

DATE 11/01/2010

**Columbia County Building Permit**  
This Permit Must Be Prominently Posted on Premises During Construction**PERMIT**  
**000028966**

APPLICANT STEPHANIE KIRKLAND PHONE 352.665.0402  
ADDRESS 240 NW 44TH STREET GAINESVILLE FL 32607  
OWNER THOMAS JORDAN, JR. PHONE 386.984.9795  
ADDRESS 544 SW SMYRNA PLACE FT. WHITE FL 32038  
CONTRACTOR STEPHANIE KIRKLAND PHONE 352.271.6262

LOCATION OF PROPERTY 41-S TO C-131-S TO MARKHAM, TR GO TO CHIVES, TR GO TO LANDRUM  
LANE, TL GO TO MYSTIC WAY, TL SMYRNA PL, LOT ON R, LAST MAILBOX.

TYPE DEVELOPMENT MODULAR AGR. BLDG ESTIMATED COST OF CONSTRUCTION 40000.00  
HEATED FLOOR AREA 800.00 TOTAL AREA 800.00 HEIGHT 10.00 STORIES 1  
FOUNDATION CONC WALLS METAL ROOF PITCH 4'12 FLOOR CONC  
LAND USE & ZONING A-3 MAX. HEIGHT 35  
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO. \_\_\_\_\_

PARCEL ID 25-5S-16-03716-115 SUBDIVISION BUCKHEAD WOODS(UNREC)  
LOT 15 BLOCK \_\_\_\_\_ PHASE \_\_\_\_\_ UNIT \_\_\_\_\_ TOTAL ACRES \_\_\_\_\_

CGC1509604  
Culvert Permit No. \_\_\_\_\_ Culvert Waiver \_\_\_\_\_ Contractor's License Number CGC1509604 Applicant/Owner/Contractor Stephanie Kirkland  
EXISTING 10-0471 BLK TC N  
Driveway Connection \_\_\_\_\_ Septic Tank Number \_\_\_\_\_ LU & Zoning checked by \_\_\_\_\_ Approved for Issuance \_\_\_\_\_ New Resident \_\_\_\_\_

COMMENTS: ACCESSORY STRUCTURE.Check # or Cash 2580**FOR BUILDING & ZONING DEPARTMENT ONLY**

(footer/Slab)

Temporary Power \_\_\_\_\_ Foundation \_\_\_\_\_ Monolithic \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Under slab rough-in plumbing \_\_\_\_\_ Slab \_\_\_\_\_ Sheathing/Nailing \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Framing \_\_\_\_\_ Insulation \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Rough-in plumbing above slab and below wood floor \_\_\_\_\_ Electrical rough-in \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Heat & Air Duct \_\_\_\_\_ Peri. beam (Lintel) \_\_\_\_\_ Pool \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Permanent power \_\_\_\_\_ C.O. Final \_\_\_\_\_ Culvert \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Pump pole \_\_\_\_\_ Utility Pole \_\_\_\_\_ M/H tie downs, blocking, electricity and plumbing \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Reconnection \_\_\_\_\_ RV \_\_\_\_\_ Re-roof \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

BUILDING PERMIT FEE \$ 200.00 CERTIFICATION FEE \$ 4.00 SURCHARGE FEE \$ 4.00  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ \_\_\_\_\_  
FLOOD DEVELOPMENT FEE \$ 0.00 FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ \_\_\_\_\_ **TOTAL FEE** 283.00  
INSPECTORS OFFICE \_\_\_\_\_ CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."**

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

**The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.**



# Columbia County Building Permit Application

**For Office Use Only** Application # 1010-31 Date Received 10/18 By JW Permit # 28966  
 Zoning Official B2K Date 29.10.10 Flood Zone X Land Use A-3 Zoning A-3  
 FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner J.C Date 10-25-10  
 Comments \_\_\_\_\_  
☒ NOC ☒ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # \_\_\_\_\_  
☐ Dev Permit # \_\_\_\_\_ ☐ In Floodway ☒ Letter of Auth. from Contractor ☐ F W Comp. letter  
 IMPACT FEES: EMS \_\_\_\_\_ Fire \_\_\_\_\_ Corr \_\_\_\_\_ Road/Code \_\_\_\_\_  
 School \_\_\_\_\_ = TOTAL 0 Accessory Structure ☒ VF

Septic Permit No. 10-0471 STEPHANIE KIRKLAND Fax (352) 271-3195  
 Name Authorized Person Signing Permit TODD KIRKLAND Phone (352) 665-0402  
 Address 240 NW 44th ST Gainesville, FL 32607  
 Owners Name Jordan Thomas WJR + Sandra M. Phone (386) 984-9795  
 911 Address 544 SW Smyrna Place FT. White, FL 32038  
 Contractors Name Stephanie Kirkland Phone (352) 271-6262  
 Address 240 NW 44th ST Gainesville, FL 32607

Fee Simple Owner Name & Address \_\_\_\_\_  
 Bonding Co. Name & Address \_\_\_\_\_  
 Architect/Engineer Name & Address John A. BUDZIAK 2529 Central Ave St. Petersburg, FL 33713  
 Mortgage Lenders Name & Address CASH

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 25-58-16-03716-115 Estimated Cost of Construction \$8500<sup>00</sup>  
 Subdivision Name Buck Head Woods (unrecorded) Lot 15 Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_  
 Driving Directions 41 S, (R) 131, (R) Marlcham, (R) Chives, Sharp Left  
turns into Landrum Ln, (L) Mystic, (L) Smyrna Pl, past the  
culdesac - (green mailbox on white post) on (R) Number of Existing Dwellings on Property 1

Construction of MOD. AGRICULTURE - SHELLED EGGS Total Acreage 10 Lot Size \_\_\_\_\_  
 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 10'  
 Actual Distance of Structure from Property Lines - Front 29' 1/2' Side 288' Left Side 255' Right Rear 91'  
 Number of Stories 1 Heated Floor Area 800 sq ft Total Floor Area 800 sq ft Roof Pitch 9/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

JW called & spoke with Todd 10.29.10



10-0471

# Columbia County Property Appraiser

DB Last Updated: 8/5/2010

**2009 Tax Roll Year**

Parcel: 25-5S-16-03716-115

&lt;&lt; Next Lower Parcel   Next Higher Parcel &gt;&gt;

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

[Interactive GIS Map](#)

Print

&lt;&lt; Prev

Search Result: 66 of 71

Next &gt;&gt;

## Owner & Property Info

Owner's Name	JORDAN THOMAS W JR & SANDRA M		
Mailing Address	544 SW SMYRNA PL FT WHITE, FL 32038		
Site Address	544 SW SMYRNA PL		
Use Desc. (code)	MOBILE HOM (000200)		
Tax District	3 (County)	Neighborhood	25516
Land Area	10.010 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
AKA LOT 15 BUCKHEAD WOODS UNR: BEG SE COR OF W1/2 OF SE1/4, RUN W 406.51 FT, N 1060.38 FT TO A PT ON S R/W BUCKHEAD WOODS DR, RUN E 407.46 FT, S 1084.97 FT TO POB. ORB 801-89, WD 1130-344			



## Property & Assessment Values

2009 Certified Values		
<b>Mkt Land Value</b>	cnt: (0)	\$59,770.00
<b>Ag Land Value</b>	cnt: (2)	\$0.00
<b>Building Value</b>	cnt: (1)	\$58,602.00
<b>XFOB Value</b>	cnt: (3)	\$9,600.00
<b>Total Appraised Value</b>		\$127,972.00
<b>Just Value</b>		\$127,972.00
<b>Class Value</b>		\$0.00
<b>Assessed Value</b>		\$127,972.00
<b>Exempt Value</b>	(code: HX)	\$50,000.00
<b>Total Taxable Value</b>	Cnty: \$77,972 Other: \$77,972   Schl: \$102,972	

## 2010 Working Values

**NOTE:**  
2010 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

## Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
12/26/2002	971/120	WD	V	Q		\$31,500.00
9/28/2001	937/1799	QC	V	U	01	\$100.00
1/12/1995	801/89	WD	V	Q		\$26,300.00

## Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SFR MANUF (000200)	2004	(31)	1944	2364	\$59,179.00
Note: All S.F. calculations are based on exterior building dimensions.						

## Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0060	CARPORT F	2004	\$4,200.00	0000840.000	24 x 35 x 0	(000.00)

10/21/2010 14:19 3867582160

BUILDING AND ZONING

PAGE 01/01

For: Jordan Thomas

## SUBCONTRACTOR VERIFICATION FORM

352-665-

APPLICATION NUMBER 1010-31

CONTRACTOR

Kirkland

PHONE 0402

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

<input checked="" type="checkbox"/> ELECTRICAL 10/25/10	Print Name: <u>Donald H. Billingsworth</u> License #: <u>ER13012377</u>	Signature: <u>[Signature]</u> Phone #: <u>386-755-5944</u>
<input type="checkbox"/> MECHANICAL/ A/C	Print Name: _____ License #: _____	Signature: _____ Phone #: _____
<input type="checkbox"/> PLUMBING/ GAS	Print Name: _____ License #: _____	Signature: _____ Phone #: _____
<input type="checkbox"/> ROOFING	Print Name: _____ License #: _____	Signature: _____ Phone #: _____
<input type="checkbox"/> SHEET METAL	Print Name: _____ License #: _____	Signature: _____ Phone #: _____
<input type="checkbox"/> FIRE SYSTEM/ SPRINKLER	Print Name: _____ License #: _____	Signature: _____ Phone #: _____
<input type="checkbox"/> SOLAR	Print Name: _____ License #: _____	Signature: _____ Phone #: _____

Specialty Trade	License Number	Sub Contractor Printed Name	Sub Contractor Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

**F. S. 440.103 Building permits; identification of minimum premium policy.**—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



## Columbia County Building Permit Application

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

(Owners Must Sign All Applications Before Permit Issuance.)

Owners Signature

**\*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

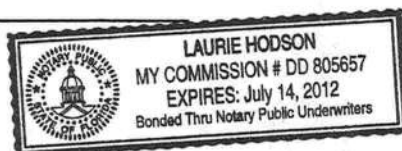
Contractor's License Number CGC1509009  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 18<sup>th</sup> day of OCTOBER 2010.

Personally known ☒ or Produced Identification DL

State of Florida Notary Signature (For the Contractor)

SEAL:







DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 10-0471

PART II - SITE PLAN

\* Scale: Each block represents 5 feet and 1 inch = 50 feet. \*

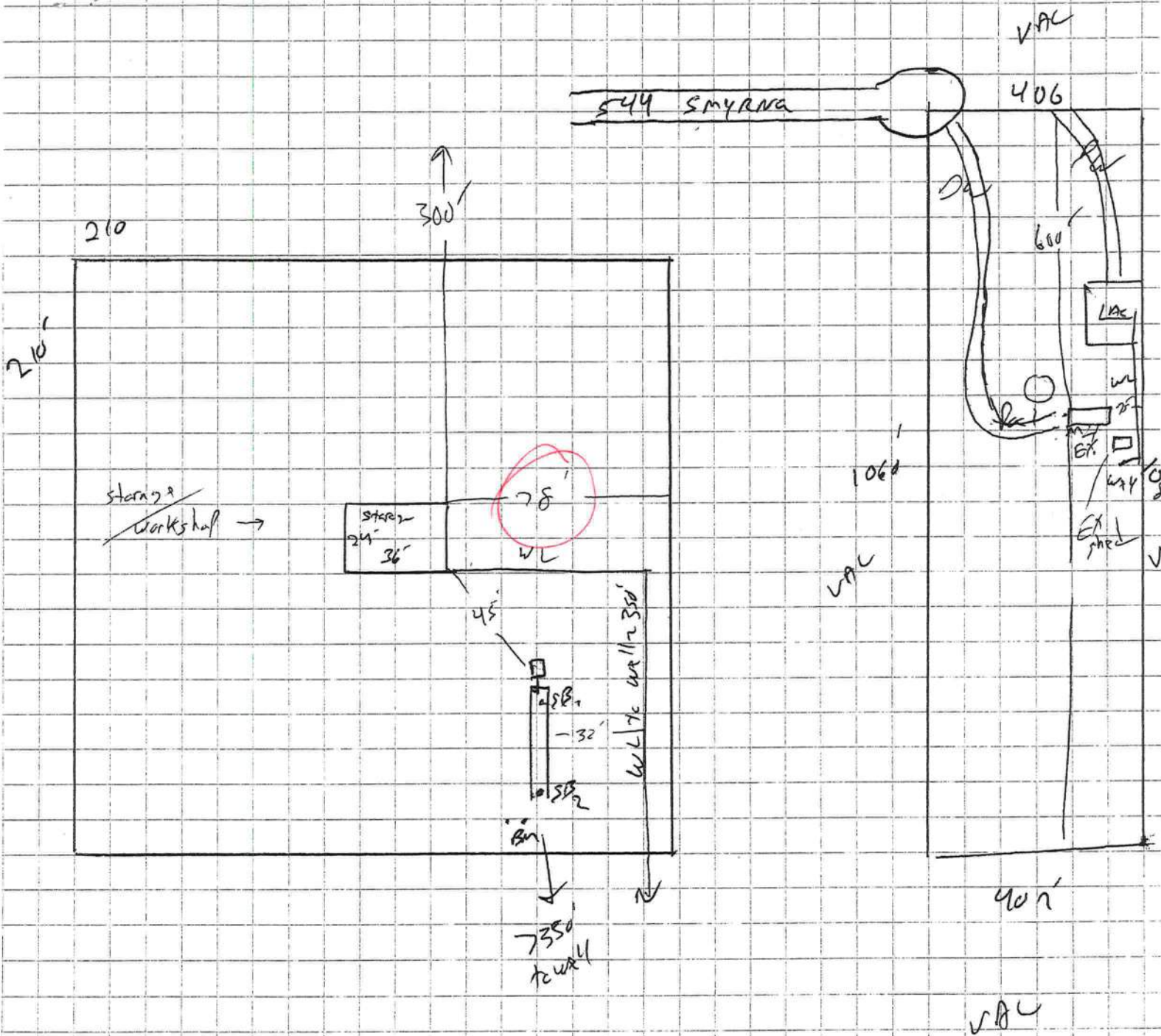
See Attached

Notes: \_\_\_\_\_

Site Plan submitted by: [Signature] Signature  
Plan Approved X Not Approved \_\_\_\_\_  
By Sallie Ford, EH Director Columbia CHD County Health Department  
Agent Title  
Date 10-24-10

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

10-0471



1"=50'  
John Burk  
10-15-10

(SF)



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM

PERMIT #: **12-SC-1283444**  
APPLICATION #: **AP981749**  
DATE PAID: **10-15-10**  
FEE PAID: **310.00**  
RECEIPT #: **7524602**  
DOCUMENT #: **PR824914**

CONSTRUCTION PERMIT FOR: OSTDS New  
APPLICANT: THOMAS\*\*10-0471 JORDAN  
PROPERTY ADDRESS: 544 SW SMYRNA PI Fort White, FL 32038  
LOT: 15 BLOCK:                      SUBDIVISION: Buckhaed Woods  
PROPERTY ID #: 03716-115 [SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]  
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [ 900 ] GALLONS / GPD Septic CAPACITY  
A [ ] GALLONS / GPD N/A CAPACITY  
N [ ] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK:1250 GALLONS]  
K [ ] GALLONS DOSING TANK CAPACITY [ ] GALLONS @ [ ] DOSES PER 24 HRS #Pumps [ ]  
D [ 250 ] SQUARE FEET                      SYSTEM  
R [ ] SQUARE FEET N/A SYSTEM  
A TYPE SYSTEM: [x] STANDARD [ ] FILLED [ ] MOUND [ ]  
I CONFIGURATION: [x] TRENCH [ ] BED [ ]  
N  
F LOCATION OF BENCHMARK: nail in fence post past drainfield end  
I ELEVATION OF PROPOSED SYSTEM SITE [ 16.00 ] [ INCHES / FT ] [ ABOVE / BELOW ] BENCHMARK/REFERENCE POINT  
E BOTTOM OF DRAINFIELD TO BE [ 39.00 ] [ INCHES / FT ] [ ABOVE / BELOW ] BENCHMARK/REFERENCE POINT  
L  
D FILL REQUIRED: [ 0.00 ] INCHES EXCAVATION REQUIRED: [ 0.00 ] INCHES

1. Per private soil evaluator, go no deeper than 39" bel. BM to avoid sandy clay loam loading rate. ✕

SPECIFICATIONS BY: Jeff Hardee TITLE: PSE  
APPROVED BY: S Ford TITLE: Environmental Health Director Columbia CHD  
DATE ISSUED: 10/21/2010 EXPIRATION DATE: 04/21/2012  
DH 4016, 08/09 (Obsoletes all previous editions which may not be used)  
Incorporated: 64E-6.003, FAC



0031	BARN,MT AE	2004	\$3,600.00	0000360.000	15 x 24 x 0	(000.00)
0296	SHED METAL	2004	\$1,800.00	0000360.000	12 x 30 x 0	(000.00)
0070	CARPORT UF	2009	\$540.00	0000360.000	18 x 20 x 0	(000.00)
0070	CARPORT UF	2009	\$630.00	0000420.000	14 x 30 x 0	(000.00)

**Land Breakdown**

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000200	MBL HM (MKT)	10.01 AC	1.00/1.00/1.00/1.00	\$5,194.13	\$51,993.00
009945	WELL/SEPT (MKT)	1 UT - (0000000.000AC)	1.00/1.00/1.00/1.00	\$2,000.00	\$2,000.00

Columbia County Property Appraiser

DB Last Updated: 8/5/2010

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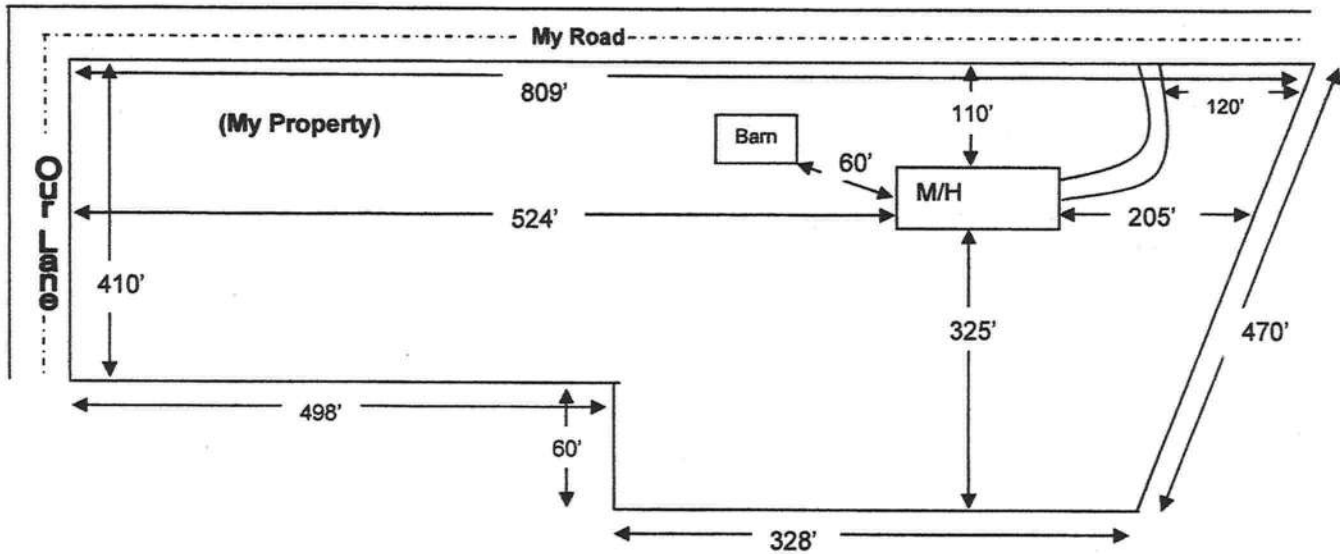
66 of 71

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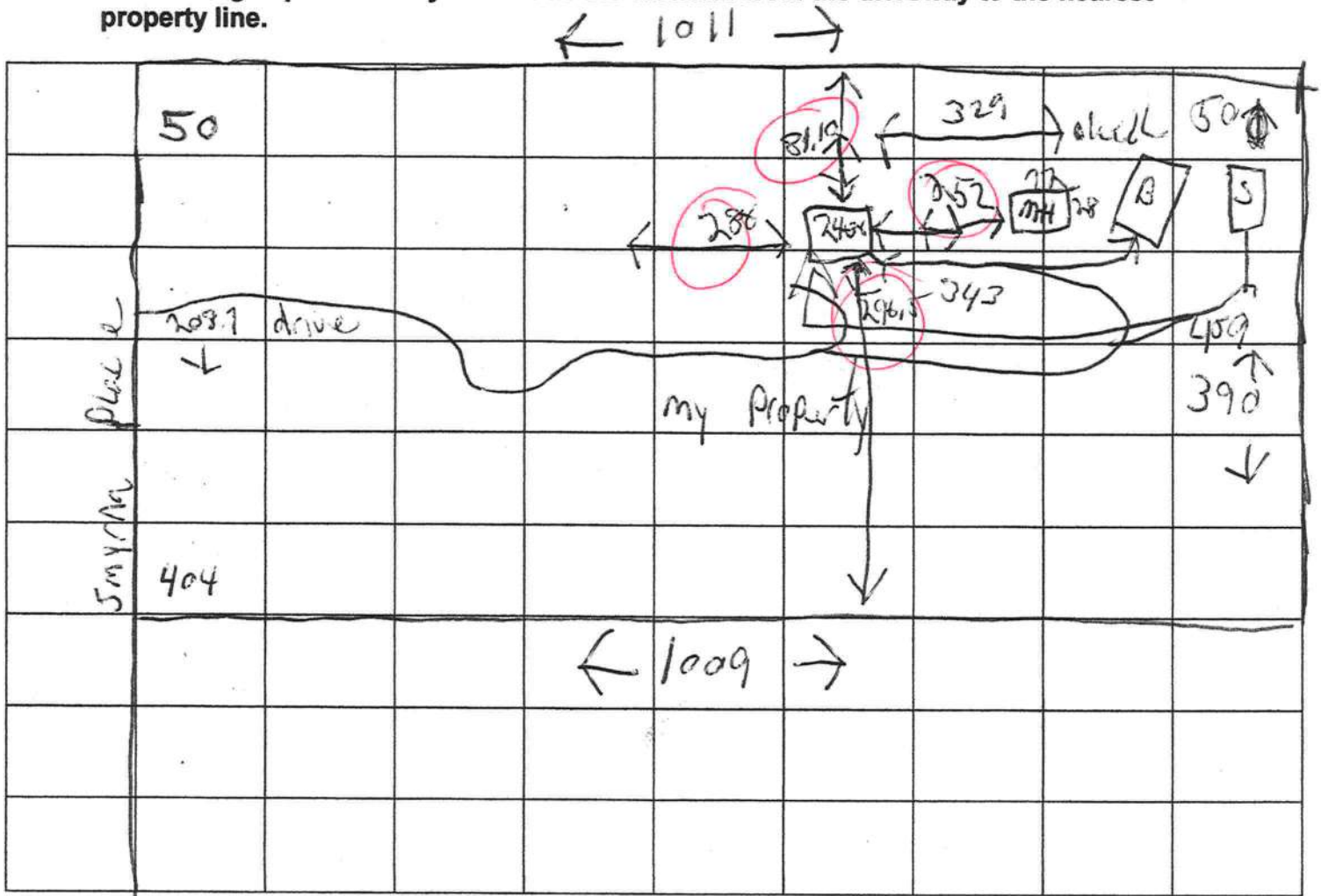
**DISCLAIMER**

This information was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

# SITE PLAN EXAMPLE / WORKSHEET



Use this example to draw your own site plan. Show all existing buildings and any other homes on this property and show the distances between them. Also show where the roads or roads are around the property. This site plan can also be used for the 911 Addressing department if you include the distance from the driveway to the nearest property line.





28966**NOTICE OF COMMENCEMENT Columbia County Clerk's Office Stamp or Seal**

Tax Parcel Identification Number 25-5S-16-03716-115

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this **NOTICE OF COMMENCEMENT**.

1. Description of property (*legal description*):a) Street (*job*) Address: 544 SW Smyrna Place, Ft. White, Fl. 32038

## 2. General description of improvements:

Install Modular Storage Building

Inst:201012016822 Date:10/19/2010 Time:9:01 AM  
DC,P.DeWitt Cason,Columbia County Page 1 of 2 B:1203 P:632

## 3. Owner Information

a) Name and address: Jordan Thomas W Jr &amp; Sandra M

b) Name and address of fee simple titleholder (if other than owner) N/A

c) Interest in property N/A

## 4. Contractor Information

a) Name and address:

Rock Solid Builders, LLC

Todd P. Kirkland

240 NW 44<sup>th</sup> Street

Gainesville, Florida 32607

License #CGC1509604

b) Telephone No.:352-271-6262

c) Cell Phone No: 352-665-0402

## 5. Surety Information N/A

a) Name and address: \_\_\_\_\_

b) Amount of Bond: \_\_\_\_\_

c) Telephone No.: \_\_\_\_\_

Fax No. (Opt.) \_\_\_\_\_

## 6. Lender a) Name and address: N/A

b) Phone No. \_\_\_\_\_

## 7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:

a) Name and address: Tom or Sandra Jordan, 544 SW Smyrna Place, Ft. White, Fl. 32038

b) Telephone No.: 386-984-9795

8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:

a) Name and address: \_\_\_\_\_

b) Telephone No.: \_\_\_\_\_

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT. STATE OF FLORIDA COUNTY OF COLUMBIA**

10. \_\_\_\_\_

Signature of Owner or Owner's Authorized Office/Director/Partner/Manager

Thomas W. Jordan Jr 5635-839-65-306-0  
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 18 day of October, 20 10, by: Thomas Jordan as Owner (type of authority, e.g. officer, trustee, attorney fact) for Thomas Jordan (name of party on behalf of whom instrument was executed). Personally Known \_\_\_\_\_ OR Produced Identification ✓

Type L. Hodson Notary Signature

Notary Stamp of



—AND—11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person

Signing (in line #10 above



GENERAL NOTES:

1. ACCESS TO BUILDING FOR PERSONS IN WHEELCHAIRS IS DESIGNED BY AND FIELD BUILT BY OTHERS AND SUBJECT TO LOCAL JURISDICTION.
2. ALL GLAZING WITHIN A 24 INCH ARC OF DOORS, WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR, AND ALL GLAZING IN DOORS SHALL BE SAFETY, TEMPERED OR ACETIC PLASTIC SHEET.
3. FLOOR DESIGN LIVE LOAD - 100 PSF (LOBBIES & CORRIDORS); 100 PSF (ELSEWHERE).
4. MINIMUM WIND SPEED - 130 MPH (EXP. C)
5. CONSTRUCTION IS TYPE 1A.
6. MINIMUM CORRIDOR WIDTH IS 44 INCHES.
7. MINIMUM CORRIDOR FINISH IS CLASS B (GYP/SLM).
8. WINDOW AND DOOR HIGH WIND STORM COVERINGS PER CODE TO BE SUPPLIED AND SITE INSTALLED BY OTHERS SUBJECT TO LOCAL JURISDICTION AND APPROVAL AT EXTRA COST.
9. THIS BUILDING REQUIRES A FIRE SEPARATION DISTANCE IN ACCORDANCE WITH TABLE 602 AND TABLE 704.8 OF THE FBC SUBJECT TO LOCAL JURISDICTION AND APPROVAL.
10. WHEN LOW SIDE OF ROOF PROVIDES LESS THAN 6" OF OVERHANG BUTTERS AND DOWNSPOUTS WILL BE REQUIRED. SITE INSTALLED AND SUBJECT TO LOCAL JURISDICTION.
11. WHEN BUILDINGS ARE INSTALLED IN WIND-BORNE DEBRIS REGIONS, GLAZING SHALL BE IMPACT RESISTANT OR PROTECTED WITH AN IMPACT RESISTANT COVERING, UNLESS INDICATED OTHERWISE IN THE SPECIFICATIONS FOR THE BUILDING.
12. ALL MATERIALS USED IN THE CONSTRUCTION OF THE BUILDING WHICH ARE COVERED BY THE FLORIDA BUILDING COMMISSION CHAPTER 9B-72 RULES SHALL HAVE CURRENT FLORIDA PRODUCT APPROVAL.
13. THESE PLANS COMPLY WITH THE 2004 FBC w/2005-07 SUPPLEMENTS.
14. THESE PLANS COMPLY WITH THE 2004 FBC w/2005-07 SUPPLEMENTS.
15. THESE PLANS COMPLY WITH RULE 9B-72, AS APPLICABLE.
16. THESE PLANS ARE FOR A BUILDING THAT IS BEING MODIFIED AND RECERTIFIED UNDER THE FLORIDA MANUFACTURED BUILDING PROGRAM (RULE 9B-1). THOSE PORTIONS OF THE BUILDING BEING MODIFIED SHALL COMPLY WITH CURRENT CODE REQUIREMENTS. THOSE PORTIONS NOT BEING MODIFIED MAY CONTINUE TO COMPLY WITH THE CODES THAT WERE IN EFFECT ON THE DATE OF MANUFACTURE.
17. LIFE SAFETY PLAN REVIEW AND INSPECTION IS SUBJECT TO LOCAL JURISDICTION APPROVAL.

ELECTRICAL NOTES:

1. ALL CIRCUITS AND EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE APPROPRIATE ARTICLES OF THE NATIONAL ELECTRICAL CODE (NEC).
2. WHEN LIGHT FIXTURES ARE INSTALLED IN CLOSETS THEY SHALL BE SURFACE MOUNTED OR RECESSED. INCANDESCENT FIXTURES SHALL HAVE COMPLETELY ENCLOSED LAMPS. SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 12 INCHES AND ALL OTHER FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 6 INCHES FROM "STORAGE AREA" AS DEFINED BY NEC 410-9(a).
3. WHEN WATER HEATERS ARE INSTALLED THEY SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE WATER HEATERS SERVED. THE BRANCH CIRCUIT SWITCH OR CIRCUIT BREAKER SHALL BE PERMITTED TO SERVE AS THE DISCONNECTING MEANS ONLY WHERE THE SWITCH OR CIRCUIT BREAKER IS WITHIN SIGHT FROM THE WATER HEATER OR IS CAPABLE OF BEING LOCKED IN THE OPEN POSITION.
4. HVAC EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE EQUIPMENT SERVED. A UNIT SWITCH WITH A MARKED OFF POSITION THAT IS A PART OF THE HVAC EQUIPMENT AND DISCONNECTS ALL UNGROUNDED CONDUCTORS SHALL BE PERMITTED AS THE DISCONNECTING MEANS WHERE OTHER DISCONNECTING MEANS ARE ALSO PROVIDED BY A READILY ACCESSIBLE CIRCUIT BREAKER.
5. PRIOR TO ENERGIZING THE ELECTRICAL SYSTEM THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DESIGNED AND VERIFIED AS BEING IN COMPLIANCE WITH SECTION 110-9 OF THE NEC BY LOCAL ELECTRICAL CONSULTANT.
6. THE MAIN ELECTRICAL PANEL AND FEEDERS ARE DESIGNED BY OTHERS. SITE INSTALLED AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
7. ALL CIRCUITS CROSSING OVER MODULE MOUNTING LINE(S) SHALL BE SITE CONNECTED WITH APPROVED ACCESSIBLE JUNCTION BOXES OR CABLE CONNECTORS.
8. EXTERIOR LIGHTS NOT INTENDED FOR 24 HOUR USE AND SHALL BE CONNECTED TO A PHOTOCELL OR TIMER, OR SWITCHED AT AN INTERNAL LOCATION.
9. ALL RECEPTACLES INSTALLED IN WET LOCATIONS (EXTERIOR) SHALL BE IN WEATHER PROOF (WP) ENCLOSURES. THE INTEGRITY OF WHICH IS NOT AFFECTED WHEN AN ATTACHMENT PLUG CAP IS INSERTED OR REMOVED.
10. PROVISIONS FOR EXIT DISCHARGE LIGHTING (INCLUDING EMERGENCY ARE THE RESPONSIBILITY OF THE BUILDING OWNER AND SUBJECT TO LOCAL JURISDICTION APPROVAL WHEN NOT SHOWN ON FLOOR PLAN.

ACCESSIBILITY NOTES:

ALL INTERIOR DOORS OPENING OR 36" OR LARGER

PLUMBING NOTES:

1. BUILDING OWNER ASSUMES ALL RESPONSIBILITY FOR POTABLE WATER SUPPLY AND SERVICE SINK WHEN NOT SHOWN ON FLOOR PLAN.
2. TOILETS SHALL BE ELONGATED
3. ALL PLUMBING FIXTURES SHALL HAVE SEPARATE SHUT-OFF VALVES.
4. WATER HEATER SHALL HAVE SAFETY PAN WITH 1 INCH DRAIN TO EXTERIOR, T & P RELIEF VALVE WITH DRAIN TO EXTERIOR, AND A SHUT OFF VALVE WITHIN 3 FEET ON A COLD WATER SUPPLY LINE.
5. DWV SYSTEM SHALL BE EITHER ABS OR PVC - DWV.
6. WATER SUPPLY LINES SHALL BE POLYBUTYLENE, CPVC, OR COPPER. WHEN POLYBUTYLENE WATER SUPPLY LINES ARE INSTALLED THE MAXIMUM WATER HEATER TEMPERATURE SETTING IS 180° F. THE POLYBUTYLENE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS LIMITATIONS AND INSTRUCTIONS.
7. WATER CLOSERS AND CLEANOUTS ARE DESIGNED AND SITE INSTALLED BY OTHERS.
8. BUILDING DRAIN AND CLEANOUTS ARE DESIGNED AND SITE INSTALLED BY OTHERS.
9. SUBJECT TO LOCAL JURISDICTION APPROVAL.
10. WATER OUTLET TEMPERATURE OF 120° F (48.8° C).
11. THERMAL EXPANSION DEVICE IF REQUIRED BY WATER HEATER INSTALLED, AND IF NOT SHOWN ON PLUMBING PLAN, IS DESIGNED AND SITE INSTALLED BY OTHERS.
12. SUBJECT TO LOCAL JURISDICTION AND APPROVAL.
13. A WATER HAMMER ARRESTOR SHALL BE INSTALLED WHERE QUICK-CLOSING VALVES ARE UTILIZED. UNLESS OTHERWISE APPROVED. WATER HAMMER ARRESTORS SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

SITE INSTALLED NOTES:

NOTE THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION AND APPROVAL.

1. THE COMPLETE FOUNDATION SUPPORT AND THE DOWN SYSTEM.
2. RAMPS, STAIRS AND GENERAL ACCESS TO THE BUILDING.
3. DRINKING FOUNTAIN, BUILDING DRAINS, CLEAN-OUTS, AND HOOK-UP TO PLUMBING SYSTEM, AS REQUIRED BY FLOOR PLAN.
4. ELECTRICAL SERVICE HOOK-UP (INCLUDING FEEDERS) TO THE BUILDING.
5. THE MAIN ELECTRICAL PANEL AND SUB-FEEDERS (MULTI-UNITS ONLY).
6. CONNECTION OF ELECTRICAL CIRCUITS CROSSING OVER MODULE MOUNTING LINES(S) - (MULTI-UNITS ONLY).
7. STRUCTURAL AND AESTHETIC INTERCONNECTIONS BETWEEN MODULES (MULTI-UNITS ONLY).
8. WINDOW AND DOOR HIGH WIND STORM COVERINGS PER CODE.
9. GUTTERS AND DOWNSPOUTS IF APPLICABLE, OPTIONAL AT EXTRA COST.

STATE CODES:

FLORIDA  
2007 FBC  
2007 FPC  
2007 FMC  
2007 NFPA 101  
2007 NEC  
FACBC  
2007 FPEC

FOUNDATION- STRUCTURAL LOAD-

LIMITATIONS:

- FLOOR LIVE LOAD:  
A. 100 PSF (REMANDER)  
100 PSF (CONCENTRATED)
- ROOF LIVE LOAD:  
A. 20 PSF.  
ROOF SNOW LOAD: N/A
- WIND LOAD:  
1. 130 MPH  
2. W = 1.0
- WIND SPEED  
WIND IMPORTANCE FACTOR.  
WIND EXPOSURE CATEGORY.  
WIND EXPOSURE CATEGORY.  
ENCLOSURE CLASSIFICATION: ENCLOSED  
GCPI - 0.18 INTERNAL PRESSURE COEFFICIENT.
- COMPONENT & CLADDING LOAD:  
(ROOFS)  
P1 = -30.40 PSF ZONE 1  
P1 = -51.00 PSF ZONE 2  
P1 = -76.80 PSF ZONE 3  
(WALLS / WINDOWS / DOORS):  
Pw = -33.00 PSF ZONE 4  
Pw = -40.70 PSF ZONE 5
- (OVERHANGS)  
P1 = -43.80 PSF ZONE 2  
P1 = -72.10 PSF ZONE 3

6. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.
7. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT IN A HIGH VELOCITY-HURRICANE ZONE AS DEFINED BY THE FBC.
- SEISMIC LOAD: N/A
- FLOOD LOAD:  
THIS BUILDING IS NOT DESIGNED TO BE SUBMERGED OR SUBJECT TO WAVE ACTION WHEN LOCATED IN A FLOOD PRONE OR ZONE AREA. THE BOTTOM OF THE STRUCTURAL BEAM MUST BE LOCATED ABOVE THE BUILDING SITE FLOOD PLANE LEVEL. FOR THIS BUILDING TO BE LOCATED IN A FLOOD PRONE OR ZONE AREA OR THE GRADE AT THE BUILDING SITE MUST BE ABOVE THE FLOOD PLANE LEVEL.

NOTICE

PLEASE REVIEW PLAN COMPLETELY. ANY COMPONENTS CROSSING WATERLINES WILL BE SITE INSTALLED BY THE SET-UP CREW.

MECHANICAL NOTES:

1. ALL SUPPLY AIR REGISTERS SHALL BE 10 INCHES x 10 INCHES ADJUSTABLE w/10 INCHES x 20 INCHES (INSIDE) OVER-HEAD FIBERGLASS DUCT. UNLESS OTHERWISE SPECIFIED. DUCTS LOCATED IN VENTILATED ATTIC SPACES SHALL HAVE AN R-6 INSULATION VALUE. DUCTS LOCATED IN UNCONDITIONED INTERIOR SPACES SHALL HAVE AN R-4.2 INSULATION VALUE.
2. RESTROOM VENT FANS SHALL PROVIDE 50 CFM MINIMUM PER WATER CLOSET AND/OR URINAL.
3. VENT FANS SHALL BE DUCTED TO THE EXTERIOR AND TERMINATE AT AN APPROVED VENT CAP.

LISTING AGENCY APPROVAL

THESE PRINTS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 2007 CONSTRUCTION CODES AND ADHERE TO THE FOLLOWING CRITERIA:

CONSTRUCTION TYPE:	V-1
OCCUPANCY:	E/O
ALLOWABLE NO. OF FLOORS:	1
WIND VELOCITY:	130 (3 Sec.)
FIRE RATING OF EXT. WALLS:	0
PLAN NO.	
ALLOW. FLOOR LOAD:	40
APPROVAL DATE:	12-07-08
MANUFACTURER:	
HIGH VELOCITY HURRICANE ZONE:	NO

AAOCO

AS BUILT  
FLOOR PLAN

MODULAR DESIGN  
GROUP LLC.  
TEL: 352-375-3205

GENERAL NOTES:

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ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT  
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EMAIL: JACKBODZIAK@AOL.COM

DRAWN BY: M.T.

DATE: 10-13-2010

SCALE: AS SHOWN

SHEET: 1

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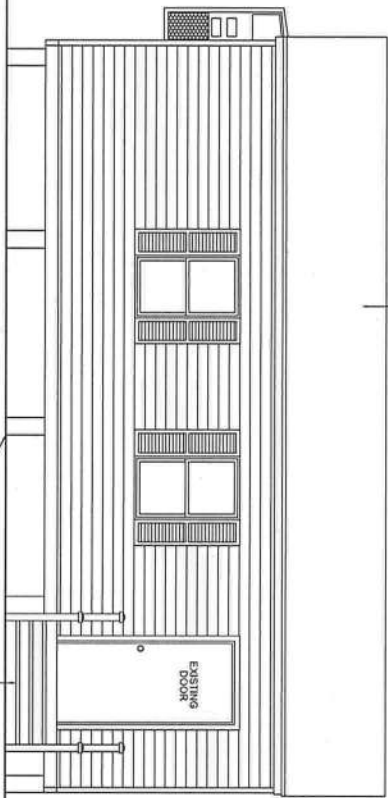








EXISTING METAL OR ASPHALT SHINGLE ROOF  
WITHOUT OVERHANG AS EXISTING  
UNLESS OTHERWISE SPECIFIED.

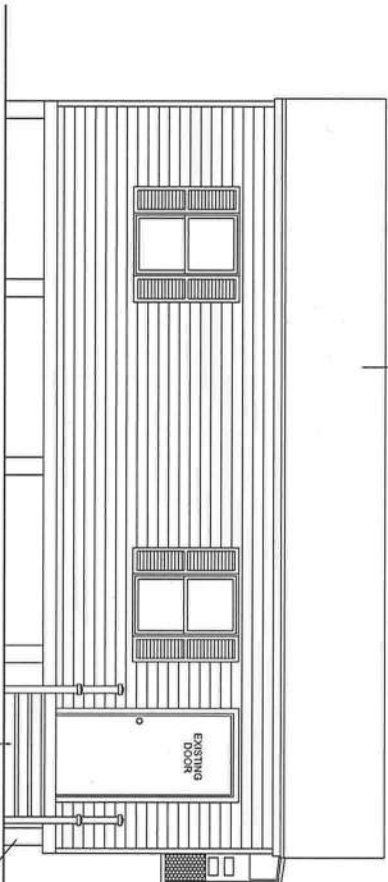


REAR ELEVATION

SCALE: 1/4" = 1'-0"

EXISTING METAL OR ASPHALT SHINGLE ROOF  
WITHOUT OVERHANG AS EXISTING  
UNLESS OTHERWISE SPECIFIED.

EXISTING METAL OR ASPHALT SHINGLE ROOF  
WITHOUT OVERHANG AS EXISTING  
UNLESS OTHERWISE SPECIFIED.

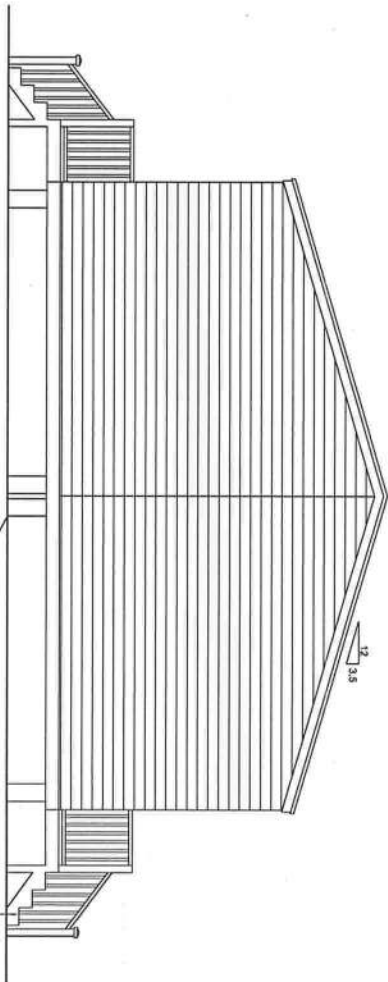


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: MOBILE HOME STEPS, PER CODES  
UNLESS OTHERWISE SPECIFIED.

NOTE: FOUNDATION PIERIS AS PER  
FOUNDATION PLAN

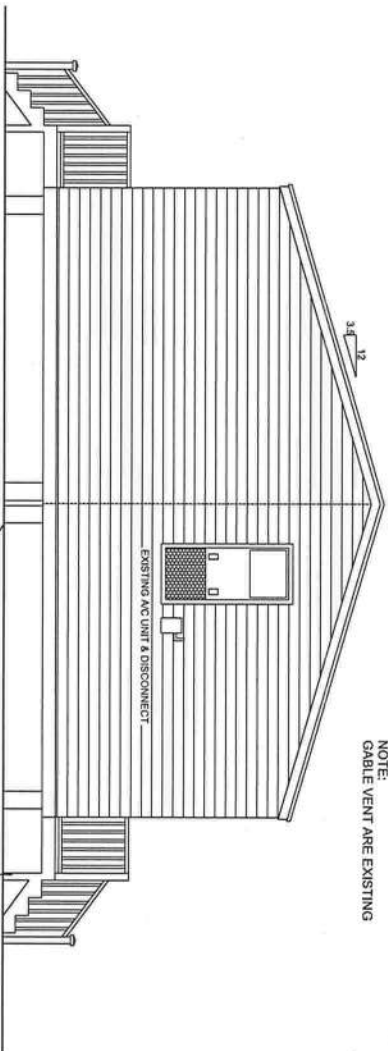


LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: MOBILE HOME STEPS, PER CODES  
UNLESS OTHERWISE SPECIFIED.

NOTE: FOUNDATION PIERIS AS PER  
FOUNDATION PLAN



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: MOBILE HOME STEPS, PER CODES  
UNLESS OTHERWISE SPECIFIED.

NOTE: FOUNDATION PIERIS AS PER  
FOUNDATION PLAN

LISTING AGENCY APPROVAL

THESE PRINTS COMPLY WITH THE  
FLORIDA MANUFACTURED BUILDING  
ACT OF 2007 CONSTRUCTION CODES AND  
ADHERE TO THE FOLLOWING CRITERIA:

CONSTRUCTION TYPE: V-1  
OCCUPANCY: E-0  
ALLOWABLE NO. OF FLOORS: 1  
WIND VELOCITY: 130 (3 Sec.)  
FIRE RATING OF EXT. WALLS: 0  
PLAN NO.:  
ALLOW. FLOOR LOAD: 100  
APPROVAL DATE: 12-01-06  
MANUFACTURER: NO  
HIGH VELOCITY HURRICANE ZONE: NO

AAOCO

REVISIONS			DESCRIPTION
NO.	DATE		

AS BUILT  
FLOOR PLAN

MODULAR DESIGN  
GROUP LLC.  
TEL: 352-375-3205

EXTERIOR ELEVATIONS

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DRAWN BY: M.T.

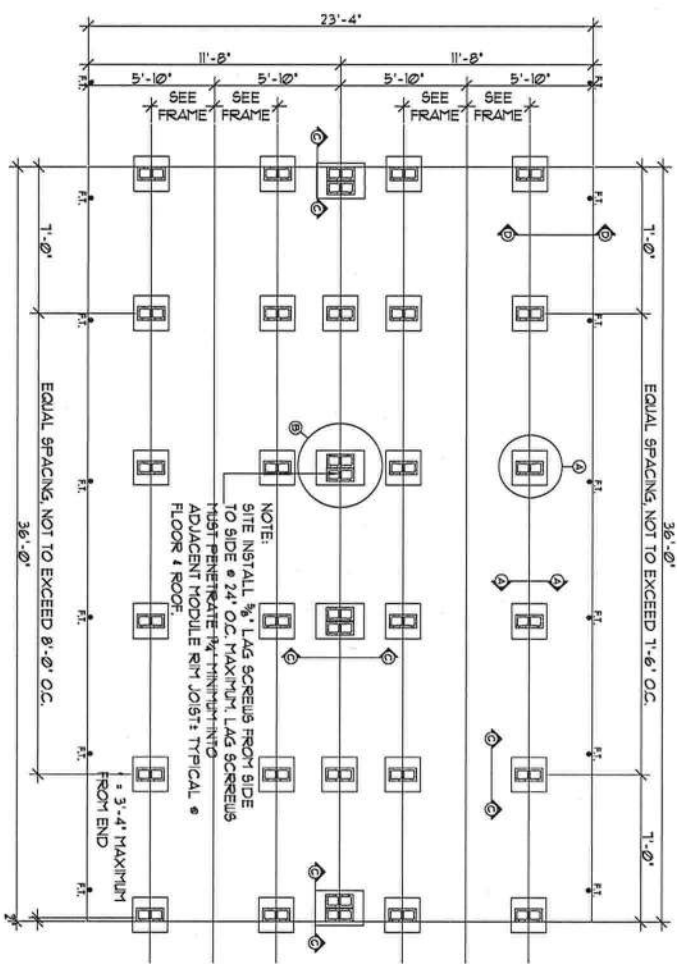
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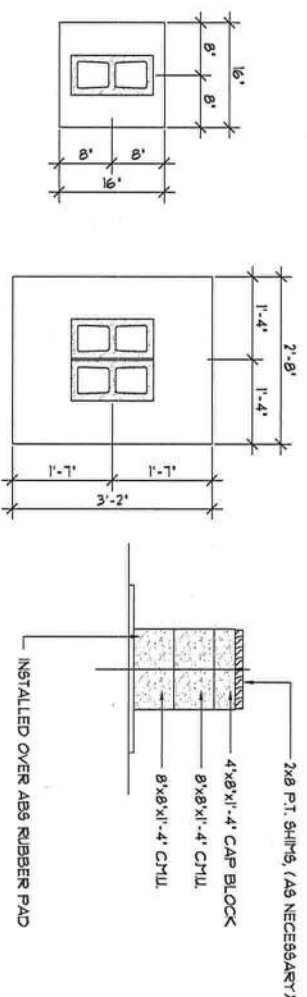
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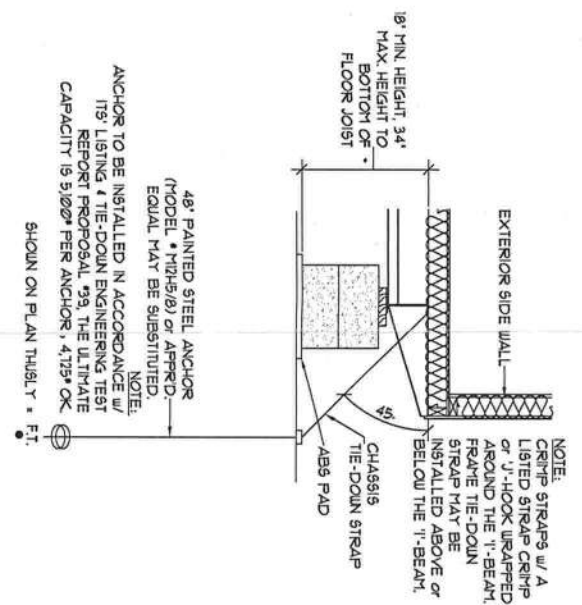
FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



PIER PLAN A'  
SCALE: 1/4" = 1'-0"

PIER PLAN B'  
SCALE: 1/4" = 1'-0"

PIER SECTION C-C'  
SCALE: 1/4" = 1'-0"



PIER SECTION D-D'  
SCALE: 1/4" = 1'-0"

FOUNDATION NOTES:

- 01) TIE-DOWN STRAPS TO BE 1/2"x203 GALVANIZED STEEL, FEDERAL SPECIFICATION QQ3-181-4, TYPE "I", FINISH B7, GRADE "A". TIE-DOWN STRAPS & CONNECTING HARDWARE TO HAVE 4,175# TENSILE ULTIMATE CAPACITY. LISTED ANCHORS TO HAVE 3,500# TENSILE WORKING LOAD CAPACITY.
- 02) SEE FOUNDATION PLAN FOR TIE-DOWN STRAP PLACEMENT.
- 03) ALL PIERS SHALL BE CONSTRUCTED OF 8"x8"x1'-4" CHIL BEAR UPON ABS PADS (EXCEPTIONS: WHERE NOTED OTHERWISE ON FOUNDATION PLAN).
- 04) MINIMUM SOIL BEARING CAPACITY IS 2,000psf. (ASSUMED). OWNER / BUILDER VERIFY SOIL BEARING CAPACITY. IT WILL BE THE BUILDING OWNER'S RESPONSIBILITY TO INSURE THAT ALL GRASS, LOOSE DEBRIS, ect., ARE REMOVED FROM UNDER THE BUILDING, (SPECIALLY PIER LOCATIONS), THE GROUND IS TO BE LEVEL TO WITH IN 6" AND FIRMLY COMPACTED. (SEE SECTION FOR PIER BEARING CAPACITY).
- 05) WOOD SHIPS MAY BE INSTALLED, WHEN NECESSARY, BETWEEN THE "I"-BEAM & TOP OF THE PIER. LUMBER OR CEDAR, NO EXCEPTIONS, CHECKS, SPLITS, & SIMILAR INTERFERENCE, SHIPS SHALL BE P.T. THE BEARING PRIOR TO ADDING SHIPS.
- 06) FIELD CONDITIONS w/ DRY STACK PIERS GREATER THAN 34" HIGH SHALL REQUIRE FOUNDATIONS TO BE ENGINEERED, LOCALLY, BEYOND THIS APPROVAL.
- 07) TIE-DOWN STRAP SPACING MAY VARY DUE TO UNFORESEEN SITE CONDITIONS. SPACING SHALL NOT EXCEED FOUNDATION PLAN MAXIMUMS.
- 08) MAXIMUM WIND SPEED OF 140mph, ASCE-7-02. ALL TIE-DOWN ANCHORS SHALL HAVE A ULTIMATE OF 4,175 LB. CAPACITY & SHALL BE INSTALLED IN ACCORDANCE w/ MFG. RECOMMENDATIONS.
- 09) FOUNDATION PLAN INDICATES TENSILE PIER REQUIREMENTS TO RESIST GRAVITY LOADS. ACTUAL FOUNDATION CONSTRUCTION & INSTALLATION IS SUBJECT TO LOCAL CODES & INSPECTION.

FLOOR LIVE LOAD:

- A. 100 PSF (LOBBIES & CORRIDORS)
- 50 LB. (STANDARDS)
- 100 LB. (CONCENTRATED)
- ROOF LIVE LOAD:
- A. 20 PSF
- ROOF SNOW LOAD: N/A
- WIND LOAD:
1. 130 MPH
2. W = 10
3. B
4. ENCLOSED CLASIFICATION:
5. COMPONENT & CLADDING LOAD:
6. GCP1 = 0.18
7. (ROOF)
8. (OVERHANGS)
9. F<sub>r</sub> = -35.30 PSF ZONE 1
10. F<sub>r</sub> = -59.10 PSF ZONE 2
11. F<sub>r</sub> = -89.00 PSF ZONE 3
12. (WALLS / WINDOWS / DOORS)
13. F<sub>w</sub> = -38.10 PSF ZONE 4
14. F<sub>w</sub> = -41.20 PSF ZONE 5
15. F<sub>w</sub> = -41.20 PSF ZONE 6
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