

DATE 02/28/2006

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000024168

APPLICANT DALE BURD PHONE 497.2311
ADDRESS POB 39 FT. WHITE FL 32038
OWNER LONNIE CALDWELL PHONE 386.755.4366
ADDRESS 980 SW UTAH STREET FT. WHITE FL 32038
CONTRACTOR TERRY L. THRIFT PHONE 386.623.0115
LOCATION OF PROPERTY 47-S TO US 27-W TO UTAH,TL AND IT'S THE 8TH LOT ON THE L
PAST ONTARIO.

TYPE DEVELOPMENT M/H/UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE XPRM DEVELOPMENT PERMIT NO.

PARCEL ID 24-6S-15-01427-000 SUBDIVISION 3 RIVERS ESTATES
LOT 28 BLOCK 1 PHASE UNIT 23 TOTAL ACRES 0.91

IH0000036
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 06-0145-N BLK JTH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: 1 FOOT ABOVE ROAD.

Check # or Cash 12531

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing date/app. by
Framing Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in Heat & Air Duct Peri. beam (Lintel) date/app. by
Permanent power C.O. Final Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing Pool date/app. by
Reconnection Pump pole Utility Pole date/app. by
M/H Pole Travel Trailer Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 47.36 WASTE FEE \$ 98.10
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 420.36
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

- 12531

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only

Zoning Official BLK 28.02.06Building Official OK JH 2-18-06AP# 0602-50Date Received 2-15-06By GPermit # 24168Flood Zone X PER RIVER MAPDevelopment Permit NIAZoning A-3Land Use Plan Map Category A-3

Comments

FEMA Map # _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

☒ Site Plan with Setbacks shown
 ☒ Environmental Health Signed Site Plan
 ☐ Env. Health Release

☒ Well letter provided
 ☒ Existing Well

Revised 9-23-04

- Property ID 00-00-00-01421-000 Must have a copy of the property deed
- New Mobile Home _____ Used Mobile Home _____ Year 06
- Subdivision Information Lot 28 BIK 1 UNIT 23. 3 RIVERS ESTATES
- Applicant Dale Ford on Rocky Ford Phone # 386-497-2311
- Address PO Box 39, Fort White, FL 32038
- Name of Property Owner Lennir Caldwell Phone # 386-755-4366
- 911 Address 980 SW UTAH ST. FT. WHITE FL 32038
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progressive Energy
- Name of Owner of Mobile Home SAMR Phone # _____
- Address _____
- Relationship to Property Owner SAMR
- Current Number of Dwellings on Property 0
- Lot Size 100 X 400 Total Acreage .91
- Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Walver Permit
- Driving Directions FROM FT WHITE, US 27 WEST, LEFT ON UTAH, FOLLOW TO LOT ON LEFT NEXT TO ADDRESS 1029 (8th lot in L part of lot)
- Is this Mobile Home Replacing an Existing Mobile Home NO
- Name of Licensed Dealer/Installer TERRY L. THURITT Phone # (386) 623-0115
- Installers Address 448 NW 1st Hunter Dr Lake City FL 32055
- License Number TH-0000036 Installation Decal # 265900



Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 00-00-00-01427-000 - VACANT (000000)

LOT 28 BLOCK 1 UNIT 23 THREE RIVERS ESTATES. ORB 539-203, 629-285, 849-1854, 962-2227.

Name:	CALDWELL LONNIE &	LandVal	\$7,100.00
Site:	THREE RIVERS UNIT 23	BldgVal	\$0.00
	NAOMI WILLIAMS	ApprVal	\$7,100.00
Mail:	1026 SW UTAH ST	JustVal	\$7,100.00
	FT WHITE, FL 32038	Assd	\$7,100.00
Sales	7/13/2004 \$10,000.00 V / U	Exmpt	\$0.00
Info	8/12/2002 \$100.00 V / U	Taxable	\$7,100.00
	12/1/1997 \$5,600.00 I / U		

0 0.05 0.1 0.15 mi



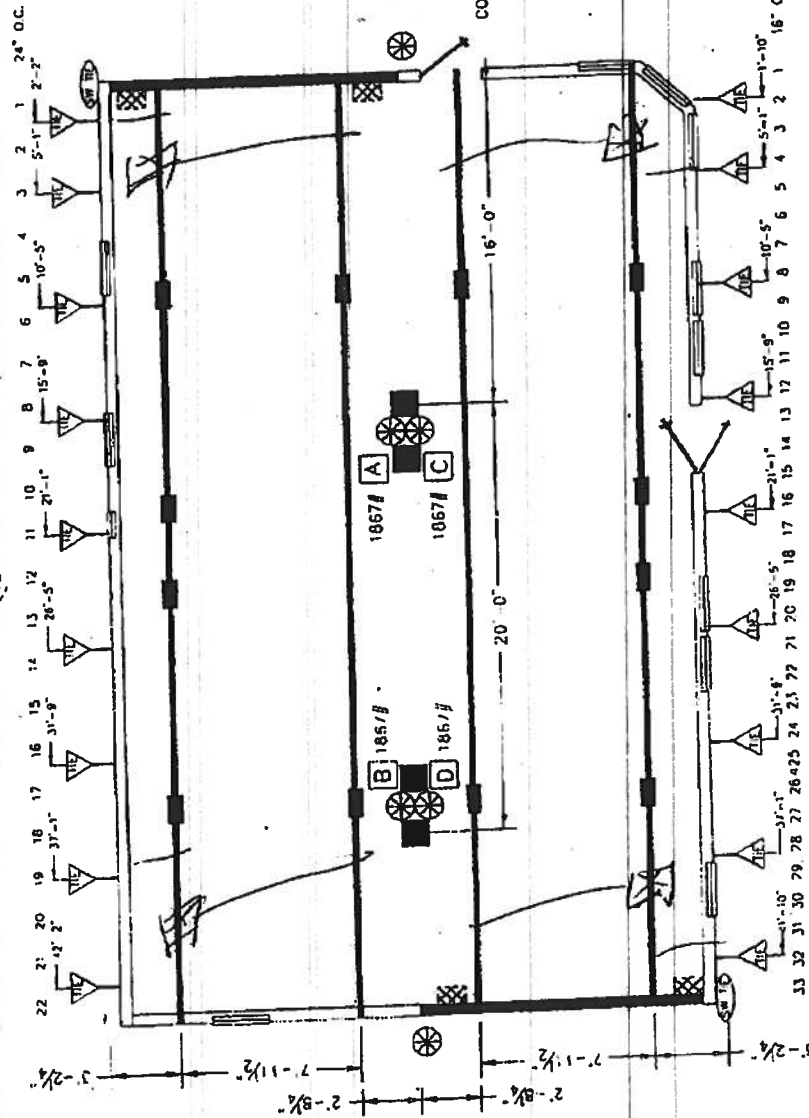
This information, GIS Map Updated: 8/3/2005, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

HOMES OF MERIT LAKE CITY → C&G LOT #1

01/30/2004 16:58 FAX 386 758 9335

[illegible]

Q5F-2000 on 19" x 22" pads at 6'0" S¹ 0'0"
 target 285 3/16 3150 HFT anchor 5'4" 0'
 Reimber 6/22 on 16" x 16" pads at 8'0" 0'



FOREST/2827 AND TITAN T125

FOREST/3252 AND TITAN T123

		HOMES OF MERIT, INC. P.O. BOX 2097 HWY 100 EAST LAKE CITY, FLORIDA 32056	
Date: 8-21-03	Regions:	Conf: 181BA49	
Or n: JDC	08/26/03 RS		
Parent: NW	10/24/03 JC		
Code: F (04)			
SASE 2	Model TITAN 1125-1818 FOREST MANOR 2827-1818 40X28-28R-28-FR		Print: FLORIDA BLOCKING PLAN

BLOCKING LEGEND:		FLORIDA	
	I-BEAM BLOCKING		SHEARWALL TIE
	SEE SOIL BEARING CAPACITY CHARTS FOR SPACING		COLUMN BLOCKING
	SEE SOIL BEARING CAPACITY CHARTS FOR PAD SIZE		SHEARWALL BLOCKING
	SHEARWALL FRAME TIE		CENTER LINE TIES
	VERTICAL TIE MAX. SPACING 5'-4" CENTER TO CENTER		LONGITUDINAL TIES
	LONGITUDINAL TIES		LONGITUDINAL TIES

PERMIT WORKSHEET

PERMIT NUMBER

Installer TERRY L. TRINER License # TH-0000036

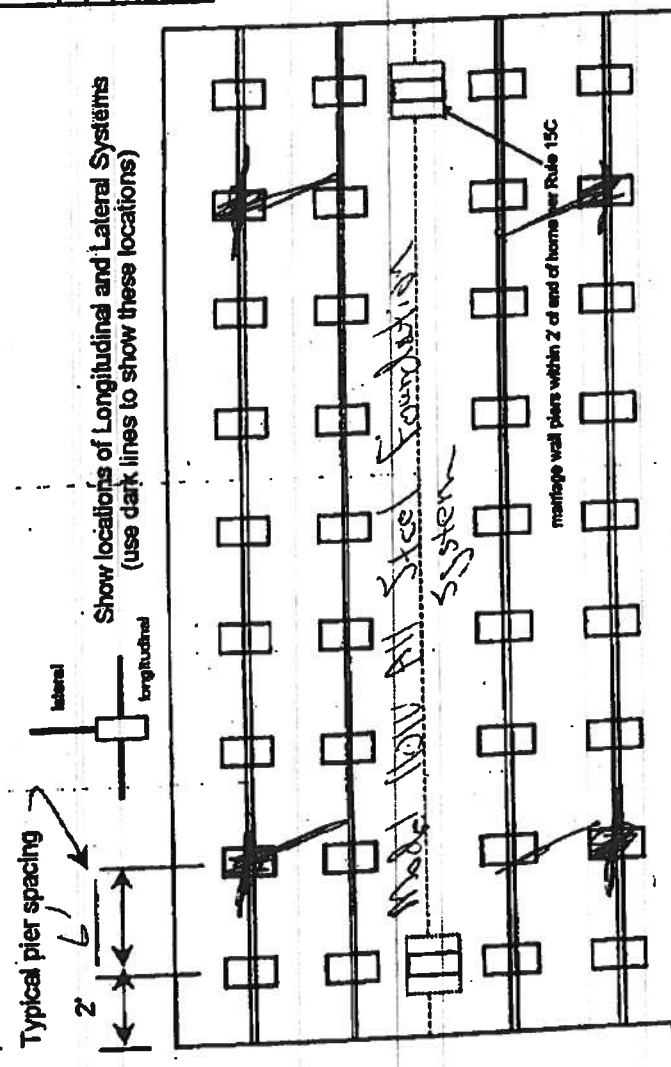
Address of home being installed SW UTAH ST

Manufacturer Mercit Length x width 28x44

NOTE: if home is a single wide fill out one half of the blocking plan
if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials TLT



New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual ☒

Home is installed in accordance with Rule 15-C ☐

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☐ Installation Decal # 265900

Triple/Quad ☐ Serial # 30472AB

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 26" (676)
1000 psf	3'	4'	4'	5'	6'	7'	8'
1500 psf	4'	6'	6'	7'	8'	9'	10'
2000 psf	6'	8'	8'	9'	10'	11'	12'
2500 psf	7'	9'	9'	10'	11'	12'	13'
3000 psf	8'	10'	10'	11'	12'	13'	14'
3500 psf	8'	10'	10'	11'	12'	13'	14'

* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17" x 22"

Perimeter pier pad size 16" x 16"

Other pier pad sizes (required by the mfg.)

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening Pier pad size

POPULAR PAD SIZES

Pad Size	Sq in
18" x 18"	288
18" x 18"	288
18.5" x 18.5"	342
16" x 22.5"	360
17" x 22"	374
13 1/4" x 26 1/4"	348
20" x 20"	400
17 3/8" x 25 3/8"	441
17 1/2" x 25 1/2"	448
24" x 24"	576
26" x 26"	676

ANCHORS

4 ft 5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

OTHER TIES

Number 18
Sidewall 4
Longitudinal 2
Marriage wall
Shearwall

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)
Manufacturer
Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 285 psf or check here to declare 1000 lb. soil without testing.

$\frac{2000}{2.85} \times \frac{2000}{2.85} = 285$

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

$\frac{2000}{2.85} \times \frac{2000}{2.85} = 285$

TORQUE PROBE TEST

The results of the torque probe test is 285 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft. anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb. holding capacity.

Installer's Initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Date Tested

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 2

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 2

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 2

Site Preparation

Debris and organic material removed Yes
Water drainage: Natural Swale Pad Other

Fastening multi wide units

Floor: Type Fastener: Long Length: 6.12" Spacing: 24" @ 24"
Walls: Type Fastener: Staples Length: 10" Spacing: 24" @ 24"
Roof: Type Fastener: Staples Length: 10" Spacing: 24" @ 24"
For used homes a min. 36 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's Initials

Type gasket

Yes

Installed:

Between Floors Yes

Between Walls Yes

Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg. 2
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed: Yes No N/A
Dryer vent installed outside of skirting. Yes
Range downflow vent installed outside of skirting. Yes
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other: N/A

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and/or Rule 15C-1 & 2

Installer Signature

Debbie

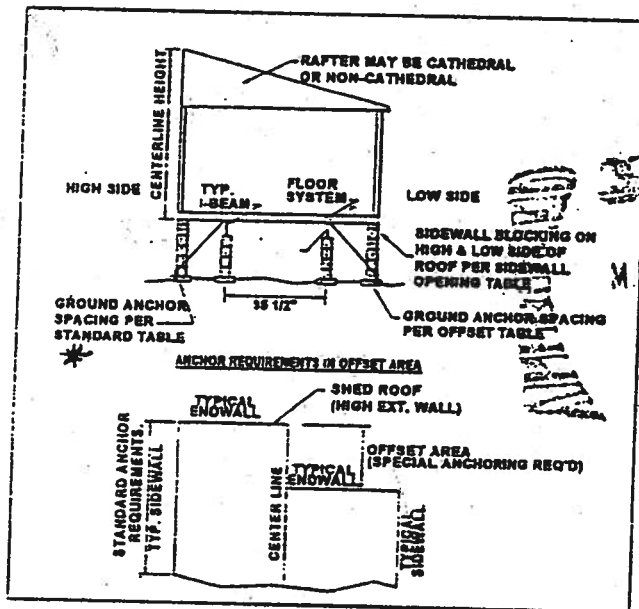
Date

2/10/06

Merit

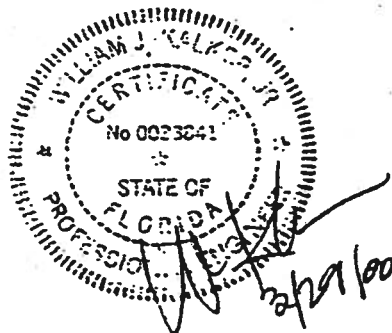
OFFSET UNITS (SHED ROOF):

Offset units will require special anchoring. Use the appropriate Anchor Table to determine the proper anchor spacing. Please note that ground anchors will be required at both sidewalls of the offset portion as well as at perimeter blocking. The Hurricane Tie-Down Table applies to units with offsets on either half that forms a mono-pitch (shed) roof condition at the high side. The Tie-Down requirements apply only to the high side of the unit; the low side will require the standard Hurricane Anchor Spacing. See Shed Roof Tie-Down requirements on page 17 for maximum anchor spacing.

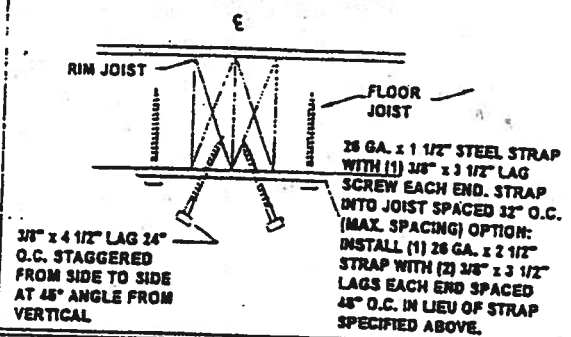


ROOF AND FLOOR STRAPPING OF MULTI-SECTION HOME:

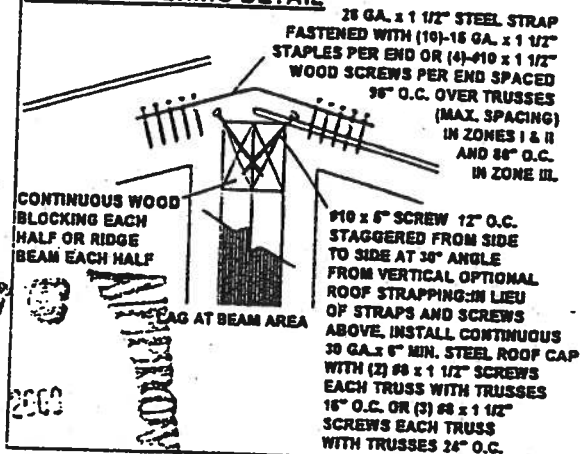
The roof and the floor must be connected in the field. The following details show proper installation of fasteners and steel straps.



FLOOR FASTENING DETAIL



ROOF FASTENING DETAIL

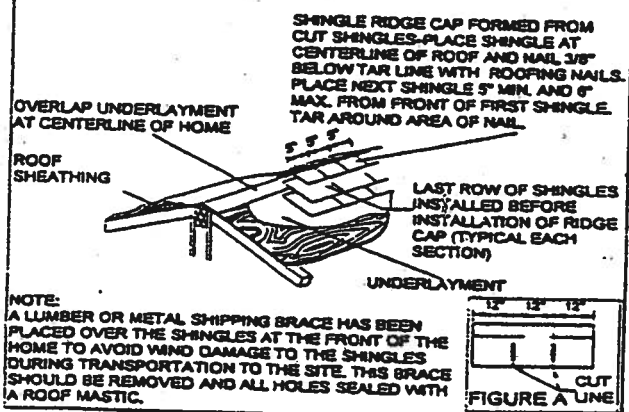


ROOF CLOSE-UP:

The wood member fastened at the front (hitch end) of the roof is to be removed. All nail holes must be sealed with a shingle sealant. The shingles shipped with the home must be installed along the center ridge of the home. The following details show the proper method of installing the shingles.

TAG UNIT CONNECTION:

SHINGLE ROOF CONNECTION



*MAY BE FAR BEAM INSTALLATION

Columbia County Property Appraiser

DB Last Updated: 9/16/2005

2005 Proposed Values

Parcel: 00-00-00-01427-000

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	CALDWELL LONNIE &
Site Address	THREE RIVERS UNIT 23
Mailing Address	NAOMI WILLIAMS 1026 SW UTAH ST FT WHITE, FL 32038
Brief Legal	LOT 28 BLOCK 1 UNIT 23 THREE RIVERS ESTATES. ORB 539-203, 629-285, 849-1854, 962-2227,

Use Desc. (code)	VACANT (000000)
Neighborhood	100000.23
Tax District	3
UD Codes	MKTA02
Market Area	02
Total Land Area	0.918 ACRES

Property & Assessment Values

Mkt Land Value	cnt: (2)	\$7,100.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$7,100.00

Just Value	\$7,100.00
Class Value	\$0.00
Assessed Value	\$7,100.00
Exempt Value	\$0.00
Total Taxable Value	\$7,100.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
7/13/2004	1020/2792	QC	V	U	01	\$10,000.00
8/12/2002	962/2229	QC	V	U	06	\$100.00
12/1/1997	849/1854	TD	I	U	01	\$5,600.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	1.000 LT - (.918AC)	1.00/1.00/1.00/1.00	\$5,100.00	\$5,100.00
009945	WELL/SEPT (MKT)	1.000 UT - (.000AC)	1.00/1.00/1.00/1.00	\$2,000.00	\$2,000.00

Columbia County Property Appraiser

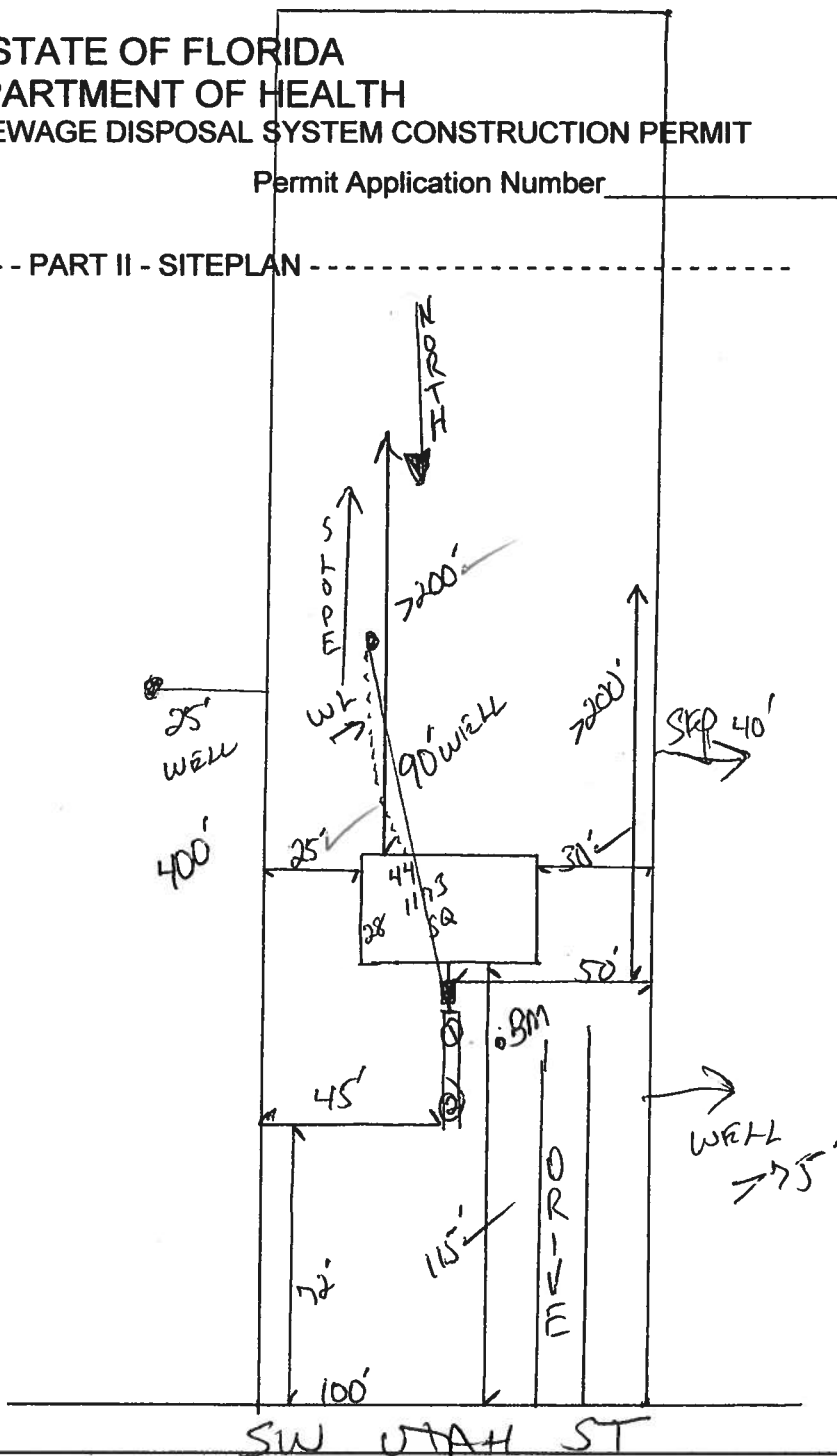
DB Last Updated: 9/16/2005

1 of 1

Permit Application Number	
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Scale: 1 inch = 50 feet.

Caldwell
LOT 28



Notes: SW UTAH ST

Site Plan submitted by: PLATO

Plan Approved _____ Not Approved _____

Date _____

By _____ County Health Department

DH 4015, 10/96 (Replaces HRS-H Form 4016 which may be used)
(Stock Number: 5744-002-4015-6)

RON E. BIAS WELL DRILLING

RT.2 BOX 5340

FT. WHITE, FLORIDA 32038

(904) 497-1045

MOBILE: 364-9233

TO: Columbia County Building Department

Description of well to be installed for Customer:

Located at Address:

Caldwell
SW UTAH ST, FT WHITE, FL, 32038

1 hp – 1 ¼" drop over 86 gallon tank, 250 gallon equivalent captive with back flow preventer. 35-gallon draw down with check valve pass requirements.

Ron Bias
Ron Bias

MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License:

Any person who engages in mobile home installation shall obtain a mobile home installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said license shall be renewed annually, and each licensee shall pay a fee of \$150.

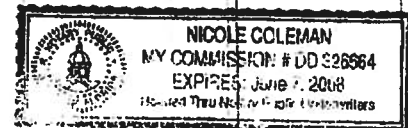
I, TERRY L. THORNTON, license number IH 0000036
do hereby state that the installation of the manufactured home for DALE BIRD
on Rocky Ford at SW UTAH ST, FT WHITE
will be done under my supervision.

Terry L. Thornton
Signature

Sworn to and subscribed before me this 10 day of February,
2006.

Notary Public: Nicole Coleman
Signature

My Commission Expires: 06-07-08
Date



LIMITED POWER OF ATTORNEY

I, TERRY L. THE F., license # TH-0000036 hereby
authorize Dave Bud on Lerby Ford to be my representative and act on my behalf
in all aspects of applying for a mobile home permit to be placed on the following
described property located in Suwannee County, Florida.

Property owner: LONNIE Caldwell

Sec 00 Twp. 00 S Rge 00 E

Tax Parcel No. 01427-000

[Signature]
Mobile Home Installer

2/10/06
(Date)

Sworn to and subscribed before me this 10 day of February, 2006.

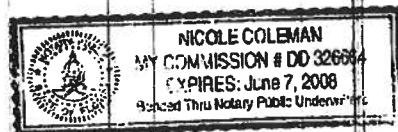
[Signature]
Notary Public

My Commission expires: 06-07-08

Commission No. _____

Personally known: X

Produced ID (Type) _____



**STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT**

Permit Application Number.

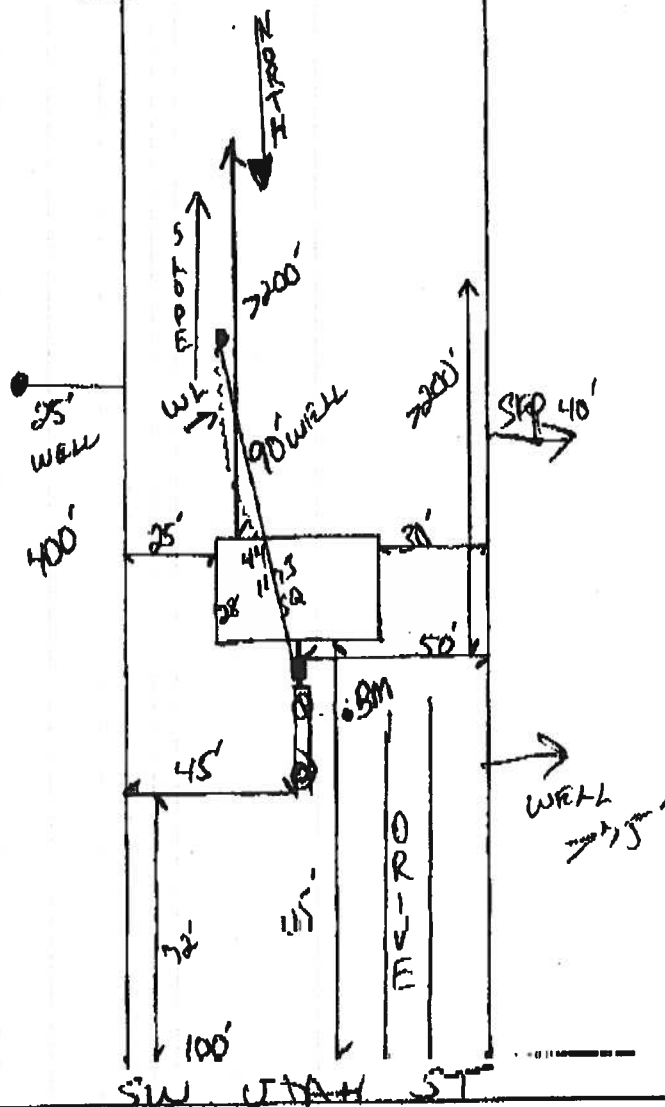
06-0145N

PART II - SITEPLAN

Scale: 1 inch = 50 feet.

Catchwell
Lot 28

91
AMES



Notes:

Site Plan submitted by:

Plan Approved

Bv

Not Approved

Salti Maddy: ES1. COLUMBIA

MASTER CONTRACTOR

Date 2-20-01

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 2/16/2006 DATE ISSUED: 2/21/2006

ENHANCED 9-1-1 ADDRESS:

980 SW UTAH ST

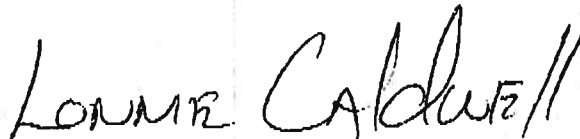
FORT WHITE FL 32038

PROPERTY APPRAISER PARCEL NUMBER:

00-00-00-01427-000

Remarks:

LOT 28, BLOCK 1, UNIT 23, THREE RIVERS ESTATES S/D



Address Issued By:


Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

**COLUMBIA COUNTY
FLORIDA**

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 24-6S-15-01427-000

Building permit No. 000024168

Permit Holder TERRY L. THRIFT

Owner of Building LONNIE CALDWELL

Location: 980 UTAH ST, FT WHITE, FL 32038

Date: 03/15/2006



Thany Dicks
Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)