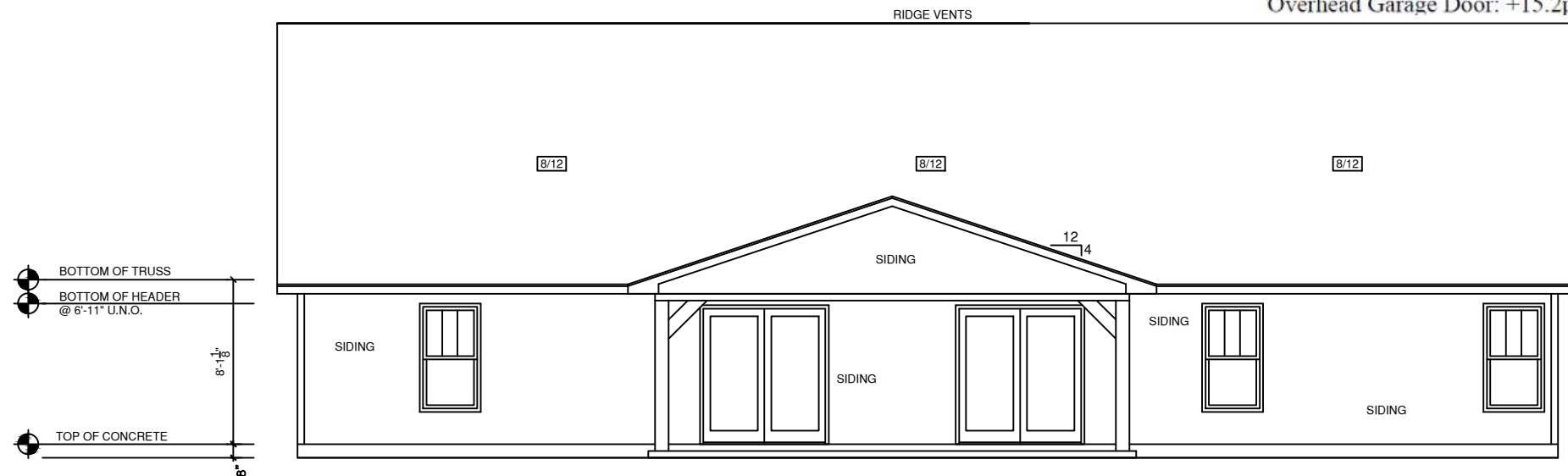


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

Wind Load Analysis and Certification
Slone Residence (Pamlico "Cabin") by Red Door Homes
2020 Florida Building Code section 1609 according to ASCE 7-16
Ultimate Design Wind Speed (Vult) = 130 MPH (3 second gust)
Nominal Design Wind Speed (Vasd)) = 101 MPH
Risk Category = II
Exposure Category = B, Enclosed Building
Applicable Internal Pressure Coefficient = .18
Design Wind Pressure for use of External Components (Components and Cladding)= +32.1psf, -43.3psf
Overhead Garage Door: +15.2psf, -16.9psf



REAR ELEVATION
SCALE: 1/8" = 1'-0"

CEMENT LAP SIDING

METAL ROOF WITH PURLINS THROUGHOUT

GENERAL NOTES

- 1.) MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE.
- 4.) ALL ANGLES TO BE DRAWN AT 45° OR 90° UNLESS NOTED OTHERWISE.
- 5.) WINDOW HEADER HEIGHT TO BE SET @ 6'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED & VERIFIED BY FRAMER, BUILDER, TRUSS SHOP OR BY A LICENSED ENGINEER.
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- 11.) LOCAL, STATE AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS.
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NORTH FLORIDA



SQUARE FOOTAGE CHART

FIRST FLOOR AREA TO FRAMING:	2085
FRONT PORCH AREA:	209
REAR VERANDA AREA:	300
GARAGE AREA TO FRAMING:	432
TOTAL UNDER BEAM AREA:	3026

SUBDIVISION NAME:

XXXXXXXXXX

CITY:

XXXXXXXXXX

PHASE:

XXXXXXXXXX

BLOCK:

XXXXXXXXXX

LOT:

XXXXXXXXXX

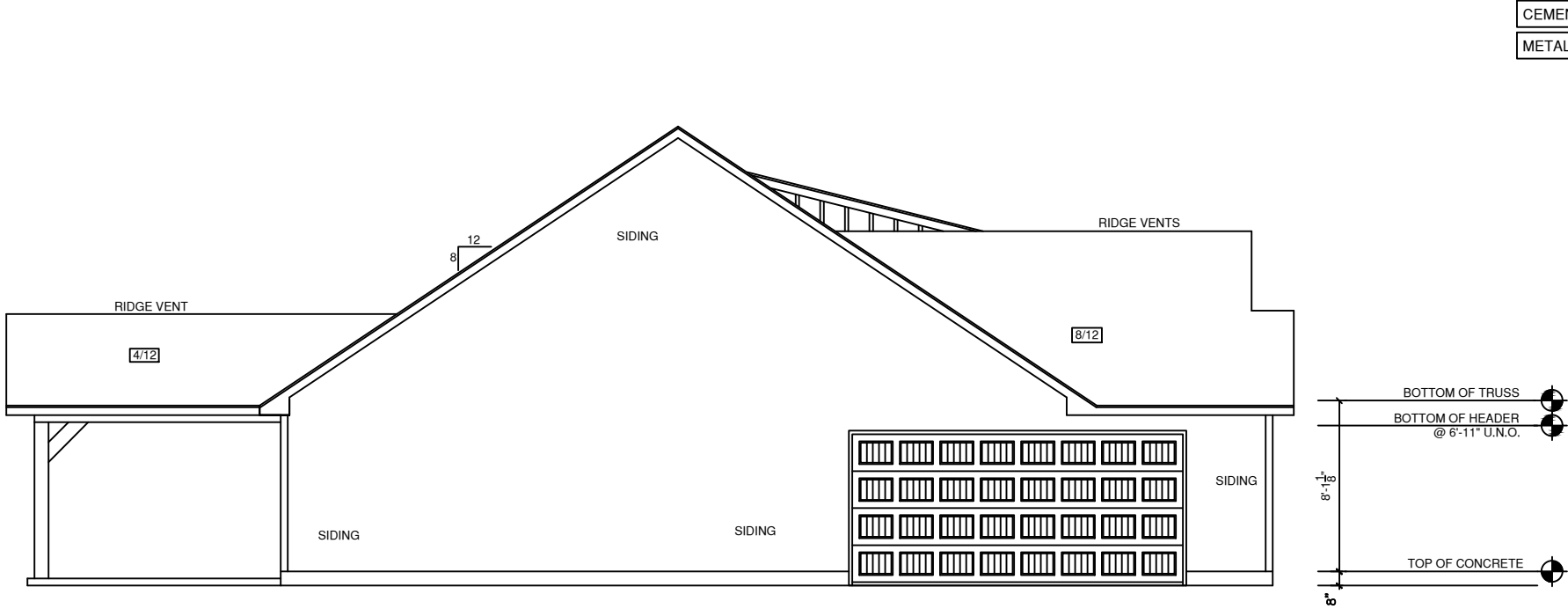
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PERM 2: 6.14.21 GC

Front & Rear Elevation

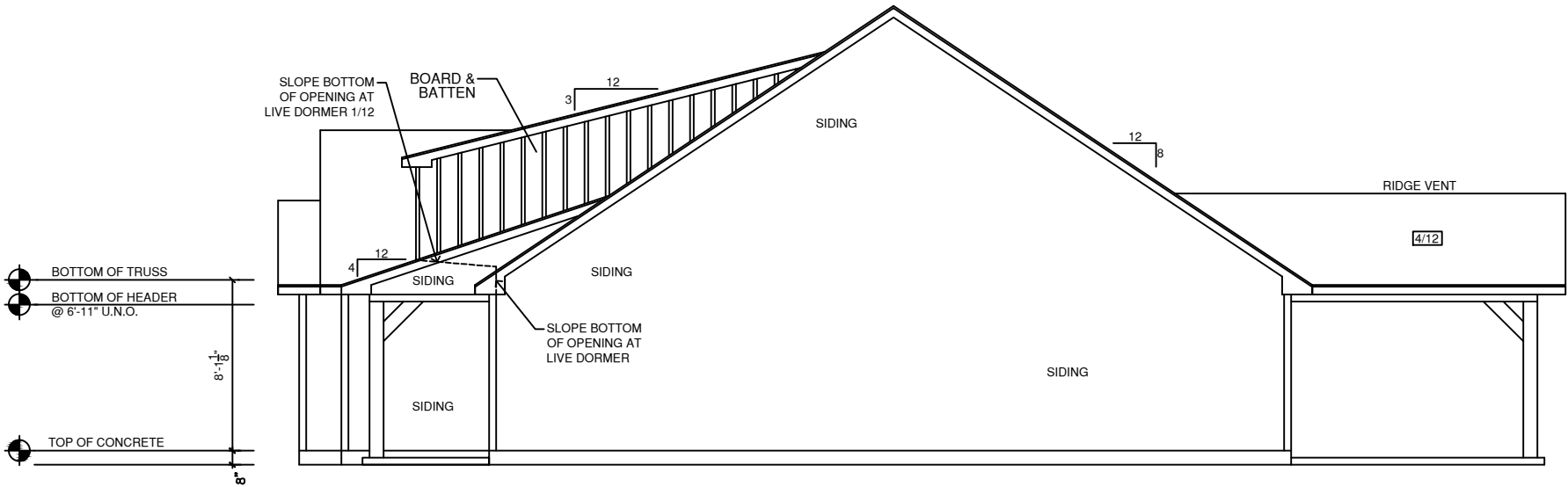
PERMANENT 2
JOB# 12-153
SLONE

Pamlico
"Cabin"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

PERMANENT 2

JOB# 12-153

SLONE

GENERAL NOTES

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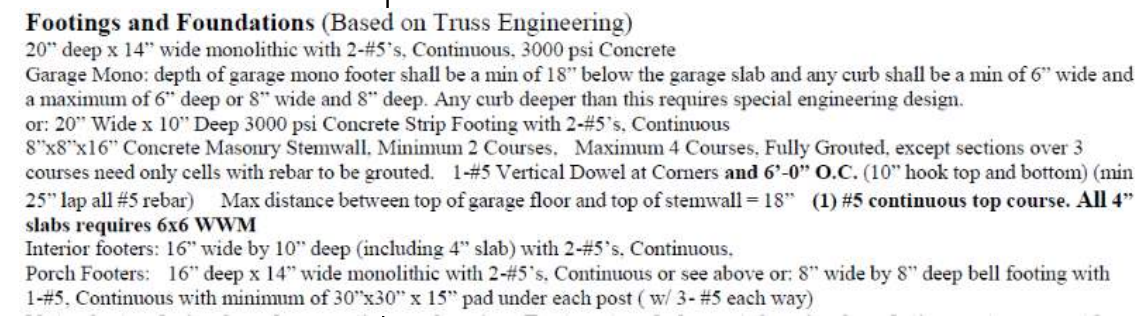
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Right & Left Elevation

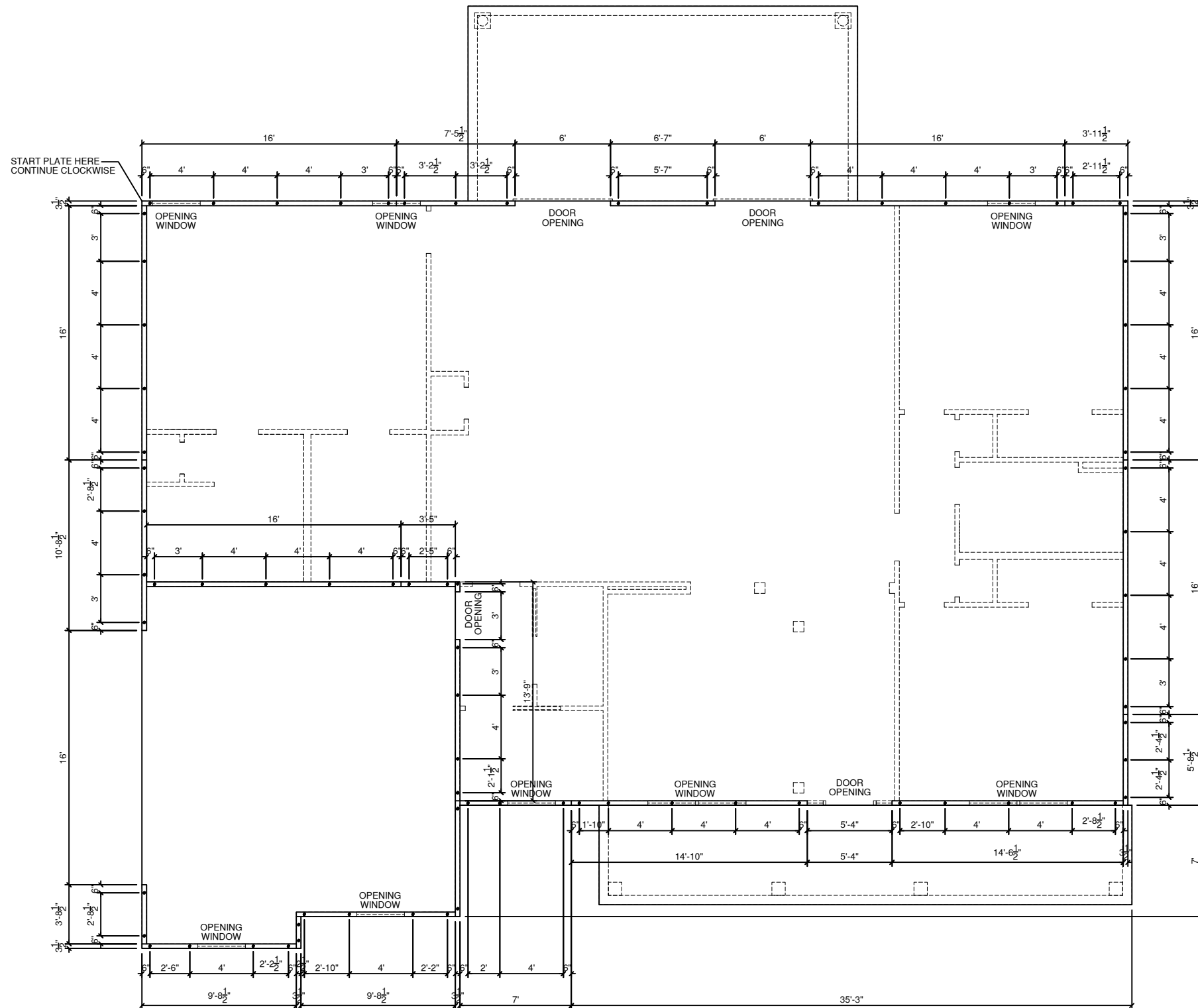
Pamlico

"Cabin"



PERMANENT 2
JOB# 12-153
SLONE

Pamlico
"Cabin"



J-BOLT LOCATION PLAN
SCALE 1/8" = 1'-0"

PERMANENT 2
JOB# 12-153
SLONE

GENERAL NOTES

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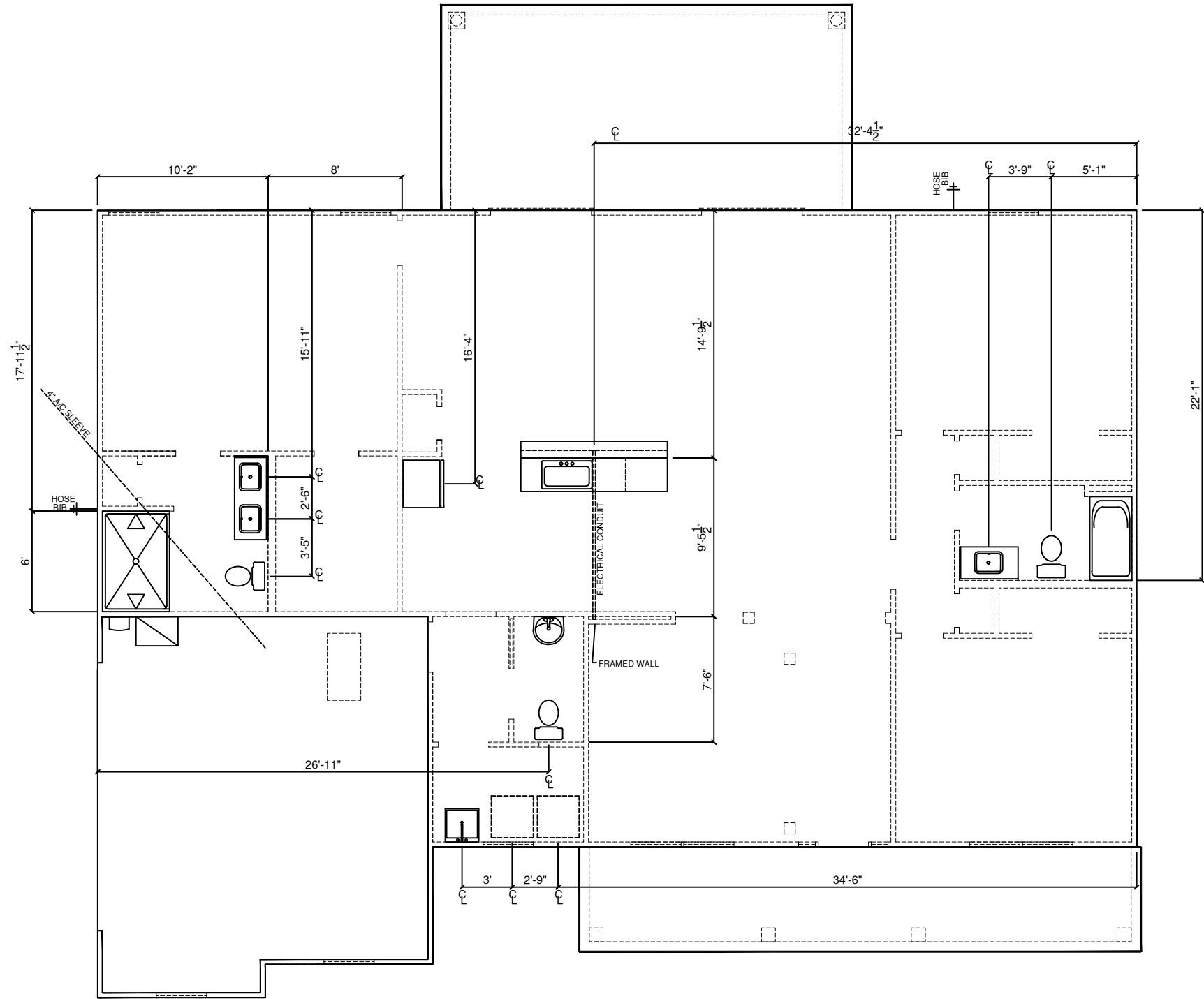
PRELIMINARY: 5.20.21 GC

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PERM 2: 6.14.21 GC

"J" - BOLT PLAN

Pamlico
"Cabin"



PLUMBING PLAN
SCALE 1/8" = 1'-0"

PERMANENT 2
JOB# 12-153
SLONE

GENERAL NOTES

1.) MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.

2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.

3.) INTERIOR & EXTERIOR WALLS TO BE 3/4" THICK UNLESS NOTED OTHERWISE.

4.) ALL ANGLES TO BE DRAWN AT 45° OR 90° UNLESS NOTED OTHERWISE.

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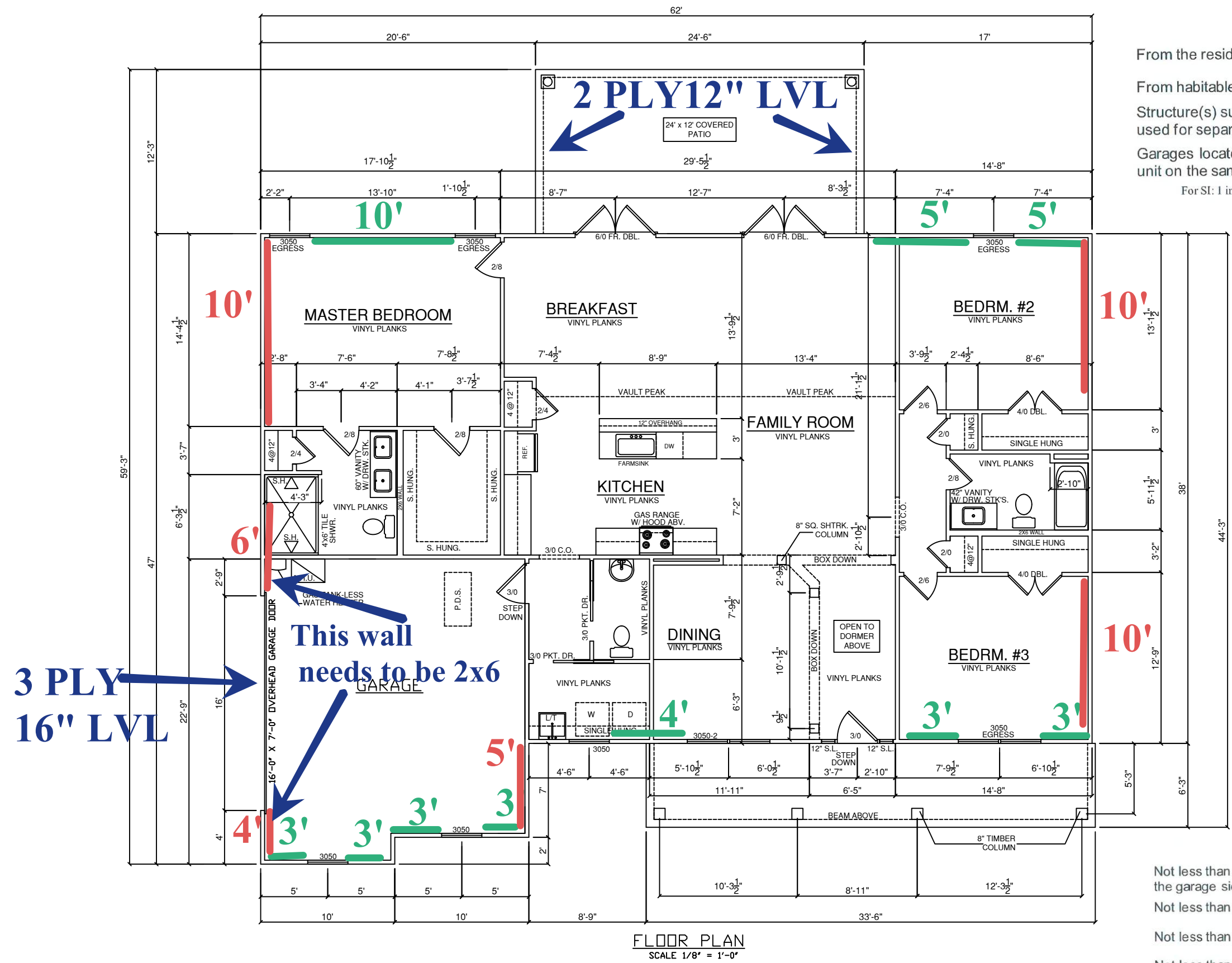
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Plumbing Plan

Pamlico
"Cabin"



FLOOR PLAN
SCALE 1/8" = 1'-0"

SEPARATION

From the residence and attics
From habitable rooms above the garage
Structure(s) supporting floor/ceiling assemblies
used for separation required by this section
Garages located less than 3 feet from a dwelling
unit on the same lot
For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

Trans.S.W.=45
Long.S.W.=42'

MATERIAL

Not less than 1/2-inch gypsum board or equivalent applied to
the garage side
Not less than 5/8-inch Type X gypsum board or equivalent
Not less than 1/2-inch gypsum board or equivalent
Not less than 1/2-inch gypsum board or equivalent applied to
the interior side of exterior walls that are within this area

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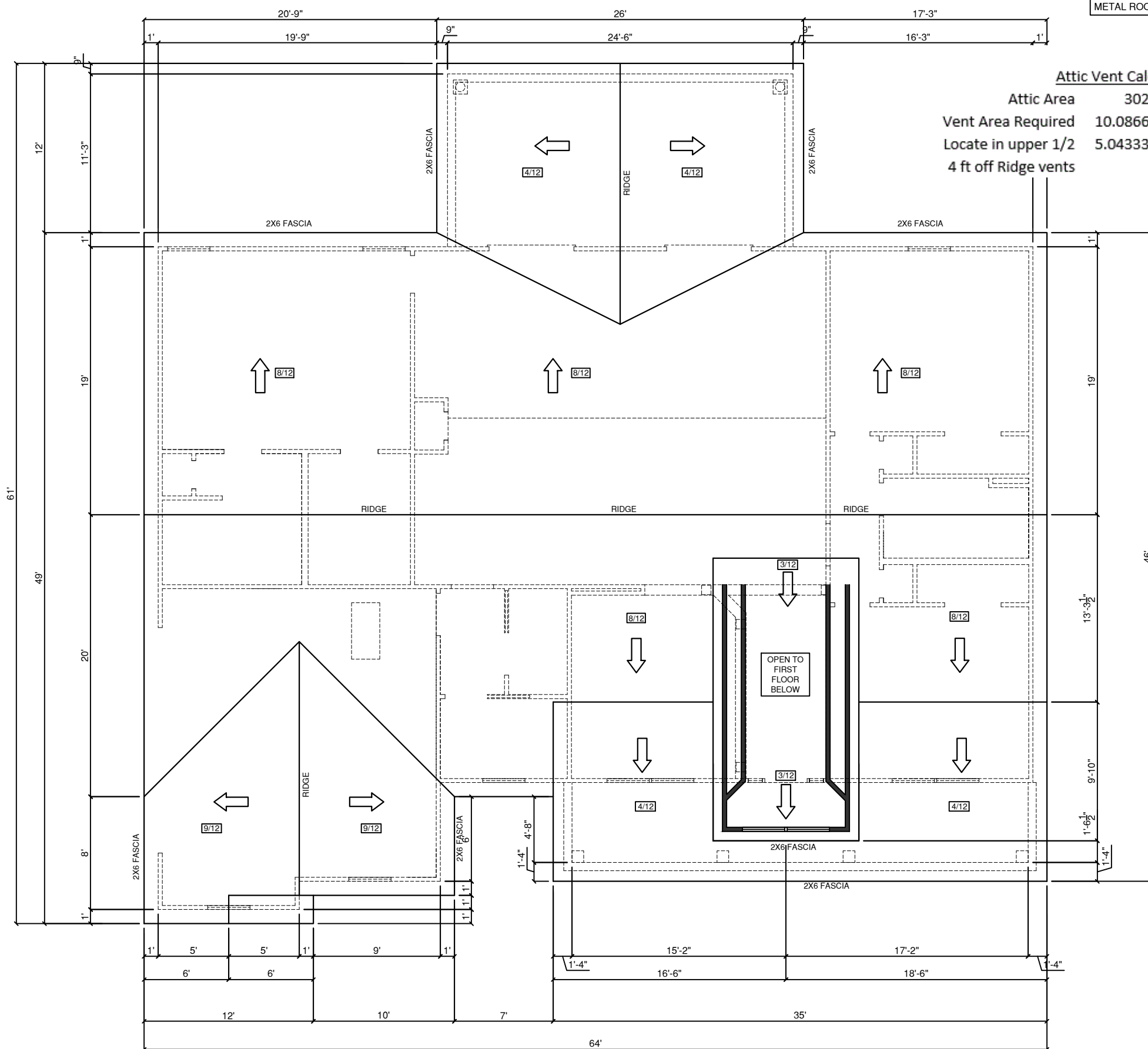
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Floor Plan

Pamlico
"Cabin"

PERMANENT 2
JOB# 12-153
SLONE



METAL ROOF WITH PURLINS THROUGHOUT

Attic Vent Calculation				
Attic Area	3026	÷	300	= 10.08667
Vent Area Required	10.08667	÷	2	= 5.043333
Locate in upper 1/2	5.043333	÷	0.72	= 7.00463
4 ft off Ridge vents	7			

ROOF PLAN
SCALE 1/8" = 1'-0"

PERMANENT 2
JOB# 12-153
SLONE

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Roof Plan
Pamlico "Cabin"

ELECTRICAL SYMBOLS

RECEPTACLE, PHONE

RECEPTACLE, CABLE

DOOR BELL CHIMES

SMOKE / CARBON MONOXIDE DETECTOR

DUPLEX OUTLET

220V 220 VOLT RECEOTICAL

GFI GROUND FAULT INTER. OUTLET

WP WATER PROOF OUTLET

SINGLE POLE SWITCH

THREE WAY SWITCH

LIGHT, SURFACE MOUNTED

LIGHT, WALL MOUNTED

LIGHT, FLUORESCENT BOX

LIGHT, TRACK LIGHTING

FAN, EXHAUST

FAN, CEILING FAN W/LIGHT

ELECTRICAL NOTES

1. ALL ELECTRICAL TO MEET N.E.C.

2. PROVIDE 200 AMP SINGLE PHASE SERVICE.

3. PROVIDE ALL COPPER WIRING.

4. CONTRACTOR TO CONNECT ALL FIXTURES AND APPLIANCES.

5. CONTRACTOR TO HAVE VALID LICENSE TO DO ELECTRICAL WORK

6. PROVIDE #5 REBAR ELECTRICAL GROUND TO FOUNDATION STEEL

7. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQ. BY NATIONAL FIRE PROTECTION ASSOC. (NFFA) AND MEETING THE REQUIRMENTS OF ALL GOVERNING CODES.

8. PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQ. BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIRMENTS OF ALL GOVERNING CODES.

9. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTICALS AT THE FOLLOWING HEIGHTS A. F. F.:

SWITCHES 42"

OUTLETS 14"

TELEPHONE 14"

TELEVISION 14"

ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

GENERATOR DISCONNECT TO BE LOCATED PRIOR TO CONSTRUCTION

2 GANG / 4 PLUG OUTLETS AT BATHROOMS

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Electrical Plan

PERMANENT 2

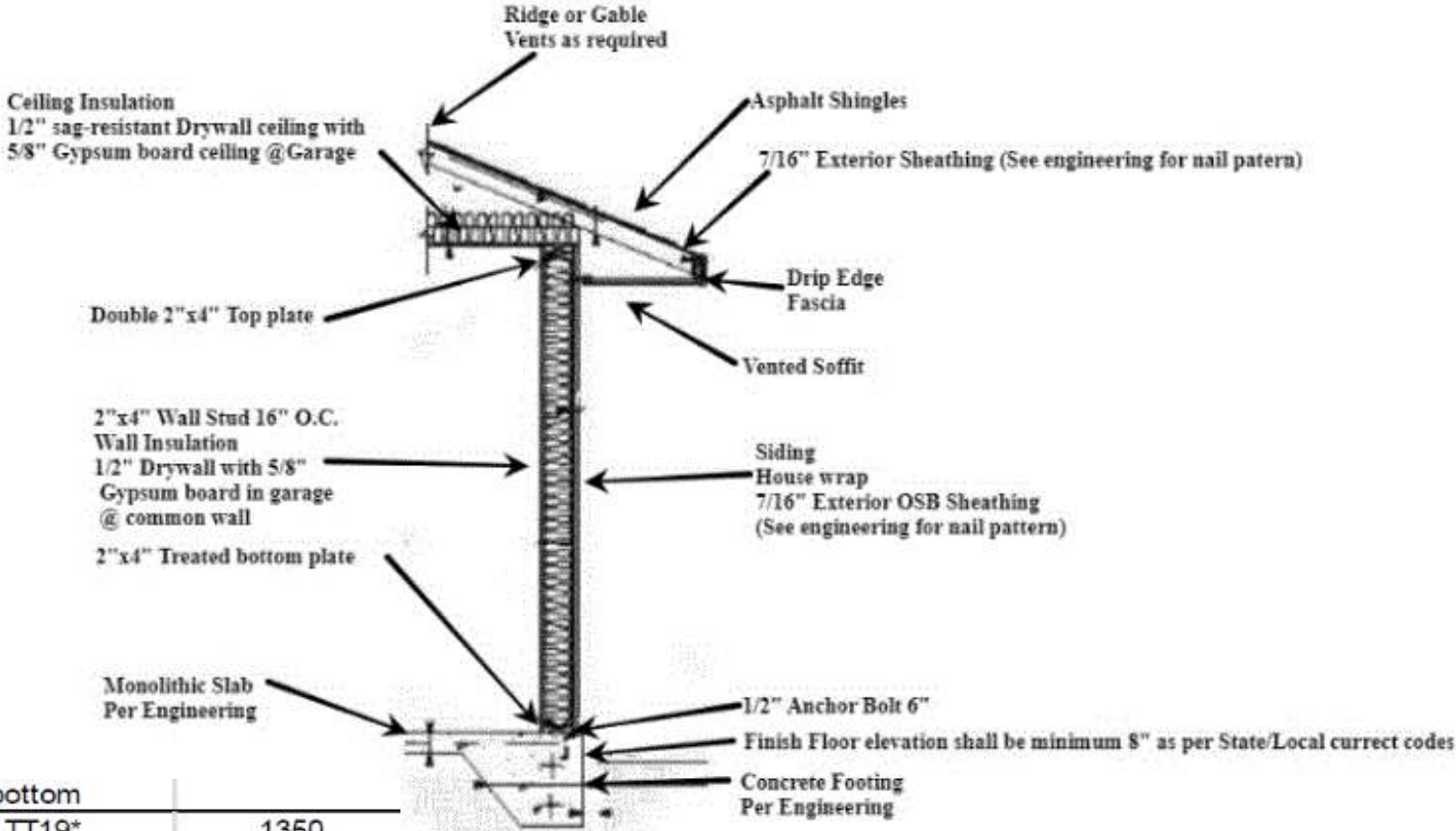
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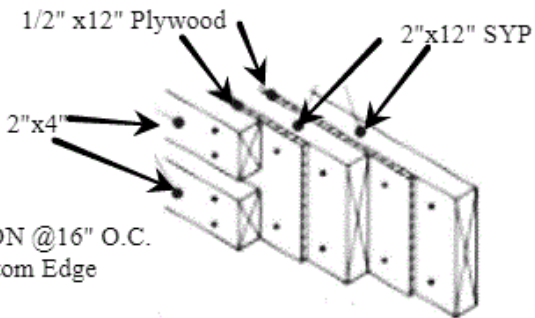
Pamlico

"Cabin"

Header Size	Maximum Span
4x4	4'
4x6	6'
4x8	8'
4x10	10'
4x12	12'



Typical Header Detail



16d COMMON @16" O.C.
@Top & Bottom Edge

BEAM SEATS		top	LSTA18*	1235	bottom	LTT19*	1350
POSTS			2-LSTA18	2400		ABU44 or ABU66	2200
			* or per truss engineering			Must Use proper bolt anchors	
STUDS							
Wall Sheathing Nailing Adequate Exterior Walls bottom (8d nails at 3" O.C.), must cover sill plate							
Wall Sheathing Nailing Adequate Exterior Walls Top (8d nails at 3" O.C.), as long as sheathing covers top plate, otherwise use SP2 @32" O.C. in addition to sheathing nailing,							
Use SP2 top and SP1 bottom each stud an ancor bolts @ 32" O.C. for all interior load bearing walls that have uplift. Interior anchor bolts to be 1/2" x 8" A307 or 1/2" x 6" wedge anchor with 2" washers							

ALLOWABLE SPANS FOR DF #2 HEADERS FOR EXTERIOR BEARING WALLS							ALLOWABLE SPANS FOR DF #2 HEADERS FOR EXTERIOR BEARING WALLS						
Max. Roof/Ceiling Dead Load: 25 psf Max Live Load 20 psf (T-R502.5(1))							Max. Roof/Ceiling Dead Load: 25 psf Max Live Load 40 psf (Roof/Limited Storage Attic) (T-R502.5(1))						
SIZE	20-ft Building Width	NJ	28-ft Building Width	NJ	36-ft Building Width	NJ	20-ft Building Width	NJ	28-ft Building Width	NJ	36-ft Building Width	NJ	
2-2x6	5'- 5"	1	4'- 8"	1	4'- 2"	1	4 - 6"	1	4'- 0"	1	3'- 7"	2	
2-2x8	6'- 10"	1	5'- 11"	2	5'- 4"	2	5'- 9"	2	5'- 0"	2	4'- 6"	2	
2-2x10	8'- 5"	2	7'- 3"	2	6'- 6"	2	7'- 0"	2	6'- 2"	2	5'- 6"	2	
2-2x12	9'- 9"	2	8'- 5"	2	7'- 6"	2	8'- 1"	2	7'- 1"	2	6'- 5"	2	
3-2x8	8'- 4"	1	7'- 5"	1	6'- 8"	1	7'- 2"	1	6'- 3"	2	5'- 8"	2	
3-2x10	10'- 6"	1	9'- 1"	2	8'-2"	2	8'- 9"	2	7'- 8"	2	6'-11"	2	
3-2x12	12'- 2"	2	10'-7"	2	9'- 5"	2	10'- 2"	2	8'- 11"	2	8'- 0"	2	

Shear Wall Segments
7/16" OSB or 1/2" CDX plywood, 48" Wide Sheets - Sheathing Continuous from Top Plate down to Pressure Treated Sole Plate Bearing on Foundation.
8d common (.131" dia) nails at 3" O.C. on Edges and Ends, 8" O.C. in Interior
Transverse Shearwall = 40', Longitudinal Shearwall = 30'
2x4 SPF (No. 1&2) Studs at 16" O.C., up to 12' wall height
or: 2x6 SPF (No. 1&2) Studs at 16" O.C., up to 17' wall height
See attached detail for stud and jack requirements for wall openings
Nail Together Double Top Plate 6" O.C. w/12-d Common Nails (SYP top plates)
Other Wall Segments - Same as Shear Walls

- a. Building width is perpendicular to ridge measured to exterior walls.
- b. NJ – Number of Jack Studs required to support each end of header.

PERMANENT 2
JOB# 12-153
SLONE

GENERAL NOTES

1.) MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.

2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.

3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE.

4.) ALL ANGLES TO BE DRAWN AT 45° OR 90° UNLESS NOTED OTHERWISE.

5.) WINDOW HEADER HEIGHT TO BE SET @ 8'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED & VERIFIED BY FRAMER, BUILDER, TRUSS SHOP OR BY A LICENSED ENGINEER.

6.) SIZE, LOCATION AND MATERIALS OF BEAMS TRUSSES, GIRDERS AND HEADERS TO BE DETERMINED & VERIFIED BY BUILDER, FRAMER TRUSS SHOP OR LICENSED ENGINEER.

7.) FOOTER SIZE, MATERIAL & LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR OR LICENSED ENGINEER.

8.) ROOF VENTELLATION TO BE DETERMINED & VERIFIED BUILDER,ROOFING COTRACTOR OR LICENSED ENGINEER.

9.) ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED & VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR AND OR LICENSED ENGINEER.

10.) BUILDER RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE & NATIONAL CODES.

11.) LOCAL, STATE AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS.

12.) BUILDER TO VERIFY ALL DIMENSIONS.

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LICENSED TO RED DOOR HOMES OF:
NORTH FLORIDA

SQUARE FOOTAGE CHART

FIRST FLOOR AREA TO FRAMING:	2085
FRONT PORCH AREA:	209
REAR VERANDA AREA:	300
GARAGE AREA TO FRAMING:	432
TOTAL UNDER BEAM AREA:	3026

SUBDIVISION NAME:
XXXXXXXXXX

CITY:
XXXXXXXXXX

PHASE:
XXXXXXXXXX

BLOCK:
XXXXXXXXXX

LOT:
XXXXXXXXXX

DRAFTING DATES:

MASTER DATE: 07/31/20

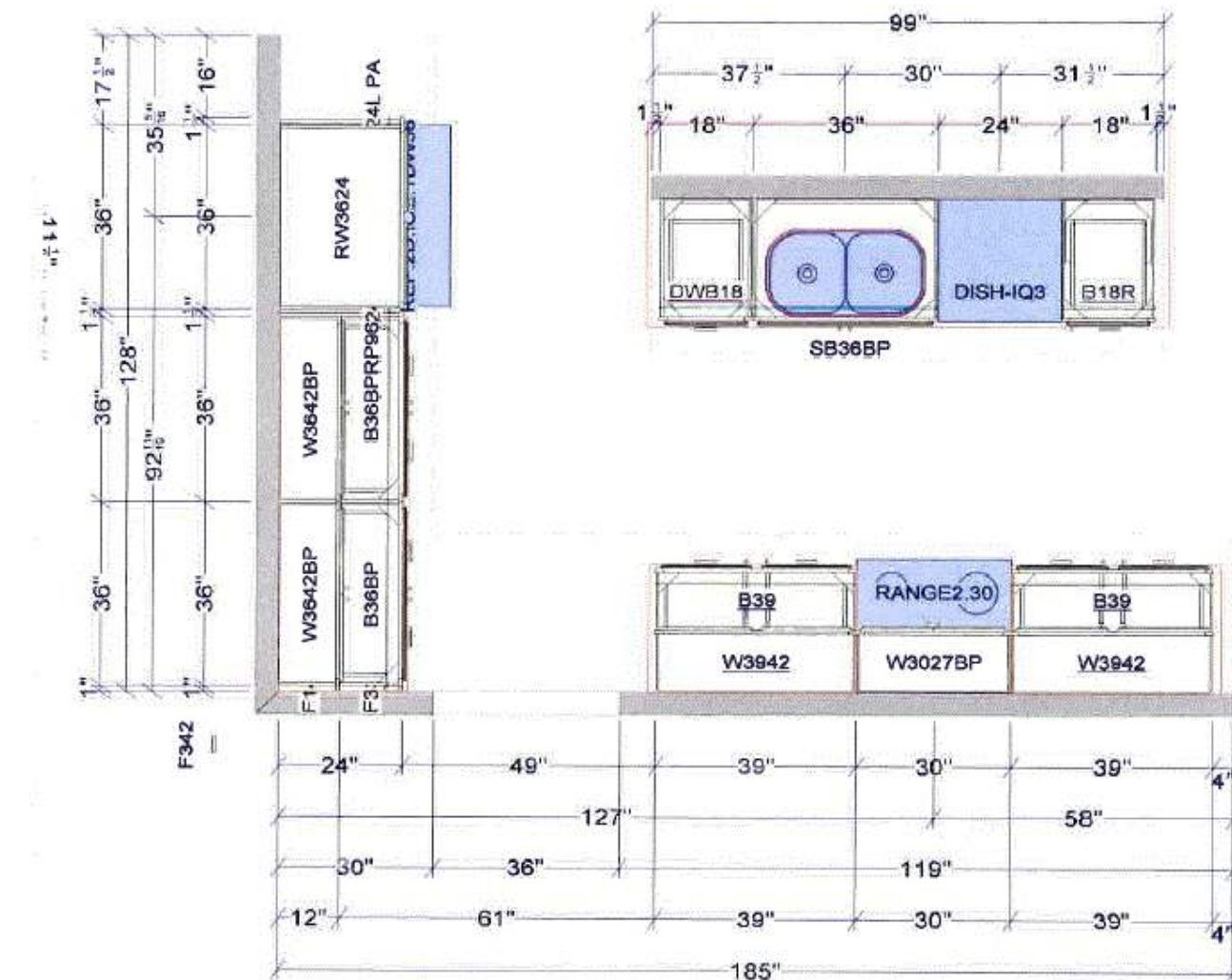
PRELIMINARY: 5.20.21 GC

PERM: 6.12.21 GC

PERM 2: 6.14.21 GC

Details

Pamlico
"Cabin"



LEVEL 2 APPLIANCE PACKAGE

GRANITE COUNTERTOPS AT BATHROOMS

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- 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE.
- 4.) ALL ANGLES TO BE DRAWN AT 45° OR 90° UNLESS NOTED OTHERWISE.
- 5.) WINDOW HEADER HEIGHT TO BE SET @ 6'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED & VERIFIED BY FRAMER, BUILDER, TRUSS SHOP OR BY A LICENSED ENGINEER.
- 6.) SIZE, LOCATION AND MATERIALS OF BEAMS TRUSSES, GIRDERS AND HEADERS TO BE DETERMINED & VERIFIED BY BUILDER, FRAMER TRUSS SHOP OR LICENSED ENGINEER.
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DRAFTING DATES:

MASTER DATE: 07/31/20

PRELIMINARY: 5.20.21 GC

PERM: 6.12.21 GC

PERM 2: 6.14.21 GC

Cabinet Plan

PERMANENT 2
JOB# 12-153
SLONE

Pamlico
"Cabin"