

ABBREVIATIONS

A/C	AIR COOLING UNIT
ADJ	ADJACENT
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ALUM	ALUMINUM
BLK	BLOCK
BOT	BOTTOM
BRG	BEARING
CJ	CONTROL JOINT
CLG	CEILING
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EACH
ELEC	ELECTRIC
EQ	EQUAL
FF	FINISH FLOOR
FTG	FOOTING
HB	HOSE BIB
HDR	HEADER
HGT	HEIGHT
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OPNG	OPENING
SIM	SIMILAR
TYP	TYPICAL
VLT	VAULT
UNO	UNLESS NOTED OTHERWISE

area tabulation 'a'

GARAGE	451 SF
FRONT PORCH	17 SF
REAR PATIO	24 SF
FLOOR 1 LIVING	1,398 SF
TOTAL LIVING	1,398 SF

area tabulation 'b'

GARAGE	451 SF
FRONT PORCH	85 SF
REAR PATIO	24 SF
FLOOR 1 LIVING	1,398 SF
TOTAL LIVING	1,398 SF



BUILDING CODE COMPLIANCE

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCE CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

PRODUCT: NEW SINGLE FAMILY DETACHED

OCCUPANCY CLASSIFICATION:

RESIDENTIAL R-3

CONSTRUCTION CLASS:

UNPROTECTED

CONSTRUCTION TYPE:

TYPE VB

EMERGENCY ESCAPE:

EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE MINIMUM OF 5.7 SQUARE FEET

APPLICABLE CODES:

FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.
FLORIDA STATE SUPPLEMENTS AND AMENDMENTS.

2020 Florida Building Code, Residential, 7th Edition

2017 National Electrical Code, NFPA 70



Reserve at Jewel Lake
Lot 031
452 SW Jewel Lake Drive
Lake City, FL 32024

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INDEX

ARCHITECTURAL

CS	GENERAL NOTES & LEGENDS
A1	EXTERIOR ELEVATIONS
A2	SLAB PENETRATION PLAN
A3	FLOOR PLANS
A4	SECTIONS & DETAILS
A5	INTERIOR DETAILS
A6	ROOF PLAN
E1	ELECTRICAL PLANS
CD	CONSTRUCTION DETAILS

REVISIONS

NUMBER	DATE	DESCRIPTION
01	2.16.2021	Revised O.Bath door size to 2868
02	3.3.2021	Add elevations A1 & B1
03	6.4.2021	Added stem wall occasions A2/B2
04	06.10.2021	verify & notation of outlets 6'-0" max from wall break at O. Suite (E1.1)
05	07.06.21	Added floor break transition strips to plan
06	07.12.21	Added outlet to Owner's
07	07.21.21	Added elevations A4 & B4
08	08.04.21	labeled egress windows, labeled accessible bath, smoke/carbon alarms near appliances noted
09	09.03.21	Added stemwall option to all elev's, called out gfi outlets within 6' of kitchen sink, revised attic calcs.

PLAN NUMBER:
33711398

RELEASE DATE:
01.11.2021

MODEL:
CARLISLE

DRAWING TITLE:
COVER SHEET

SHEET NO:

CS

Keynotes | Legend

1.

CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2.

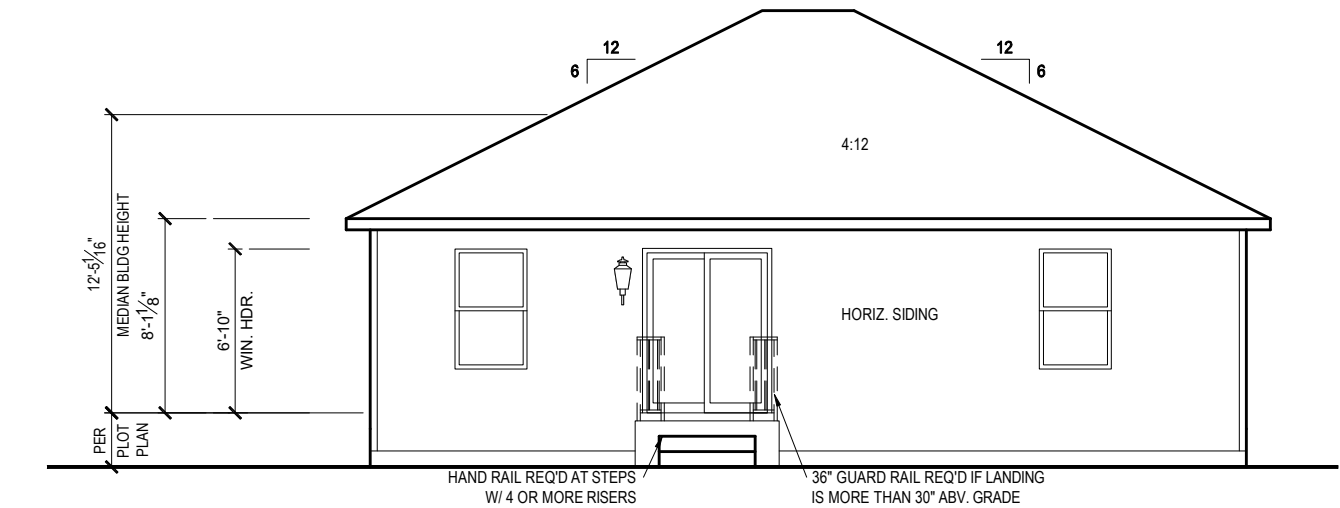
CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
3.

BRICK WAINSCOT WITH SLOPED BRICK ROWLOCK CAP.
4.

STONE WAINSCOT WITH SLOPED STONE CAP.
5.

3 1/2" VINYL TRIM SURROUND
6.

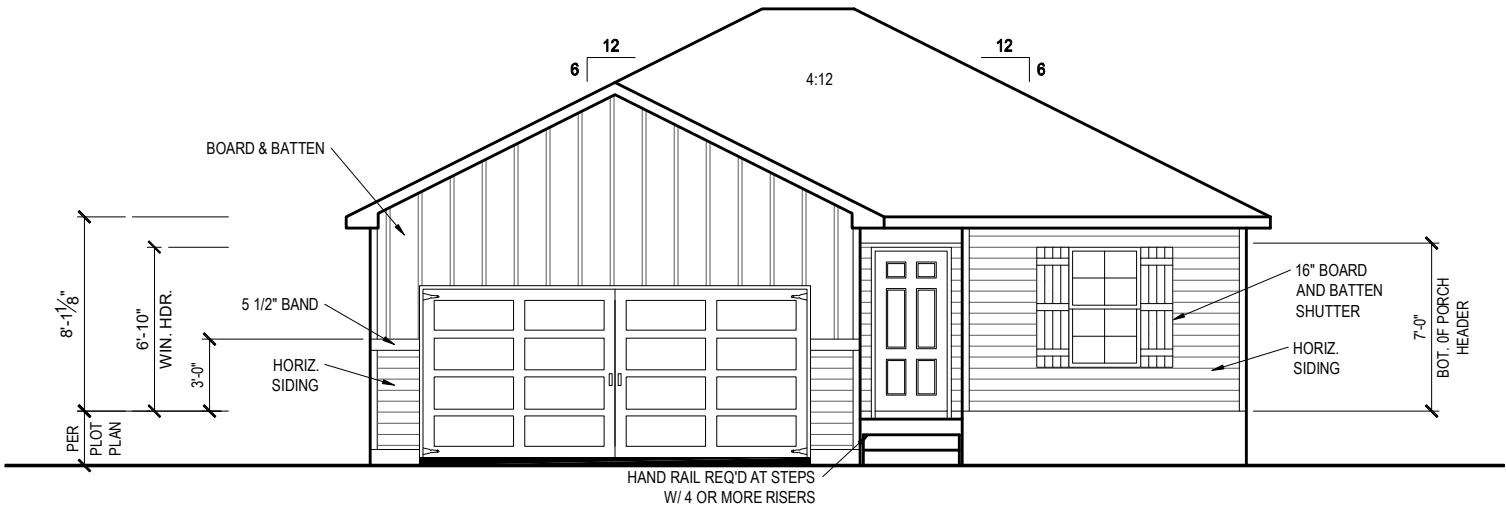
36" H. GUARDRAIL AS REQUIRED



REAR ELEVATION 'A1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'A1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



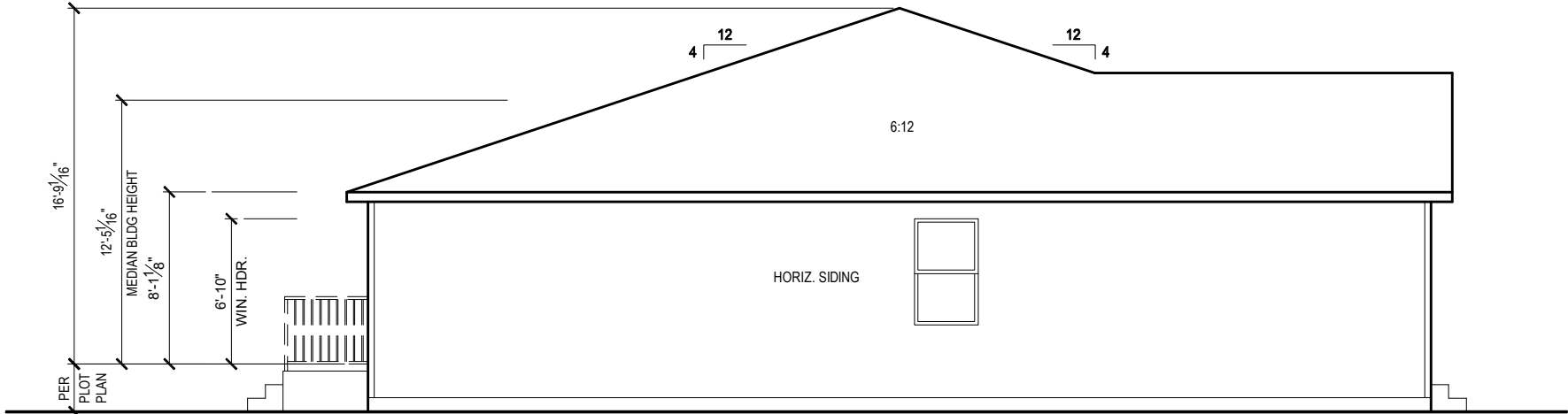
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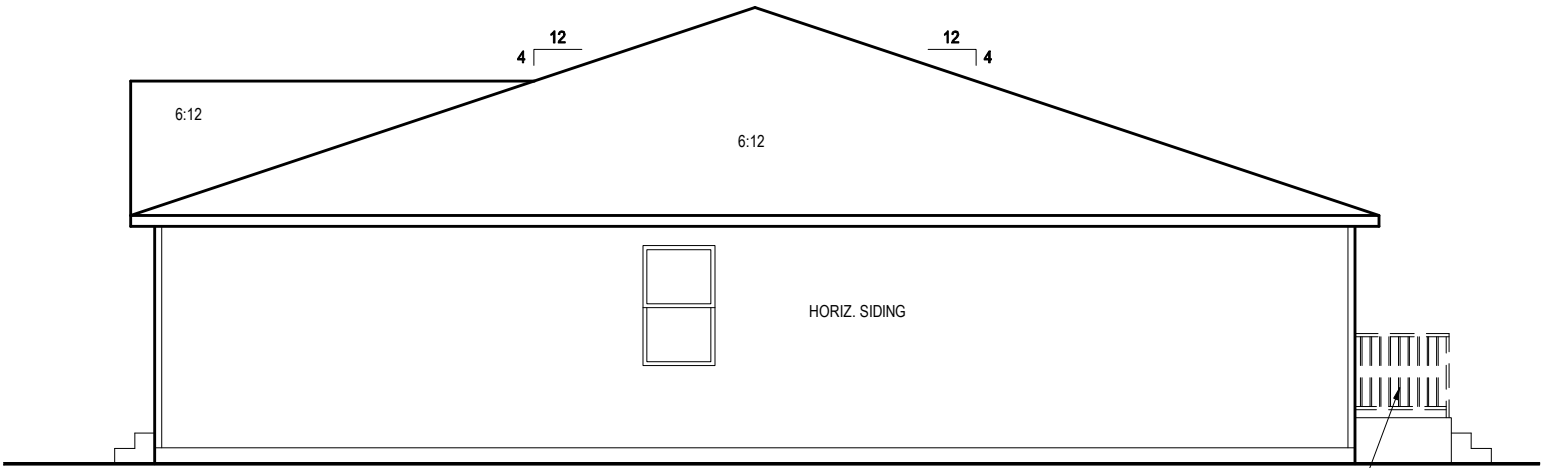
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PLAN NUMBER:	33711398	RELEASE DATE:	01.11.2021
MODEL:	CARLISLE	DRAWING TITLE:	EXTERIOR ELEVATIONS - STEMWALL
SHEET NO:	1.1-A1s		



LEFT SIDE ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



1-14-2022

FDS
ENGINEERING ASSOCIATES
256 Southrail Lane, Suite 200
O: 321.972-2491 F: 407.880-2304
Certificate Of Authorization No. 9161
☐ CARLA BROWN, PE - FL # 58128
☐ LUIS PABLO TORRES, PE - FL # 107184

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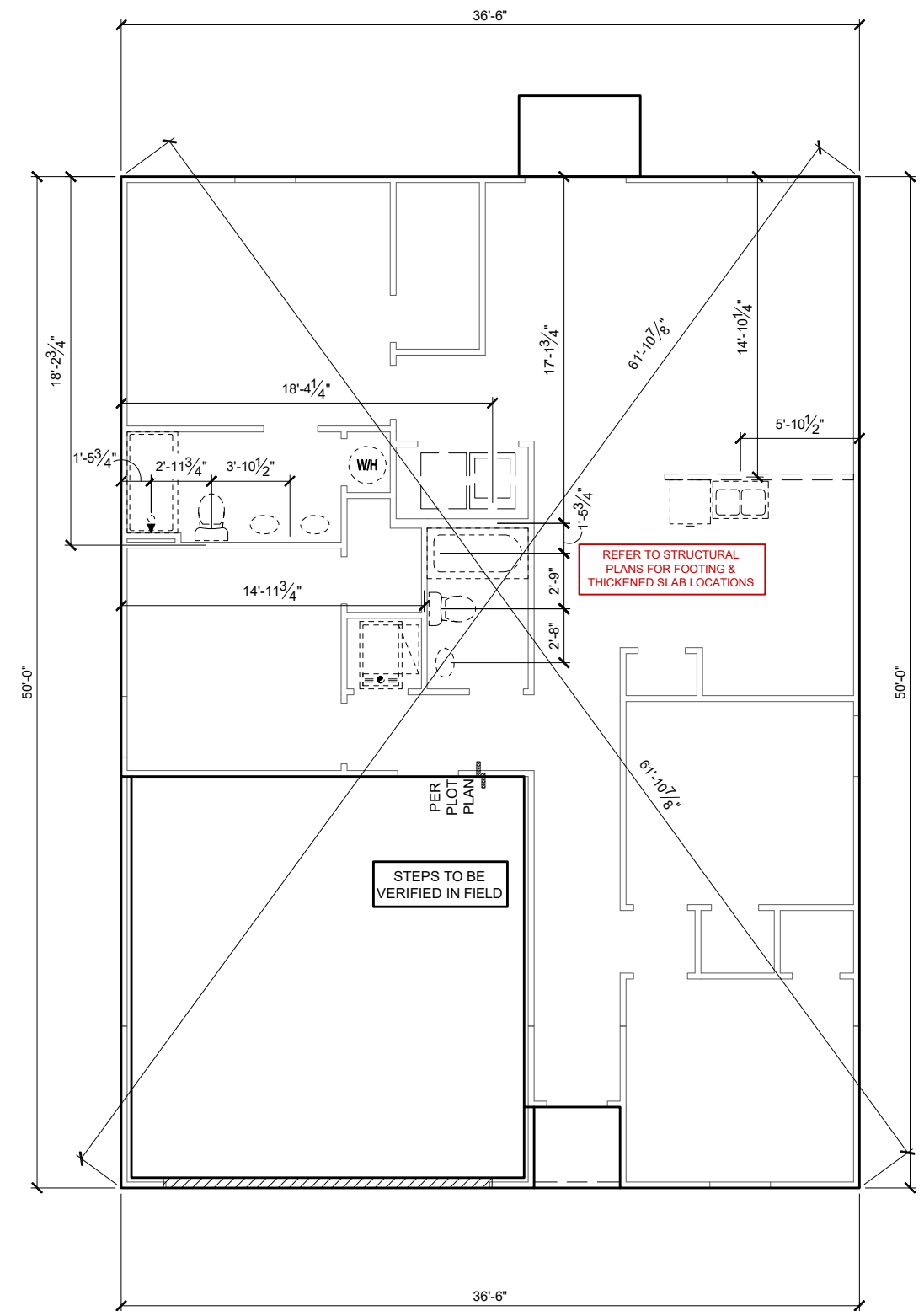
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PLAN NUMBER:	33711398	RELEASE DATE:	01.11.2021
MODEL:	CARLISLE	DRAWING TITLE:	EXTERIOR ELEVATIONS - STEMWALL

SHEET NO:

1.2-A1s

- PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL PLUMBING LOCATIONS.
- REFER TO EXTERIOR ELEVATIONS FOR BRICK/STONE LOCATIONS.
- GARAGE SLAB SHALL SLOPE TOWARD GARAGE DOOR OPENING.



1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

1-14-2022



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33711398

RELEASE DATE:
01.11.2021

CARLISLE

DRAWING TITLE:
SLAB PENETRATIONS PLAN

ET NO:

2.1-A

NOTES & LEGENDS

1. REFER TO ENGINEERING STRUCTURAL DRAWINGS (S-#) FOR BEARING WALL LOCATIONS AND FOR ALL BEAM & HEADER SIZES AND BEARING WALL LOCATIONS

2. ALL BEARING WALLS SHALL BE 16" O.C. WALL CONST. W/ DOUBLE TOP PLATE U.N.O.

3. ALL INTERIOR NON BEARING DOOR & WINDOW HEADERS SHALL BE (1) 2x4 OR (1) 2x6 W/VERTICAL CRIPPLERS @ 2'-0" O.C. TO MATCH WALL WIDTH UNLESS NOTED OTHERWISE.

4. (2) HOSE BIBS SHALL BE INSTALLED, LOCATION TO BE DETERMINED BY PLUMBING CONTRACTOR
- OPTIONAL WINDOW

2X4 FRAME WALL

2X6 FRAME WALL

BALLOON FRAME WALL
(PER STRUCTURALS)

KEYNOTES

- A1 GARAGE CEILING - 5/8" TYPE X DRYWALL, VERTICAL SURFACE WALLS - 1/2" DRYWALL

A2 22X30" ATTIC ACCESS CONSTRUCTED WITH GYP. BD. (5/8" TYPE X AT GARAGE) WITH DOOR TRIM FRAME ACCESS SUPPORT

A3 PROVIDE 6" MIN. FLAT CLG AT ANGLED CLG CONDITION

A4 PULL DOWN STAIRS 25.5" x 54"

A5 TEMPERED SAFETY GLASS PER IRC R308.4

A6 HOUSE TO GARAGE DOOR SEPARATION, PROVIDE APPROVED 20 MINUTE RATED DOOR PER IRC 302.5.1

A7 A/C CONDENSER PAD, REFER TO SITE PLAN FOR FINAL LOCATION, VERIFY CONNECTION TO CONC. PAD W/ MANUF. SPECS

A8 1/2" TYPE X DRYWALL AT ACCESSIBLE AREAS UNDER STAIRS

A9 LOUVERED DOOR W/ GAS FURNACE

D1 DRYWALL SOFFIT - 12" DROP FROM CEILING LINE

D2 DRYWALL SOFFIT - 8" DROP FROM CEILING LINE

K1 39" KNEE WALL WITH CAP PER SPECS

K2 38" KNEE WALL WITH 1x CAP

K3 46" KNEE WALL WITH CAP PER SPECS

K4 34 1/2" KNEE WALL

K5 42" KNEE WALL WITH 1x CAP

K6 KNEE WALL WITH 1x CAP 42" ABOVE STAIR NOSING OR LANDING

P1 30" X 60" SHOWER ENCLOSURE PER SPECS

P2 30"x60" TUB PER SPECS

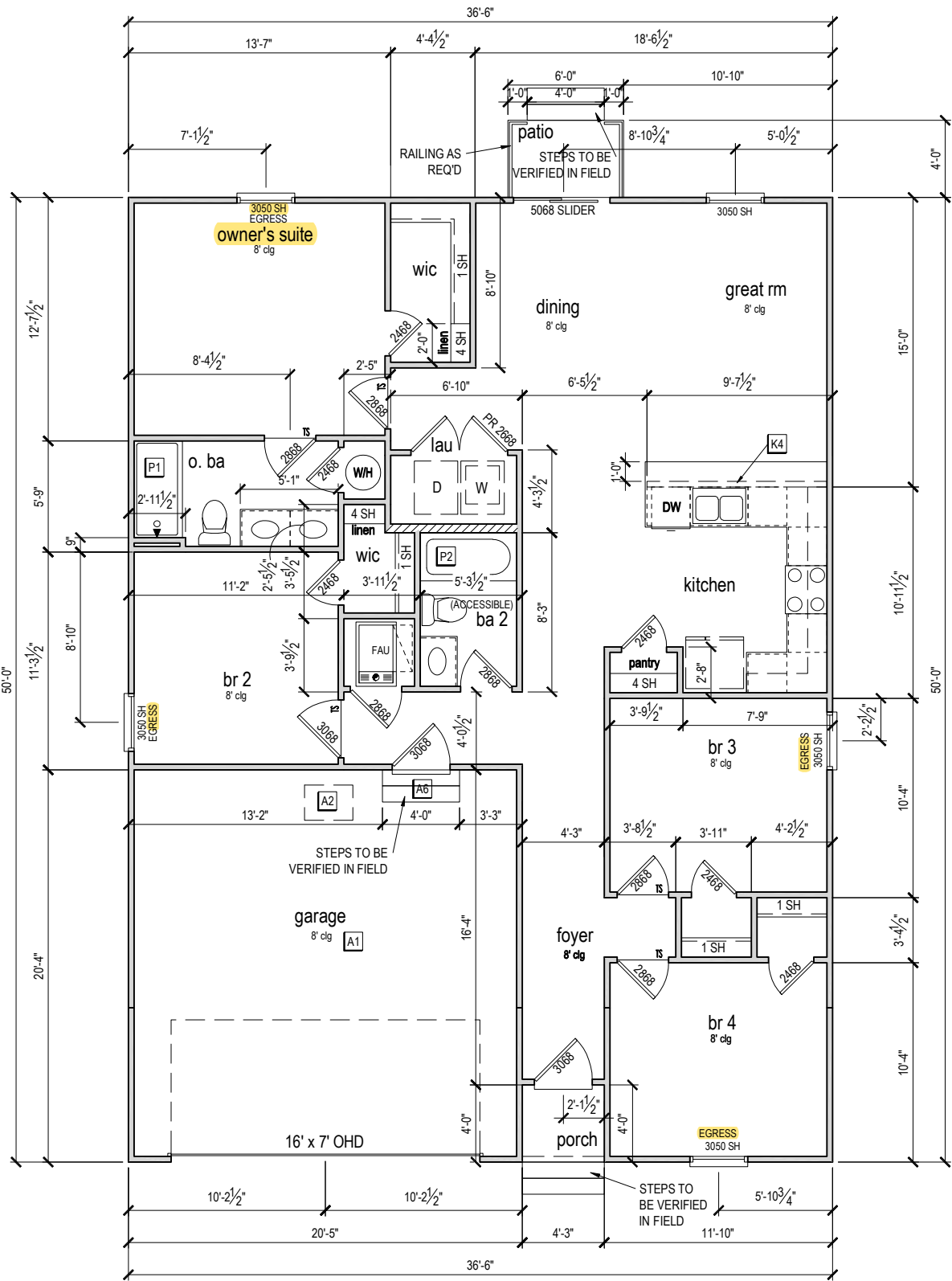
S1 BOX STAIR WITH 38" KNEE WALL & 1X CAP

S2 1X CAPPED STRINGER, TOP AT 3" ABOVE TREAD

S3 HANDRAIL AT +36" ABV. STAIR NOSING OR LANDING

area tabulation 'a'

GARAGE	451 SF
FRONT PORCH	17 SF
REAR PATIO	24 SF
FLOOR 1 LIVING	1,398 SF
TOTAL LIVING	1,398 SF



FIRST FLOOR PLAN 'A'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

CENTURY
Complete

1-14-2022

FDS

ENGINEERING ASSOCIATES

256 Southrail Lane, Suite 200
O 321.972-2491 F 407.880-2304
Certificate Of Authorization No. 9161

CARLA A. BROWN, P.E. - FL # 58128

LUIS PABLO TORRES, P.E. - FL # 27184

Reserve at Jewel Lake
Lot 031
452 SW Jewel Lake Drive
Lake City, FL 32024

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MODEL: CARLISLE

DRAWING TITLE: FIRST FLOOR PLAN - STEMWALL

PLAN NUMBER: 33711398

RELEASE DATE: 01.11.2021

SHEET NO:

3.1-As

ATTIC VENT CALCULATION

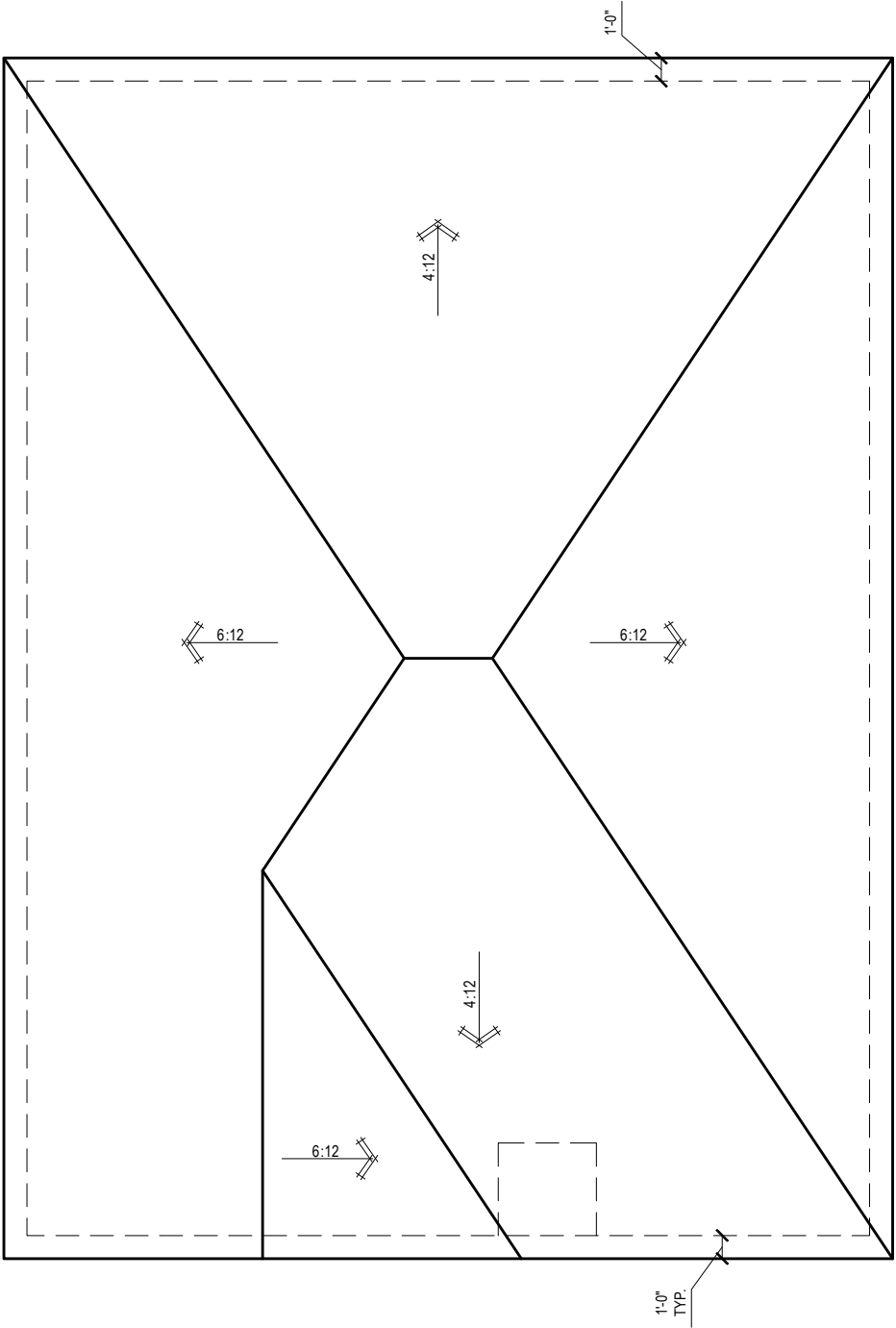
ATTIC VENTILATION TO COMPLY w/ F.B.C RESIDENTIAL CODE. THE REQUIRED NET FREE VENTILATING AREA OF NOT LESS THAN 1/150 OF THE SPACE VENTILATED. AREA MAY BE REDUCED TO 1/300 PROVIDED THAT 40 TO 50 PERCENT OF THE REQ'D VENTILATING AREA IS PROVIDED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE WITH THE BALANCE OF THE REQ'D VENTILATION PROVIDED BY THE EAVE OR CORNICE VENTS.

MANUFACTURE SELECTED TO VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AND TO MAINTAIN THE REQUIRED VENTILATION.

DO NOT LOCATE VENTS ON ROOF PLANE(S) FACING STREET.

ROOF VENTILATION CALCULATIONS				
ROOF AREA	2,002 SF			
TOTAL NET FREE AREA REQ'D (1 TO 300)	961.0 SQ. IN.			
MAIN HOUSE INLET (SOFFIT) VENTILATION	96.0 LF x	6.4 SQ. IN / LINEAR FT =	614.4 SQ. IN.	
POD VENT(S) REQUIRED WITH BASE HOUSE	7	VENTS AT 70.0 SQ. IN EA. =	490.0 SQ. IN.	
LOWER VENTING PROVIDED (480.5 SQ. IN. REQ'D)	614.4 SQ. IN	55.6%		
UPPER VENTING PROVIDED (480.5 SQ. IN. REQ'D)	490.0 SQ. IN	44.4%		

NOTE: TYPICAL VENTILATION INCLUDES:
1. SOFFIT VENTS
(AREA: 6.4 SQ. IN PER FOOT - VERIFY WITH MANUFACTURE)
2. LOMANCO 770" ATTIC VENT LOCATED 12" MIN. FROM RIDGE
(AREA: 70 SQ. IN. - VERIFY W MANUFACTURE)
*(1) LOMANCO 770D VENT AT 140 S.I. EA.CAN BE USED IN PLACE OF (2) 770 VENTS.



ROOF PLAN 'A'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



1-14-2022



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256 Southrail Lane, Suite 200
O 321.972-2491 F 407.880-2304
Certificate Of Authorization No. 9161
☐ CARLA A. BROWN, PE - FL # 58128
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PLAN NUMBER:
33711398

RELEASE DATE:
01.11.2021

MODEL:
CARLISLE

DRAWING TITLE:
ROOF PLAN

SHEET NO:

6.1-A

ELECTRICAL LEGEND

\$

SWITCH

\$3

3 WAY SWITCH

\$4

4 WAY SWITCH

WALL MOUNTED LIGHT

LED DOWNLIGHT

DISCONNECT

CEILING FIXTURE OUTLET

S

SMOKE DETECTOR

C

SMOKE/CARBON MONOXIDE ALARM

110v RECEPTACLE

110v SWITCHED RECEPTACLE

110v ABOVE COUNTER RECEPTACLE. GFI PROTECTED AT KITCHEN, BATH & LAUNDRY

GFI

110v DEDICATED RECEPTACLE FOR SECURITY/STRUCTURED WIRING PANEL

GFI

GFI OUTLET

220v

220v RECEPTACLE

110v FLOOR RECEPTACLE

DISPOSAL

CHIME

BATH EXHAUST FAN

CEILING FAN PREWIRE WITH BRACING FOR FUTURE FAN

B = BRACE FOR FUTURE FAN

H = HANGING

P = OPT. PENDANT

PW

•

PROVIDE ADDITIONAL EXTERIOR WEATHERPROOF RECEPTACLE WITHIN 15 FEET OF CONDENSING UNITS

•

INSTALL GFCI AND ARC FAULT CIRCUIT INTERRUPTER PROTECTION PER NEC SECTIONS 210.52G

•

ALL GARAGE OUTLETS SHALL BE ON A DEDICATED CIRCUIT

•

IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET (3048 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

•

DWGS. ARE DIAGRAMMATICAL & INDICATE THE GENERAL ARRANGEMENT OF THE ELECTRICAL WORK. ANY DISCREPANCIES ON THE DOCUMENTS SHALL BE CALLED TO THE ARCHITECT'S ATTENTION PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE ELECTRICAL DRAWINGS.

KEYNOTES

E1ELECTRICAL PANEL PER SPECS

E2INSTALL GFI OUTLET UNDER SINK FOR FUTURE DISPOSAL

E3DOOR CHIME TRANSFORMER LOCATION

E4MECHANICAL ROOMS TO INCLUDE KEYLESS LIGHT, PLUG AND DISCONNECT FOR AIR HANDLER

E5COACH LIGHT ONLY IF REQUIRED BY LOCAL MUNICIPALITY. INSTALL AT 68" AFF

E6INSTALL COACH LIGHT AT 68" AFF

FIRST FLOOR ELECTRICAL PLAN 'A'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

1-14-2022

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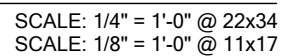
RELEASE DATE:
01.11.2021

MODEL:
CARLISLE

DRAWING TITLE:
FIRST FLOOR ELECTRICAL

SHEET NO:

E1.1



WALL TYPE	
SYMBOL	DESIGN DESCRIPTION
	2x INTERIOR BEARING SHEARWALL - SEE <u>BEARING WALL SCHEDULE</u> ON SHEET SN FOR REQUIREMENTS.
	INDICATES BEARING WALL SEE <u>BEARING WOOD BEARING SCHEDULE</u> ON SN
	2x WOOD FRAME EXTERIOR WALL

MODEL: CARLISLE SHEET NO: S1	PLAN NUMBER: 33711398	RELEASE DATE: 08.03.2020
	DRAWING TITLE: FOUNDATION PLAN A & B	

SCALE: 1/4" = 1'-0" @ 22x34
SCALE: 1/8" = 1'-0" @ 11x17

RSH

**ENGINEERED ROOF PER ASCE 7-16 JOINT DESIGN ALLOWABLE COMPONENTS AND Suctions
CLADDING WIND PRESSURES AND SUCTIONS FOR MEAN ROOF HEIGHT ≤ 25 ft**

WIND SPEED (ULTIMATE) WIND SPEED (ALLOWABLE) EXPOSURE CATEGORY		130 MPH 107.7 MPH						
EFFECTIVE WIND AREA (SQ.FEET)		WIND PRESSURE AND SUCTION (PSF) (+) VALUE DENOTES PRESSURE (-) VALUE DENOTES SUCTION						
AREA	ROOF	1	2e	2n	2r	3	3e	3r
10	HIP	-33.0	-45.50		-45.50	-45.50		
	GABLE	-35.0	-35.0	-55.90	-55.90		-55.90	-65.20

ROOF RAILING SCHEDULE/ NAILING ZONES (SHINGLE AND TILE):

ZONE 1: ASTM F1667 RSRS-01 (8d) NAILS @ 6" O.C. ON EDGE AND 6" O.C IN FIELD

ZONE 2e, 2n, 2r: ASTM F1667 RSRS-01 (8d) NAILS @ 4" O.C. ON EDGE AND 4" O.C IN FIELD

ZONE 3, 3e, 3r: ASTM F1667 RSRS-01 (8d) NAILS @ 4" O.C. ON EDGE AND 4" O.C IN FIELD

ROOF SHEATHING:

SHINGLE: $\frac{1}{4}$ " EXP. 1 ($\frac{1}{4}$)_o or $\frac{1}{2}$ "_o EXP. 1 ($\frac{1}{4}$)_o

TILE:
 $\frac{1}{2}$ "_o EXP. 1 ($\frac{1}{4}$)_o

NOTE:

- PER CODE ASTM F1667 RSRS-01 REFERENCE TO 8d ($2\frac{3}{4}" \times 0.113"$) NAILS
- WHERE THE SHEATHING THICKNESS IS GREATER THAN $\frac{1}{2}$ "_o, SHEATHING SHALL BE FASTENED WITH ASTM F1667 RSRS-03 (10d ($2\frac{1}{2}" \times 0.131"$) NAILS OR ASTM F1667 RSRS-04 ($3" \times 120"$) NAILS
- GABLES- DROP GABLE OR (1) ADDITIONAL DROPPED TRUSS 2x4 @ SYD OUTLOOKER RAFTETT W/ BLOCKING @ 16" O.C IF NO DROPPED GABLE END, ATTACH 2x4 @ 2x4 SYD BLOCKING @ 16" O.C FIRST 4 BAYS WITH (2) 12d NAILS EA. END, ATTACH ROOF SHEATHING TO RAFTERS W/ BLOCKING PER NAILING SCHEDULE.

HIP ROOF >20 TO 27 DEG.

[4-12]-[6-12]

GABLE ROOF > 20 TO 27 DEG.

[4-12]-[6-12]

SYMBOL	DESIGN DESCRIPTION
	INDICATES BEARING WALL. SEE <u>BEARING WOOD BEARING SCHEDULE</u> ON SN. SEE <u>ARCHITECTURAL PLANS</u> FOR WALL WIDTH, 2x4 MINIMUM U.O.N.
	INDICATES BUILT UP COLUMN, SEE <u>FRAMING PLAN</u> FOR SIZE, DETAIL WF37/SN FOR PLY ATTACHMENT AND <u>UPLIFT CONNECTION SCHEDULE</u> ON SN FOR CONNECTION TO SLAB
	INDICATES NO BOTTOM CONNECTOR REQUIRED
	INDICATES UPLIFT CONNECTION CONSTRUCTED PER DETAIL UPLIFT CONNECTOR SCHEDULE ON SHEET SN

- FRAMING NOTES:
1. SEE WIND SPEED CHART ON **S0** FOR WINDOW PRESSURES
 2. AT SECOND FLOOR FOR TYPICAL CORNER FRAMING SEE DETAIL **FB06/D4**

- GENERAL NOTES:**
1. THE FRAMING PLAN SHOWN INDICATES THE "TRUSS SYSTEM" AND IS THE RESPONSIBILITY OF THE TRUSS SYSTEM ENGINEER (DESIGN PROFESSIONAL OF RECORD). THE TRUSS DESIGN ENGINEER (DELEGATED ENGINEER) HAS FINAL RESPONSIBILITY FOR EACH INDIVIDUAL TRUSS AND TRUSS PROFILE, AND IS TO SUBMIT A FINAL SET OF TRUSS ENGINEERING SIGNED AND SEALED TRUSS DRAWINGS TO DESIGN PROFESSIONAL OF RECORD FOR REVIEW PRIOR TO FABRICATION
 2. ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES WITH IN THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO CONSTRUCTION.
 3. SEE SHEET SN FOR DESIGN SCHEDULES AND NOTES: FOUNDATION SCHEDULE / COLUMN SCHEDULE / BEARING WALL SCHEDULE / BEAM SCHEDULE / HEADER SCHEDULE / CONNECTION SCHEDULE / FLOOR AND ROOF NOTES.

PLAN KEY NOTES

--	--

BUILDER NOTE:
IF THE TRUSS LAYOUT SHOWN DOES NOT MATCH THE
TRUSS MANUFACTURERS LAYOUT

---STOP---

AND CALL THE ENGINEER OF RECORD PRIOR TO
PLACEMENT OF ANY TRUSSES.

WALL TYPE	
SYMBOL	DESIGN DESCRIPTION
	2x INTERIOR BEARING SHEARWALL - SEE <u>BEARING WALL SCHEDULE</u> ON SHEET SN FOR REQUIREMENTS.
	INDICATES BEARING WALL SEE <u>BEARING WOOD BEARING SCHEDULE</u> ON SN
	2x WOOD FRAME EXTERIOR WALL



DATE: January 20, 2022

MAILBOX CONTACT THE EOR FOR INFORMATION.

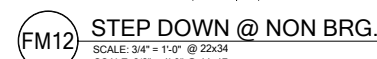
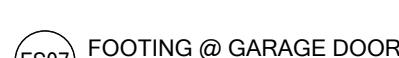
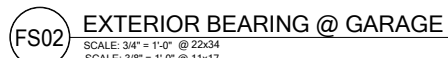
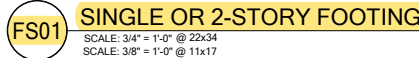


LOT 31
RESERVE @ JEWEL LAKE
452 SW JEWEL LAKE DR.
LAKE CITY, FL 32024

PLAN NUMBER: 3371 1398	RELEASE DATE: 08.03.2020
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MODEL:	CARLISLE
DRAWING TITLE:	ROOF FRAMING PLAN A & B

SHEET
NO:
S2



STEM WALL NOTES:

1. VERTICAL REINFORCING IN SOLID GROUTED CELLS (3,000 PSI CONCRETE) AT ALL CORNERS, JAMBS, WALL INTERSECTIONS, BELOW GIRDER TRUSS LOCATIONS, AND AT THE MAXIMUM SPACING STATED IN SCHEDULE.

2. A. 6#6 - W1.4 x W1.4 W.W.M. IS REQUIRED TO MAKE ADEQUATE CONNECTION BETWEEN SLAB AND WALL WHEN STEM WALL EXCEEDS 4'-0" TALL.

B. FIBERMESH CONCRETE CAN NOT BE USED.

C. #4 TURN BARS ARE REQUIRED AT EACH FILLED CELL LOCATION.

D. EACH BAR TO TIE INTO VERTICAL STEM WALL REINFORCING BAR AND EXTEND OUT A MINIMUM OF 4'-0" INTO SLAB.

3. IF STEM WALL IS REQUIRED TO BE HIGHER THAN 12 FEET (18 COURSES), CONTACT ENGINEER OF RECORD PRIOR TO CONSTRUCTION FOR MORE INFORMATION.

4. GENERAL CONTRACTOR TO PROVIDE ADEQUATE BRACING OF STEM WALL WHEN UNEVEN BACK FILLING IS TAKING PLACE.

A. IF STEM WALL IS LESS THAN 4'-0" TALL, PROVIDE (1) - #5 HORIZONTAL CORNER BARS WITH 4'-0" X 4'-0" LEGS IN KNOCKOUT BLOCK SPACED @ 16" O.C. VERTICALLY, (TYPICAL AT ALL CORNERS).

B. WHEN STEM WALL IS 4'-0" TALL AND GREATER, PROVIDE CORNER BAR MENTIONED ABOVE AND (1) - #5 CONTINUOUS HORIZONTAL BAR IN KNOCKOUT BLOCK SPACED @ 16" O.C. VERTICALLY. GROUT ENTIRE WALL SOLID.

C. ALL STEM WALLS GREATER THAN (4) COURSES, SHALL BE GROUTED SOLID WITH 3,000 PSI CONCRETE.

6. IF STEM WALL IS WITHIN 5'-0" OF POOL OR WATER FEATURE, FOUNDATIONS TO BE A MINIMUM 12" BELOW BOTTOM OF POOL OR WATER FEATURE.

7. R-403.1.4 MINIMUM DEPTH: ALL EXTERIOR FOOTINGS (BOTTOM) SHALL BE PLACED NOT LESS THAN 12" BELOW THE FINISHED GRADE OF GROUND SURFACE, WHERE APPLICABLE, THE DEPTH OF FOOTINGS SHALL ALSO CONFORM TO SECTION R403.1.4.1.

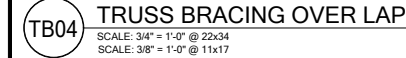
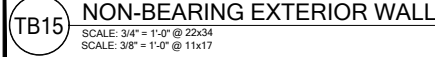
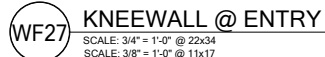
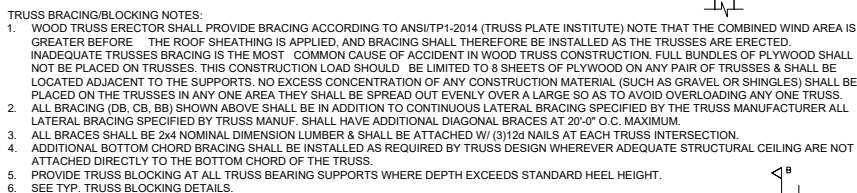
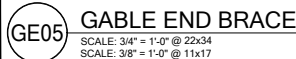
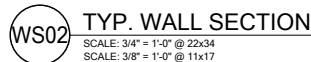
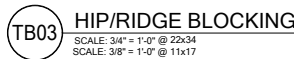
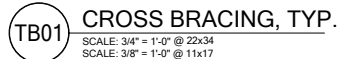
8. EXTERIOR SHORING BY CONTRACTOR AS REQUIRED WHEN STEM IS OVER 4'-0" TALL.

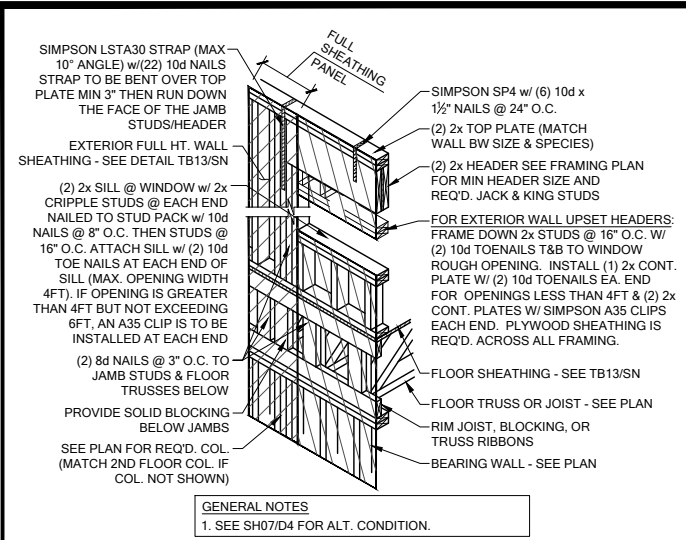
9. CONTROL JOINTS TO BE LOCATED AT 20' O.C. MAX AND AT ALL CHANGES IN WALL WIDTHS.

STEM WALL SCHEDULE								
STEMWALL HEIGHT (h)	COURSES OF BLOCKS	BLOCK SIZE	FOOTING DIMENSION (d) & (w)				NUMBER/SIZE OF BOTTOM BARS IN CONT. FOOTING	MAXIMUM VERTICAL FEED CELL SPACING IN STEM WALL CENTERED (U.N.)
			(d) 1 STRY.	(d) 2 STRY.	(w) 1 STRY.	(w) 2 STRY.		
0'-0" - 2'-0"	1 - 3	8"	8"	10"	16"	20"	(2) - #5 BARS	#5 @ 80' O.C.
2'-8" - 3'-4"	4 - 5	8"	10"	10"	20"	24"	(3) - #5 BARS	#5 @ 64' O.C.
4'-0"	6	8"	12"	12"	32"	32"	(4) - #5 BARS	#5 @ 48' O.C.
4'-8" - 5'-4"	7 - 8	8"	16"	16"	40"	40"	(4) - #5 BARS CONT. & #5 AT 24' O.C. TRANSV.	#5 @ 32' O.C.
6'-0" - 6'-8"	9 - 10	8"	16"	16"	48"	48"	(4) - #5 BARS CONT. & #5 AT 12' O.C. TRANSV.	#5 @ 32' O.C.
7'-4" - 8'-0"	11 - 12	8"	16"	16"	48"	48"	(5) - #5 BARS CONT. & #5 AT 12' O.C. TRANSV.	#5 @ 16' O.C.
8'-8" - 10'-0"	13 - 15	12"	16"	16"	54"	54"	(5) - #5 BARS CONT. & #5 AT 12' O.C. TRANSV.	#5 @ 8' O.C.
10'-8" - 12'-0"	16 - 18	12"	16"	16"	54"	54"	(6) - #5 BARS CONT. & #5 AT 12' O.C. TRANSV.	(2) - #5 @ 16' O.C. SPACED 4' APART IN C.

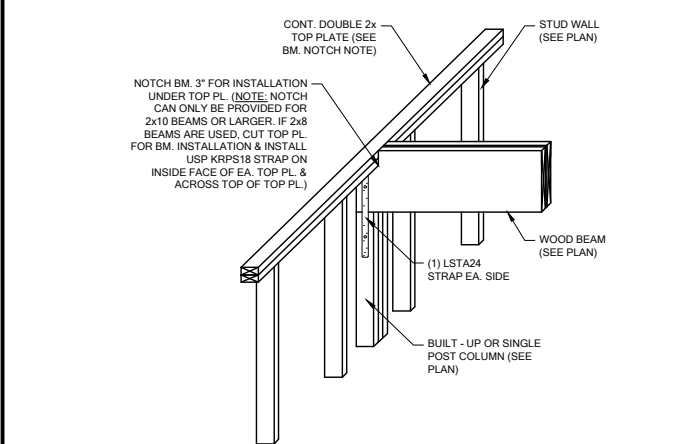
NOTE: SEE FOUNDATION PLAN FOR FILLED CELL SPACING ABOVE SLAB LEVEL.



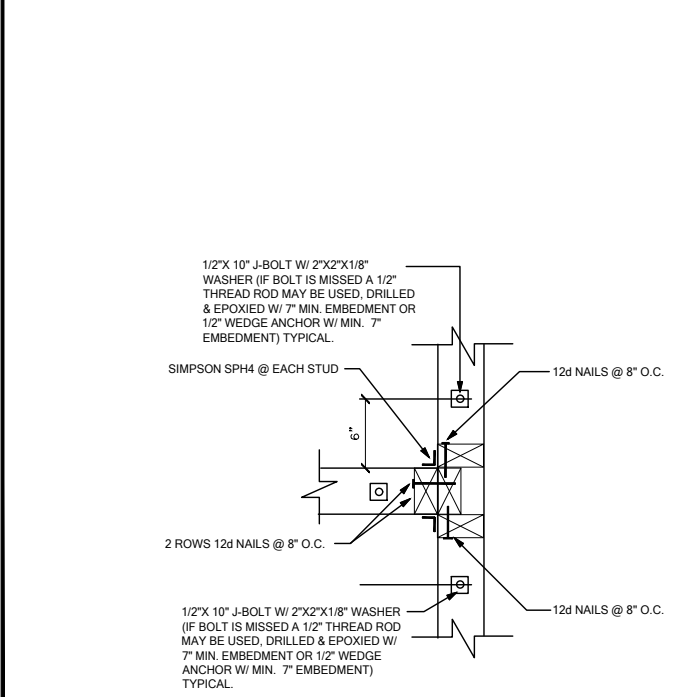




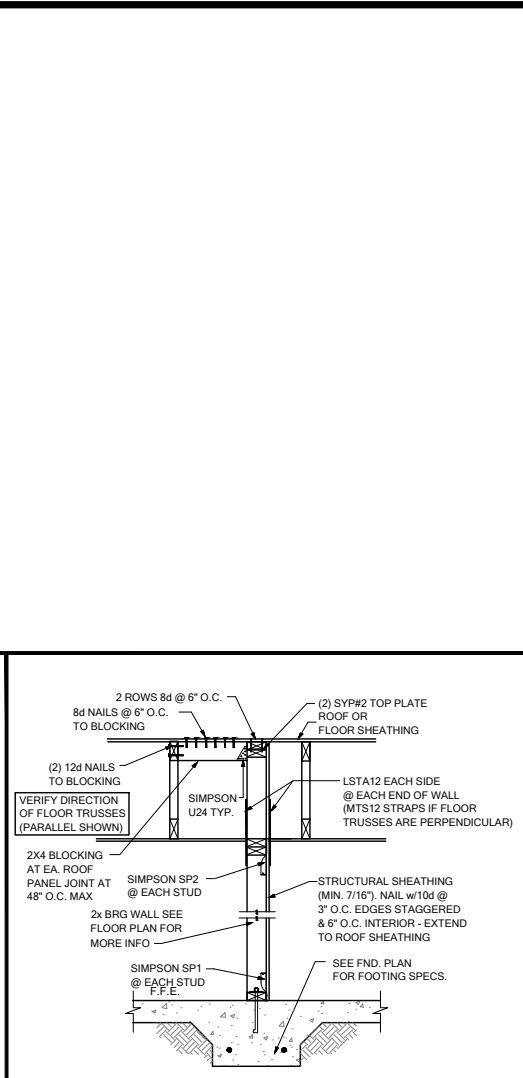
SH00 HEADER CONN. @ 2ND FLOOR (NO BASE STRAP)
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



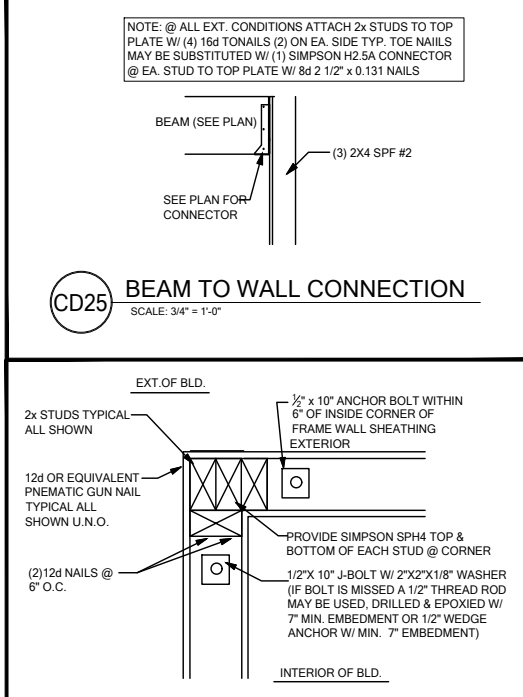
WF103 TYP. WOOD BEAM TO WOOD WALL CONN.
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



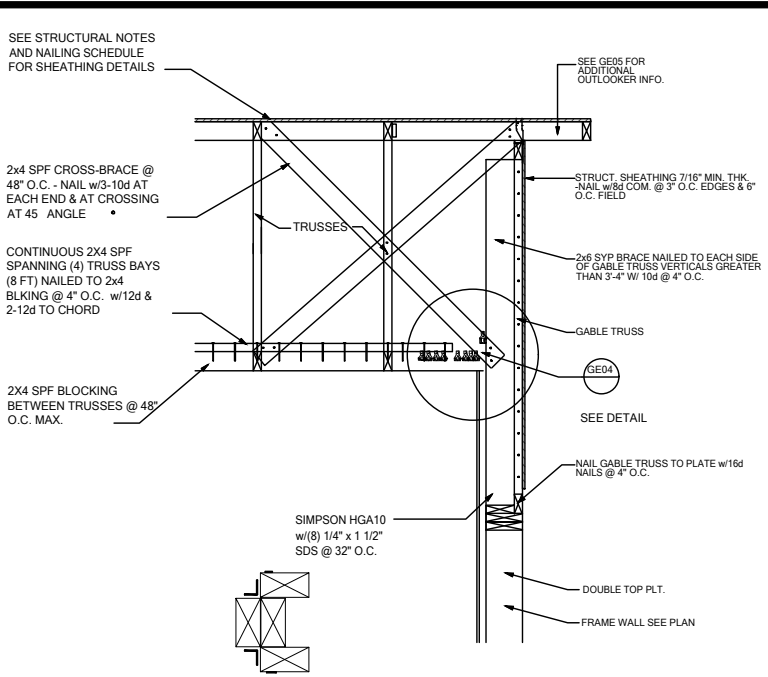
WC03 WALL TO WALL @ END OF SHEAR WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



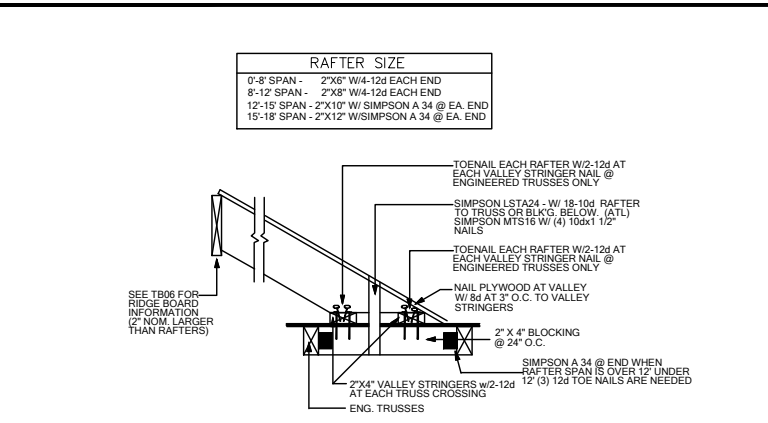
SW04 INTERIOR SHEAR WALL @ TRUSSES
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



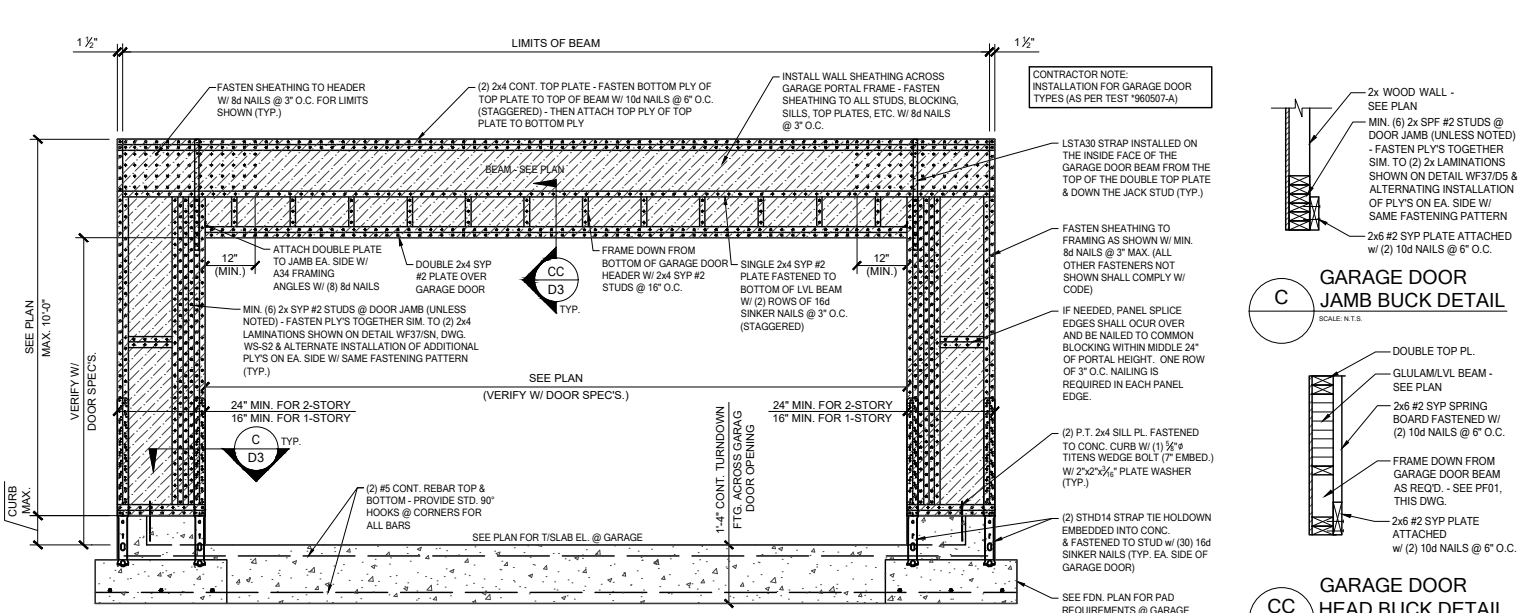
WC06 EXTERIOR FRAME CORNER
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



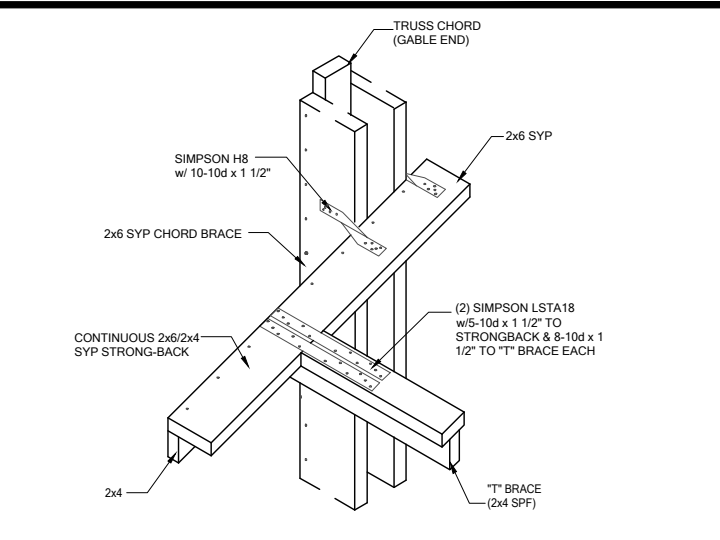
GE03 GABLE END BRACIN w/ VOLUME CEILING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



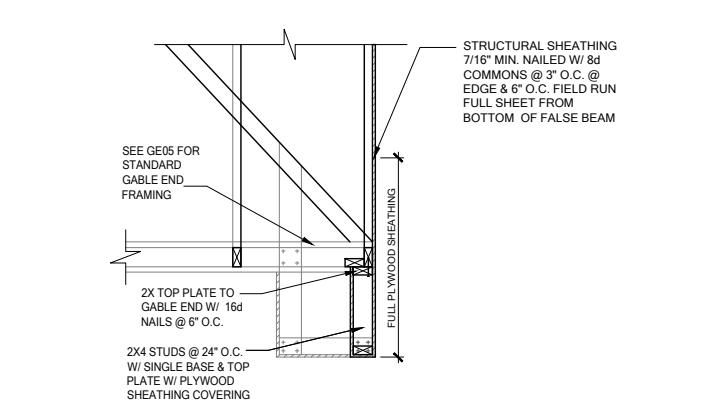
TB17 CONV. FRAMING & VALLEY FRAMING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



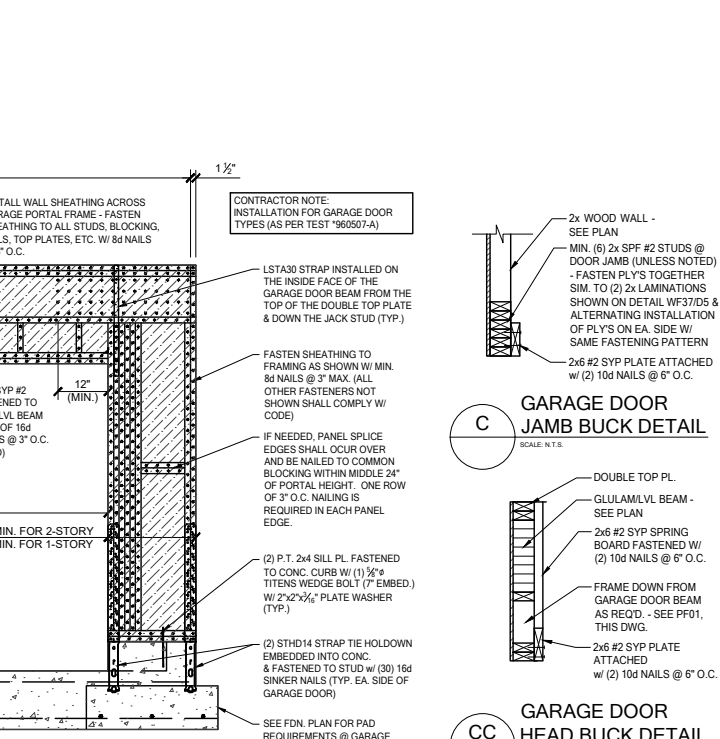
PF01 GARAGE DOOR PORTAL FRAME
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



GE04 "T" BRACE CONNECTION @ VOLUME CEILING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



GE15 FALSE BEAM @ GABLE END
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



CC GARAGE DOOR HEAD BUCK DETAIL
SCALE: N.T.S.

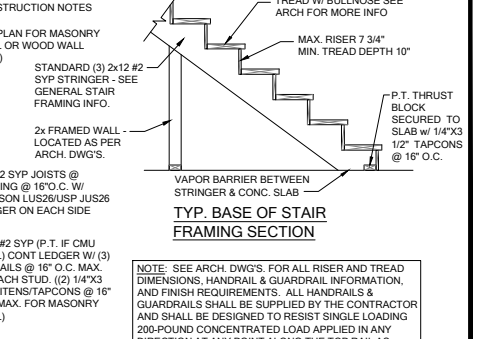
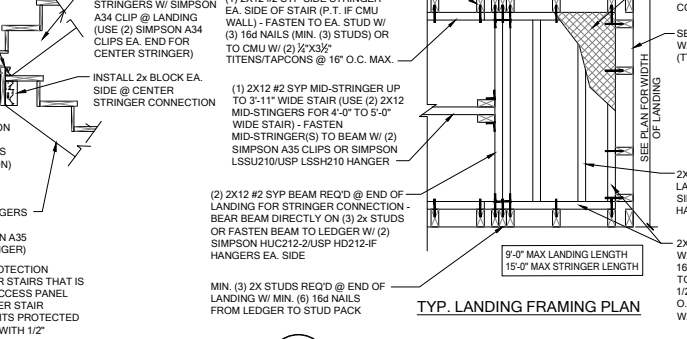
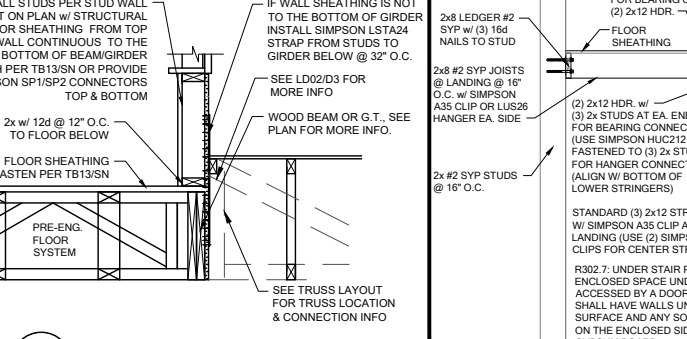
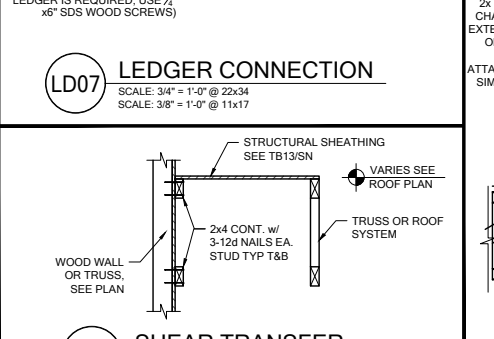
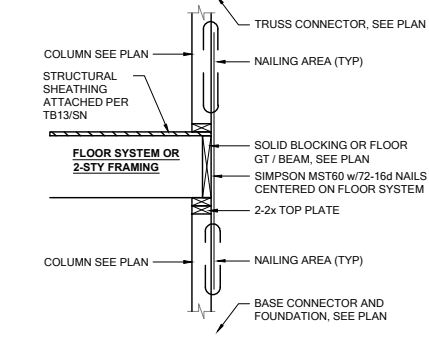
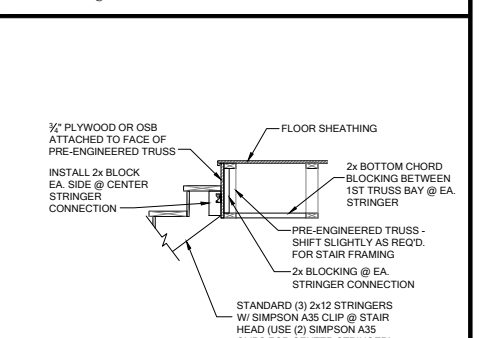
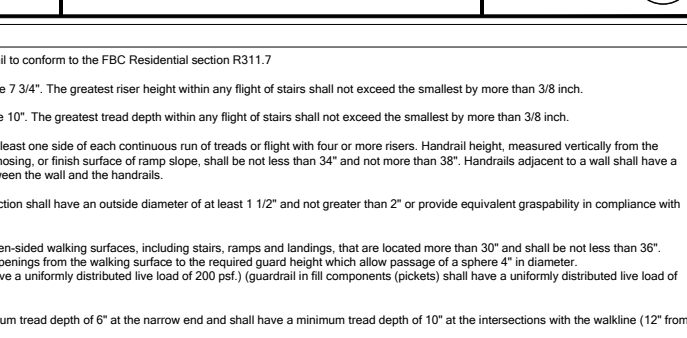
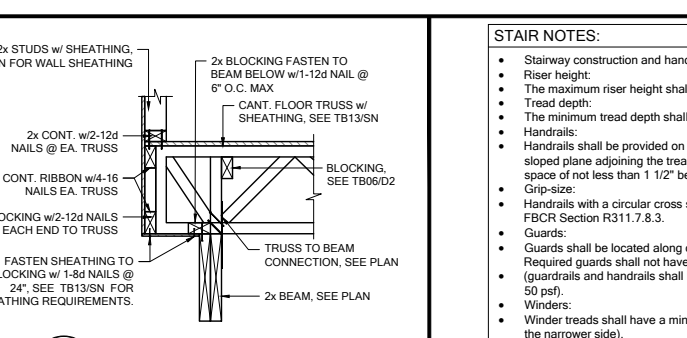
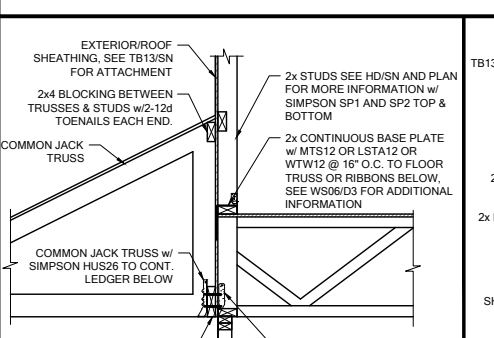
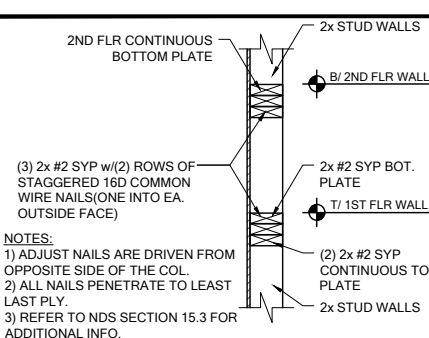
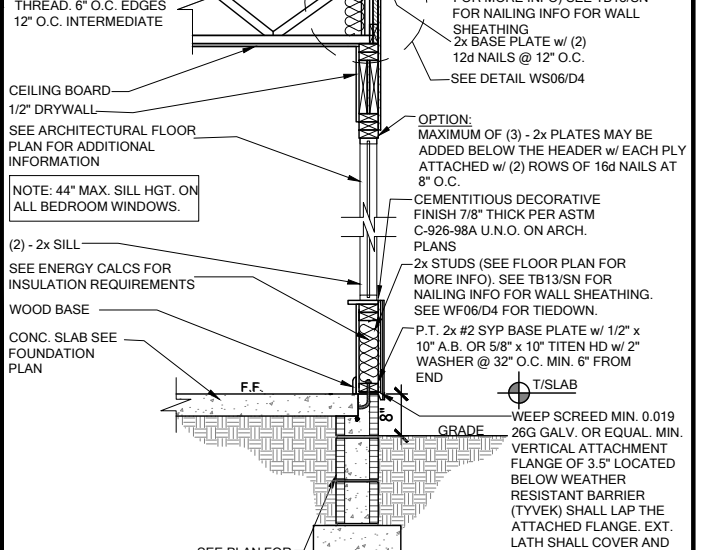
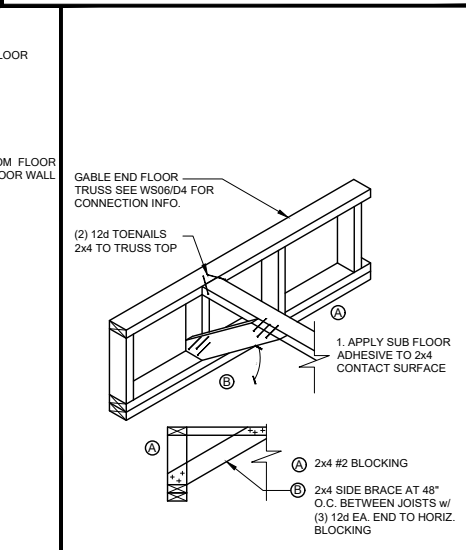
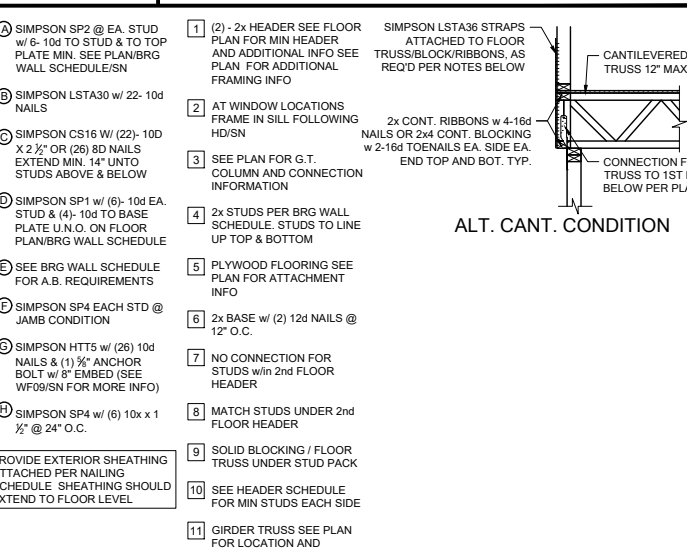
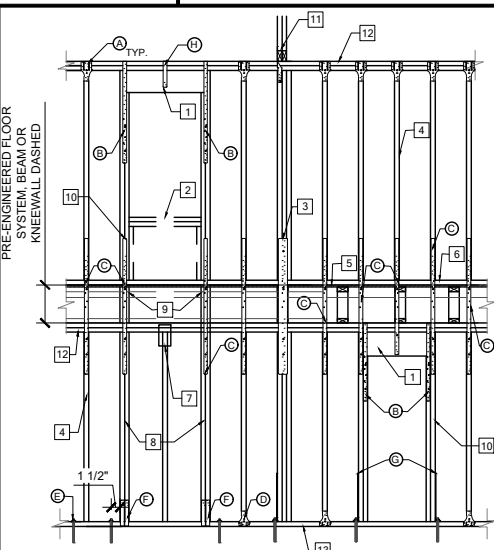
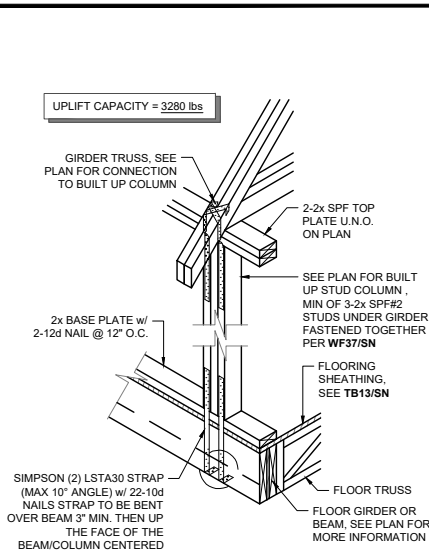
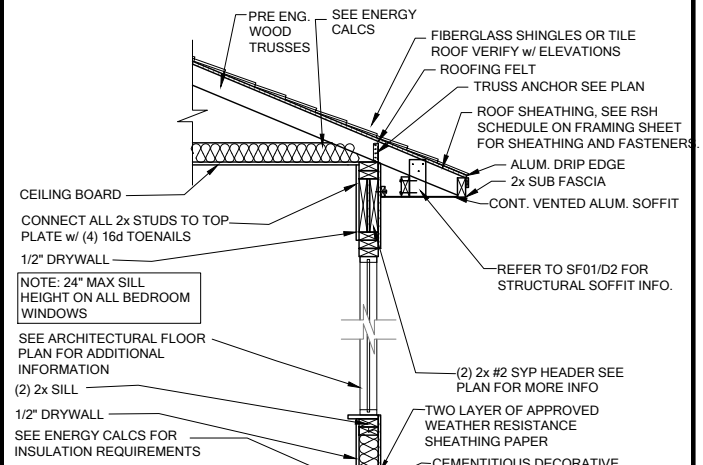
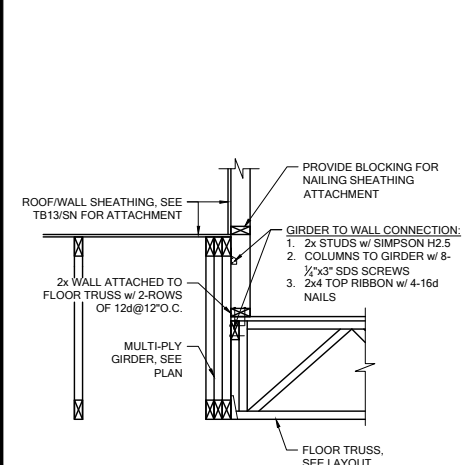
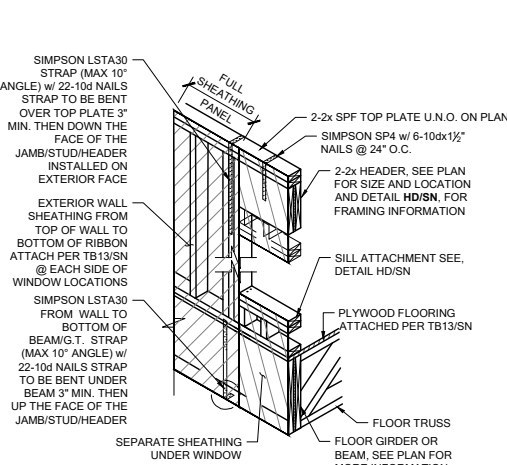
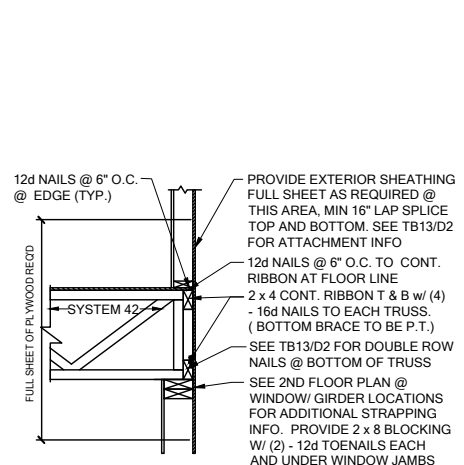
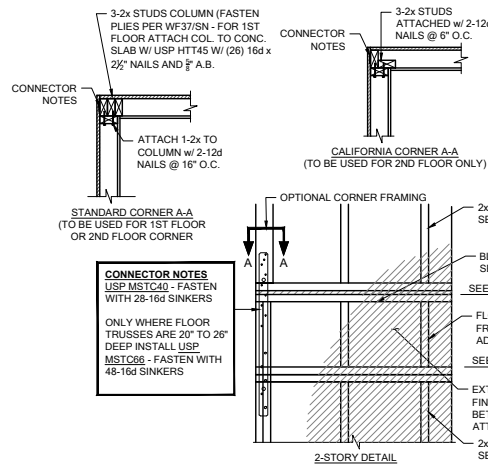
DATE: January 20, 2022
PROJECT: 2022-001
DRAWING NO.: 2022-001-001

238 Southwind Avenue
Maitland, FL 32751
O: 321-972-0491 F: 407-480-2344
Certificate of Authorization No. 9161
CARL A. BROWN, PE - FL #56126
LUIS PABLO TORRES, PE - FL #67864
SCOTT LEWOWSKI, PE - FL #78750

LOT 31
RESERVE @ JEWEL LAKE
452 SW JEWEL LAKE DR.
LAKE CITY, FL 32024

PLAN NUMBER: 33711398
RELEASE DATE: 08.03.2020

MODEL: CARLISLE
DRAWING TITLE: FLOOR FRAMING DETAILS
SHEET NO.: D3



DATE: January 20, 2022
REVISION: 01
DRAWN: J. BROWN
CHECKED: J. BROWN
APPROVED: J. BROWN

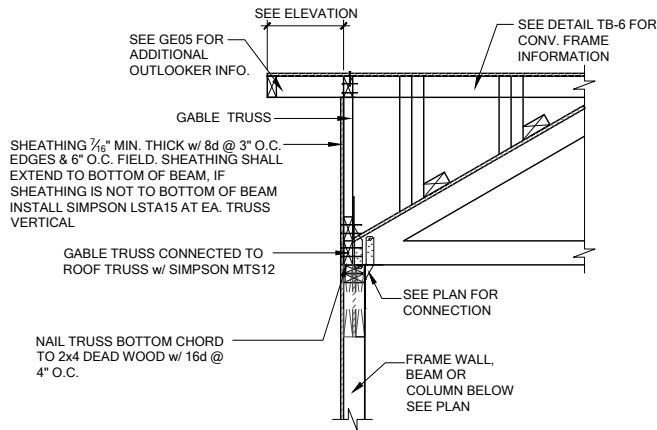


LOT 31
RESERVE @ JEWEL LAKE
452 SW JEWEL LAKE DR.
LAKE CITY, FL 32024

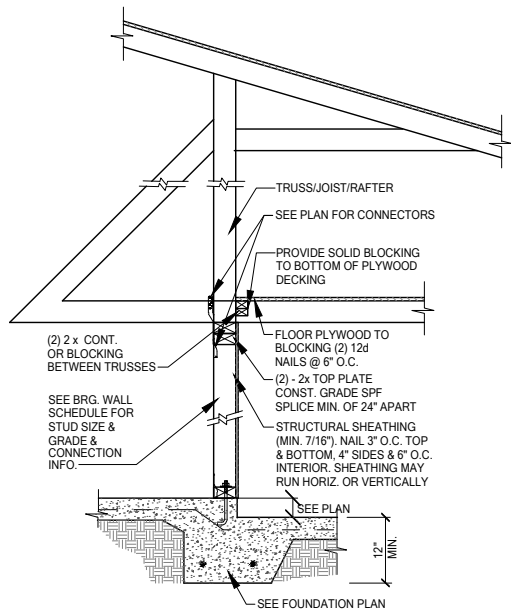
PLAN NUMBER: 33711398
RELEASE DATE: 08.03.2020

MODEL: CARLISLE
DRAWING TITLE: FLOOR FRAMING DETAILS

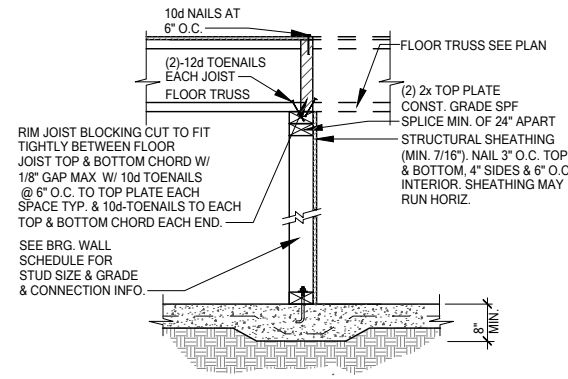
SHEET NO: D4



GE13A SECTION AT HIP GABLE
SCALE: 3/4" = 1'-0"
SCALE: 3/8" = 1'-0" @ 11x17

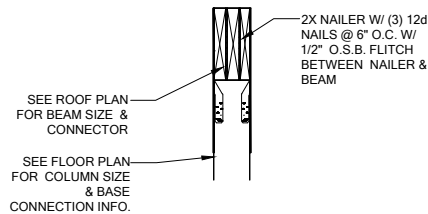


SW01 INTERIOR BEARING STEP-DOWN SHEARWALL w/UPLIFT
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

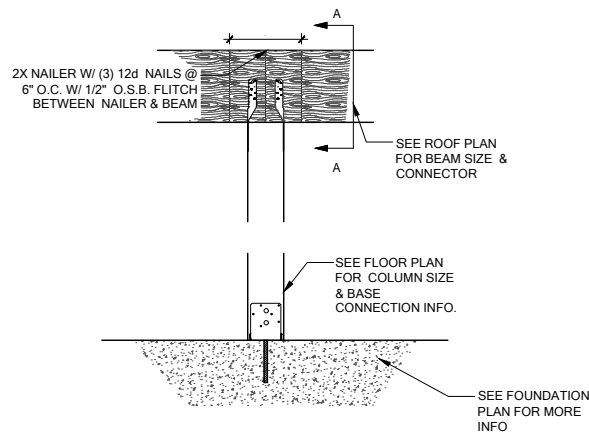


UPLIFT VALUES - (DOUBLE SIDE PLYWOOD DOUBLES VALUE BELOW)
SHEATHING I-SIDE - 860 LBS. PER TRUSS/JOIST/RAFTER

SW02 INTERIOR SHEAR WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



SECTION A-A
SCALE: 3/4" = 1'-0"



CD13 COLUMN BM. ATTACHMENT
SCALE: 3/4" = 1'-0"
SCALE: 3/8" = 1'-0" @ 11x17



DATE: January 20, 2022
DRAWING CONTRACT NO. 22-0017



LOT 31
RESERVE @ JEWEL LAKE
452 SW JEWEL LAKE DR.
LAKE CITY, FL 32024

PLAN NUMBER: 33711398
RELEASE DATE: 08.03.2020

MODEL: CARLISLE
DRAWING TITLE: FLOOR FRAMING DETAILS

SHEET NO: D5