

DATE 01/29/2008

Columbia County Building Permit  
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT  
000026678

APPLICANT ROBERT PUCKETT PHONE 352 351-8153  
ADDRESS 1748 NW 58TH LANE OCALA FL 34475  
OWNER ELWOOD & DEBORAH RIDEOUT PHONE 965-9516  
ADDRESS 1850 SW BUCKLEY RD LAKE CITY FL 32024  
CONTRACTOR ROBERT PUCKETT PHONE 352 351-8152  
LOCATION OF PROPERTY 41S, TR ON TUSTENUGGEE, TL ON BUCKLEY RD, 3RD LOT ON  
RIGHT  
TYPE DEVELOPMENT MH, UTILITY ESTIMATED COST OF CONSTRUCTION 0.00  
HEATED FLOOR AREA                      TOTAL AREA                      HEIGHT                      STORIES                       
FOUNDATION                      WALLS                      ROOF PITCH                      FLOOR                       
LAND USE & ZONING A-3 MAX. HEIGHT                       
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.                     

PARCEL ID 29-5S-17-09433-009 SUBDIVISION                       
LOT                      BLOCK                      PHASE                      UNIT                      TOTAL ACRES                     

IH0000707  
Culvert Permit No.                      Culvert Waiver                      Contractor's License Number                      Applicant/Owner/Contractor                       
EXISTING 07-796 BK JH Y  
Driveway Connection                      Septic Tank Number                      LU & Zoning checked by                      Approved for Issuance                      New Resident                     

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD  
PARENT PARCEL OF A SPECIAL FAMILY LOT PERMIT

Check # or Cash 2212

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power                      Foundation                      Monolithic                       
                     date/app. by                      date/app. by                      date/app. by                       
Under slab rough-in plumbing                      Slab                      Sheathing/Nailing                       
                     date/app. by                      date/app. by                      date/app. by                       
Framing                      Rough-in plumbing above slab and below wood floor                       
                     date/app. by                      date/app. by                       
Electrical rough-in                      Heat & Air Duct                      Peri. beam (Lintel)                       
                     date/app. by                      date/app. by                      date/app. by                       
Permanent power                      C.O. Final                      Culvert                       
                     date/app. by                      date/app. by                      date/app. by                       
M/H tie downs, blocking, electricity and plumbing                      Pool                       
                     date/app. by                      date/app. by                       
Reconnection                      Pump pole                      Utility Pole                       
                     date/app. by                      date/app. by                      date/app. by                       
M/H Pole                      Travel Trailer                      Re-roof                       
                     date/app. by                      date/app. by                      date/app. by                     

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 300.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 57.78 WASTE FEE \$ 150.75  
FLOOD DEVELOPMENT FEE \$                      FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$                      TOTAL FEE 583.53  
INSPECTORS OFFICE                      CLERKS OFFICE                     

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



# PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

CK# 2212

**Office Use Only** (Revised 6-23-05) Zoning Official BLK 28.01.08 Building Official OK JTH 1-17-08

AP# 0801-96 Date Received 4/17 By JW Permit # 26678

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments Parent Parcel of a Special Family Lot Permit

FEMA Map# \_\_\_\_\_ Elevation \_\_\_\_\_ Finished Floor \_\_\_\_\_ River \_\_\_\_\_ In Floodway \_\_\_\_\_

☒ Site Plan with Setbacks Shown ☒ EH Signed Site Plan ☒ EH Release ☒ Well letter ☒ Existing well

☒ Copy of Recorded Deed or Affidavit from land owner ☒ Letter of Authorization from Installer

- Property ID # 29517-09433-000 <sup>009</sup> Must have a copy of the property deed
- New Mobile Home X Used Mobile Home \_\_\_\_\_ Year 2007
- Applicant Robert Puckett Phone # 352-351-8153
- Address 1748 NW 58 Lane Ocala FL 34475
- Name of Property Owner Elwood + Deborah Rideout Phone# 386-965-9516
- 911 Address 1850 SW Buckley Rd Lake City 32024
- Circle the correct power company - FL Power & Light - Clay Electric  
(Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home Elwood + Deborah Rideout Phone # 386-965-9516
- Address 1850 Buckley Rd Lake City 32024
- Relationship to Property Owner Same
- Current Number of Dwellings on Property 0
- Lot Size \_\_\_\_\_ Total Acreage 2.5 acres
- Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver (Circle one)
- Is this Mobile Home Replacing an Existing Mobile Home No (OWNERS)
- Driving Directions to the Property 4 Lake City 41 South to Tustenuggee Ave to Buckley Rd to property 3rd lot on right
- Name of Licensed Dealer/Installer Robert Puckett Phone # 352-351-8153
- Installers Address 1748 NW 58 Lane Ocala FL 34476
- License Number IK0000707 Installation Decal # 293713



# PERMIT NUMBER

# PERMIT WORKSHEET

Installer Robert Buckley License # TH000707

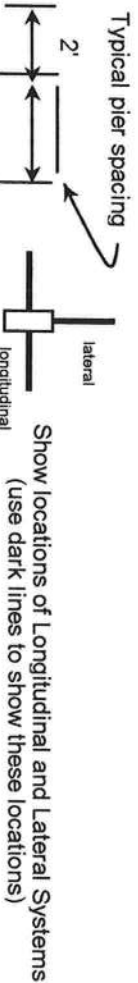
Address of home being installed 1050 SW Buckley Rd  
Lake City 32024

Manufacturer Nobility Hammer Length x width 24x44

**NOTE:** if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials RP



Typical pier spacing 2'

Please refer to attached drawing

marriage wall piers within 2' of end of home per Rule 15C

New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual ☒

Home is installed in accordance with Rule 15-C ☐

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 1BD

Triple/Quad ☐ Serial # N8132864B

## PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	Footer size (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4' 6"	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'

\* interpolated from Rule 15C-1 pier spacing table.

## PIER PAD SIZES

I-beam pier pad size 23x31

Perimeter pier pad size 16x16

Other pier pad sizes (required by the mfg.)

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening Pier pad size

1 24x24 and 34x25 4 ft 5 ft

## FRAME TIES

within 2' of end of home spaced at 5' 4" oc

## TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)  
Manufacturer  
Longitudinal Stabilizing Device w/ Lateral Arms  
Manufacturer MT-Intercon

## OTHER TIES

Sidewall  
Longitudinal  
Marriage wall  
Shearwall  
Number 8544  
42



PERMIT NUMBER \_\_\_\_\_

PERMIT WORKSHEET

page 2 of 2

**POCKET PENETROMETER TEST**

The pocket penetrometer tests are rounded down to \_\_\_\_\_ psf or check here to declare 1000 lb. soil X without testing.

X \_\_\_\_\_ X \_\_\_\_\_ X \_\_\_\_\_

**POCKET PENETROMETER TESTING METHOD**

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X \_\_\_\_\_ X \_\_\_\_\_ X \_\_\_\_\_

**TORQUE PROBE TEST**

The results of the torque probe test is 176 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

**Note:** A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. 1 understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.  
RP Installer's initials

**ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER**

Installer Name Robert Lacheth  
 Date Tested 1-17-08

Electrical

Plumbing

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 42

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 41

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 41

**Site Preparation**

Debris and organic material removed Yes  
 Water drainage: Natural X Swale \_\_\_\_\_ Pad \_\_\_\_\_ Other \_\_\_\_\_

**Fastening multi wide units**

Floor: Type Fastener: 3/8 lag Length: 3.5" Spacing: 24"  
 Walls: Type Fastener: \_\_\_\_\_ Length: \_\_\_\_\_ Spacing: \_\_\_\_\_  
 Roof: Type Fastener: #10 screw Length: 4.5" Spacing: 12"  
 For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

**Gasket (weatherproofing requirement)**

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials RP

**Installed:**

Type gasket carpet padding  
 Pg. 12  
 Between Floors Yes  
 Between Walls Yes  
 Bottom of ridgebeam Yes

**Weatherproofing**

The bottomboard will be repaired and/or taped. Yes Pg. \_\_\_\_\_  
 Siding on units is installed to manufacturer's specifications. Yes  
 Fireplace chimney installed so as not to allow intrusion of rain water. Yes

**Miscellaneous**

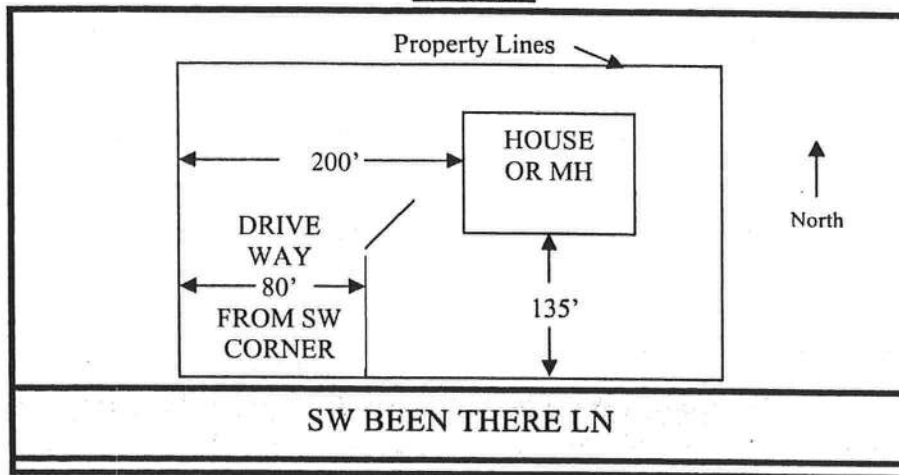
Skirting to be installed. Yes No \_\_\_\_\_  
 Dryer vent installed outside of skirting. Yes \_\_\_\_\_  
 Range downflow vent installed outside of skirting. Yes N/A  
 Drain lines supported at 4 foot intervals. Yes N/A  
 Electrical crossovers protected. Yes  
 Other : \_\_\_\_\_

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

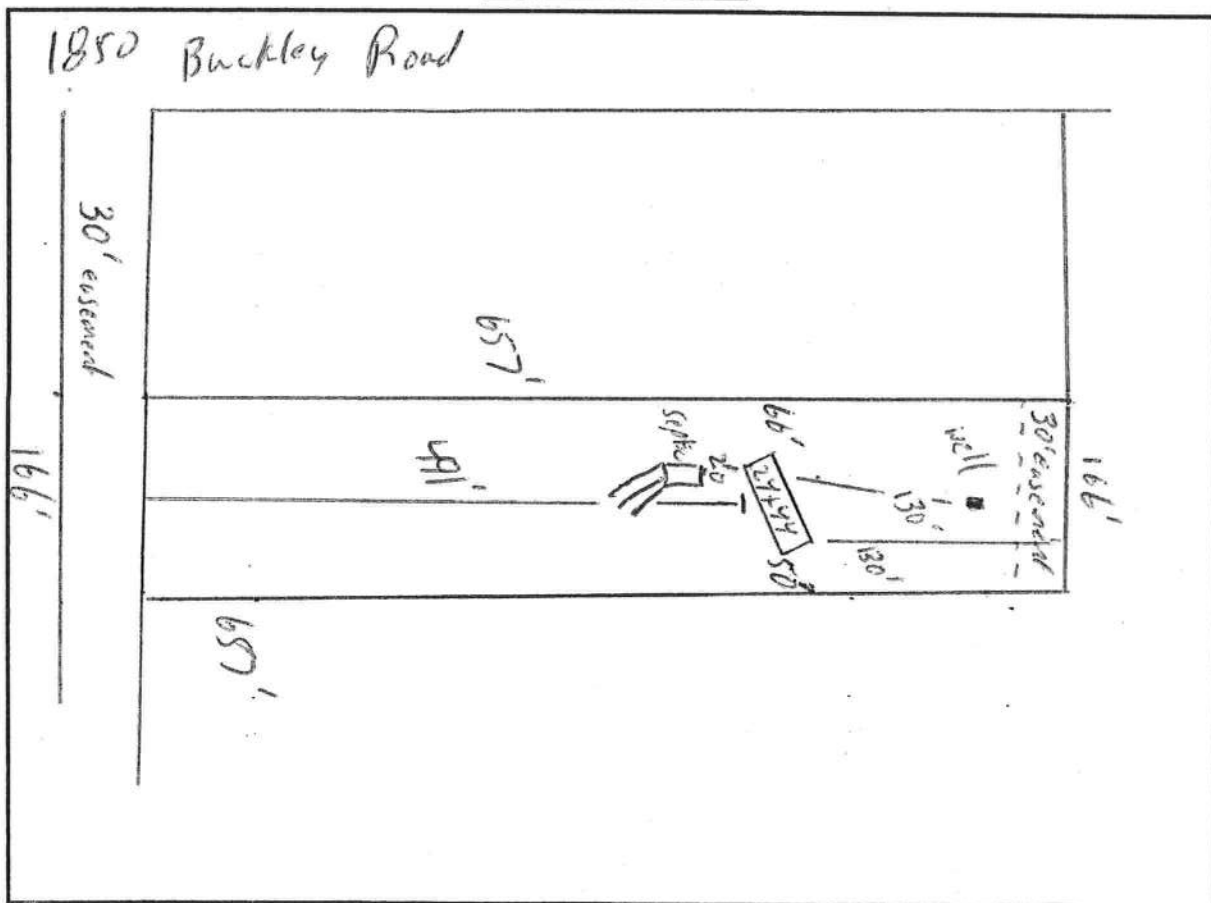
Installer Signature Robert Lacheth Date 1-17-08

1. A PLAT, PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
2. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM AT LEAST TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
3. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
4. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

**SAMPLE:**



**SITE PLAN BOX:**



Water Wells  
Pumps & Service

Phone: (386) 752-6677  
Fax: (386) 752-1477

## **Lynch Well Drilling, Inc.**

173 SW Young Place  
Lake City, FL 32025  
[www.lynchwelldrilling.com](http://www.lynchwelldrilling.com)

October 10, 2007

To Whom It May Concern:

As required by building code regulations for Columbia County in order that a building permit can be issued, the following well information is provided with regard to the above-referenced well:

Size of Pump Motor:	1 Horse Power
Size of Pressure Tank:	81-Gallon Bladder Tank
Cycle Stop Valve Used:	No

Should you require any additional information, please contact us.

Sincerely,



Linda Newcomb  
Lynch Well Drilling, Inc.

1207

This Instrument Prepared by & return to:  
Name: **KIM WATSON, an employee of**  
**TITLE OFFICES, LLC**  
Address: **343 NW COLE TERRACE, SUITE 101**  
**LAKE CITY, FLORIDA 32055**  
**File No. 07Y-09024KW**

Parcel I.D. #: 09433-000

SPACE ABOVE THIS LINE FOR PROCESSING DATA

Inst:200712021984 Date:9/28/2007 Time:9:18 AM  
Doc Stamp-Deed:294.00  
DC,P,DeWitt Cason,Columbia County Page 1 of 2

**THIS WARRANTY DEED** Made the 25th day of September, A.D. 2007, by **ANYA PELHAM,**

**SINGLE**, hereinafter called the grantor, to **ELWOOD LEE RIDEOUT, JR. and**  
**DEBORAH JEAN RIDEOUT, HIS WIFE,** whose post office address is **427 SW 252B LOT 14,**  
hereinafter called the grantees: **LAKE CITY, FL 32024**

(Wherever used herein the terms "grantor" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

**Witnesseth:** That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees all that certain land situate in **Columbia County, State of Florida**, viz:

**SEE EXHIBIT "A" ATTACHED AND MADE A PART HEREOF**

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.


**To Have and to Hold** the same in fee simple forever.


**And** the grantor hereby covenants with said grantees that she is lawfully seized of said land in fee simple; that she has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2007.

**In Witness Whereof,** the said grantor has signed and sealed these presents, the day and year first above written.

Signed, sealed and delivered in the presence of:

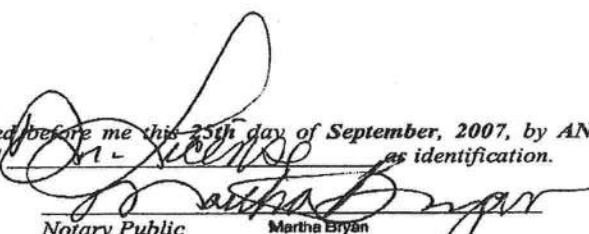
  
Witness Signature **Martha Bryan**

Printed Name  
  
Witness Signature **Regina Simpkins**  
Printed Name

  
**ANYA PELHAM** L.S.  
Address:  
**757 CENTURY 21 DRIVE, JACKSONVILLE,**  
**FLORIDA 32216**

**STATE OF FLORIDA**  
**COUNTY OF COLUMBIA**

The foregoing instrument was acknowledged before me this 25th day of September, 2007, by **ANYA PELHAM**, who is known to me or who has produced \_\_\_\_\_ as identification.

  
Notary Public **Martha Bryan**  
My commission expires \_\_\_\_\_

-009

-010





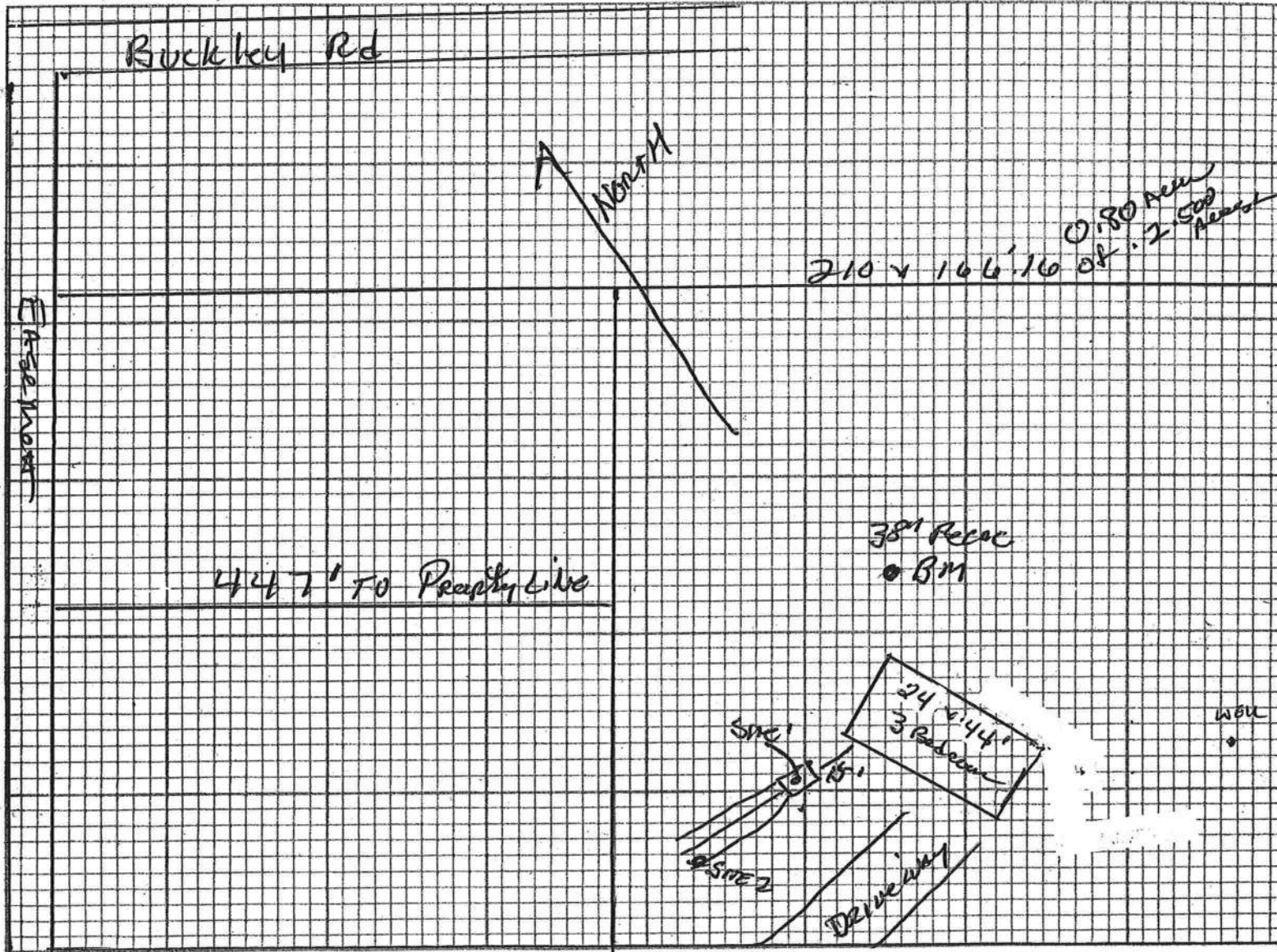
STATE OF FLORIDA  
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 07-0796-1

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: Ala Mae Div

(Edward Rideout Sr)

REVISED

29-55-17-09433-000

(009)

Site Plan submitted by:

Robert W. Ford Jr

Signature

Agent

Title

Plan Approved ☒

Not Approved ☐

Date 10-12-07

By

Mr Jh

Columbia

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



# Columbia County Property Appraiser

DB Last Updated: 1/15/2008

## 2008 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 29-5S-17-09433-009

&lt;&lt; Prev

Search Result: 2 of 2

### Owner & Property Info

<b>Owner's Name</b>	RIDEOUT ELWOOD LEE JR		
<b>Site Address</b>			
<b>Mailing Address</b>	& DEBORAH LEAN 427 SW 252B LOT 14 LAKE CITY, FL 32024		
<b>Use Desc. (code)</b>	NO AG ACRE (009900)		
<b>Neighborhood</b>	29517.00	<b>Tax District</b>	3
<b>UD Codes</b>	MKTA02	<b>Market Area</b>	02
<b>Total Land Area</b>	2.500 ACRES		
<b>Description</b>	BEG AT SW COR OF S1/2 OF NE1/4 OF NE1/4 OF NW1/4, RUN EAST 657.13 FT, N 332.31 FT, WEST 657.14 FT, S 330.46 FT TO POB ORB 1132-464 EX THE SOUTH 166.16 FT AS DESC IN ORB 1132- 466		

### GIS Aerial



### Property & Assessment Values

<b>Mkt Land Value</b>	cnt: (1)	\$25,000.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (0)	\$0.00
<b>XFOB Value</b>	cnt: (0)	\$0.00
<b>Total Appraised Value</b>		\$25,000.00

<b>Just Value</b>	\$25,000.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$25,000.00
<b>Exempt Value</b>	\$0.00
<b>Total Taxable Value</b>	\$25,000.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
9/25/2007	1132/464	WD	V	U	07	\$42,000.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

### Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
009900	AC NON-AG (MKT)	2.500 AC	1.00/1.00/1.00/1.00	\$10,000.00	\$25,000.00

Columbia County Property Appraiser

DB Last Updated: 1/15/2008

&lt;&lt; Prev

2 of 2

# COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

## Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 10/9/2007 DATE ISSUED: 10/16/2007

### ENHANCED 9-1-1 ADDRESS:

1850 SW BUCKLEY LN

LAKE CITY FL 32024

### PROPERTY APPRAISER PARCEL NUMBER:

29-5S-17-09433-000

### Remarks:

PARENT PARCEL

Address Issued By:



Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

Approved Address

OCT 16 2007

911Addressing/GIS Dept



P, 005

J&amp;H HOMES INC.

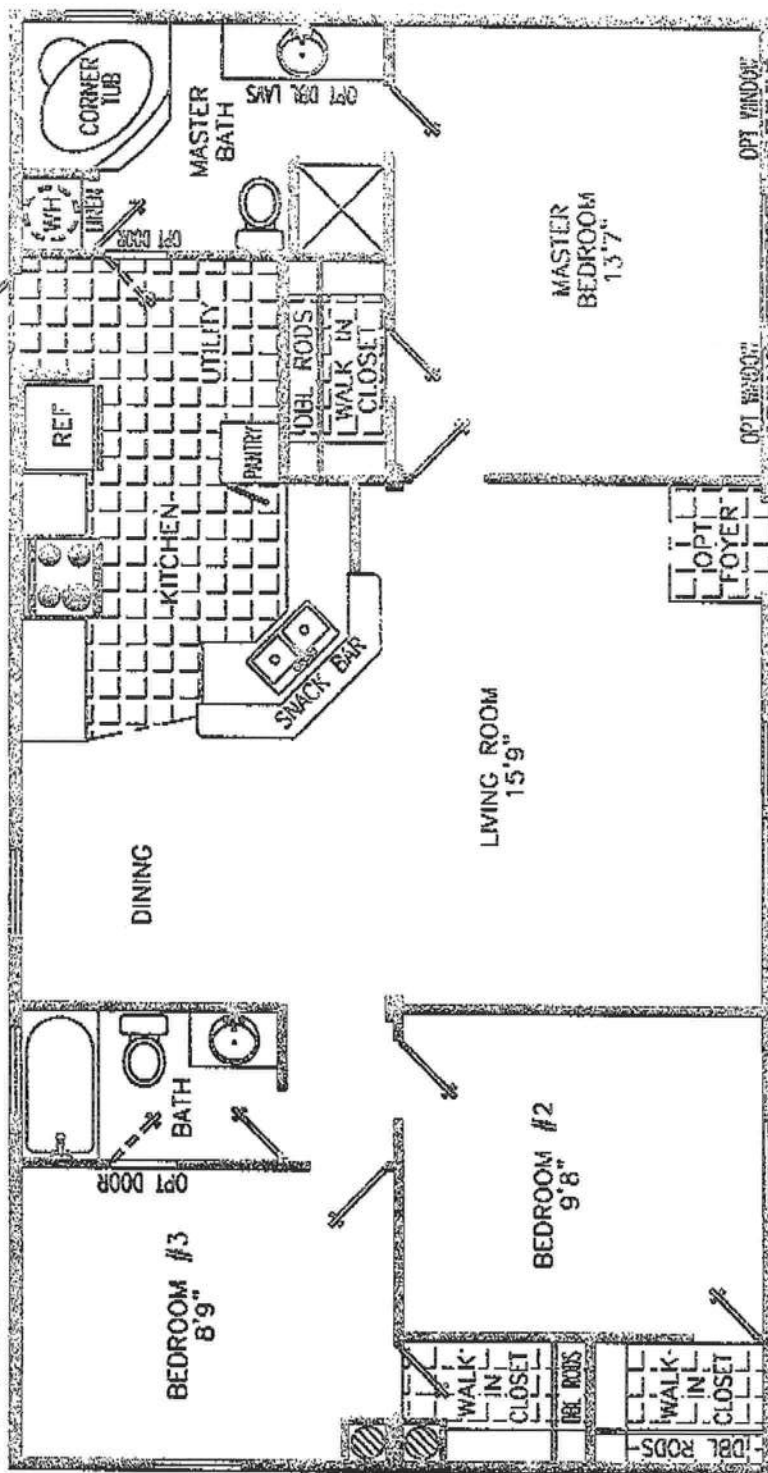
FAX: 3867585933

3523511046

RECEIVED 01/02/2008 15:07

JAN-03-2008 THU 04:43 AM Prestige Lake City

DONNA



48' X 24' 3 F&R; 2 BATH 44C3H(8)  
1026.6 SQ.FT. 24' WIDE  
1096.3 SQ.FT. 26' WIDE  
1166.0 SQ.FT. 28' WIDE ✓ *D. Smith*

(ALSO AVAILABLE IN 26" & 28" WIDE)  
CATHEDRAL CEILING THROUGHOUT

Schrock Roberts

X Edward Lee Ryden



Homes Designed, Built & Serviced  
By NOBILITY HOMES

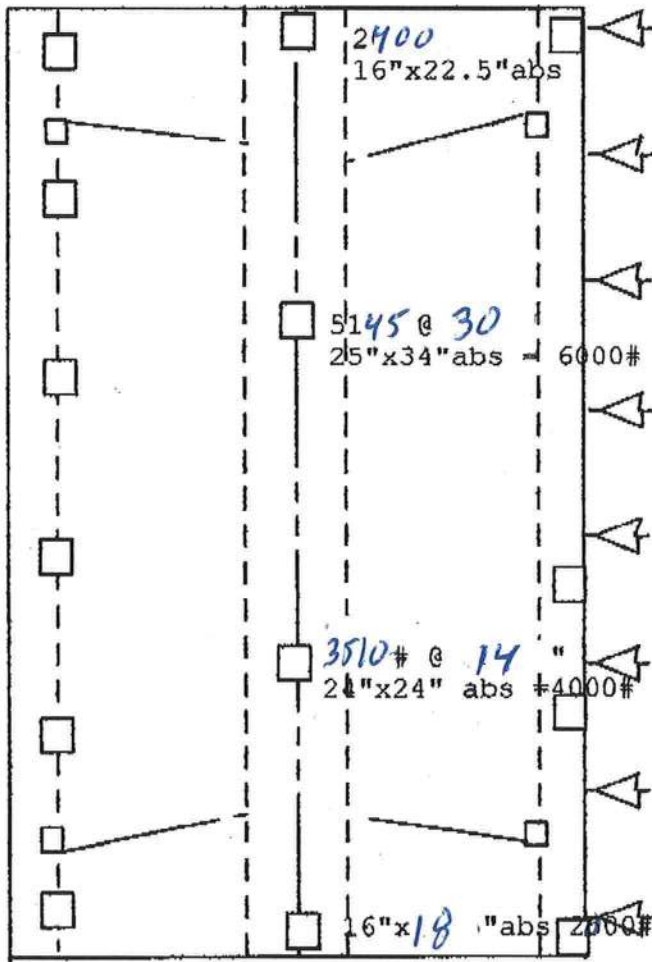
**NOBILITY  
HOMES, INC.**  
nobilityhomes.com

THE OVERALL LENGTH INCLUDES A HITCH OF APPROXIMATELY FOUR FEET ON ALL HOMES.

MANUFACTURED IN ACCORDANCE WITH STANDARDS DEVELOPED AND ENFORCED BY HUD. DUE TO OUR CONTINUING PROGRAM OF PRODUCT IMPROVEMENT, PRICES AND SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SOME ITEMS SUCH AS TIRES, RIMS, AXLES, AND HITCHES MAY HAVE BEEN RECYCLED AFTER RECEPTION FOR SAFETY AND APPEARANCE. ALL DIMENSIONS ARE NOMINAL.

03-117

1/8" = 1' 24'x44' 44c3h8



Nobility Homes

Set-up instructions  
Manufacturers manual

1000 PSI

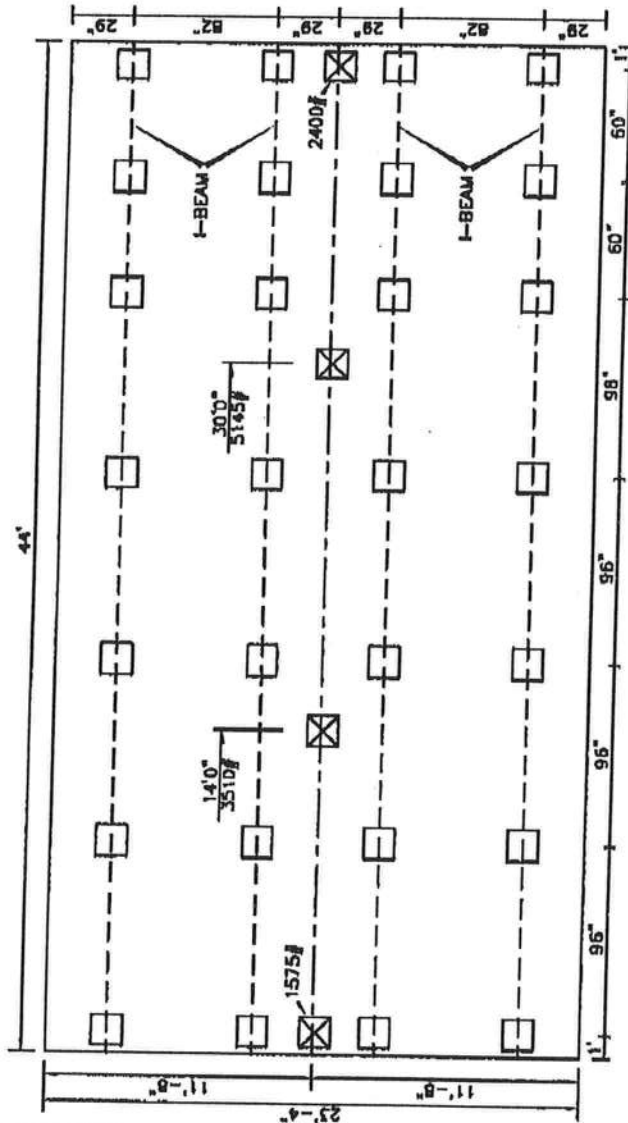
176 Anchor Torque

= 23 "x31" ABS Pad for I-  
beam on 8' O.C.= 16"x18" ABS Pad for door  
piers and shearwall piers  
will be clearly marked on  
home

4' anchors @ 5'4" o.c.

XI system will be used  
for the longitudinal system





- NOTES:
- (1. COLUMN SUPPORT PIERS MAY BE WITHIN 8" OF OPENINGS GREATER THAN 48"
  - (2. ADDITIONAL PIERS ARE REQUIRED AT EACH SIDE OF EXTERIOR DOOR OPENINGS.
  - (3. THIS IS A TYPICAL DRAWING FOR THIS MODEL. SPACING MAY BE DIFFERENT IF MAX. SPACING IS NOT EXCEEDED.

- ☒ COLUMN SUPPORT PIERS  
☐ 25" X 31" BASE PAD

SPACING FOR 1000 PSF SOIL WITH 25" X 31" BASE PAD  
 MAXIMUM SPACING FOR THE I-BEAM PIERS IS 96"

		REVISIONS DATE 3-13-07 SCALE	
		44C3H(8)	

Donna 24



State of Florida  
DEPARTMENT OF  
HIGHWAY SAFETY AND MOTOR VEHICLES  
TALLAHASSEE, FLORIDA 32399-0500

WILLIAM O. DICKINSON, III  
Executive Director

May 19, 2000

Mr. Chuck Mackintosh  
The Down Engineering, Incorporated  
5901 Wheaton Drive  
Atlanta, Georgia 30336

Dear Mr. Mackintosh:

We wish to acknowledge receipt of your specifications and test results certifying that your ABS Plastic Stabilizing Device listed below, complies with the rules and regulations set by the Department of Highway Safety and Motor Vehicles, Chapter 15-C1.0103.

Based on the information submitted to this bureau, the following products are listed for use in Florida as Type I and Type II anchors, when the installation instructions are provided:

MODEL #	DESCRIPTION	DESCRIPTION
592931	Plastic Stabilizer Post	8" x 24" x 1.375 at top

If you have any questions, I can be reached at (850) 413-7600.

Sincerely,

*Phil Bergelt*  
Phil Bergelt, Program Manager  
Bureau of Mobile Home and  
Recreational Vehicle Construction  
Division of Motor Vehicles

PB:bso



FASTEN TOP FRONT  
RAIL W/ 1" GALV. NAILS  
OR 3/4" SCREWS 16" O.C.

FSI VIYNL SKIRTING  
16" VIYNL PANELS  
PROVIDING 4.75 SQ. IN  
VENTING PER LIN. FT

FASTEN BOTTOM RAIL  
W/ 3/4" SCREWS 16" O.C.  
7" GAL NAILS 19" O.C.

MOBILE HOME

CRAWL  
SPACE

GRADE

NOTE:  
AN ACCESS PANEL 16" X 24" MIN WILL  
BE PROVIDED TO ACCESS CRAWL SPACE  
THE ACCESS PANEL WILL BE FASTENED  
W/ 1" LONG PHILLIPS HEAD SCREWS.  
ANY HOME WHICH MORE THAN 36" FROM  
FINISH GRADE WILL HAVE VERTICAL STUDS  
48" O.C. AND A BELT RAIL



State of Florida  
**DEPARTMENT OF  
HIGHWAY SAFETY AND MOTOR VEHICLES**  
TALLAHASSEE, FLORIDA 32399-0500

KIRK O. DICKINSON, III  
Executive Director

May 19, 2000

Mr. Chuck Mackintosh  
The Down-Engineering, Incorporated  
5901 Wheaton Drive  
Atlanta, Georgia 30336

Dear Mr. Mackintosh:

We wish to acknowledge receipt of your specifications and test results certifying that your ABS Plastic Stabilizing Device listed below, complies with the rules and regulations set by the Department of Highway Safety and Motor Vehicles, Chapter 15-C1.0103.

Based on the information submitted to this bureau, the following products are listed for use in Florida using Type I and Type II anchors, when the installation instructions are provided:

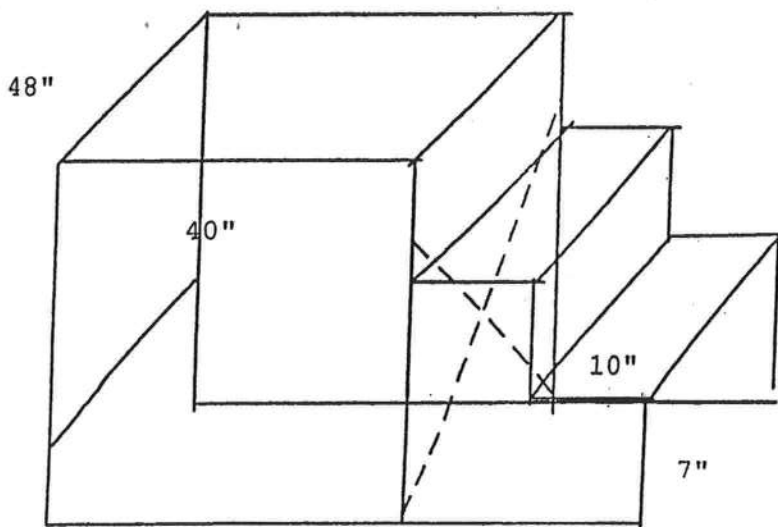
MODEL #	DESCRIPTION
5929311	Plastic Stabilizer Post 8" x 24" x 1.375 at top

If you have any questions, I can be reached at (850) 413-7600.

Sincerely,

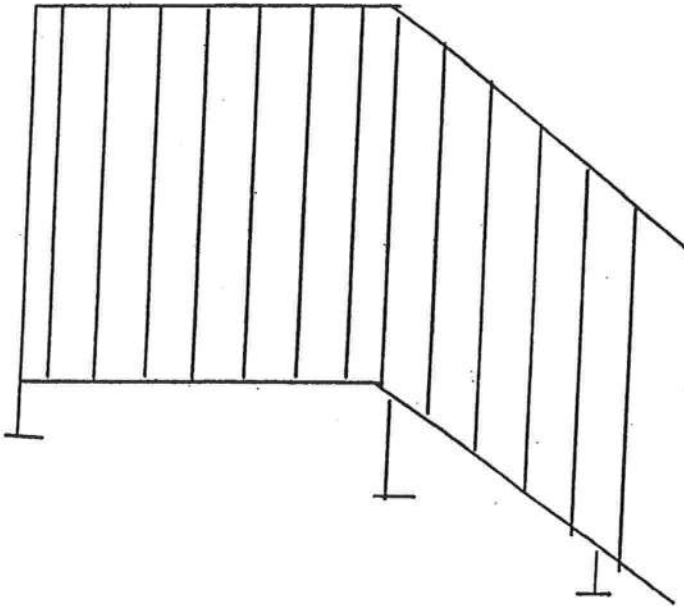
Phil Bergelt, Program Manager  
Bureau of Mobile Home and  
Recreational Vehicle Construction  
Division of Motor Vehicles

PR:bsa



steel frame with wooden  
deck and step  
deck plat form constructed  
with P.T.2"x10" with a dec.  
size of 48"x40"  
each step is 2"x10"x48"

the number of steps may ve  
do to the distance from th  
ground to the bottom of th  
door.



hand rails  
constructed with steel  
the top rail 1" x 1"  
square tube  
the spendals are 1/8"steel  
rods placed 4"o.c.  
all rails will be fastened  
to the deck and steps

all steps meet or exceed  
the ANSI building code  
for the state of florida



Patent Number  
6622439

# Minute Man Anchors, Inc.

Installation Instructions for Model LLBS Longitudinal and

Lateral Bracing System Zone II and III

Note: Your set must be designed by a Registered Professional Engineer if all or one of the following conditions occur:

- Location is within 1,500 feet of Coast
- Roof eaves exceeds 16"
- Pier Height exceeds 48"
- Main beam spacing exceeds 99.5"
- Sidewall height exceeds 96"

1 Refer to the Home Manufacturer Installation Instructions for pier locations. Note: SD3 pad is 2.8 square foot. Vertical tie anchors are required in accordance with home manufacturer. Vertical ties must be used at all connection points furnished by the home manufacturer. Marriage wall anchors are required in accordance with the Home Manufacturer Instructions.

2 Refer to the Systems Placement Plans for the location of Longitudinal Lateral Bracing System. (See Attached)

3 Remove turf to expose firm soil at each SD3 pad location. Install SD3 pad to manufacturer, state, local codes, and frost line guidelines as it may apply. For extremely hard or rocky soil, mark four (4) slots and pre-drill soil with a 3/4 x 12" masonry drill bit. Zone II & III installations require 16" drive pins.

4 Attach tube clip to SD3 pier pads (see Detail Assembly Drawing) center pad under beam, level pad. Angle Drive Pins may be driven vertically through four (4) slots in SD3 pier pad now or after home is totally set. Angle drive pins may be driven up to ten degrees (10°) off of vertical. If you choose to drive pins after home is set, do not cover slots in pier pad.

5 Level home on concrete blocks or deluxe steel pier by Minute Man.

6 Install Longitudinal and Lateral Bracing in accordance with Systems Placement Plan and Detail Assembly Drawing.

7 Install vertical anchors and ties.

MMAPO08.2 R-3

Thank you for using Minute Man Products, Inc. If you have any questions, please call Toll Free at (800) 438-7277.

MADE IN THE USA

305 West King St. East Flat Rock, North Carolina 28726

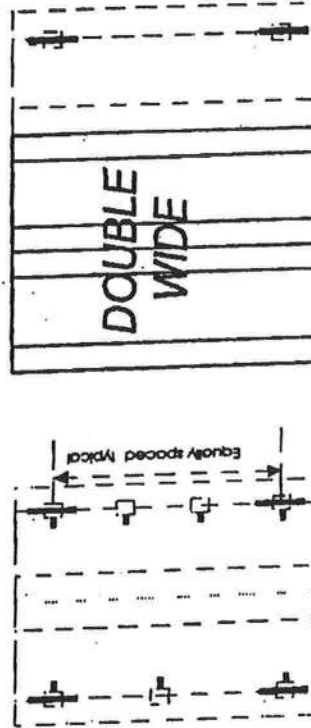
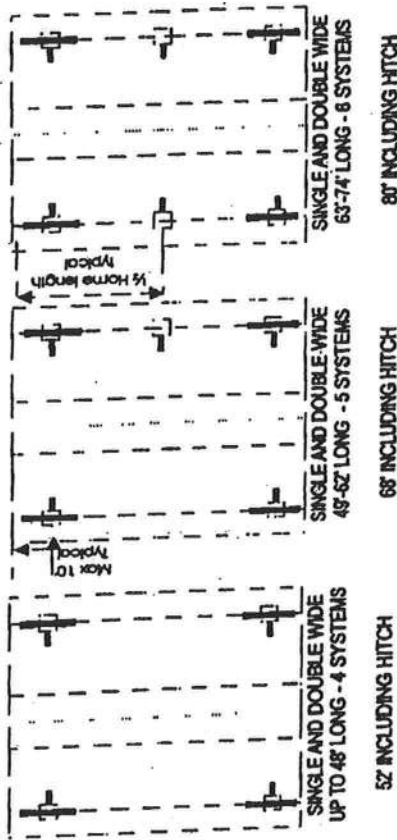
Nov 06 06 11:42a

## ZONE II AND III LONGITUDINAL AND LATERAL BRACING SYSTEMS PLACEMENT

For Roof slopes up to 4/12 pitch

No Frame Ties or Stabilizer Plates. Systems must be as evenly spaced as possible.

LEGEND	Longitudinal Bracing System only	Longitudinal and Lateral Bracing System	Lateral Bracing System only



FOR TRIPLE WIDE OR TAG UNITS- 2 ADDITIONAL SYSTEMS

SINGLE WIDES UP TO 16' WIDE, DOUBLE WIDES UP TO 32' WIDE, TRIPLE WIDES UP TO 48' WIDE

# Minute Man anchors, Inc.

Patent Number  
6622439

Installation Instructions for Model LLBS Longitudinal and  
Lateral Bracing System Approved for Florida

Revised: 10/27/04

Note: Your set must be designed by a Registered Professional Engineer if all or one of the following conditions occur.

Location is within 1,500 feet of Coast  
Pier Height exceeds 48"  
Sidewall height exceeds 96"  
Roof eaves exceeds 16"  
Main beam spacing exceeds 99.5"

1 Refer to the Home Manufacturer Installation Instructions for pier locations. 6" Disc anchors 48" long with vertical ties are required at maximum 5'-4" center along both sidewalls starting a maximum of 2'-0" in from each end of the home. Vertical ties must be used at all connection points furnished by the home manufacturer. Centerline anchors to be sized according to soil torque condition. Any manufacturer's specifications for sidewall anchor loads in excess of 4,000 lbs require a 5" anchor.

2 Refer to the Systems Placement Plans for the location of Longitudinal Lateral Bracing System.. (See Attached). Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location.

3 Remove turf to expose firm soil at each SD3 pad location.

4 Attach tube clip to SD3 pier pads (see Detail Assembly Drawing) center pad under beam, level pad. Angle Drive Pins may be driven vertically through four (4) slots in SD3 pier pad now or after home is totally set. Angle drive pins may be driven up to ten degrees (10°) off of vertical. If you choose to drive pins after home is set, do not cover slots in pier pad. 16" Drive pins must be used in Florida.

5 Level home on concrete blocks or deluxe steel pier by Minute Man.

6 Install Longitudinal and Lateral Bracing in accordance with Systems Placement Plan and Detail Assembly Drawing.

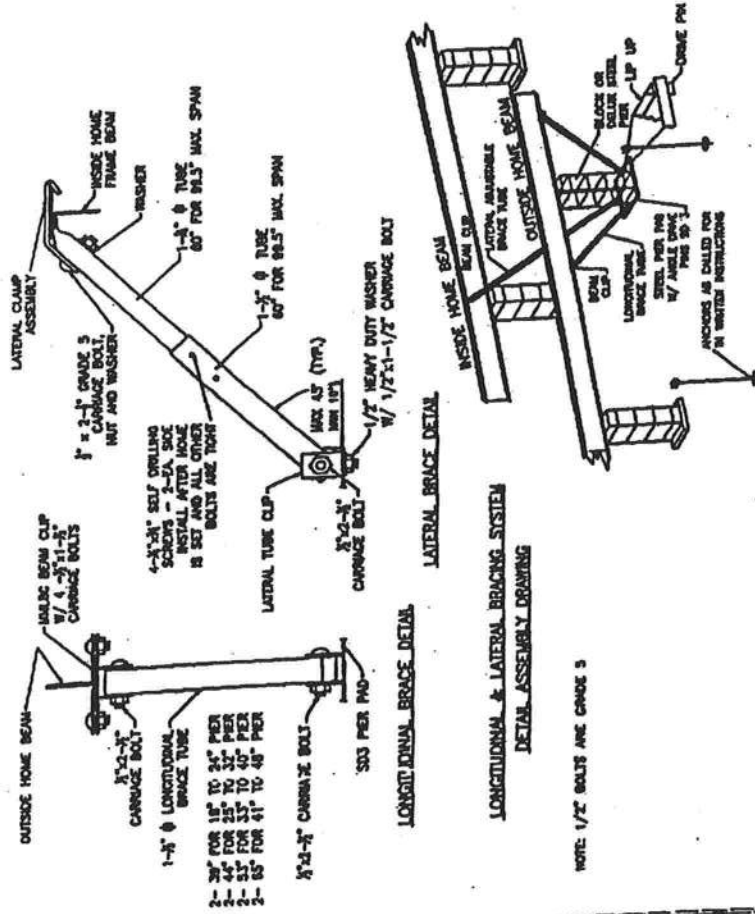
7 Install vertical anchors, frame ties and stabilizers at each lateral arm system location..

Thank you for using Minute Man Products, Inc. If you have any questions, please call Toll Free at (800) 438-7277.

MMAP007,2 R-4

305 West King St. East Flat Rock, North Carolina 28726

MADE IN THE USA



NOTES  
1/2" DRIVE PINS FOR FLORIDA

MAXIMUM PIER HEIGHT 48"

MAX SIDEWALL HEIGHT 96"

MAX BEAM SPACING 99.5"

MAX ROOF EAVES 16"

WHEN USING LONGITUDINAL BRACES, 2ND PIER IN FROM THE END OF THE HOME MAY BE USED TO MAKE ROOM FOR BRACE TUBES.

**Minute Man anchors, Inc.**

**Installation Instructions for UBS Longitudinal and Lateral Bracing System**  
Wind Zones I-II & III ground and concrete applications

**Special state requirements**

Special pricing only for UHIN Code Homes Only.

[illegible]

Florida - See Florida zone I & II illustrations  
Michigan - Foundation depth must be 42" below grade as per Chapter 1000.021  
Minnesota - See Minnesota zone I & II illustrations  
New York - See New York zone I & II illustrations  
Ohio - See Ohio zone I & II illustrations  
Pennsylvania - See Pennsylvania zone I & II illustrations  
Texas - See Texas zone I & II illustrations  
Virginia - See Virginia zone I & II illustrations  
Washington - See Washington zone I & II illustrations  
Wisconsin - See Wisconsin zone I & II illustrations  
Wyoming - See Wyoming zone I & II illustrations

Michigan - Foundation Dept. -  
Michigan Building Code.  
Texas - 12 inch long drive pins are needed when the average of three soil test probe readings (at 6", 12" and 18" depths) exceeds 350 inch pounds. 16 inch long drive pins are needed when the average of three soil test probe readings (at 6", 12" and 18" depths) is 350 inch pounds or less but more than 175 inch pounds.

depths) is 350 inch pounds or less our minimum.

Man Anchors Institution in 1980s

Minute Man Anchors LLBS System is evaluated, tested and approved by a Professional Engineer.

Minute Man Anchors LUS System must be allowed by the authority having jurisdiction.

Thank you for using Minute Man Products, Inc. If you have any questions, please call us at (828) 692-0256

MADE IN THE USA

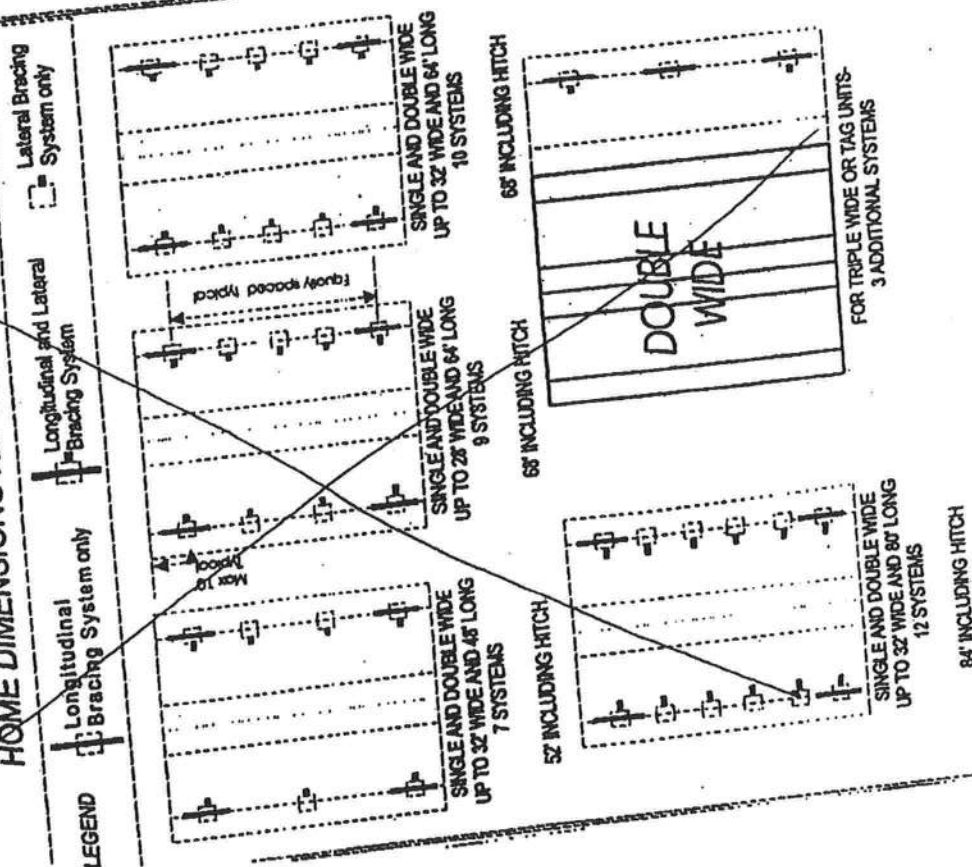
# LONGITUDINAL AND LATERAL SYSTEMS PLACEMENT

For 5/12 Roof Pitch

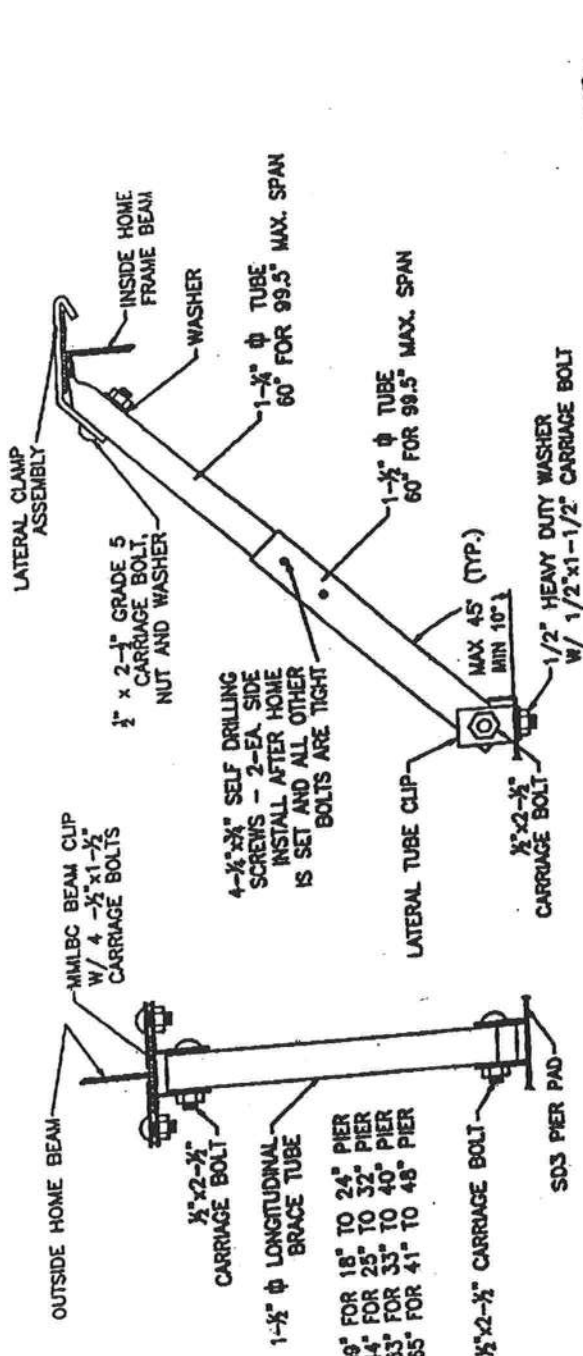
No Frame ties or stabilizer plates.

Systems must be as evenly spaced as possible.

**HOME DIMENSIONS REPRESENT BOX SIZE.**







LONGITUDINAL BRACE DETAIL

LATERAL BRACE DETAIL

# LONGITUDINAL & LATERAL BRACING SYSTEM DETAIL ASSEMBLY DRAWING

NOTE: 1/2" BOLTS ARE GRADE 5

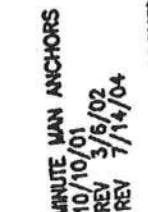
MINUTE MAN ANCHORS  
10/10/01  
REV 3/5/02  
REV 7/14/04

THE LBS BRACING SYSTEM WAS TESTED FOR WIND ZONES I & II

## NOTES

- MAXIMUM PIER HEIGHT 48"
- MAX. SIDEWALL HEIGHT 96"
- MAX. BEAM SPACING 98.5"
- MAX ROOF EAVES 16"

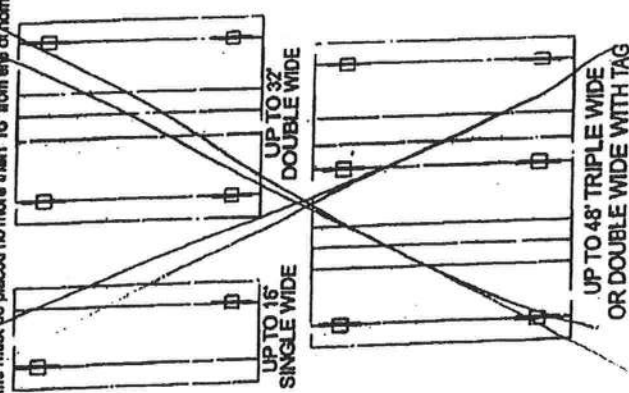
WHEN USING LONGITUDINAL BRACES,  
2ND PIER IN FROM THE END  
OF THE HOME MAY BE USED  
TO MAKE ROOM FOR BRACE TUBES.



# LONGITUDINAL BRACING SYSTEMS PLACEMENT FOR FLORIDA

Use 650 anchors and 180 square inch stabilizers with frame ties and vertical ties at maximum 5'-4" centers. Vertical ties must be used at all connection points furnished by the home manufacturer. Marriage wall anchors must be used in accordance with the home manufacturer's instructions.

For Roof slopes up to 5/12 pitch  
Systems must be placed no more than 15' from end of home



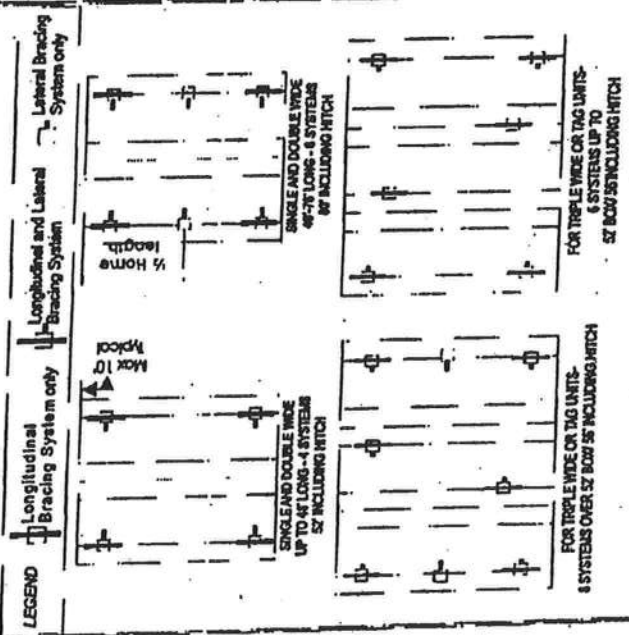
See Longitudinal and Lateral Bracing System detail assembly drawing.

# FLORIDA ZONE II AND III LONGITUDINAL AND LATERAL BRACING SYSTEMS PLACEMENT

For Roof slopes up to 4/12 pitch  
Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location. Systems must be as evenly spaced as possible.

Revised 8/17/2002

HOME DIMENSIONS REPRESENT BOX SIZE

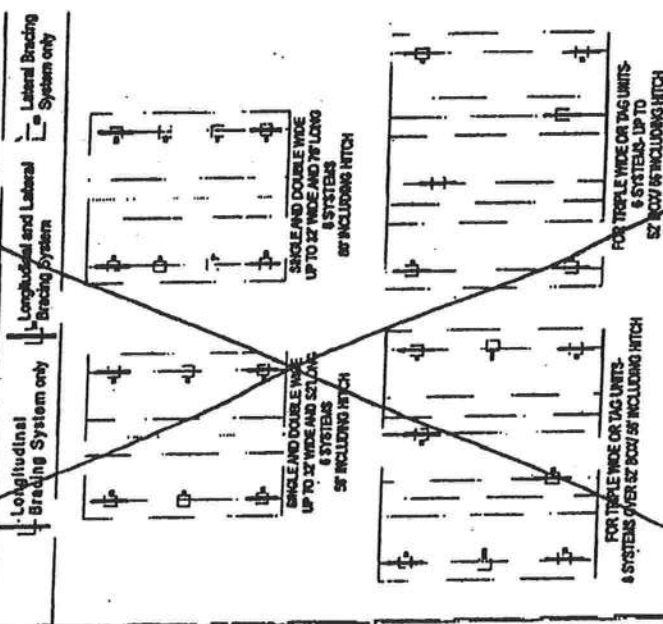


# FLORIDA ZONE II AND III LONGITUDINAL AND LATERAL BRACING SYSTEMS PLACEMENT

For 5/12 Roof Pitch  
Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location. Systems must be as evenly spaced as possible.

Revised 8/17/2002

HOME DIMENSIONS REPRESENT BOX SIZE



**COLUMBIA COUNTY**  
**FLORIDA**

**M/H OCCUPANCY**

**COLUMBIA COUNTY, FLORIDA**

**Department of Building and Zoning Inspection**

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 29-5S-17-09433-009

Building permit No. 000026678

Permit Holder ROBERT PUCKETT

Owner of Building ELWOOD & DEBORAH RIDEOUT

Location: 1850 SW BUCKLEY RD, LAKE CITY, FL

Date: 02/28/2008



Building Inspector



POST IN A CONSPICUOUS PLACE  
(Business Places Only)