

10965472

Columbia County Remodel Permit Application

For Office Use Only	Application # <u>44783</u>	Date Received <u>3/20</u>	By <u>mg</u>	Permit # <u>39503</u>
Zoning Official _____	Date _____	Flood Zone _____	Land Use _____	Zoning _____
FEMA Map # _____	Elevation _____	MFE _____	River _____	Plans Examiner _____
Date _____				
Comments _____				
☒ NOC	☒ Deed or PA	☐ Dev Permit # _____	☐ In Floodway	☐ Letter of Auth. from Contractor
☐ F W Comp. letter	☐ Owner Builder Disclosure Statement	☐ Land Owner Affidavit	☐ Ellisville Water	☐ App Fee Paid
☒ Site Plan	☐ Env. Health Approval	☐ Sub VF Form		

Fax _____

Applicant (Who will sign/pickup the permit) Christine O'Malley Phone 727-967-0646Address 9208 Florida Palm Dr Tampa, FL 33619Owners Name David Raphyn Phone 407-450-0838911 Address 280 NW Scott Glen, Lake City, FL 32055Contractors Name The Home Depot Arthur Francis Phone 727-637-8400Address 9208 Florida Palm Drive, Tampa, FL 33619Contractor Email tim.omalley@expeditepermit.com ***Include to get updates on this job.

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address _____

Mortgage Lenders Name & Address _____

Circle the correct power company ☐ FL Power & Light ☐ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke EnergyProperty ID Number 28-3S-16-02374-058 Estimated Construction Cost 8419.00Subdivision Name Country Dale Lot 8 Block _____ Unit _____ Phase _____

Driving Directions from a Major Road _____

Construction of Replace 8 windows size for size _____ Commercial OR ☒ ResidentialType of Structure (House; Mobile Home; Garage; Exxon) House

Use/Occupancy of the building now _____ Is this changing _____

If Yes, Explain, Proposed Use/Occupancy _____

Is the building Fire Sprinkled? _____ If Yes, blueprints included _____ Or Explain _____

Entrance Changes (Ingress/Egress) _____ If Yes, Explain _____

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) _____

10965472

Columbia County Building Permit Application

CODE: Florida Building Code 2017 6th Edition and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Natalie David
Print Owners Name

[Signature]
Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

[Signature]
Contractor's Signature

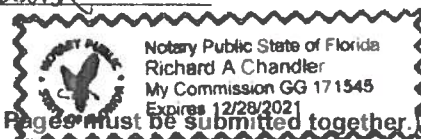
Contractor's License Number CGC061641
Columbia County
Competency Card Number 2081 ✓

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 13 day of MARCH 2020.

Personally known [Signature] or Produced Identification Provers License

[Signature]
State of Florida Notary Signature (For the Contractor)

SEAL:



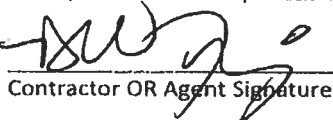
10965472

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
1. EXTERIOR DOORS			
A. SWINGING			
B. SLIDING			
C. SECTIONAL/ROLL UP			
D. OTHER			
2. WINDOWS			
A. SINGLE/DOUBLE HUNG	Simonton	6500	5767.15/1.16
B. HORIZONTAL SLIDER			
C. CASEMENT			
D. FIXED			
E. MULLION			
F. SKYLIGHTS			
G. OTHER			
3. PANEL WALL			
A. SIDING			
B. SOFFITS			
C. STOREFRONTS			
D. GLASS BLOCK			
E. OTHER			
4. ROOFING PRODUCTS			
A. ASPHALT SHINGLES			
B. NON-STRUCTURAL METAL			
C. ROOFING TILES			
D. SINGLE PLY ROOF			
E. OTHER			
5. STRUCTURAL COMPONENTS			
A. WOOD CONNECTORS			
B. WOOD ANCHORS			
C. TRUSS PLATES			
D. INSULATION FORMS			
E. LINTELS			
F. OTHERS			
6. NEW EXTERIOR ENVELOPE PRODUCTS			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

 3-18-20
Contractor OR Agent Signature Date

NOTES: _____

10965472



Date: 3/18/21

Job Address - 280 NW Scott Glen

To Whom It May Concern:

This letter will authorize the following person(s) to act as agent(s) on behalf of Arthur Wayne Francis, CGC061641 of Home Depot U.S.A., Inc. 2455 Paces Ferry Rd. Atlanta, GA 30339 to submit for and obtain permits with respect to the installation/inspections maintenance and repair of windows, doors and storm protection.

Authorized person(s):	Tim O'Malley	Aaron Hallich
	Brian Kirby	David Weed
	Erick Dedios	Christine O'Malley


Contractor of Record- Arthur Wayne Francis
Home Depot U.S.A., Inc.

STATE OF FLORIDA
COUNTY OF

The foregoing instrument was acknowledged before me this 18 day of March, 2021, by Arthur Wayne Francis.


Notary Public-State of Florida
My Commission Expires:
Is Personally Known X Or Produced Identification

Type of Identification Produced _____

(Seal)



Aaron Hallich
NOTARY PUBLIC
STATE OF FLORIDA
Comm# GG951577
Expires 1/27/2024

This Instrument Prepared By:

Name The Home Depot

Address 9208 Florida Palm Dr

Tampa, FL 33619

Permit No. _____

28-35-16-02374-058
Tax ID No. _____

STATE OF Florida
COUNTY OF Columbia

NOTICE OF COMMENCEMENT

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property: (legal description of property, and street address if available)

Lot 8 Country Club Dale WD 1344/147

2. General description of improvement:

windows

3. Owner Information or Lessee Information If the Lessee contracted for the improvement:

a. Name and address:

b. Interest in property:

c. Name and address of lessor (if different from owner listed above):

Natalie Colon - David 280 NW South Glen Lake City
FL 32055

4. Contractor:

a. Name and address:

b. Phone number:

The Home Depot 9208 Florida Palm Dr Tampa, FL 33619
813-626-7518

5. Surety (If applicable, a copy of the payment bond is attached):

a. Name and address:

b. Phone number:

c. Amount of bond \$

N/A

6. Lender:

a. Name and address:

b. Phone number:

N/A

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:

a. Name and address:

b. Phone numbers of designated persons:

N/A

8. In addition to herself/himself, Owner designates the following person(s) to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:

a. Name and address:

b. Phone number of person or entity designated by Owner:

N/A

9. Expiration date of notice of commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

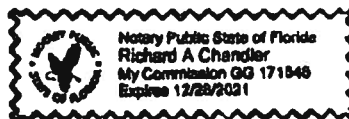
Natalie Colon - David
Signature of Owner or Lessee, or Owner's or Lessee's
Authorized Officer/Director/Partner/Manager

Signatory's Title/Office Natalie Colon - David

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization on this
date March 12, 2020 by Natalie Colon - David, who is personally known to me or who has produced proper ID as
identification and who did (did not) take an oath. can

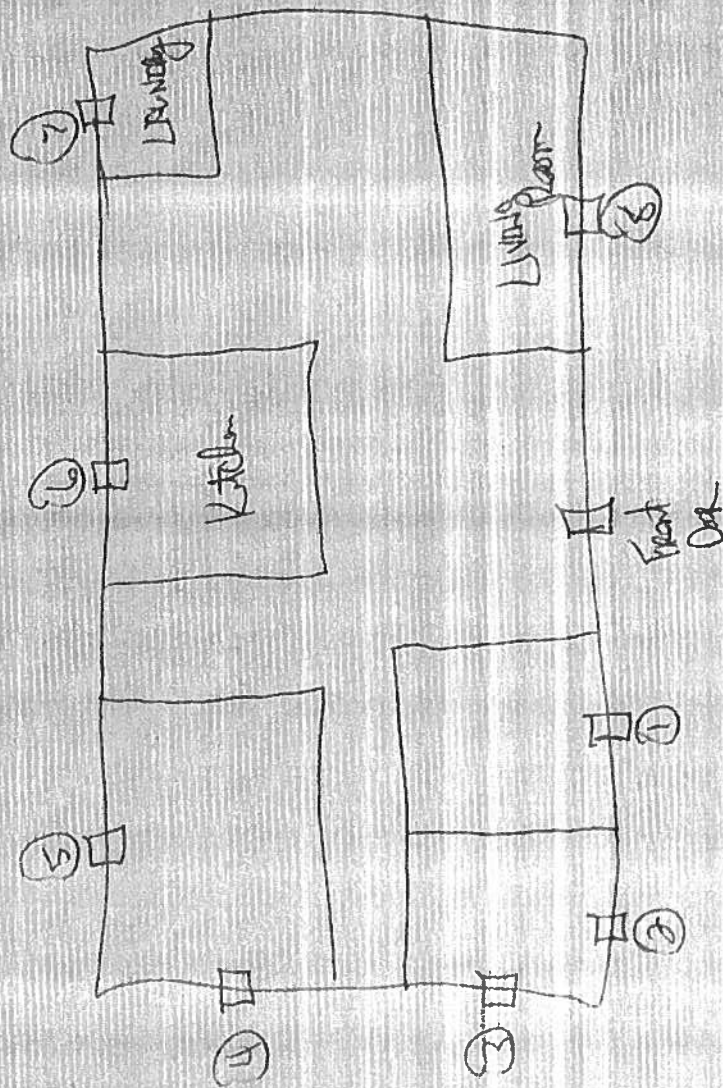
Notary Public, Commission No. _____

Richard A. Chandler
(Name of Notary typed, printed or stamped)



Dining

Dining





Product Approval
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > [Application Detail](#)



FL #

FL5167-R29

Application Type

Revision

Code Version

2017

Application Status

Approved

*Approved by DBPR. Approvals by DBPR shall be reviewed and ratified by the POC and/or the Commission if necessary.

Comments

Archived

Product Manufacturer
Address/Phone/Email

Simonton/Ply Gem Windows
5020 Weston Parkway
Suite 300
Cary, NC 27513
(614) 532-3596
luanne.harris@plygem.com

Authorized Signature

Luanne Harris
luanne.harris@plygem.com

Technical Representative
Address/Phone/Email

Luanne Harris
3948 Townsfair Way
Suite 200
Columbus, OH 43219
(614) 532-3596
luanne.harris@simonton.com

Quality Assurance Representative
Address/Phone/Email

AAMA
1827 Walden Office Square
Suite 550
Schaumburg, IL 60173
(847) 303-5664
webmaster@aamanet.org

Category
Subcategory

Windows
Double Hung

Compliance Method

Certification Mark or Listing

Certification Agency
Validated By

American Architectural Manufacturers Association
American Architectural Manufacturers Association

Referenced Standard and Year (of Standard)

Standard	Year
AAMA 450	2010
AAMA/WDMA/CSA 101/I.S.2 A440	2005
AAMA/WDMA/CSA 101/I.S.2 A440	2008

Equivalence of Product Standards
Certified By

Product Approval Method

Method 1 Option A

Date Submitted

08/12/2019

Date Validated

08/21/2019

Date Pending FBC Approval

Date Approved

08/29/2019

Summary of Products

FL #	Model, Number or Name	Description
5167.1	07-09, 07-10 and 07-20	Reflections 5500, PerfeXion Platinum Vinyl Double Hung
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: N/A Other: 48x80 (+/-25 PSF), 56x84 (+/-25 PSF), 53x76 (+/-50 PSF), 36x63 (+/-50 PSF), 44x64 (+/-50 PSF), 47x71 (+/-50 PSF), 37x84 (+/-60 PSF), 37x76 (+65/-70 PSF)		Certification Agency Certificate FL5167 R29 C CAC 07-09 DH 36x63 R50.pdf FL5167 R29 C CAC 07-09 DH 37x76 R PG65.pdf FL5167 R29 C CAC 07-09 DH 37x84 R PG60.pdf FL5167 R29 C CAC 07-09 DH 44x63 R50.pdf FL5167 R29 C CAC 07-09 DH 47x71 R PG50.pdf FL5167 R29 C CAC 07-09 DH 48x80 R25.pdf FL5167 R29 C CAC 07-09 DH 53x76 R50.pdf FL5167 R29 C CAC 07-09 DH 56x84 R PG25.pdf FL5167 R29 C CAC 07-09-10-20 and 08-09-10-20 Waiver.pdf FL5167 R29 C CAC 07-75 waiver to 07-09.pdf Quality Assurance Contract Expiration Date 04/19/2020 Installation Instructions FL5167 R29 II IN0066-R11 07-09 07-10 07-20 DH 1X.pdf FL5167 R29 II IN0067 07-09 07-10 07-20 DH 2X.pdf Verified By: American Architectural Manufacturers Association Created by Independent Third Party: Evaluation Reports FL5167 R29 AE EvalReport-IN0066-R11.pdf Created by Independent Third Party: Yes
5167.2	07-09, 07-10 and 07-20	Reflections 5500, PerfeXion Platinum Vinyl Double Hung with Transom
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +50/-50 Other: 53x130		Certification Agency Certificate FL5167 R29 C CAC 07-09 DH w Transom 53x130 R PG50.pdf FL5167 R29 C CAC 07-09-10-20 and 08-09-10-20 Waiver.pdf FL5167 R29 C CAC 07-75 waiver to 07-09.pdf Quality Assurance Contract Expiration Date 04/19/2020 Installation Instructions FL5167 R29 II IN0063 07-09 07-10 07-20 DH w Transom 2X.pdf Verified By: American Architectural Manufacturers Association Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:
5167.3	07-09, 07-10 and 07-20	Reflections 5500, PerfeXion Platinum Vinyl Double Hung H-Mulled Triple
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +50/-50 Other: 160x76, 126x76		Certification Agency Certificate FL5167 R29 C CAC 07-09 DH Triple 126x76 R PG50.pdf FL5167 R29 C CAC 07-09 DH Triple 160x76 R PG50.pdf FL5167 R29 C CAC 07-09-10-20 and 08-09-10-20 Waiver.pdf FL5167 R29 C CAC 07-75 waiver to 07-09.pdf Quality Assurance Contract Expiration Date 04/19/2020 Installation Instructions FL5167 R29 II IN0555 07-09 07-10 07-20 DH Twin-Triple 2X.pdf Verified By: American Architectural Manufacturers Association Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:
5167.4	07-09, 07-10 and 07-20	Reflections 5500, PerfeXion Platinum Vinyl Double Hung Triple with Transom Triple
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No		Certification Agency Certificate FL5167 R29 C CAC 07-09 DH Triple w Transom Triple 109x88 R PG35.pdf FL5167 R29 C CAC 07-09-10-20 and 08-09-10-20 Waiver.pdf

		FL5167 R29 C CAC 43-45 DH 52x71 R35.pdf FL5167 R29 C CAC 43-45 waiver to 43-40.pdf Quality Assurance Contract Expiration Date 09/12/2021 Installation Instructions FL5167 R29 II IN0432b 43-40 43-45 DH 2X.pdf FL5167 R29 II IN0434-R6 43-40 43-45 DH 1X.pdf Verified By: American Architectural Manufacturers Association Created by Independent Third Party: Evaluation Reports FL5167 R29 AE EvalReport-IN0434-R6.pdf Created by Independent Third Party: Yes
5167.14	43-50 (Three-Step Sill)	6100 VantagePointe, Asure, PerfeXion Silver Vinyl Double Hung
	Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: N/A Other: 52x71 (+/-35 PSF), 36x63 (+/-45 PSF), 44x63 (+/-45 PSF), 32x62 (+/-50 PSF), 36x74 (+/-50 PSF)	Certification Agency Certificate FL5167 R29 C CAC 43-50 DH 32x62 R50 (ext).pdf FL5167 R29 C CAC 43-50 DH 36x63 R45 (ext).pdf FL5167 R29 C CAC 43-50 DH 36x74 R50 (ext).pdf FL5167 R29 C CAC 43-50 DH 44x63 R45 (ext).pdf FL5167 R29 C CAC 43-50 DH 52x71 R35 (ext).pdf Quality Assurance Contract Expiration Date 01/25/2021 Installation Instructions FL5167 R29 II IN0432 43-50 DH 2X.pdf FL5167 R29 II IN0569-R3 43-50 DH 1X.pdf Verified By: American Architectural Manufacturers Association Created by Independent Third Party: Evaluation Reports FL5167 R29 AE EvalReport-IN0569-R3.pdf Created by Independent Third Party: Yes
5167.15	75-75, 75-09, 07-75, 07-09, 07-10 and 07-20	Reflections 5500, Generations, Impressions 9800, 6500 VantagePointe, PerfeXion Platinum Vinyl Double Hung
	Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: N/A Other: 48x80 (+/-25 PSF), 53x74 (+/-30 PSF), 48x80 (+/-35 PSF), 52x71 (+/-35 PSF), 53x80 (+/-40 PSF), 36x63 (+/-50 PSF), 36x74 (+/-50 PSF), 36x72 (+/-55)	Certification Agency Certificate FL5167 R29 C CAC 07-09-10-20 and 08-09-10-20 Waiver.pdf FL5167 R29 C CAC 07-10 07-20 to 07-09 Waiver.pdf FL5167 R29 C CAC 07-75 DH 48x80 R PG35.pdf FL5167 R29 C CAC 07-75 DH 53x74 R PG30.pdf FL5167 R29 C CAC 07-75 DH 53x80 R PG40.pdf FL5167 R29 C CAC 07-75 waiver to 07-09.pdf FL5167 R29 C CAC 75-75 DH 36x63 R PG50.pdf FL5167 R29 C CAC 75-75 DH 36x72 R PG55.pdf FL5167 R29 C CAC 75-75 DH 36x74 LC50.pdf FL5167 R29 C CAC 75-75 DH 48x80 LC PG25.pdf FL5167 R29 C CAC 75-75 DH 52x71 R PG35.pdf FL5167 R29 C CAC ACP-05 SIM 07-75 DH HS PW frame 07-09.pdf FL5167 R29 C CAC ACP-05 SIM 75-75, 07-09, 07-75, 07-09, 75-10, 75-20 DH frame.pdf Quality Assurance Contract Expiration Date 03/25/2020 Installation Instructions FL5167 R29 II IN0113 75-75 75-09 07-75 07-09 07-10 07-20 DH 2X.pdf FL5167 R29 II IN0132-R11 75-75 75-09 07-75 07-09 07-10 07-20 DH 1X.pdf Verified By: American Architectural Manufacturers Association Created by Independent Third Party: Evaluation Reports FL5167 R29 AE EvalReport-IN0132-R11.pdf Created by Independent Third Party: Yes
5167.16	75-75, 75-09, 07-75, 07-09, 07-10 and 07-20	Reflections 5500, Generations, Impressions 9800, 6500 VantagePointe, PerfeXion Platinum Double Hung H-Mulled Triple
	Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +50/-50 Other: 109x74 (+/-50 PSF)	Certification Agency Certificate FL5167 R29 C CAC 07-09-10-20 and 08-09-10-20 Waiver.pdf FL5167 R29 C CAC 07-75 waiver to 07-09.pdf FL5167 R29 C CAC 75-75 DH Triple 109x74 R PG50.pdf Quality Assurance Contract Expiration Date 09/13/2021 Installation Instructions FL5167 R29 II IN0060 75-75 DH Triple or Twin 2X.pdf Verified By: American Architectural Manufacturers Association Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:
5167.17	75-75, 75-09, 07-75, 07-09, 07-10	Reflections 5500, Generations, Impressions 9800, 6500

MODEL DESIGNATION:

Simonton Double Hung Series 75-75 / 07-75 / 75-09 / 07-09 / 07-10 / 07-20 Vinyl Window

See Size Chart

See Size Chart

See Size Chart

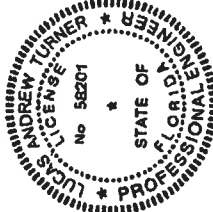
MAXIMUM OVERALL NOMINAL SIZE:

DESIGN PRESSURE RATING:

USABLE CONFIGURATIONS:

GENERAL DESCRIPTION:

The head, sill, and side jambs are extruded PVC. The wall thickness through which the anchor screw penetrates is a minimum of 0.142".



Lucas Turner
2018-04-24
12:12+20:00

04/13/2018
LUCAS A. TURNER, P.E.
P. 58201
TURNER ENGINEERING &
CONSULTING, INC.
(COA # 29779)
1239 JABARA AVE.
NORTH PORT, FL 34288
PH. 941-380-1574

REV.	REVISIONS	DATE
1	ADDED NOTES 15 & 16	11/20/11
2	ADDED MIN. EDGE DIST. NOTE	04/19/15
3	ADDED NAIL TYPE SUBSTITUTES & BULKY 2.	04/12/17
4	ADDED ANCHOR REQUIREMENTS TO SIZE CHART.	04/12/17
5	ADDED EPS TO SIZE CHART.	04/12/17

SIZE CHART			
OVERALL SIZE		CIRCLED ANCHOR LOCATIONS REQUIRED?	DP RATING
WIDTH "W"	HEIGHT "H"		
48"	80"	NO	±25 PSF
48"	80"	NO	±35 PSF
52"	71"	NO	±40 PSF
53"	80"	YES	±40 PSF
36"	63"	NO	±50 PSF
36"	74"	NO	±50 PSF
36"	72"	YES	±55 PSF

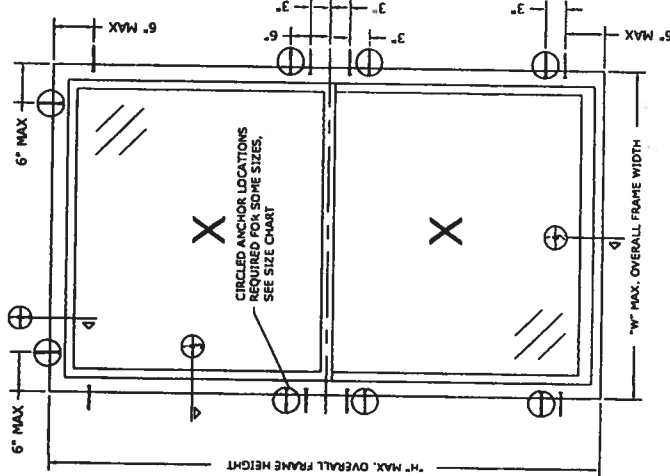
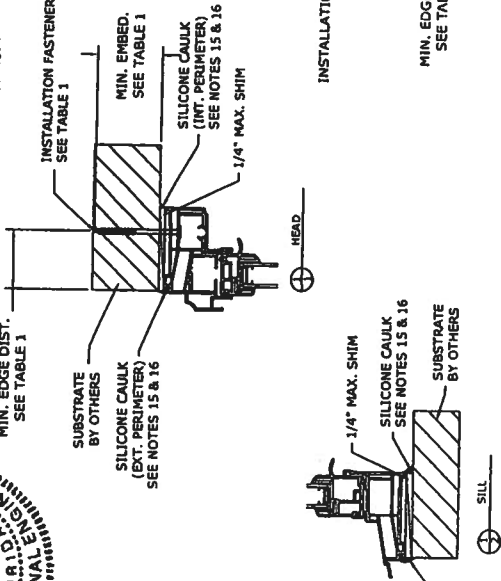


TABLE 1: INSTALLATION FASTENERS TABLE

ANCHOR TYPE	MIN. EMBED	MIN. EDGE DISTANCE
CONCRETE (2 KSI MIN.)	3/16" (1/4" TAPCON)	1-1/2"
HOLLOW OR GROUT-FILLED CMU (117 PCF MIN.)	3/16" (1/4" TAPCON)	1"
2x MIN. SOUTHERN PINE WOOD (G=0.55)	3/16" (1/4" TAPCON)	7/8"
2x MIN. SOUTHERN PINE WOOD (G=0.55)	#10 WOOD SCREW	1-3/8"
16 GAUGE (0.060") MIN. STEEL	#10-18 TW TIE	7/8"
STUD, 33KSI YIELD MIN.	SELF-DRILLING SCREW	1/2"
1/8" ALUM. 6063-T5 MIN. OR 1/8" STEEL 36 KSI MIN.	#10 GRADE 5 SELF-TAPPING/DRILLING SCREW	1/2"



NOTES

- This installation has been evaluated for use in locations adhering to the Florida Building Code outside the HVHZ, and where pressure requirements as determined by ASCE 7 Minimum Design Loads for Buildings and Other Structures do not exceed the design pressure ratings herein.
- All interior and exterior perimeter surfaces of the window must be caulked.
- Anchor type, size, spacing, embedment, and edge distance shall be as specified in these drawings. Use appropriate anchorage from Table 1 according to substrate type. A minimum center-to-center spacing of 3" shall be maintained between all Eico Ultracons in any direction.
- Anchor embedment to substrate shall be beyond wall dressing or stucco. For masonry openings with wood bucks less than 1-1/2" thick, embedment shall be beyond wood bucks, if used, and into masonry substrate. Wood bucks with masonry are optional.
- Wood or masonry openings, bucks, and buck fasteners, by others, shall be properly designed and installed to transfer wind loads to the structure.
- The responsibility for selection of Simonton products to meet any applicable local laws, building codes, ordinances, or other safety requirements rests solely with the architect, building owner, or contractor.
- Shims are required where gaps of greater than 1/16" exist between opening and frame. Max. shim stack is 1/4". Shims shall be load-bearing and capable of transferring loads to the substrate.
- When used in areas requiring impact protection, this product **REQUIRES** the use of approved impact resistant shutters or other external protection.
- Sealing and flashing by others should be applied using the ASTM E 2112 methodology appropriate for the opening into which the product is being installed. Overall water penetration resistance of the installed product is not addressed in this drawing and is the responsibility of others.
- Glazing shall comply with ASTM E 1300.
- All fasteners penetrating into pressure treated wood shall be capable of preventing corrosion due to reaction with pressure treatment chemicals. Any dissimilar materials that come into contact shall be protected to prevent reactions in accordance with code requirements.
- A wind load duration factor Cd = 1.6 was used for the analysis of wood screws only.
- Products shall be constructed as specified in test reports ATI-A6989.01-501-47, ATI-C9020.01-501-47, ATI-C9020.01-501-47, ATI-D2914.01-109-47, ATI-D2916.01-109-47, ATI-C2266.01-109-47 AND ATI-D0300.01-501-47-70.
- Designation "X" and "O" stand for the following: X: Operable Panel - O: Fixed Panel.
- Use 100% pure silicone caulk compliant with AAMA 800 Section 1 - Sealant Specifications for use with Architectural Fenestration Products. For more details visit Simonton.com.
- Use a backer rod on all joints > 3/4" deep and/or wider than 1/4". Finished caulk joint should be a minimum of 3/8" deep.

DISCLOSURE STATEMENT

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FILE: FL 5197.15

FINISH TREATMENT:

FINISH: ☐ POLYURETHANE ☐ POLYURETHANE ☐ POLYURETHANE

ALLOY & TENSILE: ☐ ALUMINUM ☐ ALUMINUM ☐ ALUMINUM

WEIGHT: ☐ 1.00 ☐ 1.00 ☐ 1.00

VOLUME: ☐ 1.00 ☐ 1.00 ☐ 1.00

SURFACE AREA: ☐ 1.00 ☐ 1.00 ☐ 1.00

PERIMETER: ☐ 1.00 ☐ 1.00 ☐ 1.00

SCALE: 1/4" = 1'-0"

SERIES: 75-75 / 07-75 / 75-09 / 07-10 / 07-20 OH

TITLE: 1X BUCK INSTALLATION

SIMONTON

1 Cushman Avenue
Pemberton, N.Y. 12415

SCALE: 1/4" = 1'-0"

SERIES: 75-75 / 07-75 / 75-09 / 07-10 / 07-20 OH

TITLE: 1X BUCK INSTALLATION

**Slmonton Double Hung Series 75-75 / 75-09 / 07-75 /
07-09 / 07-10 / 07-20 Vinyl Window**

See Size Chart

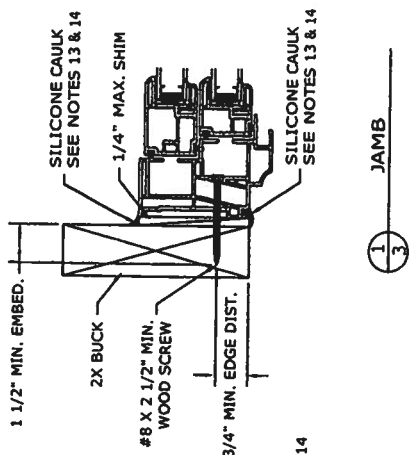
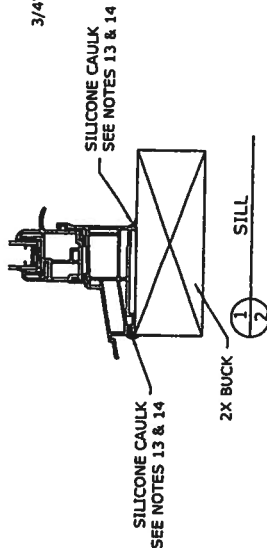
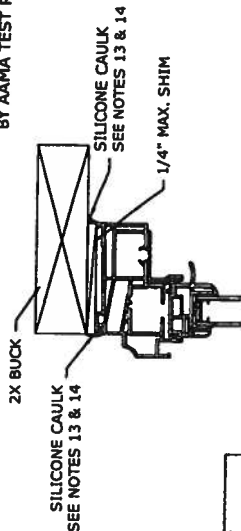
See Size Chart

x

The head, sill, and side jambs are extruded PVC. The wall thickness through which the anchor screw penetrates is a minimum of 0.070".

The diagram illustrates a double window unit with two panes. Key dimensions and components are labeled:

- Overall Frame Width:** Indicated by a dimension line on the right side, labeled "W" MAX. OVERALL FRAME WIDTH.
- Overall Frame Height:** Indicated by a dimension line at the bottom, labeled "H" MAX. OVERALL FRAME HEIGHT.
- Top Sill:** A dimension line at the top indicates a maximum height of 6" MAX.
- Internal Components:** Each pane contains a large 'X' mark. The left pane also features a small triangle symbol in the bottom-left corner and a circle symbol with a cross inside at the bottom center. The right pane features a circle symbol with a cross inside at the bottom center.



1. This installation has been evaluated for use in locations adhering to the Florida Building Codes and where pressure requirements as determined by ASCE 7 Minimum Design Loads for Buildings and Other Structures do not exceed the design pressure ratings herein, for use outside the H.V.H.Z.
2. All exterior perimeter surfaces of the window must be caulked. Interior caulking is optional unless noted otherwise.
3. Anchors shall be as specified and spaced as shown. Anchor embedment to base material shall be beyond wall dressing or stucco and into wood.
4. The responsibility for selection of Simonton products to meet any applicable local laws, building codes, ordinances, or other safety requirements rests solely with the architect, building owner, or contractor.
5. Shims are optional. Max. shim stack is 1/4".
6. Wood bucks (by others) must be engineered and anchored properly to transfer loads to the structure.
7. When used in areas requiring impact protection this product **REQUIRES** the use of approved impact resistant shutters or other external protection.
8. Flashing should be applied using the ASTM E 2112 method appropriate for the opening into which the window is being installed.
9. Installation screws must be at least 3/4" from the edge of the wood.
 1. This product complies with ASTM E 1300.
 2. Designation "X" and "O" stand for the following: X: Operable Panel - O: Fixed Panel.
 3. Use 100% pure silicone caulk compliant with AAMA 800 Section 1 - Sealant Specifications for use with Architectural Fenestration Products. For more details visit Simonton.com.
4. Use a backer rod on all joints >3/4" deep and/or wider than 1/4". Finished caulk joint should be a minimum of 3/8" deep.

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Columbia County Property Appraiser

Jeff Hampton

2020 Working Values

updated 3/9/2020

Parcel: << 28-3S-16-02374-058 >>

Owner & Property Info

Result: 1 of 1

Owner	DAVID RAPHYN I BLANCO & NATALIE COLON 280 NW SCOTT GLEN LAKE CITY, FL 320555038		
Site	280 SCOTT GLN, LAKE CITY		
Description*	LOT 8 COUNTRY DALE ESTATES. WD 1344-167,		
Area	0.507 AC	S/T/R	28-3S-16
Use Code**	SINGLE FAM (000100)	Tax District	2

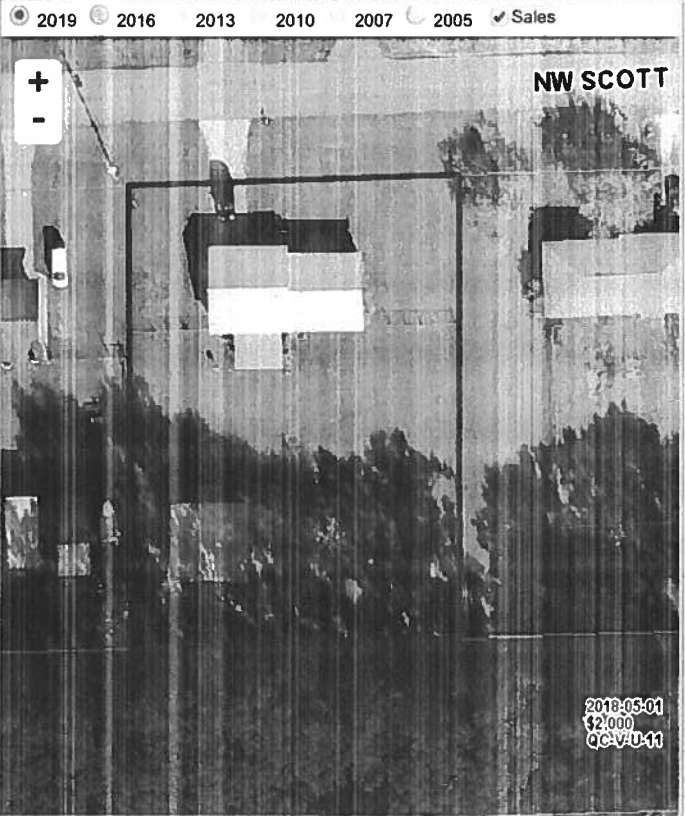
*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2019 Certified Values		2020 Working Values	
Mkt Land (1)	\$12,842	Mkt Land (1)	\$12,842
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (1)	\$70,688	Building (1)	\$73,084
XFOB (2)	\$1,100	XFOB (2)	\$1,100
Just	\$84,630	Just	\$87,026
Class	\$0	Class	\$0
Appraised	\$84,630	Appraised	\$87,026
SOH Cap [?]	\$7,468	SOH Cap [?]	\$8,089
Assessed	\$77,162	Assessed	\$78,937
Exempt	HX H3 OTHER \$77,162	Exempt	HX H3 OTHER \$78,937
Total	county:\$0 city:\$0	Total	county:\$0 city:\$0
Taxable	other:\$0 school:\$0	Taxable	other:\$0 school:\$0

Aerial Viewer Pictometry Google Maps



Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
9/5/2017	\$92,500	1344/0167	WD	I	Q	01
3/1/1984	\$32,000	534/0706	WD	I	Q	
4/1/1981	\$32,300	467/0048	WD	I	Q	

Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	SINGLE FAM (000100)	1980	1100	2072	\$70,688

*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	0	\$100.00	1.000	0 x 0 x 0	(000.00)
0080	DECKING	2007	\$1,000.00	1.000	0 x 0 x 0	(000.00)

Land Breakdown

Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
000100	SFR (MKT)	1.000 LT - (0.507 AC)	1.00/1.00 1.00/1.00	\$12,842	\$12,842

Search Result: 1 of 1