3346.0		
Exterior	2230.7	1.70	3792.2	Frame, Wood, Adjacent	11.0			180.0	0.70	126.0		
Base Total:				2410.7			3918.2			As-Built Total:		2410.7 3472.0
DOOR TYPES Area X BSPM = Points				Type				Area X SPM = Points				
Adjacent	0.0	0.00	0.0	Exterior Wood				42.0	6.10	256.2		
Exterior	42.0	6.10	256.2									
Base Total:				42.0			256.2			As-Built Total:		42.0 256.2
CEILING TYPES Area X BSPM = Points				Type	R-Value			Area X SPM X SCM = Points				
Under Attic	1645.0	1.73	2845.9	Under Attic	30.0			2106.7	1.73 X 1.00	3644.6		
Base Total:				1645.0			2845.9			As-Built Total:		2106.7 3644.6
FLOOR TYPES Area X BSPM = Points				Type	R-Value			Area X SPM = Points				
Slab	244.7(p)	-37.0	-9053.9	Slab-On-Grade Edge Insulation	0.0			244.7(p)	-41.20	-10081.6		
Raised	0.0	0.00	0.0									
Base Total:				-9053.9			244.7			As-Built Total:		-10081.6
INFILTRATION Area X BSPM = Points				Area X SPM = Points								
1645.0 10.21 16795.4				1645.0 10.21 16795.4								

SUMMER CALCULATIONS
Residential Whole Building Performance Method A - Details

ADDRESS: CR238, Ft White, FL, 32038-	PERMIT #:
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BASE				AS-BUILT											
Summer Base Points:		20695.6		Summer As-Built Points:			18393.0								
Total Summer Points	X	System Multiplier	=	Cooling Points	Total Component	X	Cap Ratio	X	Duct Multiplier (DM x DSM x AHU)	X	System Multiplier	X	Credit Multiplier	=	Cooling Points
20695.6		0.4266		8828.8	18393.0		1.000		(1.090 x 1.147 x 1.00)		0.284		1.000		6540.3
					18393.0		1.00		1.250		0.284		1.000		6540.3

WINTER CALCULATIONS
Residential Whole Building Performance Method A - Details

ADDRESS: CR238, Ft White, FL, 32038-

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES .18 X Conditioned X BWPM = Points Floor Area				Type/SC Overhang Ornt Len Hgt Area X WPM X WOF = Points							
.18	1645.0	12.74	3772.3	Double, Clear	NW	2.0	4.0	9.0	24.30	1.01	221.5
				Double, Clear	NW	2.0	6.0	60.0	24.30	1.01	1467.3
				Double, Clear	NE	8.0	6.0	30.0	23.57	1.05	742.8
				Double, Clear	NE	2.0	6.0	30.0	23.57	1.01	715.8
				Double, Clear	SW	2.0	6.0	15.0	16.74	1.11	278.9
				Double, Clear	SE	2.0	6.0	30.0	14.71	1.17	517.0
				As-Built Total: 174.0 3943.3							
WALL TYPES Area X BWPM = Points				Type R-Value Area X WPM = Points							
Adjacent	180.0	3.60	648.0	Frame, Wood, Exterior			13.0	2230.7	3.40		7584.4
Exterior	2230.7	3.70	8253.6	Frame, Wood, Adjacent			11.0	180.0	3.60		648.0
Base Total: 2410.7 8901.6				As-Built Total: 2410.7 8232.4							
DOOR TYPES Area X BWPM = Points				Type Area X WPM = Points							
Adjacent	0.0	0.00	0.0	Exterior Wood				42.0	12.30		516.6
Exterior	42.0	12.30	516.6								
Base Total: 42.0 516.6				As-Built Total: 42.0 516.6							
CEILING TYPES Area X BWPM = Points				Type R-Value Area X WPM X WCM = Points							
Under Attic	1645.0	2.05	3372.3	Under Attic			30.0	2106.7	2.05 X 1.00		4318.7
Base Total: 1645.0 3372.3				As-Built Total: 2106.7 4318.7							
FLOOR TYPES Area X BWPM = Points				Type R-Value Area X WPM = Points							
Slab	244.7(p)	8.9	2177.8	Slab-On-Grade Edge Insulation			0.0	244.7(p)	18.80		4600.4
Raised	0.0	0.00	0.0								
Base Total: 2177.8				As-Built Total: 244.7 4600.4							
INFILTRATION Area X BWPM = Points				Area X WPM = Points							
1645.0 -0.59 -970.5				1645.0 -0.59 -970.5							

WINTER CALCULATIONS
Residential Whole Building Performance Method A - Details

ADDRESS: CR238, Ft White, FL, 32038-

PERMIT #:

BASE				AS-BUILT									
Winter Base Points:		17770.0		Winter As-Built Points:				20640.9					
Total Winter Points	X	System Multiplier	= Heating Points	Total Component	X	Cap Ratio	X	Duct Multiplier (DM x DSM x AHU)	X	System Multiplier	X	Credit Multiplier	= Heating Points
17770.0		0.6274	11148.9	20640.9		1.00		(1.069 x 1.169 x 1.00)		0.474		1.000	12216.4
				20640.9		1.00		1.250		0.474		1.000	12216.4

WATER HEATING & CODE COMPLIANCE STATUS
Residential Whole Building Performance Method A - Details

ADDRESS: CR238, Ft White, FL, 32038-	PERMIT #:
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BASE					AS-BUILT					
WATER HEATING					Tank	EF	Number of	X	Tank	X
Number of	X	Multiplier	=	Total	Volume		Bedrooms		Ratio	Multiplier
Bedrooms										
3		2746.00		8238.0	30.0	0.89	3		1.00	2715.15
					As-Built Total:					8145.4

CODE COMPLIANCE STATUS							
BASE				AS-BUILT			
Cooling	+	Heating	+	Hot Water	=	Total	
Points		Points		Points		Points	
8829		11149		8238		28216	

Cooling	+	Heating	+	Hot Water	=	Total	
Points		Points		Points		Points	
6540		12216		8145		26902	

PASS



Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: CR238, Ft White, FL, 32038-

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: 3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 83.9

The higher the score, the more efficient the home.

, CR238, Ft White, FL, 32038-

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 28.2 kBtu/hr
3. Number of units, if multi-family	1		SEER: 12.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	No	c. N/A	
6. Conditioned floor area (ft ²)	1645 ft ²		
7. Glass area & type	Single Pane Double Pane	13. Heating systems	
a. Clear - single pane	0.0 ft ² 174.0 ft ²	a. Electric Heat Pump	Cap: 29.0 kBtu/hr
b. Clear - double pane	0.0 ft ² 0.0 ft ²		HSPF: 7.20
c. Tint/other SHGC - single pane	0.0 ft ² 0.0 ft ²	b. N/A	
d. Tint/other SHGC - double pane		c. N/A	
8. Floor types		14. Hot water systems	
a. Slab-On-Grade Edge Insulation	R=0.0, 244.7(p) ft	a. Electric Resistance	Cap: 30.0 gallons
b. N/A			EF: 0.89
c. N/A		b. N/A	
9. Wall types		c. Conservation credits	
a. Frame, Wood, Exterior	R=13.0, 2230.7 ft ²	(HR-Heat recovery, Solar	
b. Frame, Wood, Adjacent	R=11.0, 180.0 ft ²	DHP-Dedicated heat pump)	
c. N/A		15. HVAC credits	
d. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
e. N/A		HF-Whole house fan,	
10. Ceiling types		PT-Programmable Thermostat,	
a. Under Attic	R=30.0, 2106.7 ft ²	MZ-C-Multizone cooling,	
b. N/A		MZ-H-Multizone heating)	
c. N/A			
11. Ducts			
a. Sup: Unc. Ret: Unc. AH: Garage	Sup. R=6.0, 133.4 ft		
b. N/A			

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: _____



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStarTM designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction,*

contact the Department of Community Affairs Energy Gauge 804 Version: FLRCSB v3.30)

COLUMBIA COUNTY FLORIDA DEPARTMENT OF BUILDING AND ZONING

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 21-6S-16-03899-107

Building permit No. 000023143

Use Classification SFD & UTILITY

Fire: 66.08

Permit Holder PAUL SPICER

Waste: 98.00

Owner of Building ALTON B. & VIRGINIA JOHNSON

Total: 164.08

Location: 4720 SW ELIM CHURCH RD(ICHETUCKNEE OAKS, LOT 7/8)

Date: 02/10/2006

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)



Alpine Engineered Products, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 567
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID:1SR2215-Z0106075901

Truss Fabricator: W.B. Howland
Job Identification: 2312-/JOHNSON RESIDENCE /SPICER CONSTRUCTION -- , **
Truss Count: 5
Model Code: Florida Building Code
Truss Criteria: ANSI/TPI-2002(STD)
Engineering Software: Alpine Software, Version 7.20.
Structural Engineer of Record:
Address:
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration
Floor - N/A
Wind - 110 MPH ASCE 7-98 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCSR215

Details: TCFILLER-BCFILLER

[Handwritten signature]

Seal Date: 10/06/2005

-Truss Design Engineer-
James F. Collins Jr.

Florida License Number: 52212
1950 Marley Drive
Haines City, FL 33844



(2312- /JOHNSON RESIDENCE /SPICER CONSTRUCTION -- , ** - REV-A4)

Top chord 2x4 SP #2 N
Bot chord 2x4 SP #2 N
Webs 2x4 SP #2 N
Filler 2x4 SP #2 N

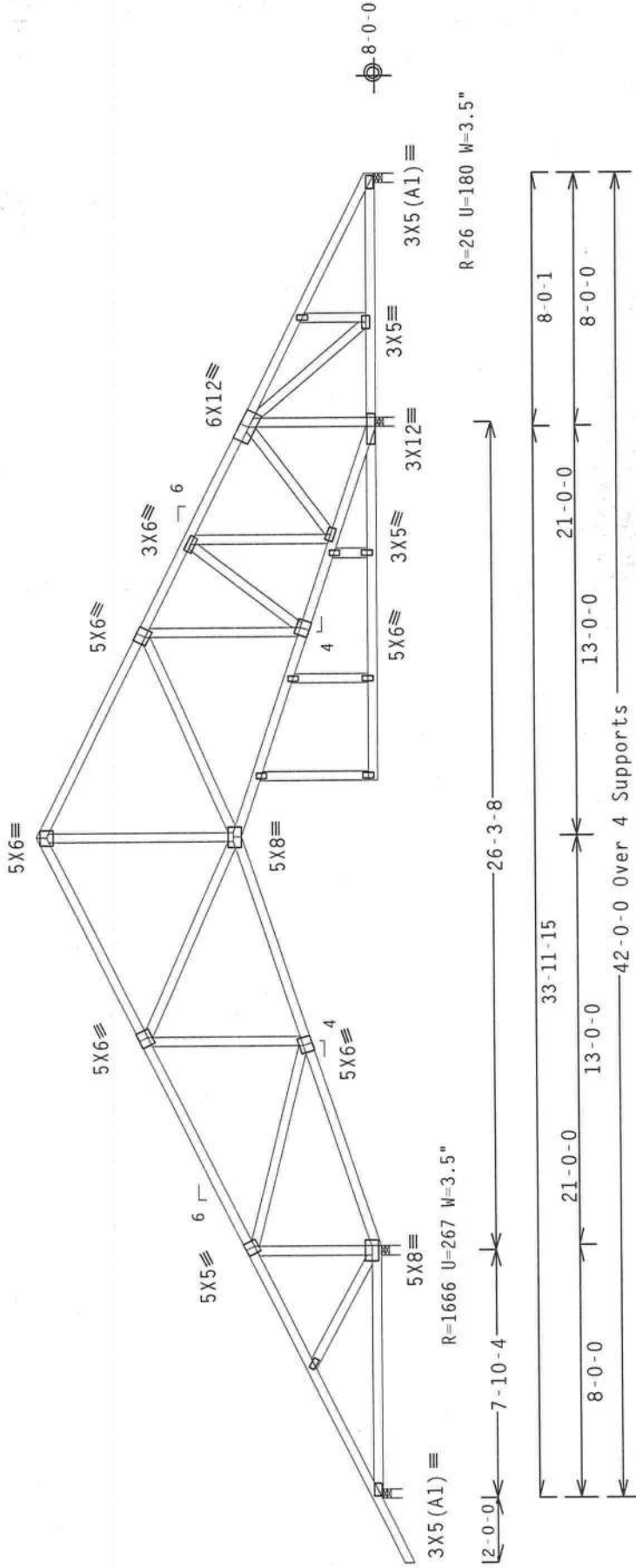
Laterally brace BC at 24" OC in lieu of rigid ceiling. Laterally brace BC above filler at 24" OC.

Plates sized for a minimum of 3.00 sq.in./piece.

SEE DWGS TCFILLER0699 AND BCFILLER0699 FOR FILLER DETAILS. LATERALLY BRACE BOTTOM CHORD ABOVE FILLER AT 24" O.C. INCLUDING A LATERAL BRACE AT CHORD ENDS.

110 mph wind, 15.00 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 6.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Deflection meets L/240 live and L/180 total load.



R=202 U=180 W=3.5"

Note: All Plates Are 2X4 Except As Shown.

R=1718 U=262 W=3.5"

PLT TYP. Wave

Design Crit: TPI-2002(STD)

7.20.0918.20

FL/-/5/-/-/R/-

Scale = .1875" /Ft.

****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCST 1001 (2002) FOR TRUSS SAFETY INFORMATION. PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 MADISON, MI 48134) AND VICA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, MI 48134) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

****IMPORTANT**** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERING PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC, BY AIA/ASA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 2018/16GA (4-H/5/8) ASTM A653 GRADE 40/60 (40-45) GALV. STEEL. PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED OR OTHERWISE NOTED, SHALL BE 1/4" THICK. ANY INSPECTION OF PLATES FOLLOWED BY PROFESSIONAL ENGINEERING RESPONSIBILITY. SOLELY FOR THE TRUSS COMPONENT DESIGNER INDICATES THE RELIABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.



TC LL	20.0 PSF	REF	R215--	8784
TC DL	10.0 PSF	DATE	10/06/05	
BC DL	10.0 PSF	DRW	HCUSR215	05279001
BC LL	0.0 PSF	HC-ENG	RA/WHK	
TOT.LD.	40.0 PSF	SEQN-	28818	
DUR.FAC.	1.25	FROM	CAW	
SPACING	24.0"	JREF-	1SR2215_Z01	

(2312-/JOHNSON RESIDENCE /SPICER CONSTRUCTION -- , ** - REV-A5)

Top chord 2x4 SP #2 N
Bot chord 2x4 SP #2 N
Webs 2x4 SP #2 N
Filler 2x4 SP #2 N

110 mph wind, 15.00 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 6.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

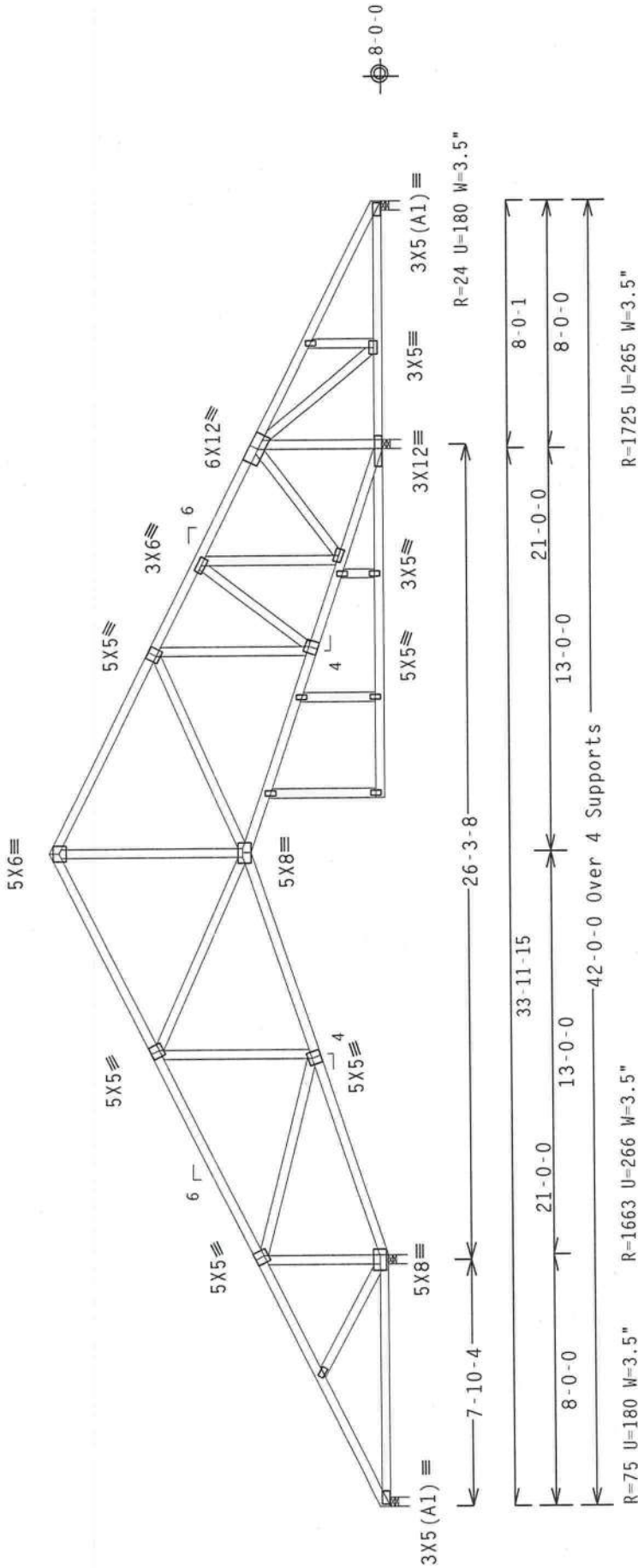
See DWGS TCFILLER1103 and BCFILLER1103 for filler details.

Deflection meets L/240 live and L/180 total load.

Laterally brace BC at 24" OC in lieu of rigid ceiling. Laterally brace BC above filler at 24" OC.

Plates sized for a minimum of 3.00 sq.in./piece.

SEE DWGS TCFILLER0699 AND BCFILLER0699 FOR FILLER DETAILS. LATERALLY BRACE BOTTOM CHORD ABOVE FILLER AT 24" O.C. INCLUDING A LATERAL BRACE AT CHORD ENDS.



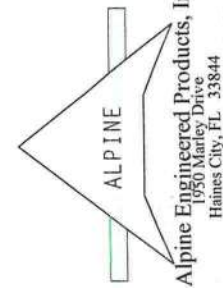
Note: All Plates Are 2x4 Except As Shown.

PLT TYP. Wave

Design Crit: TPI-2002(STD)

Scale = .1875" / Ft.

REF R215-- 8785



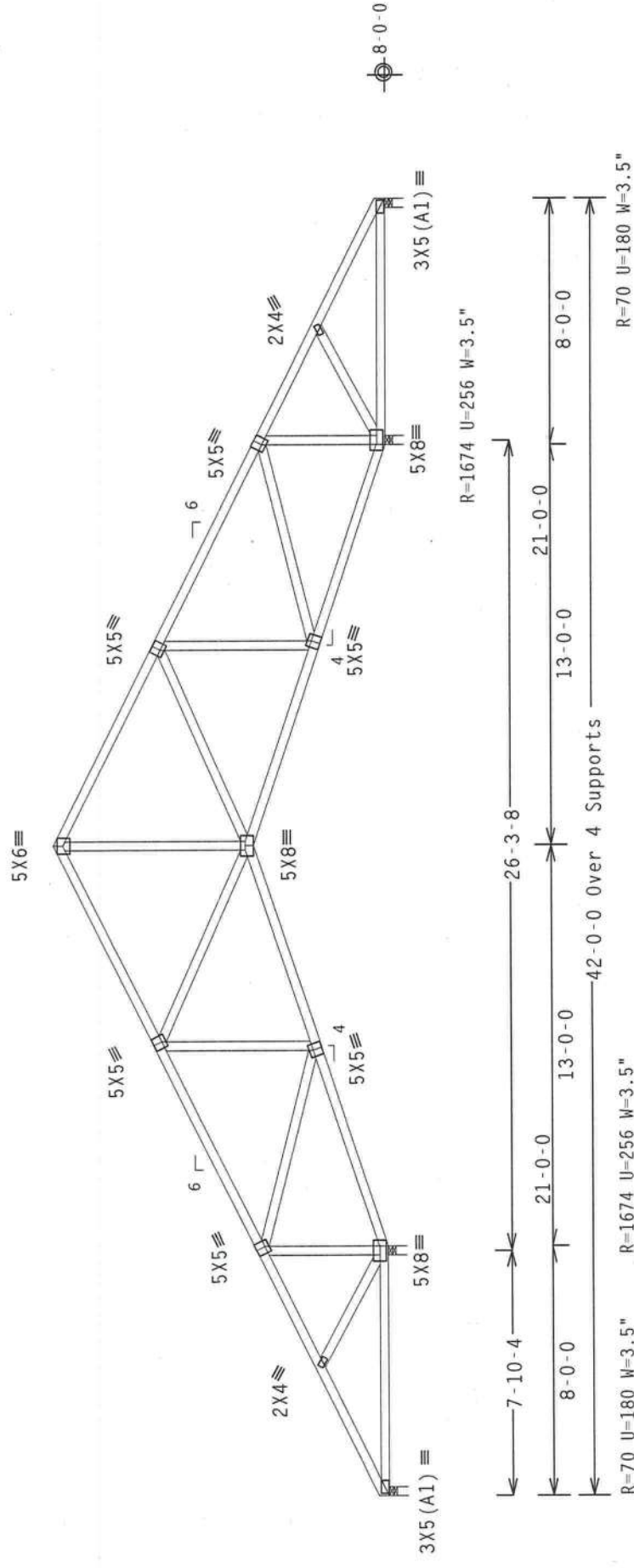
DATE	10/06/05	DRW	HCUSR215 05279002
DATE	10/06/05	HC-ENG	RA/WHK
DATE	10/06/05	SEQN-	28824
DATE	10/06/05	FROM	CAW
DATE	10/06/05	JREF-	1SR2215_Z01

Top	chord	2x4	SP	#2	N
Bot	chord	2x4	SP	#2	N
	Webs	2x4	SP	#2	N

110 mph wind, 15.00 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 6.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Deflection meets L/240 live and L/180 total load.

Plates sized for a minimum of 3.00 sq.in./piece.



PLT TYP. Wave

Design Crit: TPI-2002(STD)

7.

10

Scale = .1875"/Ft.

*WARNING** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING, AND BRACING. REFER TO THE TRUSS MANUFACTURER'S TRUSS INFORMATION, PUBLISHED BY THE TRUSS PLATE INSTITUTE, 583 CHEROKEE DR., SUITE 200, MADISON, VT 05219, AND AISC (A000) TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN., MADISON, VT 05279, FOR TRUSS PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

****IMPORTANT:**** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH THIS OR FABRICATING, HANDLING, SHIPPING, INSTALLING, BRACING OF TRUSSES, DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF THE 2005/2006 AISC DESIGN GUIDE, 3RD EDITION, APPLY TO EACH TYPE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-2. ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEX A3 OF TP11-2002 SEC.3. DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY. SILENT FOR THE ASSUMED BUILDING INDICATES ACCEPTANCE OF THIS DOCUMENT FOR ANY BUILDING FOR THE RESPONSIBILITY OF THE BUILDING DESIGNER. PER. ANSI/TPI-1 SEC. 2.



Oct 06 03

Alpine Engineered Products, Inc.
1950 Marley Drive
Haines City, FL 33844

(2312-/JOHNSON RESIDENCE /SPICER CONSTRUCTION -- , ** - REV-A6)

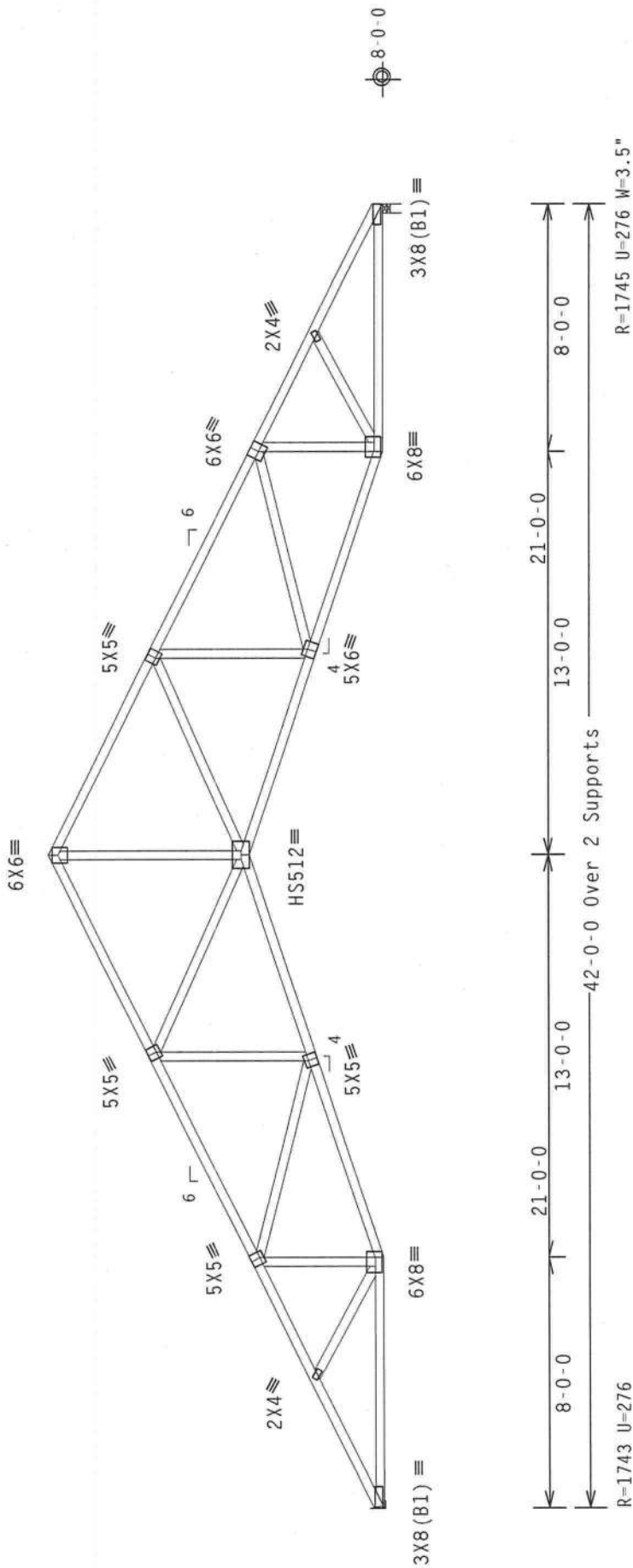
Top chord 2x4 SP #2 N
Bot chord 2x4 SP #2 N
Webs 2x4 SP #2 N

110 mph wind, 15.00 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 6.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Calculated horizontal deflection is 0.19" due to live load and 0.20" due to dead load.

Deflection meets L/240 live and L/180 total load.

Plates sized for a minimum of 3.00 sq.in./piece.



PLT TYP. 20 Gauge HS, Wave

Design Crit: TPI-2002(STD)

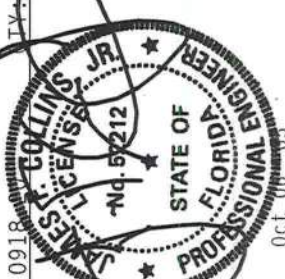
7.20.0918

Scale = .1875"/Ft.

****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSE 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 503 D'ONOFRIO DR., SUITE 200, MADISON, WI 53719) AND MICA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

****IMPORTANT**** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERING PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI: OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF AIA (NATIONAL DESIGN SPEC., BY AIA/PS) AND TPI (TRUSS PLATE INSTITUTE, 503 D'ONOFRIO DR., SUITE 200, MADISON, WI 53719) AND MICA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEX A3 OF TPI-2002 SEC-3. A SEAL OR THIS DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.

ALPINE
Alpine Engineered Products, Inc.
1950 Marley Drive
Haines City, FL 33844
Professional Engineer
Oct 06 2009



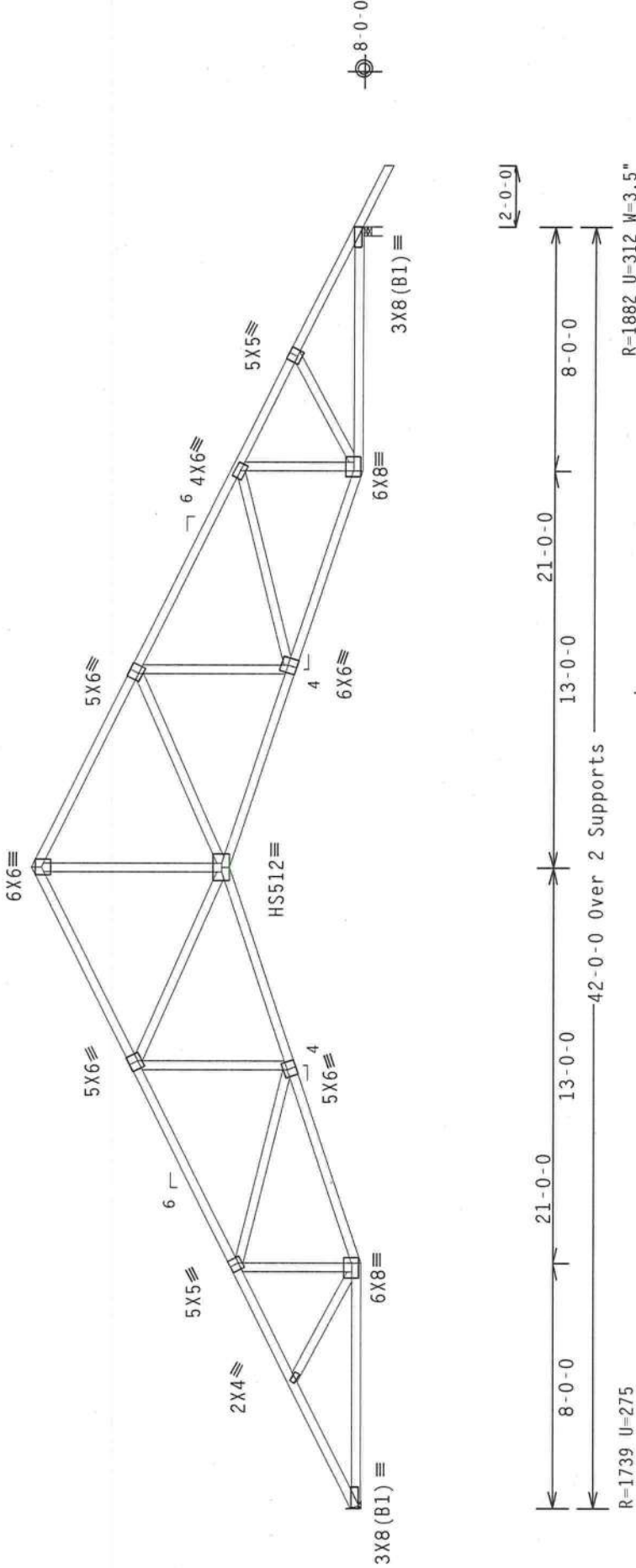
TC LL	20.0 PSF	FL/-/5/-/-/R/-	Scale = .1875"/Ft.
TC DL	10.0 PSF	REF R215-- 8787	
BC DL	10.0 PSF	DATE 10/06/05	
BC LL	0.0 PSF	DRW HCUSR215 05279004	
TOT.LD.	40.0 PSF	HC-ENG RA/WHK	
DUR.FAC.	1.25	SEQN- 28849	
SPACING	24.0"	FROM CAW	
		JREF- 1SR2215_Z01	

Top chord 2x4 SP #2 N
Bot chord 2x4 SP #2 N
Webs 2x4 SP #2 N

110 mph wind, 15.00 ft mean hgt, ASCE 7-98, CLOSED bldg, located
anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0
psf.

Calculated horizontal deflection is 0.19" due to live load and 0.20" due
to dead load.

Deflection meets L/240 live and L/180 total load.
Plates sized for a minimum of 3.00 sq.in./piece.



PLT TYP. 20 Gauge HS.Wave

Design Crit: TPI-2002(STD)

7.20.0918

QTY:6

FL/-/5/-/-/R/-

Scale = 1875"/Ft.

****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BEST 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONDRIO DR., SUITE 200, MADISON, WI 53719) AND MICA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, ROOF CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

****IMPORTANT**** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE TRUSS OR FOR THE CONSTRUCTION OF THE BUILDING. THE TRUSS IS TO BE INSTALLED IN ACCORDANCE WITH THE DESIGN AND THE BUILDING CODES. THE TRUSS IS TO BE INSTALLED IN ACCORDANCE WITH THE DESIGN AND THE BUILDING CODES. THE TRUSS IS TO BE INSTALLED IN ACCORDANCE WITH THE DESIGN AND THE BUILDING CODES.

ALPINE
Engineered Products, Inc.
1950 MacArthur Drive
Haines City, FL 33844
FL Certificate of Authorization # 567



TC LL	20.0 PSF	REF	R215--	8788
TC DL	10.0 PSF	DATE	10/06/05	
BC DL	10.0 PSF	DRW	HCUSR215	05279005
BC LL	0.0 PSF	HC-ENG	RA/WHK	
TOT.LD.	40.0 PSF	SEQN-	28855	
DUR.FAC.	1.25	FROM	CAW	
SPACING	24.0"	JREF-	1SR2215_Z01	

TOP CHORD FILLER DETAIL

+ 2X4 CONTINUOUS LATERAL BRACING AT 24" OC MAXIMUM SPACING. ATTACH TO EACH TOP CHORD WITH (2) 16d NAILS. BRACING MATERIAL TO BE SUPPLIED AND ATTACHED AT BOTH ENDS TO A SUITABLE SUPPORT BY ERECTION CONTRACTOR.

++ 2X4 SO. PINE #2 N OR SPF #1/#2 FILLER TOP CHORD.

+++ 2X4 SO. PINE #3 OR SPF #1/#2 VERTICAL WEBS SPACED 48" OC MAXIMUM.

* 8/12 MAXIMUM PITCH.

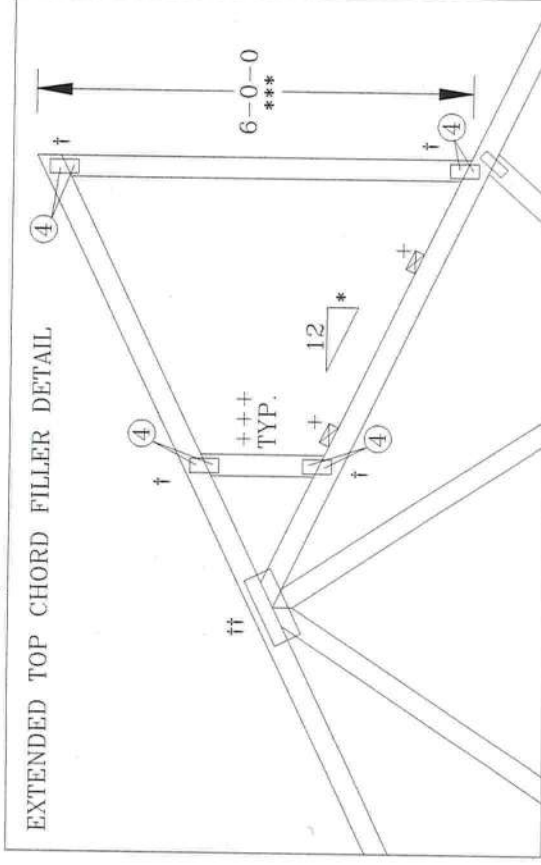
*** 2X8.25 PIGGYBACK SPECIAL PLATE. SEE DRAWING PIGBACKB0699 FOR PIGGYBACK SPECIAL PLATE INFORMATION.

*** 6'0" MAXIMUM HEIGHT.

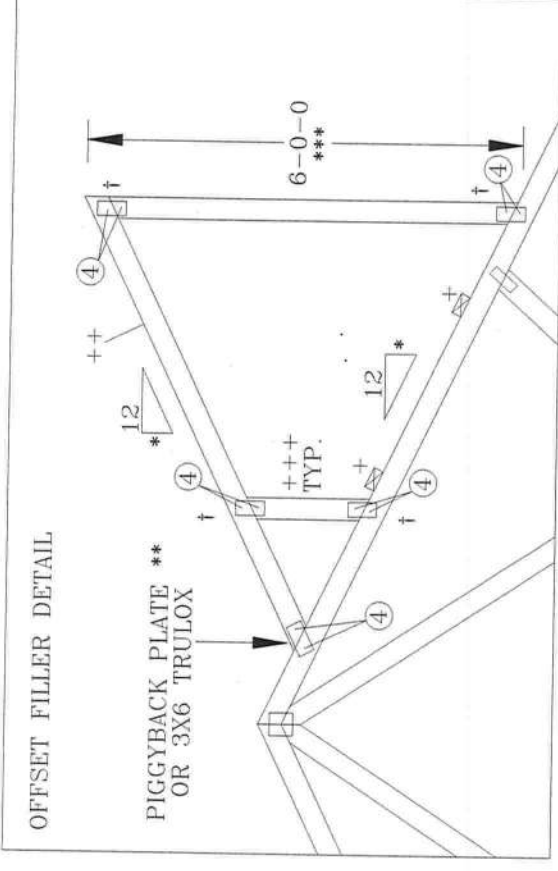
† W2X4 OR 3X6 TRULOX.

†† REFER TO ENGINEER'S SEALED DESIGN REFERENCE THIS DETAIL FOR LUMBER, PLATES, AND OTHER INFORMATION NOT SHOWN.

11 GAUGE (0.120")X1.375" NAILS REQUIRED FOR TRULOX PLATE ATTACHMENT. NAILS SPECIFIED IN CIRCLES MUST BE APPLIED TO EACH FACE OF EACH TRUSS PLY. SEE DWG 160TL FOR NAILING AND TRULOX PLATE REQUIREMENTS.

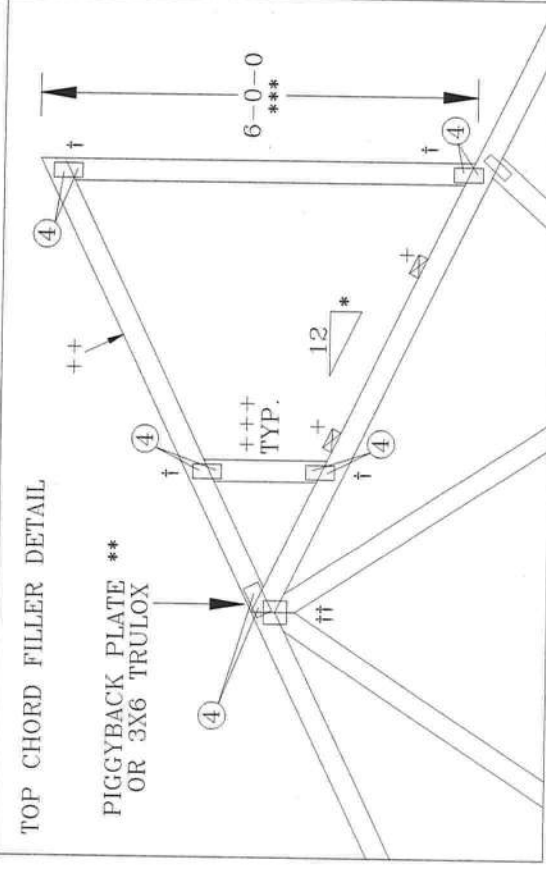


EXTENDED TOP CHORD FILLER DETAIL



OFFSET FILLER DETAIL

PIGGYBACK PLATE
OR 3X6 TRULOX



TOP CHORD FILLER DETAIL

PIGGYBACK PLATE
OR 3X6 TRULOX

••WARNING•• TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCST 1-03 "BUILDING COMPONENT SAFETY INFORMATION," PUBLISHED BY IPI TRUSS PLATE INSTITUTE, 383 DUNDON RD., SUITE 200, MADISON, WI 53719, AND VITCA "WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719" FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID JOINT.

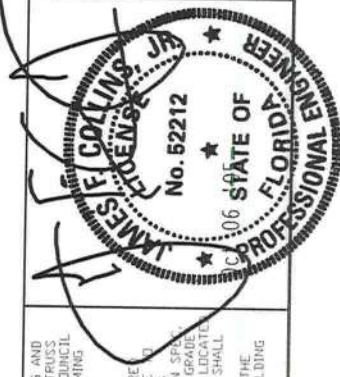
•••IMPORTANT••• FURNISH COPY OF THIS DESIGN INSTALLATION CONTRACTOR, ALPINE ENGINEERING PRODUCTS, INC., SHALL NOT BE RESPONSIBLE FOR ANY INSTALLATION FROM WHICH A DESIGN FAILURE OF THE TRUSS OR TRUSS COMPONENTS RESULTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE BUILDING THE TRUSSES IN CONFORMANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING OR BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF THE NATIONAL DESIGN SPECIFICATION FOR STEEL AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 2018/16GA. V/A/AS/3 ASTM A653 GRADE 50/50.5X1/4X1/8X1/4. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED BY AREA, AND TENSION, POSITION PER DRAWINGS 160A-2. ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANSII, ENGINEERING RESPONSIBILITY SHALL BE FOR THE TRUSS COMPONENT DESIGN. THE PROFESIONAL ENGINEERING RESPONSIBILITY SHALL BE FOR THE TRUSS COMPONENT DESIGN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANSII/TPI 1 SEC.



ALPINE ENGINEERED PRODUCTS, INC.
POMPANO BEACH, FLORIDA

THIS DRAWING REPLACES DRAWING 884.080

TC LL	MAX 30 PSF	REF	TC-FILLER
TC DL	MAX 15 PSF	DATE	11/26/03
BC DL	MAX 10 PSF	DRWG	TCFILLER1103
BC LL	0 PSF	-ENG	SJP/KAR
TOT. LD. MAX 55 PSF			
DUR. FAC. 1.15 OR 1.33			
SPACING 24.0"			



FILLER DETAIL

SIZES (1X3 WAVE) MAY BE USED IF BEARING IS OMITTED. WEDGE OR VERTICAL MEMBER MUST COINCIDE WITH BEARING LOCATION.

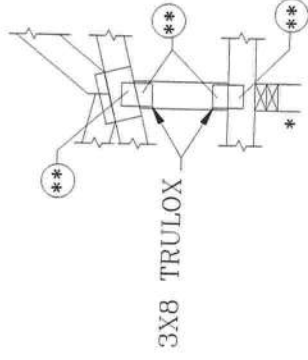
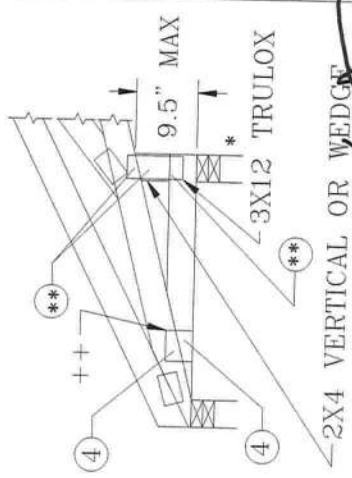
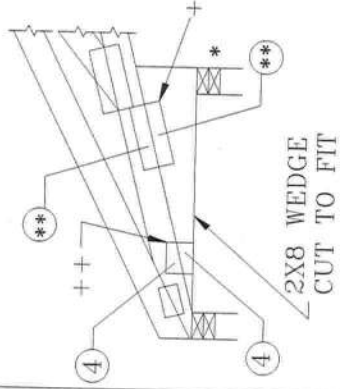
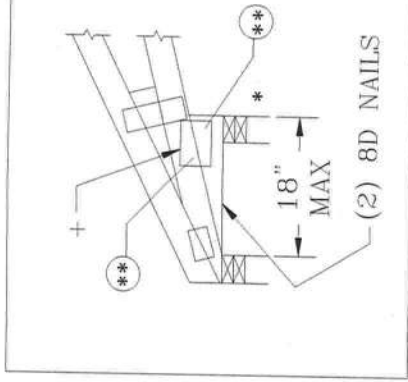
- ++ 2X4 WAVE OR 3X6 TRULOX

ATTACHMENT. NAILS SPECIFIED IN CIRCLES MUST BE APPLIED TO EACH FACE OF THE TRUSS. SEE DWG 160TL FOR NAILING AND TRULOX PLATE REQUIREMENTS.

REFER TO ENGINEER'S SEALED DESIGN REFERENCE THIS
DETAIL FOR LUMBER, PLATES, AND OTHER INFORMATION NOT
SHOWN

ALL TRULOX PLATES SHOWN ARE MINIMUMS. LARGER PLATES MAY BE REQUIRED TO ACCOMODATE REQUIRED NAILS (**)

FILLER BOTTOM CHORD OR WEDGE SPECIES	MAXIMUM REACTION		MINIMUM BEARING AREA	** REQUIRED NAILS PER FACE WITH TRULOX PLATES					
	DOWNWARD	UPLIFT		1.00 D.O.L.	1.15 D.O.L.	1.25 D.O.L.	1.33 D.O.L.	1.60 D.O.L.	
DOUGLAS FIR-LARCH	3281#	1656#	1.5" X 3.5"	12	11	10	9	8	
HEM-FIR	2126#	1095#	1.5" X 3.5"	9	8	7	7	6	
SPRUCE-PINE-FIR	2231#	1192#	1.5" X 3.5"	10	9	8	8	6	
SOUTHERN PINE DENSE	3465#	1791#	1.5" X 3.5"	12	11	10	9	8	
SOUTHERN PINE	2966#	1492#	1.5" X 3.5"	10	9	8	8	7	
SOUTHERN PINE NON-DENSE	2520#	1343#	1.5" X 3.5"	9	8	7	7	6	



ALPINE ENGINEERED PRODUCTS, INC.
POMPANO BEACH, FLORIDA

WARNING** TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BC01 1-03 (BUILDING CODE, SAFETY INFORMATION) PUBLISHED BY THE TRUSS ASSOCIATION, 383 CONVENT DR., SUITE 200, MADISON, WI 53719, AND VICA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

••PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR INFORMATION FROM THIS DESIGN. ALPINE ENGINEERED BUILDING TRUSSES IN CONFORMANCE WITH TPI, OR FABRICATING, SHIPPING, INSTALLING & BRACING THE TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF INTERNATIONAL DESIGN SPEC. BY AISC AND TPI. ALPINE CONNECTER PLATES ARE MADE OF 3018/1656 ALUMINUM. UNLESS OTHERWISE SPECIFIED, THIS GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, WITHOUT OTHERWISE BE PROVED AS TO THE PER DRAWINGS 100A-2, 3, 4. ANY INSPECTION OF PLATES FOLLOWED BY CD PROFESSIONAL ENGINEERING RESPONSIBILITY. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANSI/TPI 1 SEC. 2.

~~THIS DRAWING REPLACES DRAWINGS A115 A115/R & 884132~~

PSF	REF	BC FILLER
—	DATE	11/26/03
PSF	DRWG	BCFILLER1103
10.0 PSF	—	ENG DLJ/KAR
PSF	TOT.	LD.
—	DUR	FAC. 1.0/1.15/1.25/1.33
SPACING	24.0"	

DUR. FAC. 1.0/1.15/1.25/1.33



#23143

GTC Design Group, LLC
P.O. Box 187
Live Oak, FL 32064
(Phone) 386.362.3678
(Fax) 386.362.6133
ggill@gtcdesigngroup.com

June 7, 2005

Building Department
Columbia County
Lake City, FL

**SUBJECT: Johnson's Residence
Spicer Construction**

Randy,

In referenced to pockets of clay found at the job site, I recommended to the contractor to add two addition #5 rebar in the stemwall footing at all areas where clay is present.

Also, the general notes on the drawings should state that the maximum soil bearing pressure shall not exceed 1000 psf.

If you have any questions or require additional information, please contact me at your convenience.

Thank you,


Gary Gill, PE

6/7/05

NO. 57842

STATE OF

FLORIDA

Professional Engineer

6/7/05

NOTICE OF INSPECTION AND/OR TREATMENT

23143

Date of Inspection

2-01-06

Date of Treatment

Cyfluthrin 330gal @ .25%

Pesticide Used

Sub-Termite

Wood-Destroying Organisms Treated

It is a violation of Florida State Law (Chap. 482-226)
for anyone other than the property owner
to remove this notice.

- Lawn Spraying
- Household Pest Control
- Tree & Shrub Spraying
- Termite Control



Pest Control, Inc.
13618 NW 270th Ave.
Alachua, FL 32615

Call: **386-418-4387**
for a free inspection & estimate

Notice of Preventative Treatments for Termites

(as required by Florida Building Code (FBC) 104.2.6)

Florida Discount Pest Control Inc.
"District Office"

12562 Spring Warrior Rd. Perry, FL 32348
(800) 844-8039

23143

Address of Treatment or Lot Block of Treatment

4720 Elm Church Rd SW C19238 Fort White FL

Date

7/13

Time

2:00

Applicator

Walter

Product Used

Termidor

Chemical used (active ingredient)

Fipronil

Number of gallons applied

145

Percent Concentration

24

Area treated (square feet)

2746

Linear feet treated

Stage of treatment (Horizontal, Vertical, Adjoining Slab, retreat of disturbed area)

Horizontal

As per 104.2.6 - If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial and date this line _____.