

## Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only Application # 0604-67 Date Received 4/24/06 By GP Permit # 24533/1082  
 Application Approved by - Zoning Official BLK Date 27.04.06 Plans Examiner OK JTH Date 5-18-06  
 Flood Zone X Per Plat Development Permit N/A Zoning PRRD Land Use Plan Map Category A-3  
 Comments \_\_\_\_\_

8703

Applicants Name Sam L Keen Phone 386 365 3646 FAX \_\_\_\_\_  
 Address 764 SW Riverside Av. Ft White FL 32038  
 Owners Name Baynard + Judy Ward Phone 386 752-5454  
 911 Address 350 SW Mossey OAK Way Lake City FL  
 Contractors Name SLK Construction Inc. - Guy Williams Phone 386 365 3646  
 Address 764 SW Riverside Av. Ft White FL 32038  
 Fee Simple Owner Name & Address \_\_\_\_\_  
 Bonding Co. Name & Address \_\_\_\_\_

Architect/Engineer Name & Address Bailey Bishop + Lane Inc PO Box 3717 Lake City FL 32056  
 Mortgage Lenders Name & Address First Federal Savings Bank PO Drawer Q Live OAK FL 32060

Circle the correct power company FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy  
 Property ID Number 25-35-15-00220-116 Estimated Cost of Construction 380,000.00

Subdivision Name Hunter's Ridge Lot 16 Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_  
 Driving Directions US 90 West to Hunter Ridge S.D. Left around Curve  
Lot on Right on Mossey OAK Way Rd. Look for Sign (SLK Const)

Type of Construction SFD Number of Existing Dwellings on Property 0  
 Total Acreage \_\_\_\_\_ Lot Size \_\_\_\_\_ Do you need a Culvert Permit or Culvert Waiver or Have an Existing Drive  
 Actual Distance of Structure from Property Lines - Front 70 Side 130 Side 95 Rear \_\_\_\_\_  
 Total Building Height 28'9" Number of Stories 1 Heated Floor Area 2780 Roof Pitch 6/12  
Porches 910 GARAGE 654 TOTAL 4349

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Agent (Including Contractor) \_\_\_\_\_

STATE OF FLORIDA  
 COUNTY OF COLUMBIA



Notary Public State of Florida  
 Tracy L. Duckett  
 My Commission Expires 08/31/2009

Contractor Signature \_\_\_\_\_

Contractors License Number CBC050690

Competency Card Number \_\_\_\_\_

NOTARY STAMP/SEAL

Sworn to (or affirmed) and subscribed before me

this 24 day of April 2006.

Personally known \_\_\_\_\_ or Produced Identification ✓

END

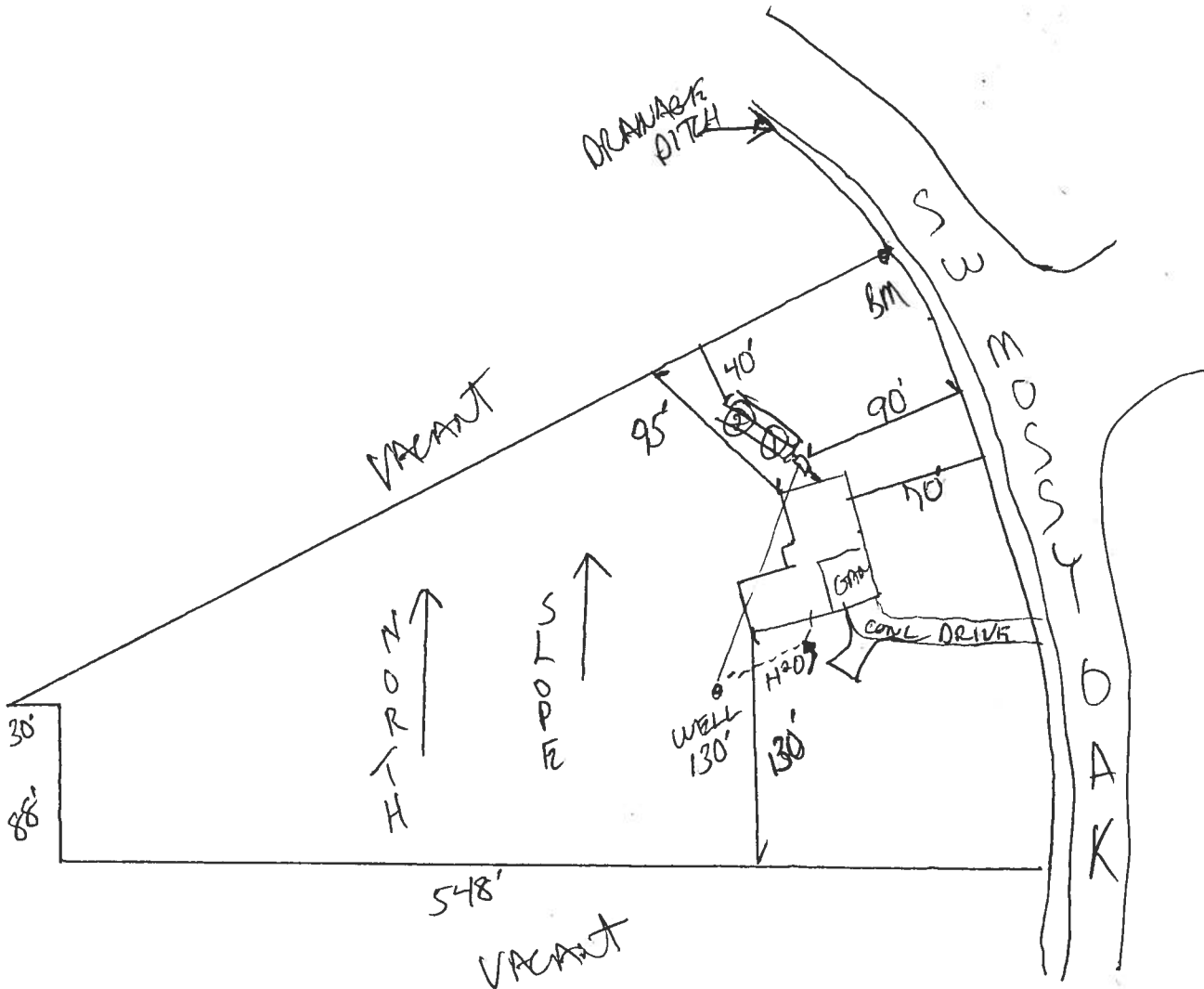
Notary Signature Tracy L. Duckett

STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 06-0396W

----- PART II - SITEPLAN -----

Scale: 1 inch = 50 feet.



Notes: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Site Plan submitted by: Rock D F MASTER CONTRACTOR  
Plan Approved ✓ Not Approved \_\_\_\_\_ Date 4/21/06  
By Mr. B. J. Columbia County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

# COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

## Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 4/24/2006 DATE ISSUED: 5/1/2006

### ENHANCED 9-1-1 ADDRESS:

350 SW MOSSY OAK WAY  
LAKE CITY FL 32024

### PROPERTY APPRAISER PARCEL NUMBER:

25-3S-15-00220-116

### Remarks:

LOT 16 HUNTERS RIDGE S/D

Address Issued By: \_\_\_\_\_

  
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

# HALL'S PUMP & WELL SERVICE, INC.

SPECIALIZING IN 4"-6" WELLS



DONALD AND MARY HALL  
OWNERS

PHONE (904) 752-1854  
FAX (904) 755-7022  
~~XXXXXX~~ 904 NW Main Blvd.  
LAKE CITY, FLORIDA 32055

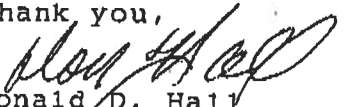
June 12, 2002

## NOTICE TO ALL CONTRACTORS

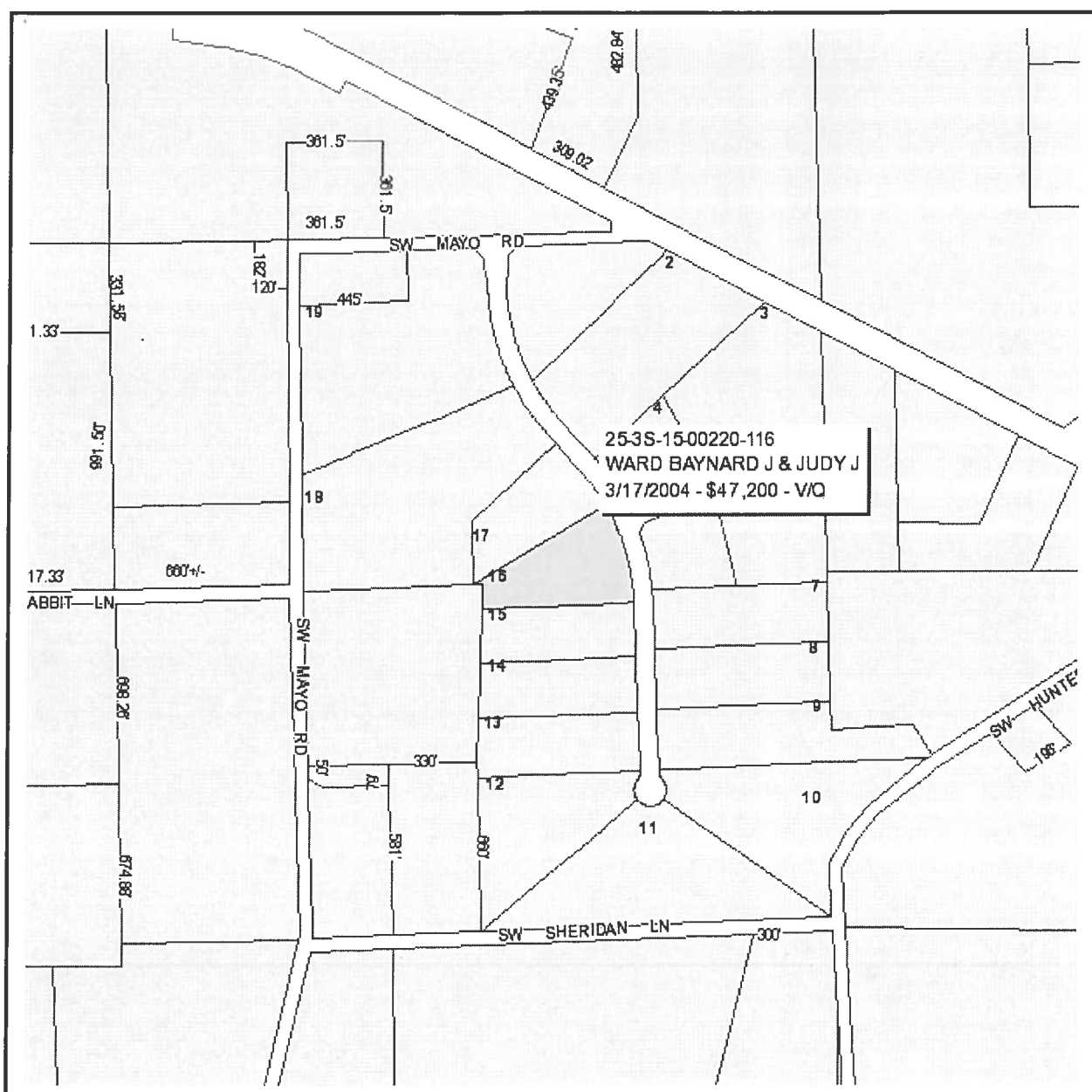
Please be advised that due to the new building codes we will use a large capacity diaphragm tank on all new wells. This will insure a minimum of one (1) minute draw down or one (1) minute refill. If a smaller diaphragm tank is used then we will install a cycle stop valve which will produce the same results.

If you have any questions please feel free to call our office anytime.

Thank you,

  
Donald D. Hall  
DDH/jk

S.L.K. Const.



## Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

**PARCEL: 25-3S-15-00220-116 - VACANT (000000)**

LOT 16 HUNTER'S RIDGE S/D WD 1009-2683.

Name: WARD BAYNARD J & JUDY J	LandVal	\$44,660.00
Site:	BldgVal	\$0.00
Mail: 832 SW EL PRADO AVE	ApprVal	\$44,660.00
LAKE CITY, FL 32025	JustVal	\$44,660.00
Sales	Assd	\$44,660.00
Info 3/17/2004 \$47,200.00 V / Q	Exmpt	\$0.00
	Taxable	\$44,660.00

0 250 500 750 ft



This information, GIS Map Updated: 4/6/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



APPROXIMATE SCALE IN FEET



NATIONAL FLOOD INSURANCE PROGRAM

# **FIRM** FLOOD INSURANCE RATE MAP

COLUMBIA  
COUNTY,  
FLORIDA  
(UNINCORPORATED AREAS)

PANEL 175 OF 290

PANEL LOCATION



COMMUNITY-PANEL NUMBER  
120070 0175 B

EFFECTIVE DATE:  
JANUARY 6, 1988



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at [www.fema.gov/nifm/flood](http://www.fema.gov/nifm/flood)

# Columbia County Property Appraiser

DB Last Updated: 4/6/2006

Parcel: 25-3S-15-00220-116

## 2006 Proposed Values

[Tax Record](#)
[Property Card](#)
[Interactive GIS Map](#)
[Print](#)

### Owner & Property Info

Search Result: 1 of 1

<b>Owner's Name</b>	WARD BAYNARD J & JUDY J
<b>Site Address</b>	
<b>Mailing Address</b>	832 SW EL PRADO AVE LAKE CITY, FL 32025
<b>Brief Legal</b>	LOT 16 HUNTER'S RIDGE S/D WD 1009-2683.

<b>Use Desc. (code)</b>	VACANT (000000)
<b>Neighborhood</b>	25315.00
<b>Tax District</b>	3
<b>UD Codes</b>	MKTA01
<b>Market Area</b>	01
<b>Total Land Area</b>	3.080 ACRES

### Property & Assessment Values

<b>Mkt Land Value</b>	cnt: (1)	\$44,660.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (0)	\$0.00
<b>XFOB Value</b>	cnt: (0)	\$0.00
<b>Total Appraised Value</b>		\$44,660.00

<b>Just Value</b>	\$44,660.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$44,660.00
<b>Exempt Value</b>	\$0.00
<b>Total Taxable Value</b>	\$44,660.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale Vlmp	Sale Qual	Sale RCode	Sale Price
3/17/2004	1009/2683	WD	V	Q		\$47,200.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

### Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	3.080 AC	1.00/1.00/1.00/1.00	\$14,500.00	\$44,660.00

Columbia County Property Appraiser

DB Last Updated: 4/6/2006

1 of 1

## Disclaimer

# Columbia County Building Department Culvert Permit

Culvert Permit No.  
**000001083**

DATE 05/19/2006 PARCEL ID # 25-3S-15-00220-116

APPLICANT SAMMY KEEN PHONE 386.365.3646

ADDRESS 764 SW RIVERSIDE AVENUE FT. WHITE FL 32038

OWNER BAYNARD & JUDY WARD PHONE 386.752.5454

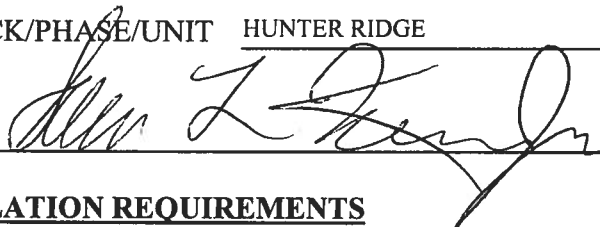
ADDRESS 350 SW MOSSY OAK WAY LAKE CITY FL 32024

CONTRACTOR GUY WILLIAMS PHONE 386.365.3646

LOCATION OF PROPERTY 90-W TO HUNTER RIDGE S.D,TL GO AROUND CURVE,LOT ON R ON MOSSY OAK WAY, LOOK FOR SLK SIGN.

SUBDIVISION/LOT/BLOCK/PHASE/UNIT HUNTER RIDGE 16

SIGNATURE



## INSTALLATION REQUIREMENTS



Culvert size will be 18 inches in diameter with a total length of 32 feet, leaving 24 feet of driving surface. Both ends will be mitered 4 foot with a 4 : 1 slope and poured with a 4 inch thick reinforced concrete slab.

INSTALLATION NOTE: Turnouts will be required as follows:

- a) a majority of the current and existing driveway turnouts are paved, or;
- b) the driveway to be served will be paved or formed with concrete.

Turnouts shall be concrete or paved a minimum of 12 feet wide or the width of the concrete or paved driveway, whichever is greater. The width shall conform to the current and existing paved or concreted turnouts.



Culvert installation shall conform to the approved site plan standards.



Department of Transportation Permit installation approved standards.



Other \_\_\_\_\_

ALL PROPER SAFETY REQUIREMENTS SHOULD BE FOLLOWED  
DURING THE INSTALATION OF THE CULVERT.

135 NE Hernando Ave., Suite B-21  
Lake City, FL 32055  
Phone: 386-758-1008 Fax: 386-758-2160

Amount Paid 25.00





BOARD OF COUNTY COMMISSIONERS  
OFFICE OF

**BUILDING & ZONING**  
COLUMBIA COUNTY, FLORIDA

**CULVERT PERMIT/WAIVER RECEIPT**

RECEIPT NUMBER / PERMIT NUMBER 000001083 DATE 07/27/2006  
APPLICANT SAMMY KEEN  
OWNER BAYNARD & JUDY WARD  
CONTRACTOR GUY WILLIAMS  
PARCEL ID NUMBER 25-3S-15-00220-116

**FEES:**

CULVERT PERMIT 25.00 CULVERT WAIVER PERMIT \_\_\_\_\_  
CHECK NUMBER 8703  
CULVERT WAIVER CHECK NUMBER \_\_\_\_\_

MAKE CHECKS PAYABLE TO: BCC (Board of County Commissioners)

NOTE: A SEPARATE CHECK IS REQUIRED FOR THE CULVERT WAIVER PERMITS

135 NE HERNANDO AVE., Suite B-21  
LAKE CITY, FL 32055  
Phone: 386-758-1008  
Fax: 386-758-2160



BOARD OF COUNTY COMMISSIONERS  
OFFICE OF

**BUILDING & ZONING**  
COLUMBIA COUNTY, FLORIDA

**CULVERT PERMIT/WAIVER RECEIPT**

RECEIPT NUMBER / PERMIT NUMBER 000001082 DATE 07/27/2006  
APPLICANT SAMMY KEEN  
OWNER BAYNARD & JUDY WARD  
CONTRACTOR GUY WILLIAMS  
PARCEL ID NUMBER 25-3S-15-00220-116

**FEES:**

CULVERT PERMIT ~~25.00~~ no charge CULVERT WAIVER PERMIT \_\_\_\_\_

CHECK NUMBER ~~8282~~

CULVERT WAIVER CHECK NUMBER \_\_\_\_\_

MAKE CHECKS PAYABLE TO: BCC (Board of County Commissioners)

NOTE: A SEPARATE CHECK IS REQUIRED FOR THE CULVERT WAIVER PERMITS

135 NE HERNANDO AVE., Suite B-21  
LAKE CITY, FL 32055  
Phone: 386-758-1008  
Fax: 386-758-2160



**RONNIE BRANNON, CFC**  
COLUMBIA COUNTY TAX COLLECTOR

Delinquent REAL ESTATE      2005    100558.0000

ACCOUNT NUMBER		ESCROW CD	ASSESSED VALUE	EXEMPTIONS	TAXABLE VALUE	MILLAGE CODE
000220-116			39,000		39,000	003

WARD DAYNARD J & JUDY J  
832 SW EL PRADO AVE    32025  
LAKE CITY FL

25-3S-15 0000/0000    3.08 Acres  
LOT 16 HUNTER'S RIDGE S/D  
WD 1009-2683.

ALL UNPAID TAXES WILL BE

**PAY IN U.S. FUNDS TO RONNIE BRANNON TAX COLLECTOR • 135 NE HERNANDO AVE. — SUITE 125, LAKE CITY, FL 32055-4006**

		PAID BY	Nov 22, 2005			
		PLEASE PAY	740.58			

Paid 11/22/05 Receipt #2701521.0001

\$740.58

RETURN THIS PORTION



# Project Summary

## Zone 1

Glenn I. Jones, Inc.

Job:  
Date: Nov 17, 2005  
By: gij jr

552 NW Hilton Ave., Lake City, FL 32055 Phone 386-752-5389 Fax: 386-755-3401 Email glenn@bizsca.com Web glennjonesinc.com

## Project Information

For: Baynard & Judy Ward

Notes: SLK Construction  
Lot 16 Hunters Ridge

## Design Information

Weather: Gainesville, FL, US

### Winter Design Conditions

Outside db	33 °F
Inside db	70 °F
Design TD	37 °F

### Summer Design Conditions

Outside db	92 °F
Inside db	75 °F
Design TD	17 °F
Daily range	M
Relative humidity	50 %
Moisture difference	52 gr/lb

### Heating Summary

Structure	17053 Btuh
Ducts	853 cfm
Central vent (0 cfm)	0 Btuh
Humidification	0 Btuh
Piping	0 Btuh
Equipment load	17906 Btuh

### Sensible Cooling Equipment Load Sizing

Structure	12498 Btuh
Ducts	1250 Btuh
Central vent (50 cfm)	935 Btuh
Blower	0 Btuh

### Infiltration

Method	Simplified
Construction quality	Average
Fireplaces	0

	Heating	Cooling
Area (ft²)	1503	1503
Volume (ft³)	15029	15029
Air changes/hour	0.45	0.26
Equiv. AVF (cfm)	112	64

Use manufacturer's data	n
Rate/swing multiplier	0.97
Equipment sensible load	14242 Btuh

### Latent Cooling Equipment Load Sizing

Structure	2710 Btuh
Ducts	0 Btuh
Central vent (50 cfm)	1753 Btuh
Equipment latent load	4463 Btuh

Equipment total load	18705 Btuh
Req. total capacity at 0.70 SHR	1.7 ton

### Heating Equipment Summary

Make Carrier  
Trade WeatherMate 38EYG  
Model 38EYG02430

Efficiency	7.5 HSPF
Heating input	24600 Btuh @ 47°F
Heating output	28 °F
Temperature rise	800 cfm
Actual air flow	0.045 cfm/Btuh
Air flow factor	0.00 in H2O
Static pressure	
Space thermostat	

### Cooling Equipment Summary

Make Carrier  
Trade WeatherMate 38EYG  
Cond 38EYG02430  
Coil FV4BNF002

Efficiency	13 SEER
Sensible cooling	16800 Btuh
Latent cooling	7200 Btuh
Total cooling	24000 Btuh
Actual air flow	800 cfm
Air flow factor	0.058 cfm/Btuh
Static pressure	0.00 in H2O
Load sensible heat ratio	0.77

Printout certified by ACCA to meet all requirements of Manual J 7th Ed.



# Project Summary Zone 2 Glenn I. Jones, Inc.

Job:  
Date: Nov 17, 2005  
By: gijjr

552 NW Hilton Ave., Lake City, FL 32055 Phone: 386-752-5389 Fax: 386-755-3401 Email: glenn@bizsear.com Web: glennjonesinc.com

## Project Information

For: Baynard & Judy Ward

Notes: SLK Construction  
Lot 16 Hunters Ridge

## Design Information

Weather: Gainesville, FL, US

### Winter Design Conditions

Outside db	33 °F
Inside db	70 °F
Design TD	37 °F

### Summer Design Conditions

Outside db	92 °F
Inside db	75 °F
Design TD	17 °F
Daily range	M
Relative humidity	50 %
Moisture difference	52 gr/lb

### Heating Summary

Structure	21807 Btuh
Ducts	1090 cfm
Central vent (0 cfm)	0 Btuh
Humidification	0 Btuh
Piping	0 Btuh
Equipment load	22897 Btuh

### Sensible Cooling Equipment Load Sizing

Structure	16678 Btuh
Ducts	1668 Btuh
Central vent (0 cfm)	0 Btuh
Blower	0 Btuh

### Infiltration

Method	Simplified
Construction quality	Average
Fireplaces	0

	Heating	Cooling
Area (ft²)	1271	1271
Volume (ft³)	12714	12714
Air changes/hour	1.00	0.57
Equiv. AVF (cfm)	211	121

Use manufacturer's data	n
Rate/swing multiplier	0.97
Equipment sensible load	17796 Btuh

### Latent Cooling Equipment Load Sizing

Structure	5614 Btuh
Ducts	0 Btuh
Central vent (0 cfm)	0 Btuh
Equipment latent load	5614 Btuh

Equipment total load	23410 Btuh
Req. total capacity at 0.70 SHR	2.1 ton

### Heating Equipment Summary

Make	Carrier
Trade	WeatherMate 38EYG
Model	38EYG03030

Efficiency	8 HSPF
Heating input	
Heating output	29000 Btuh @ 47°F
Temperature rise	28 °F
Actual air flow	933 cfm
Air flow factor	0.041 cfm/Btuh
Static pressure	0.00 in H2O
Space thermostat	

### Cooling Equipment Summary

Make	Carrier
Trade	WeatherMate 38EYG
Cond	38EYG03030
Coil	FV4ANF003

Efficiency	13.5 SEER
Sensible cooling	19600 Btuh
Latent cooling	8400 Btuh
Total cooling	28000 Btuh
Actual air flow	933 cfm
Air flow factor	0.051 cfm/Btuh
Static pressure	0.00 in H2O
Load sensible heat ratio	0.77

Printout certified by ACCA to meet all requirements of Manual J 7th Ed.

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name:	Ward, Baynard	Builder:	S.L.K. Construction
Address:	Lot: 16, Sub: Hunters Ridge, Plat:	Permitting Office:	
City, State:	Lake City, FL	Permit Number:	
Owner:	Baynard & Kathy Ward	Jurisdiction Number:	
Climate Zone:	North		

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 24.0 kBtu/hr SEER: 13.00
3. Number of units, if multi-family	1	b. Central Unit	Cap: 28.0 kBtu/hr SEER: 13.00
4. Number of Bedrooms	3	c. N/A	
5. Is this a worst case?	No	13. Heating systems	
6. Conditioned floor area (ft²)	2774 ft²	a. Electric Heat Pump	Cap: 24.6 kBtu/hr HSPF: 7.50
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)		b. Electric Heat Pump	Cap: 29.0 kBtu/hr HSPF: 8.00
a. U-factor:	Description Area	c. N/A	
(or Single or Double DEFAULT) 7a (Dble Default)	324.8 ft²	14. Hot water systems	
b. SHGC:	7b. (Clear) 324.8 ft²	a. Electric Resistance	Cap: 40.0 gallons EF: 0.92
(or Clear or Tint DEFAULT)		b. N/A	
8. Floor types		c. Conservation credits	
a. Slab-On-Grade Edge Insulation	R=0.0, 295.3(p) ft	(HR-Heat recovery, Solar	
b. N/A		DHP-Dedicated heat pump)	
c. N/A		15. HVAC credits	
9. Wall types		(CF-Ceiling fan, CV-Cross ventilation,	
a. Frame, Wood, Exterior	R=13.0, 2608.0 ft²	HF-Whole house fan,	
b. Frame, Wood, Adjacent	R=11.0, 466.7 ft²	PT-Programmable Thermostat,	
c. N/A		MZ-C-Multizone cooling,	
d. N/A		MZ-H-Multizone heating)	
e. N/A			
10. Ceiling types			
a. Under Attic	R=30.0, 2774.0 ft²		
b. N/A			
c. N/A			
11. Ducts			
a. Sup: Unc. Ret: Con. AH: Interior	Sup. R=6.0, 40.0 ft		
b. Sup: Unc. Ret: Con. AH: Interior	Sup. R=6.0, 40.0 ft		

Glass/Floor Area: 0.12

Total as-built points: 31904

Total base points: 39179

**PASS**

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: \_\_\_\_\_

DATE: \_\_\_\_\_

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code

OWNER/AGENT: \_\_\_\_\_

DATE: \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: \_\_\_\_\_

DATE: \_\_\_\_\_



<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.  
EnergyGauge® (Version: FLRCSB v4.0)

# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 16, Sub: Hunters Ridge, Plat: , Lake City, FL,

PERMIT #.

BASE				AS-BUILT							
<b>GLASS TYPES</b>											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X SPM X SOF = Points				
.18	2774.0	20.04	10006.4	Double, Clear	NE	8.0	9.0	96.0	29.58	0.61	1727.2
				Double, Clear	NW	2.0	6.0	15.0	25.97	0.88	341.4
				Double, Clear	SW	15.0	7.0	54.0	40.16	0.38	844.3
				Double, Clear	W	2.0	8.0	19.8	38.52	0.91	696.7
				Double, Clear	NE	2.0	8.0	14.0	29.56	0.92	380.9
				Double, Clear	NE	2.0	4.0	6.0	29.56	0.76	134.6
				Double, Clear	NW	34.0	7.0	18.0	25.97	0.52	241.0
				Double, Clear	SW	5.0	7.0	36.0	40.16	0.56	816.2
				Double, Clear	SE	2.0	6.0	15.0	42.75	0.81	516.7
				Double, Clear	NW	2.0	8.0	21.0	25.97	0.93	504.8
				Double, Clear	SW	2.0	6.0	30.0	40.16	0.81	973.6
				<b>As-Built Total:</b>				324.8	7177.4		
<b>WALL TYPES</b> Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Adjacent	466.7	0.70	326.7	Frame, Wood, Exterior	13.0		2608.0	1.50	3912.0		
Exterior	2608.0	1.70	4433.6	Frame, Wood, Adjacent	11.0		466.7	0.70	326.7		
<b>Base Total:</b> 3074.7 4760.3				<b>As-Built Total:</b>		3074.7		4238.7			
<b>DOOR TYPES</b> Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Adjacent	0.0	0.00	0.0	Exterior Wood			21.0	6.10	128.1		
Exterior	21.0	6.10	128.1								
<b>Base Total:</b> 21.0 128.1				<b>As-Built Total:</b>		21.0		128.1			
<b>CEILING TYPES</b> Area X BSPM = Points				Type	R-Value		Area X SPM X SCM = Points				
Under Attic	2774.0	1.73	4799.0	Under Attic	30.0		2774.0	1.73 X 1.00	4799.0		
<b>Base Total:</b> 2774.0 4799.0				<b>As-Built Total:</b>		2774.0		4799.0			
<b>FLOOR TYPES</b> Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Slab	295.3(p)	-37.0	-10926.1	Slab-On-Grade Edge Insulation	0.0		295.3(p)	-41.20	-12166.4		
Raised	0.0	0.00	0.0								
<b>Base Total:</b> -10926.1				<b>As-Built Total:</b>		295.3		-12166.4			
<b>INFILTRATION</b> Area X BSPM = Points						Area X SPM = Points					
2774.0 10.21 28322.5						2774.0 10.21		28322.5			

FORM 600A-2004

EnergyGauge® 4.0

# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 16, Sub: Hunters Ridge, Plat: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT									
Summer Base Points: 37090.2				Summer As-Built Points: 32499.4									
Total Summer Points	X	System Multiplier	= Cooling Points	Total Component (System - Points)	X	Cap Ratio (DM x DSM x AHU)	X	Duct Multiplier	X	System Multiplier	X	Credit Multiplier	= Cooling Points
				(sys 1: Central Unit 24000 btuh, SEER/EFF(13.0) Ducts Unc(S), Con(R), Int(AH), R6.0(INS)									
				32499		0.46		(1.08 x 1.147 x 0.91)		0.263		1.000	4443.3
				(sys 2: Central Unit 28000 btuh, SEER/EFF(13.0) Ducts Unc(S), Con(R), Int(AH), R6.0(INS)									
				32499		0.54		(1.08 x 1.147 x 0.91)		0.263		1.000	5183.9
37090.2		0.4266	15822.7	32499.4		1.00		1.128		0.263		1.000	9627.2



FORM 600A-2004

EnergyGauge® 4.0

# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 16, Sub: Hunters Ridge, Plat: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT							
<b>GLASS TYPES</b>											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X WPM X WOF = Points				
.18	2774.0	12.74	6361.3	Double, Clear	NE	8.0	9.0	96.0	23.57	1.04	2356.3
				Double, Clear	NW	2.0	6.0	15.0	24.30	1.01	366.8
				Double, Clear	SW	15.0	7.0	54.0	16.74	1.95	1758.8
				Double, Clear	W	2.0	8.0	19.8	20.73	1.02	420.1
				Double, Clear	NE	2.0	8.0	14.0	23.57	1.01	332.1
				Double, Clear	NE	2.0	4.0	6.0	23.57	1.02	144.9
				Double, Clear	NW	34.0	7.0	18.0	24.30	1.04	453.1
				Double, Clear	SW	5.0	7.0	36.0	16.74	1.41	851.1
				Double, Clear	SE	2.0	6.0	15.0	14.71	1.17	259.5
				Double, Clear	NW	2.0	8.0	21.0	24.30	1.00	511.9
				Double, Clear	SW	2.0	6.0	30.0	16.74	1.11	557.8
				<b>As-Built Total:</b>				324.8	8011.2		
<b>WALL TYPES</b> Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Adjacent	466.7	3.60	1680.1	Frame, Wood, Exterior	13.0		2608.0	3.40		8867.2	
Exterior	2608.0	3.70	9649.6	Frame, Wood, Adjacent	11.0		466.7	3.60		1680.1	
<b>Base Total:</b>				<b>As-Built Total:</b>		3074.7		10547.3			
<b>DOOR TYPES</b> Area X BWPM = Points				Type			Area X WPM = Points				
Adjacent	0.0	0.00	0.0	Exterior Wood			21.0	12.30		258.3	
Exterior	21.0	12.30	258.3								
<b>Base Total:</b>				<b>As-Built Total:</b>		21.0		258.3			
<b>CEILING TYPES</b> Area X BWPM = Points				Type	R-Value		Area X WPM X WCM = Points				
Under Attic	2774.0	2.05	5686.7	Under Attic	30.0		2774.0	2.05 X 1.00		5686.7	
<b>Base Total:</b>				<b>As-Built Total:</b>		2774.0		5686.7			
<b>FLOOR TYPES</b> Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Slab	295.3(p)	8.9	2628.2	Slab-On-Grade Edge Insulation	0.0		295.3(p)	18.80		5551.6	
Raised	0.0	0.00	0.0								
<b>Base Total:</b>				<b>As-Built Total:</b>		295.3		5551.6			
<b>INFILTRATION</b> Area X BWPM = Points				Area X WPM = Points							
2774.0 -0.59 -1636.7				2774.0 -0.59 -1636.7							

**WINTER CALCULATIONS****Residential Whole Building Performance Method A - Details**

ADDRESS: Lot: 18, Sub: Hunters Ridge, Plat: , Lake City, FL,

PERMIT #:

BASE			AS-BUILT						
<b>Winter Base Points: 24627.6</b>			<b>Winter As-Built Points: 28418.5</b>						
Total Winter Points	X System Multiplier	= Heating Points	Total Component (System - Points)	X Cap Ratio	X Duct Multiplier (DM x DSM x AHU)	X System Multiplier	X Credit Multiplier	= Heating Points	
			(sys 1: Electric Heat Pump 24600 btuh ,EFF(7.5) Ducts:Unc(S),Con(R),Int(AH),R6.0 28418.5 0.459 (1.060 x 1.169 x 0.93) 0.455 1.000 6833.9 (sys 2: Electric Heat Pump 29000 btuh ,EFF(8.0) Ducts:Unc(S),Con(R),Int(AH),R6.0 28418.5 0.541 (1.060 x 1.169 x 0.93) 0.426 1.000 7552.7						
<b>24627.6</b>	<b>0.6274</b>	<b>15451.3</b>	<b>28418.5</b>	<b>1.00</b>	<b>1.152</b>	<b>0.439</b>	<b>1.000</b>	<b>14371.7</b>	

FORM 600A-2004

EnergyGauge® 4.0

**WATER HEATING & CODE COMPLIANCE STATUS**

## Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 16, Sub: Hunters Ridge, Plat: , Lake City, FL,

PERMIT #.

BASE				AS-BUILT						
WATER HEATING										
Number of Bedrooms	X	Multiplier	= Total	Tank Volume	EF	Number of Bedrooms	X	Tank X Ratio	Multiplier X	Credit = Total Multiplier
3		2635.00	7905.0	40.0	0.82	3		1.00	2635.00	1.00 7905.0
				As-Built Total: 7905.0						

CODE COMPLIANCE STATUS							
BASE				AS-BUILT			
Cooling	+	Heating	+	Hot Water	=	Total	
Points		Points		Points		Points	
15823		15451		7905		39179	
9627		14372		7905		31904	

**PASS**

# Code Compliance Checklist

## Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 16, Sub: Hunters Ridge, Plat: , Lake City, FL,

PERMIT #:

**6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST**

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: 3 cfm/sq ft. window area; 5 cfm/sq ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings, penetrations of ceiling plane of top floor, around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation, or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

**6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)**

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 612.1.ABC.3.2. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

**ESTIMATED ENERGY PERFORMANCE SCORE\* = 86.7**

**The higher the score, the more efficient the home.**

Baynard & Kathy Ward, Lot: 16, Sub: Hunters Ridge, Plat: , Lake City, FL,

1. New construction or existing	New	___	12. Cooling systems	
2. Single family or multi-family	Single family	___	a. Central Unit	Cap: 24.0 kBtu/hr
3. Number of units, if multi-family	1	___		SEER: 13.00
4. Number of Bedrooms	3	___	b. Central Unit	Cap: 28.0 kBtu/hr
5. Is this a worst case?	No	___		SEER: 13.00
6. Conditioned floor area (ft <sup>2</sup> )	2774 ft <sup>2</sup>	___	c. N/A	
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)			13. Heating systems	
a. U-factor:	Description Area		a. Electric Heat Pump	Cap: 24.6 kBtu/hr
(or Single or Double DEFAULT)	7a. (Dble Default) 324.8 ft <sup>2</sup>	___		HSPF: 7.50
b. SHGC:			b. Electric Heat Pump	Cap: 29.0 kBtu/hr
(or Clear or Tint DEFAULT)	7b. (Clear) 324.8 ft <sup>2</sup>	___		HSPF: 8.00
8. Floor types			c. N/A	
a. Slab-On-Grade Edge Insulation	R=0.0, 295.3(p) ft	___	14. Hot water systems	
b. N/A		___	a. Electric Resistance	Cap: 40.0 gallons
c. N/A		___		EF: 0.92
9. Wall types			b. N/A	
a. Frame, Wood, Exterior	R=13.0, 2608.0 ft <sup>2</sup>	___	c. Conservation credits	
b. Frame, Wood, Adjacent	R=11.0, 466.7 ft <sup>2</sup>	___	(HR-Heat recovery, Solar	
c. N/A		___	DHP-Dedicated heat pump)	
d. N/A		___	15. HVAC credits	
e. N/A		___	(CF-Ceiling fan, CV-Cross ventilation,	
10. Ceiling types			HF-Whole house fan,	
a. Under Attic	R=30.0, 2774.0 ft <sup>2</sup>	___	PT-Programmable Thermostat,	
b. N/A		___	MZ-C-Multizone cooling,	
c. N/A		___	MZ-H-Multizone heating)	
11. Ducts				
a. Sup: Unc. Ret: Con. AH: Interior	Sup. R=6.0, 40.0 ft	___		
b. Sup: Unc. Ret: Con. AH: Interior	Sup. R=6.0, 40.0 ft	___		

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Address of New Home: \_\_\_\_\_ City/FL Zip: \_\_\_\_\_



**\*NOTE:** The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar<sup>TM</sup> designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at [www.fsec.ucf.edu](http://www.fsec.ucf.edu) for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.

<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4 EnergyGauge® (Version: FLRCSB v4.0)

# Notice of Treatment

12068

Applicator: Florida Pest Control & Chemical Co. (www.flapest.com)

Address: 19A VANDER  
City: CC Phone: 7521705

Site Location: Subdivision Hunter's Ridge  
Lot # 16 Block# 24533 Permit # 24533  
Address 350 SW Mossy Oak Way

Product used	Active Ingredient	% Concentration
<input checked="" type="checkbox"/> Premise	Imidacloprid	0.1%
<input type="checkbox"/> Termidor	Fipronil	0.12%
<input type="checkbox"/> Bora Care	Disodium Octaborate Tetrahydrate	23.0%

Type treatment:

☒ Soil

☐ Wood

Area Treated

Square feet

Linear feet

Gallons Applied

Dwelling

4309

323

39.0

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

This notice is for the final exterior treatment, initial this line \_\_\_\_\_.

106  
Date

1045  
Time

F254  
Print Technician's Name

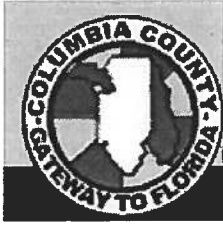
Permit - White

Permit File - Canary

Permit Holder - Pink

10/05

©



From: The Columbia County Building & Zoning Department  
Plan Review  
135 NE Hernando Av.  
P.O. Box 1529  
Lake City Florida 32056-1529

Reference to a building permit application Number: **0604-67**  
SLK Construction owners Baynard & Judy Ward

On the date of April 25, 2006 application 0604-67 and plans for construction of a single family dwelling were reviewed and the following information or alteration to the plans will be required to continue processing this application. If you should have any question please contact the above address, or contact phone number (386) 758-1163 or fax any information to (386) 754-7088.

**Please include application number 0604-67 when making reference to this application.**

1. Please make application with the Columbia County 911 addressing coordinator Mr. Ron Croft 758-1125 for a 911 address for this dwelling.
2. Please submit a recorded (with the Columbia County Clerk Office) notice of commencement before any inspections can be preformed by the Columbia County Building Department.
3. Plans for a detached garage/pool house were submitted with this application for construction of a single family dwelling. Please submit the plans for the

garage/pool house under a separate building permit application. Also submit a site plan which will detail the location of the structures which will be constructed upon lot 16 of Hunter's Ridge Subdivision.

4. Please show compliance with the FRC-2004 Sections R322.1.1

All new single-family houses, duplexes, triplexes, condominiums and townhouses shall provide at least one bathroom, located with maximum possible privacy, where bathrooms are provided on habitable grade levels, with a door that has a 29-inch (737 mm) clear opening. However, if only a toilet room is provided at grade level, such toilet rooms shall have a clear opening of not less than 29 inches (737 mm).

5. The Windload analysis by Bailey Bishop & Lane Inc. was preformed using the 2001 Florida Building Code, please have this firm prepare and resubmit the Windload analysis to comply with the Florida Building Code 2004 sections 1609.
6. On the dwelling elevation drawing show the height of the chimney flue above the roof peak and the distance from the nearest roof line intersection. Also show on the foundation plan any additional foundation requirements to support this fireplace.
7. The truss manufacture has indicated that additional interior load bearing walls will be needed for the truss system, please have Bailey Bishop & Lane Inc. show on the foundation plans the design and location of these additional foundation.
8. On a truss layout plan please have the Please have the Windload engineer supply the following information, show all required connectors with uplift rating for each truss and required number and size of fasteners for continuous tie from the



roof to foundation. These connection points shall be designed by an architect or engineer using the engineered roof truss plans.

9. Please show compliance with the FRC-2004 section R309.1 Opening protection:

Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 13/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 13/8 inches (35 mm) thick, or 20-minute fire-rated doors. Also show compliance with sections R309.2 Separation required: The garage shall be separated from the residence and its attic area by not less than ½-inch (12.7 mm) gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8-inch (15.9 mm) Type X gypsum board or equivalent. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall also be protected by not less than ½-inch (12.7 mm) gypsum board or equivalent.

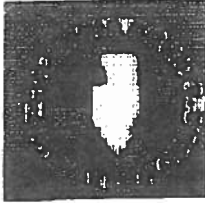
10. On the electrical plan show the amperage rating and the location of the electrical service overcurrent protection device. This device shall be installed on the exterior of structures to serve as a disconnecting means. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground.

Thank you,



Joe Haltiwanger  
Plan Examiner

Columbia County Building Department



From: The Columbia County Building & Zoning Department  
Plan Review  
135 NE Hernando Av.  
P.O. Box 1529  
Lake City Florida 32056-1529

Reference to a building permit application Number: **0604-67**

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- ✓? 3. Plans for a detached garage/pool house were submitted with this application for construction of a single family dwelling. Please submit the plans for the

garage/pool house under a separate building permit application. Also submit a site plan which will detail the location of the structures which will be constructed upon lot 16 of Hunter's Ridge Subdivision.

- ✓4. Please show compliance with the FRC-2004 Sections R322.1.1

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- ✓5. The Windload analysis by Bailey Bishop & Lane Inc. was preformed using the 2001 Florida Building Code, please have this firm prepare and resubmit the Windload analysis to comply with the Florida Building Code 2004 sections 1609.

- ✓6. On the dwelling elevation drawing show the height of the chimney flue above the roof peak and the distance from the nearest roof line intersection. Also show on the foundation plan any additional foundation requirements to support this fireplace.

- ✓7. The truss manufacture has indicated that additional interior load bearing walls will be needed for the truss system, please have Bailey Bishop & Lane Inc. show on the foundation plans the design and location of these additional foundation.

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- ✓ 10. On the electrical plan show the amperage rating and the location of the electrical service overcurrent protection device. This device shall be installed on the exterior of structures to serve as a disconnecting means. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground.

Thank you,  
  
Joe Haltiwanger  
Plan Examiner  
Columbia County Building Department

# COLUMBIA COUNTY FLORIDA DEPARTMENT OF BUILDING AND ZONING INSPECTION

## OCCUPANCY

### COLUMBIA COUNTY, FLORIDA

#### Department of Building and Zoning Inspection

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 25-3S-15-00220-116

Building permit No. 000024533

Use Classification SFD, UTILITY

Fire: 33.48

Permit Holder GUY WILLIAMS

Waste: 100.50

Owner of Building BAYNARD & JUDY WARD

Total: 133.98

Location: 350 SW MOSSY OAK WAY(HUNTER RIDGE, LOT 16)

Date: 04/10/2007

*Harry Becker*

Building Inspector



POST IN A CONSPICUOUS PLACE  
(Business Places Only)