

APPLICANTHERBERT THOMASPHONE752-6646

ADDRESSPO BOX 1507LAKE CITYFL32056

OWNERHERBERT & LAWANDA THOMASPHONE386-752-6646

ADDRESS3566NW LASSIE BLACK STWHITE SPRINGSFL32096

CONTRACTORHERBERT THOMASPHONE752-6646

LOCATION OF PROPERTY41 NORTH, R LASSIE BLACK, 1.5 MILES ON RIGHT, SEE 2934 ON  
GATE POST AT DRIVEWAY, FOLLOW AROUND TO RIGHT

TYPE DEVELOPMENTSFD, UTILITYESTIMATED COST OF CONSTRUCTION36000.00

HEATED FLOOR AREA720.00TOTAL AREA720.00HEIGHT10.00STORIES1

FOUNDATIONCONCRETEWALLSFRAMEDROOF PITCH4/12FLOORSLAB

LAND USE & ZONINGAG-3MAX. HEIGHT35

Minimum Set Back Requirments:STREET-FRONT30.00REAR25.00SIDE25.00

NO. EX.D.U.1FLOOD ZONEXDEVELOPMENT PERMIT NO.

PARCEL ID14-2S-16-01609-002SUBDIVISION

LOTBLOCKPHASEUNITTOTAL ACRES151.25

OWNER

Culvert Permit No.Culvert WaiverContractor's License NumberApplicant/Owner/Contractor

EXISTING13-0029BKTCN

Driveway ConnectionSeptic Tank NumberLU & Zoning checked byApproved for IssuanceNew Resident

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD, NOC ON FILE, OWNER DISCLOSURE REC'D

Check # or Cash3816

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary PowerFoundationMonolithic

date/app. bydate/app. bydate/app. by

Under slab rough-in plumbingSlabSheathing/Nailing

date/app. bydate/app. bydate/app. by

FramingInsulation

date/app. bydate/app. by

Rough-in plumbing above slab and below wood floorElectrical rough-in

date/app. bydate/app. by

Heat & Air DuctPeri. beam (Lintel)Pool

date/app. bydate/app. bydate/app. by

Permanent powerC.O. FinalCulvert

date/app. bydate/app. bydate/app. by

Pump poleUtility PoleM/H tie downs, blocking, electricity and plumbing

date/app. bydate/app. bydate/app. by

ReconnectionRVRe-roof

date/app. bydate/app. bydate/app. by

BUILDING PERMIT FEE \$180.00CERTIFICATION FEE \$3.60SURCHARGE FEE \$3.60

MISC. FEES \$0.00ZONING CERT. FEE \$50.00FIRE FEE \$0.00WASTE FEE \$

FLOOD DEVELOPMENT FEE \$FLOOD ZONE FEE \$25.00CULVERT FEE \$TOTAL FEE262.20

INSPECTORS OFFICECLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Notice of Preventative Treatments for Termites  
(As required by Florida Building Code (FBC) 104.2.6)

# 30749

**TERMINIX**

4575 Saint Augustine Rd. Jacksonville, FL 32207  
904-733-8400

Address of Treatment or Lot/Block of Treatment:

2034 NW. Lassic Block St  
White Springs, FL 32096

Date 3/6/13

Time 655

Applicator J Roberts

Product Used Termidor

Chemical used (active ingredient) Exporon

Number of gallons applied 84

Percent Concentration 0.06

Area treated (square feet) 832

linear feet treated

Stage of treatment (Horizontal, Vertical, Adjoining Slab, retreat of disturbed area) Pre-treat

As per 104.2.6 - If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial and date this line \_\_\_\_\_.



Energy Form  
load calc.

# Columbia County Building Permit Application

For Office Use Only Application # 1301-23 Date Received 1-14-13 By LA Permit # 30749  
Zoning Official BLK Date 23 Jan. 2013 Flood Zone X Land Use A-3 Zoning A-3  
FEMA Map # N/A Elevation N/A MFE 1 above Rd River N/A Plans Examiner T.C. Date 1-23-13  
Comments: Minor Property Requirements: Requiring 5' Eave to Rd.  
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☒ State Road Info ☒ Well letter ☒ 911 Sheet ☐ Parent Parcel #  
☐ Dev Permit # ☐ In Floodway ☒ Letter of Auth. from Contractor ☒ FW Comp. letter  
IMPACT FEES: EMS \_\_\_\_\_ Fire \_\_\_\_\_ Corr \_\_\_\_\_ ☒ Sub VF Form Elect.  
Road/Code \_\_\_\_\_ School \_\_\_\_\_ = TOTAL (Suspended) ☐ Ellisville Water ☒ App Fee Paid Plumb

Septic Permit No. 13-0029 Fax \_\_\_\_\_

Name Authorized Person Signing Permit Herbert & Lawanda Thomas Phone 386-752-6646

Address PO Box 1507 Lake City, FL 32056

Owners Name Herbert & Lawanda Thomas Phone 386-752-6646

911 Address 3566 NW Lassie Black St. White Springs, FL 32096

Contractors Name Owner Builder Phone \_\_\_\_\_

Address \_\_\_\_\_

Fee Simple Owner Name & Address \_\_\_\_\_

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address \_\_\_\_\_

Mortgage Lenders Name & Address \_\_\_\_\_

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 14-2S-16-01609-002 Estimated Cost of Construction \$30,815.00

Subdivision Name \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions 1 41 North,

Turn R onto NW Lassie Black St., go Approx. 1.5 miles on R follow to

(R) (see 2934 on Gate Post) Number of Existing Dwellings on Property 1-for Daughter

Construction of SFD Total Acreage 151.25 Lot Size \_\_\_\_\_

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 10'

Actual Distance of Structure from Property Lines - Front 526' Side 1074' Side 600 Rear 4000'

Number of Stories 1 Heated Floor Area 720 Total Floor Area 720 Roof Pitch 4/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2010 and the 2008 National Electrical Code.

Page 1 of 2 (Both Pages must be submitted together.)

Revised 3-15-12

elect# 3816 Spoke to Mrs. Thomas 1-23-13



## Columbia County Building Permit Application

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

+ 

Owners Signature

**\*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

Contractor's License Number \_\_\_\_\_

Columbia County

Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this \_\_\_\_ day of \_\_\_\_\_ 20\_\_.

Personally known \_\_\_\_\_ or Produced Identification \_\_\_\_\_

SEAL:

State of Florida ~~Notary~~ Signature (For the Contractor)



# COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

## Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 1/15/2013      DATE ISSUED: 1/17/2013

### ENHANCED 9-1-1 ADDRESS:

3566      NW      LASSIE BLACK      ST

WHITE SPRINGS      FL      32096

### PROPERTY APPRAISER PARCEL NUMBER:

14-2S-16-01609-002

### Remarks:

ADDRESS FOR PROPOSED STRUCTURE ON PARCEL.

Address Issued By: SIGNED: / RONAL N. CROFT  
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

CR # 10-5577

PERMIT NO. 13-0029  
DATE PAID: 1/18/13  
FEE PAID: 318.80  
RECEIPT #: 1894595

APPLICATION FOR:

☒ New System    ☐ Existing System    ☐ Holding Tank    ☐ Innovative  
☐ Repair    ☐ Abandonment    ☐ Temporary    ☐

APPLICANT: HERBERT & LAWANDA THOMAS

AGENT: PAUL LLOYD

TELEPHONE: (386) 397-3647

MAILING ADDRESS: PO BOX 1507

LAKE CITY

FL 32056

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: N/A BLOCK: N/A SUBDIVISION: METES AND BOUNDS PLATTED: \_\_\_\_\_

PROPERTY ID #: 14-2S-1601609-002 ZONING: AG I/M OR EQUIVALENT: ☐ NO ☐

PROPERTY SIZE: 151.250 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐  $\leq 2000$  GPD ☐  $> 2000$  GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☐ NO ☐ DISTANCE TO SEWER: N/A FT

PROPERTY ADDRESS: 2934 NW LASSIE BLACK RD.

DIRECTIONS TO PROPERTY: 41 NORTH TURN RIGHT ON LASSIE BLACK, 1 1/2 MILES ON RIGHT.

BUILDING INFORMATION ☒ RESIDENTIAL ☐ COMMERCIAL

Unit No.	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>HOUSE</u>	<u>1</u>	<u>720</u>	
2				<u>Zone A</u>
3				
4				

☐ Floor/Equipment Drains ☐ Other (Specify) \_\_\_\_\_

SIGNATURE: Paul Lloyd

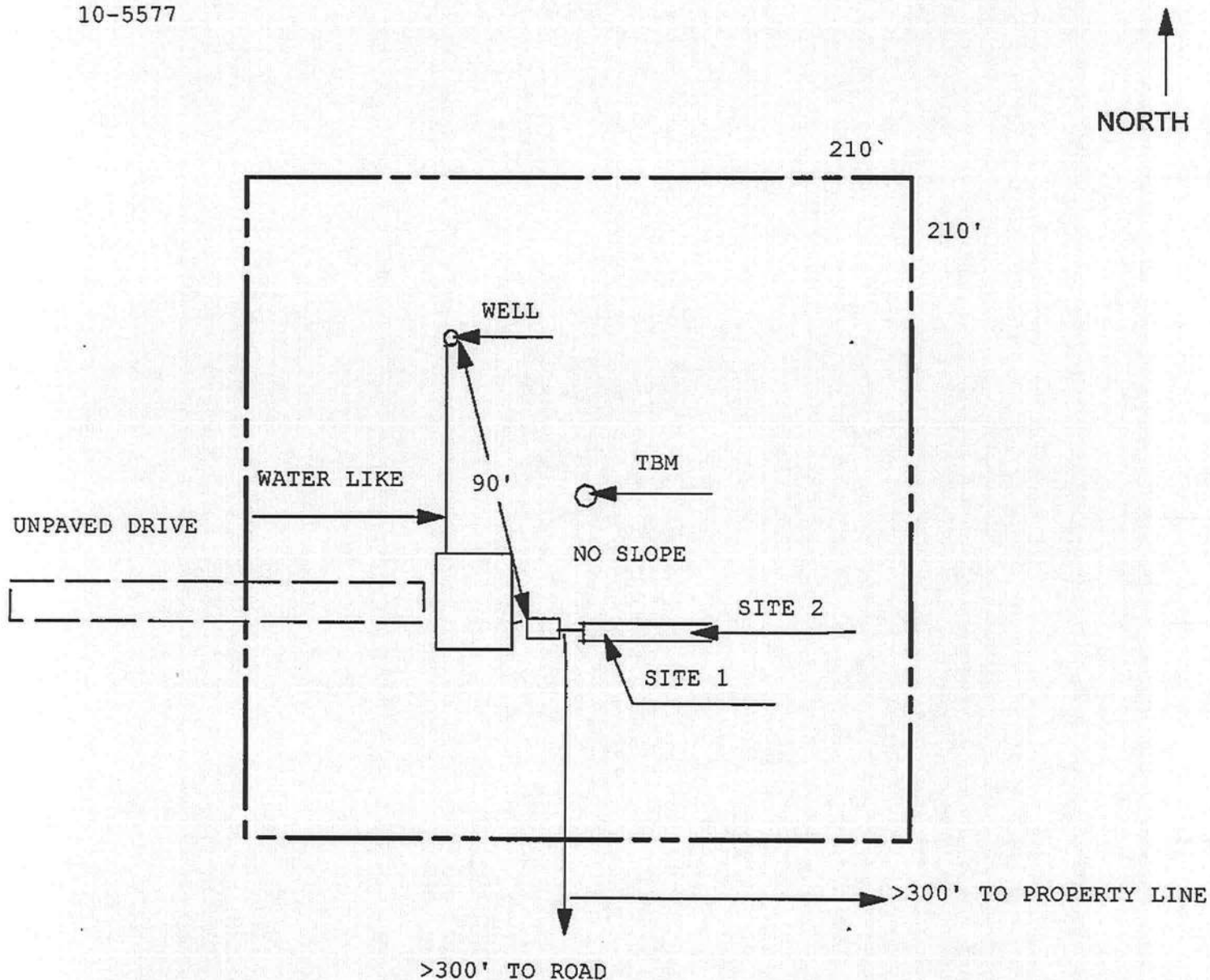
DATE: 1/16/13



Application for Onsite Sewage Disposal System  
Construction Permit. Part II Site Plan  
Permit Application Number: 13-0029

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

10-5577



1 inch = 50 feet

Site Plan Submitted By Paul R. Reynolds Date 1/16/12  
Plan Approved ☒ Not Approved ☐ Date 1-23-13  
By Sallie Ford Env Health Director Columbia CPHU

Notes: \_\_\_\_\_



## **COLUMBIA COUNTY BUILDING DEPARTMENT**

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

### **OWNER BUILDER DISCLOSURE STATEMENT**

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.



I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myflorida.com/dbpr/pro/cilb/index.html> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

T&A:

\_\_\_\_\_.

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

#### TYPE OF CONSTRUCTION

- ☒ Single Family Dwelling    ☐ Two-Family Residence    ☐ Farm Outbuilding  
☐ Addition, Alteration, Modification or other Improvement  
☐ Commercial, Cost of Construction \_\_\_\_\_ Construction of \_\_\_\_\_  
☐ Other \_\_\_\_\_

I Herbert Thomas, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

*Herb Thomas* \_\_\_\_\_ Date 1-14-13  
Owner Builder Signature

#### NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification FLDL

Notary Signature *L. Hodson* Date 1-14-13

(Seal)



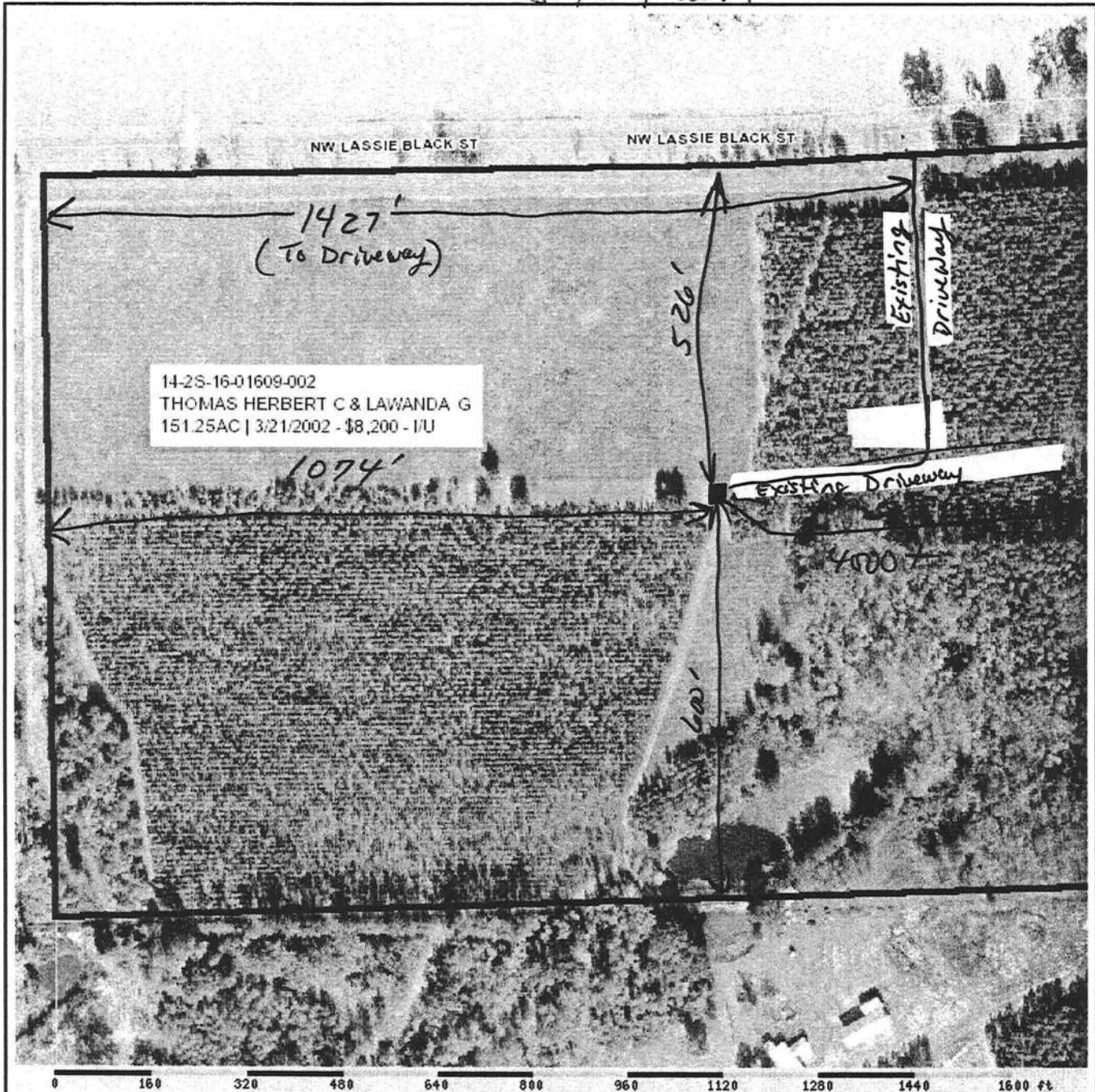
#### FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative *L. J. [Signature]*



# Site Plan



## Columbia County Property Appraiser

J. Doyle Crews - Lake City, Florida 32055 | 386-758-1083

### PARCEL: 14-2S-16-01609-002 - IMPROVED A (005000)

N1/2 OF S1/2 AS LIES S OF CR-246. ORB 618-693, 703-709, 741-957 THRU 989, 882-1933 THRU 1943, 915-1340, 949-2089, 949-2091,

Name: THOMAS HERBERT C & LAWANDA G

Site: 2934 NW LASSIE BLACK ST

Mail: P O BX 1507

LAKE CITY, FL 32056-1507

Sales 3/21/2002

Info 3/21/2002

\$294,400.00 I / Q

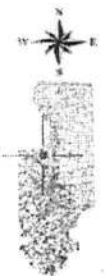
\$8,200.00 I / U

### 2012 Certified Values

Land	\$4,041.00
Bldg	\$46,392.00
Assd	\$77,094.00
Exmpt	\$0.00
Taxbl	Cnty: \$77,094
Other: \$77,094   Schl: \$77,094	

### NOTES:

This information, GIS updated: 12/18/2012, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



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# Columbia County Property Appraiser

CAMA updated: 12/19/2012

**2012 Tax Year**

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

Interactive GIS Map

Print

Parcel: 14-2S-16-01609-002

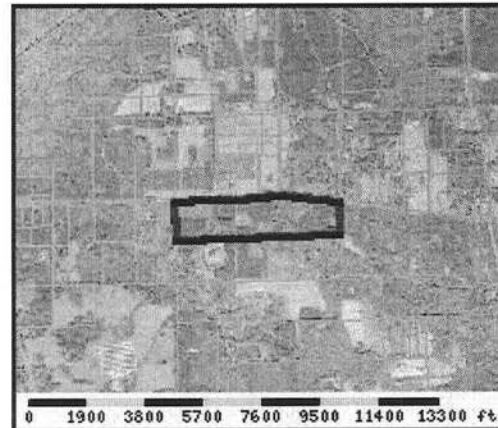
&lt;&lt; Next Lower Parcel

Next Higher Parcel &gt;&gt;

Search Result: 1 of 1

## Owner & Property Info

Owner's Name	THOMAS HERBERT C & LAWANDA G		
Mailing Address	P O BX 1507 LAKE CITY, FL 32056-1507		
Site Address	2934 NW LASSIE BLACK ST		
Use Desc. (code)	IMPROVED A (005000)		
Tax District	3 (County)	Neighborhood	14216
Land Area	151.250 ACRES	Market Area	03
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
N1/2 OF S1/2 AS LIES S OF CR-246. ORB 618-693, 703-709, 741-957 THRU 989, 882-1933 THRU 1943, 915-1340, 949-2089, 949-2091,			



## Property & Assessment Values

2012 Certified Values		
<b>Mkt Land Value</b>	cnt: (2)	\$4,041.00
<b>Ag Land Value</b>	cnt: (2)	\$21,161.00
<b>Building Value</b>	cnt: (1)	\$46,392.00
<b>XFOB Value</b>	cnt: (2)	\$5,500.00
<b>Total Appraised Value</b>		\$77,094.00
<b>Just Value</b>		\$331,954.00
<b>Class Value</b>		\$77,094.00
<b>Assessed Value</b>		\$77,094.00
<b>Exempt Value</b>		\$0.00
<b>Total Taxable Value</b>	Cnty: \$77,094 Other: \$77,094   Schl: \$77,094	

## 2013 Working Values

### NOTE:

2013 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

## Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
3/21/2002	949/2089	WD	I	Q	99	\$294,400.00
3/21/2002	949/2091	WD	I	U	03	\$8,200.00

## Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	PREF M B A (008700)	2005	MOD METAL (25)	2450	2450	\$45,908.00
<b>Note:</b> All S.F. calculations are based on <u>exterior</u> building dimensions.						

## Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0040	BARN,POLE	1993	\$4,500.00	0003600.000	24 x 150 x 0	AP (050.00)
0130	CLFENCE 5	0	\$1,000.00	0000001.000	0 x 0 x 0	(000.00)

## Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
----------	------	-------	-------------	----------	-----------



PREPARED BY AND RETURN TO  
JOHN E. NORRIS, ATTORNEY AT LAW  
NORRIS, KOBERLEIN & JOHNSON, P.A.  
P. O. DRAWER 2349  
LAKE CITY, FL 32066-2349

### WARRANTY DEED

THIS INDENTURE, Made this 21<sup>st</sup> day of March, 2002, between PACKAGING CORPORATION OF AMERICA, a Delaware corporation authorized to do business in Florida, whose address is 1900 West Field Court, Lake Forest, Illinois 60045, Grantor, and HERBERT C. THOMAS and LaWANDA G. THOMAS, husband and wife, whose Social Security Numbers are [REDACTED] and [REDACTED], respectively, and whose address is P. O. Box 1507, Lake City, Florida 32056-1507, Grantees,

### WITNESSETH

That said Grantor, for and in consideration of the sum of TEN and No/100 (\$10.00) DOLLARS, and other good and valuable considerations to said Grantor in hand paid by said Grantees, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantees, and Grantees' heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

### TOWNSHIP 2 SOUTH, RANGE 16 EAST

Section 14 The North 1/2 of the South 1/2 of said Section 14 as lies South of County Road No. 246 Containing 151.25 acres, more or less.

Parcel No. 14-2S-16-01609-000

RESERVING UNTO GRANTOR, an easement for ingress and egress for a period of twelve (12) years from date hereof for the purpose of completing an experiment with the University of Florida tracking growth of 4 and 5 year old planted pines located thereon. Said 4 and 5 year old pines shall not be harvested until the termination of the easement. Such easement shall terminate twelve (12) years from date hereof.

SUBJECT TO: Taxes and special assessments for 2002 and subsequent years; restrictions and easements of record; easements shown by the plat of the property; visible easements; and interest conveyed to Southern Timber Venture, LLC by Warranty Deed from White Springs Agricultural Chemicals, Inc., a Delaware corporation, d/b/a PCS Phosphate-White Springs, dated July 13, 2001, recorded in Official Records Book 931, Page 699, and re-recorded in Official Records Book 932, Page 1470, public records of Columbia County, Florida.

And said Grantor does hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever, except as aforesaid.

IN WITNESS WHEREOF, Grantor has caused these presents to be executed by its duly authorized officers the day and year first above written.

Signed, sealed and delivered  
in the presence of:

Sign: Herbert C. Thomas  
Print: Herbert C. Thomas

Sign: LaWanda G. Thomas  
Print: LaWanda G. Thomas

PACKAGING CORPORATION OF AMERICA

By: Mark H. Hamblen  
Sign: Mark H. Hamblen  
Print: Mark H. Hamblen  
Title: Senior Vice President

Signed, sealed and delivered  
in the presence of:

Sign: Marion Majors  
Print: Marion Majors

Sign: Debra Hudson  
Print: Debra Hudson

ATTEST:

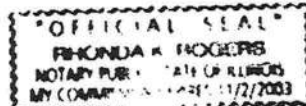
By: John A. Olsen  
Sign: John A. Olsen  
Print: John A. Olsen  
Title: Assistant Secretary

(CORPORATE SEAL)

STATE OF ILLINOIS  
COUNTY OF LAKE

The foregoing instrument was acknowledged before me this 21<sup>st</sup> day of March, 2002, by Mark W. Keweenaw, as Senior Vice President of PACKAGING CORPORATION OF AMERICA, a Delaware corporation authorized to do business in Florida, who is personally known to me, ~~or has produced~~ as identification

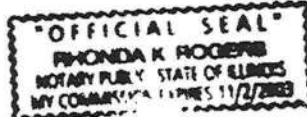
NOTARY PUBLIC:  
Sign Rhonda K. Rogers  
Print Rhonda K. Rogers  
State of Illinois at Large (Seal)  
My Commission Expires: 11/02/03



STATE OF ILLINOIS  
COUNTY OF LAKE

The foregoing instrument was acknowledged before me this 21<sup>st</sup> day of March, 2002, by John R. Olson, as Assistant Secretary of PACKAGING CORPORATION OF AMERICA, a Delaware corporation authorized to do business in Florida, who is personally known to me, ~~or has produced~~ as identification

NOTARY PUBLIC:  
Sign Rhonda K. Rogers  
Print Rhonda K. Rogers  
State of Illinois at Large (Seal)  
My Commission Expires: 11/02/03





# PRODUCT APPROVAL SPECIFICATION SHEET

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products.

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>1. EXTERIOR DOORS</b>			
A. SWINGING	Morton Buildings	mb910	FL 3073 R3
B. SLIDING			
C. SECTIONAL			
D. ROLL UP			
E. AUTOMATIC			
F. OTHER			
<b>2. WINDOWS</b>			
A. SINGLE HUNG			
B. HORIZONTAL SLIDER			
C. CASEMENT	Pella		FL 11504 R2
D. DOUBLE HUNG			
E. FIXED			
F. AWNING	Pella		FL 11498 R2
G. PASS THROUGH			
H. PROJECTED			
I. MULLION			
J. WIND BREAKER			
K. DUAL ACTION			
L. OTHER			
<b>3. PANEL WALL</b>			
A. SIDING			
B. SOFFITS			
C. EIFS			
D. STOREFRONTS			
E. CURTAIN WALLS			
F. WALL LOUVER			
G. GLASS BLOCK			
H. MEMBRANE			
I. GREENHOUSE			
J. OTHER	Morton Building	FLuoroflex Hi Rib Steel	FL 3072 R3
<b>4. ROOFING PRODUCTS</b>			
A. ASPHALT SHINGLES			
B. UNDERLAYMENTS			
C. ROOFING FASTENERS			
D. NON-STRUCTURAL METAL ROOFING			
E. WOOD SHINGLES AND SHAKES			
F. ROOFING TILES			
G. ROOFING INSULATION			
H. WATERPROOFING			
I. BUILT UP ROOFING ROOF SYSTEMS			
J. MODIFIED BITUMEN			
K. SINGLE PLY ROOF SYSTEMS			
L. ROOFING SLATE			
M. CEMENTS-ADHESIVES COATINGS			

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
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N. LIQUID APPLIED ROOF SYSTEMS			
O. ROOF TILE ADHESIVE			
P. SPRAY APPLIED POLYURETHANE ROOF			
Q. OTHER	Morton Buildings	Fluoroflex 1000 Hi Rib Steel	FL 6250 R2
<b>5. SHUTTERS</b>			
A. ACCORDION			
B. BAHAMA			
C. STORM PANELS			
D. COLONIAL			
E. ROLL-UP			
F. EQUIPMENT			
G. OTHERS			
<b>6. SKYLIGHTS</b>			
A. SKYLIGHT			
B. OTHER			
<b>7. STRUCTURAL COMPONENTS</b>			
A. WOOD CONNECTORS/ ANCHORS			
B. TRUSS PLATES			
C. ENGINEERED LUMBER			
D. RAILING			
E. COOLERS-FREEZERS			
F. CONCRETE ADMIXTURES			
G. MATERIAL			
H. INSULATION FORMS			
I. PLASTICS			
J. DECK-ROOF			
K. WALL			
L. SHEDS			
M. OTHER			
<b>8. NEW EXTERIOR ENVELOPE PRODUCTS</b>			
A.			
B.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements. Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

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APPLICANT SIGNATURE

---

DATE

1:55:45 PM 1/15/2013

**Licensee Details****Licensee Information**

Name: **SUTTON, RONALD LEE (Primary Name)**  
(DBA Name)  
Main Address: **2205 Belmont Dr**  
**PEKIN Illinois 615546112**  
County: **OUT OF STATE**  
License Mailing:  
LicenseLocation:

**License Information**

License Type: **Professional Engineer**  
Rank: **Prof Engineer**  
License Number: **34487**  
Status: **Current,Active**  
Licensure Date: **04/04/1984**  
Expires: **02/28/2015**

**Special Qualifications** **Qualification Effective**  
**Building Code Core** **06/23/2002**  
**Course Credit**

**View Related License Information****View License Complaint**

1940 North Monroe Street, Tallahassee FL 32399 :: Email: [Customer Contact Center](#) :: Customer Contact Center: 850.487.1395

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Under Florida law, email addresses are public records. If you do not want your email address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact the office by phone or by traditional mail. If you have any questions, please contact 850.487.1395. \*Pursuant to Section 455.275(1), Florida Statutes, effective October 1, 2012, licensees licensed under Chapter 455, F.S. must provide the Department with an email address if they have one. The emails provided may be used for official communication with the licensee. However email addresses are public record. If you do not wish to supply a personal address, please provide the Department with an email address which can be made available to the public. Please see our [Chapter 455](#) page to determine if you are affected by this change.



## NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

14-2S-16-01609-002

Clerk's Office Stamp

Inst: 201312000567 Date: 1/15/2013 Time: 9:29 AM  
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B 1247 P 2136

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): 15.25 ACERS NW Lassie Black  
a) Street (job) Address: 2934 NW Lassie Black St. White Springs, FL 32096
2. General description of improvements: 24x30 Single Family Residence
3. Owner Information  
a) Name and address: Herbert & Lawanda Thomas  
b) Name and address of fee simple titleholder (if other than owner) Same  
c) Interest in property Owner
4. Contractor Information  
a) Name and address: Owner Builder 2934 NW Lassie Black St, White Springs, FL 32096  
b) Telephone No.: 752-6646 Fax No. (Opt.) \_\_\_\_\_
5. Surety Information  
a) Name and address: N/A  
b) Amount of Bond: \_\_\_\_\_  
c) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
6. Lender  
a) Name and address: N/A  
b) Phone No. \_\_\_\_\_
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:  
a) Name and address: \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b), Florida Statutes:  
a) Name and address: \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. Herbert Thomas  
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager  
Herbert Thomas  
Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 14 day of January, 20 13, by:  
Herbert Thomas as Owner Builder (type of authority, e.g. officer, trustee, attorney  
fact) for Self (name of party on behalf of whom instrument was executed).

Personally Known \_\_\_\_\_ OR Produced Identification ☒ Type FLDC

Notary Signature Laurie Hodson Notary Stamp or Seal:



11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Herbert Thomas  
Signature of Natural Person Signing (in line #10 above.)



*Hall's Pump & Well Service, Inc.  
904 NW Main Blvd  
Lake City, FL. 32055*

***Date: 01/15/2013***

***Notice to All Contractors:***

***Re: Herbert Thomas***

***Please be advised that due to the new building codes we will use a large capacity diaphragm tank on all new wells. This will insure a minimum of one (1) minute draw down or one (1) minute refill. If a smaller diaphragm tank is used then we will install a cycle stop valve which will produce the same results. All wells will have a pump & tank combination that will be sufficient enough for each situation.***

***If you have any questions please feel free to call our office.***

***Thank You,***

***Russell Davis***

***Russell Davis***

License Holder must Sign - Can be taxed to 386-758-2160

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1301-23 CONTRACTOR Herbert Thomas PHONE 752-6646  
THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

GK OK →	ELECTRICAL 871	Print Name <u>D/S HIGHTING</u> License # <u>EC1300 3800</u> <u>Condon Riddick</u>	Signature <u>[Signature]</u> Phone #:
	MECHANICAL/ A/C	Print Name <u>Glenn T. Jones, Jr</u> License #: <u>CAC 051846</u>	Signature <u>WB Linton</u> Phone #: <u>752 5389</u>
GK OK →	PLUMBING/ GAS 159	Print Name <u>Roger Whiddon</u> License #: <u>CFC 1428686</u>	Signature <u>Kenneth Keen</u> Phone #: <u>752-0776</u>
	ROOFING	Print Name <u>Morton</u> License #:	Signature Phone #:
	SHEET METAL	Print Name License #:	Signature Phone #:
	FIRE SYSTEM/ SPRINKLER	Print Name License#:	Signature Phone #:
	SOLAR	Print Name License #:	Signature Phone #:

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
→ CONCRETE FINISHER			
FRAMING	Owner	Herbert Thomas	x [Signature]
→ INSULATION		Morton	
STUCCO	<del>Owner</del>		
DRYWALL	Owner	Herbert Thomas	x [Signature]
PLASTER	<del>Owner</del>		
CABINET INSTALLER	Owner		
PAINTING	Owner		
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING	Owner		
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



JAN-15-2013 11:52A FROM:NFTD

13867522223

TO: 13522710470

P.2

License holder must sign - Can be faxed to 386-758-2160

## SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1301-23 CONTRACTOR Herbert Thomas PHONE 752-6646

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

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Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
MECHANICAL/ A/C <u>A-48</u>	Print Name <u>Glenn T. Jones, Jr.</u> License #: <u>CA051846</u>	Signature <u>W.B. Sutton</u> Phone #: <u>752 5389</u>
PLUMBING/ GAS	Print Name _____ License #: _____	Signature _____ Phone #: _____
ROOFING <u>772</u>	Print Name <u>Ronald L. Sutton</u> License #: <u>CBC036362 (MORTON BUILDINGS)</u>	Signature <u>Ronald L. Sutton</u> Phone #: <u>309-263-6261</u>
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON	_____	_____	_____
CONCRETE FINISHER	_____	_____	_____
FRAMING	<u>Owner</u>	<u>Herbert Thomas</u>	<u>Herb Thomas</u>
INSULATION <u>772</u>	_____	<u>Morton Ronald Sutton</u>	<u>See Above</u>
STUCCO	<u>Owner</u>	_____	_____
DRYWALL	<u>Owner</u>	<u>Herbert Thomas</u>	<u>Herb Thomas</u>
PLASTER	<u>Owner</u>	_____	_____
CABINET INSTALLER	<u>Owner</u>	_____	_____
PAINTING	<u>Owner</u>	_____	_____
ACOUSTICAL CEILING	_____	_____	_____
GLASS	_____	_____	_____
CERAMIC TILE	_____	_____	_____
FLOOR COVERING	<u>Owner</u>	_____	_____
ALUM/VINYL SIDING	_____	_____	_____
GARAGE DOOR	_____	_____	_____
METAL BLDG ERECTOR	_____	_____	_____

F. S. 440.103 Building permits; identification of minimum premium policy.—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Contractor Form, Subcontractor form: 6/09





1301-23



**FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION**

## Florida Department of Community Affairs Residential Performance Method A

Project Name: Thomas, Herbert farm  
 Street: 2934 SW Lassie Black St  
 City, State, Zip: Lake City, FL, 32055  
 Owner: Herbert Thomas  
 Design Location: FL, Gainesville

Builder Name: Glenn I. Jones, Inc.  
 Permit Office:  
 Permit Number:  
 Jurisdiction:

1. New construction or existing	New (From Plans)	
2. Single family or multiple family	Single-family	
3. Number of units, if multiple family	1	
4. Number of Bedrooms	1	
5. Is this a worst case?	No	
6. Conditioned floor area (ft <sup>2</sup> )	720	
7. Windows(62.0 sqft.)	Description	Area
a. U-Factor:	Dbl, U=0.57	12.00 ft <sup>2</sup>
SHGC:	SHGC=0.56	
b. U-Factor:	Dbl, default	50.00 ft <sup>2</sup>
SHGC:	Clear, default	
c. U-Factor:	N/A	ft <sup>2</sup>
SHGC:		
d. U-Factor:	N/A	ft <sup>2</sup>
SHGC:		
e. U-Factor:	N/A	ft <sup>2</sup>
SHGC:		
8. Floor Types (720.0 sqft.)	Insulation	Area
a. Slab-On-Grade Edge Insulation	R=0.0	720.00 ft <sup>2</sup>
b. N/A	R=	ft <sup>2</sup>
c. N/A	R=	ft <sup>2</sup>

9. Wall Types(1080.0 sqft.)	Insulation	Area
a. Frame - Wood, Exterior	R=13.0	1080.00 ft <sup>2</sup>
b. N/A	R=	ft <sup>2</sup>
c. N/A	R=	ft <sup>2</sup>
d. N/A	R=	ft <sup>2</sup>
10. Ceiling Types (720.0 sqft.)	Insulation	Area
a. Under Attic (Vented)	R=30.0	720.00 ft <sup>2</sup>
b. N/A	R=	ft <sup>2</sup>
c. N/A	R=	ft <sup>2</sup>
11. Ducts		
a. Sup: Attic Ret: Interior AH: Interior Sup. R= 8, 287 ft <sup>2</sup>		
12. Cooling systems		
a. Central Unit	Cap: 22.8 kBtu/hr	
	SEER: 13.2	
13. Heating systems		
a. Electric Heat Pump	Cap: 22.8 kBtu/hr	
	HSPF: 8	
14. Hot water systems		
a. Electric	Cap: 40 gallons	
	EF: 0.9	
b. Conservation features		
None		
15. Credits		Pstat

Glass/Floor Area: 0.086

Total As-Built Modified Loads: 18.15

Total Baseline Loads: 21.40

**PASS**

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature]  
 DATE: 1/22/13

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: \_\_\_\_\_  
 DATE: \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: \_\_\_\_\_  
 DATE: \_\_\_\_\_



## PROJECT

Title: Thomas, Herbert farm	Bedrooms: 1	Address Type: Street Address
Building Type: FLAsBuilt	Conditioned Area: 720	Lot #
Owner: Herbert Thomas	Total Stories: 1	Block/SubDivision:
# of Units: 1	Worst Case: No	PlatBook:
Builder Name: Glenn I. Jones, Inc.	Rotate Angle: 0	Street: 2934 SW Lassie Black
Permit Office:	Cross Ventilation: No	County: Columbia
Jurisdiction:	Whole House Fan: No	City, State, Zip: Lake City , FL , 32055-
Family Type: Single-family		
New/Existing: New (From Plans)		
Comment:		

## CLIMATE

✓	Design Location	TMY Site	IECC Zone	Design Temp 97.5 %	Design Temp 2.5 %	Int Design Temp Winter	Int Design Temp Summer	Heating Degree Days	Design Moisture	Daily Temp Range
_____	FL, Gainesville	FL_GAINESVILLE_REGI	2	32	92	75	70	1305.5	51	Medium

## FLOORS

✓	#	Floor Type	Perimeter	R-Value	Area	Tile	Wood	Carpet
_____	1	Slab-On-Grade Edge Insulatio	108 ft	0	720 ft²	0	0	1

## ROOF

✓	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	Tested	Deck Insul.	Pitch
_____	1	Gable or Shed	Composition shingles	759 ft²	120 ft²	Medium	0.9	N	0	18.4 deg

## ATTIC

✓	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
_____	1	Full attic	Vented	300	720 ft²	N	N

## CEILING

✓	#	Ceiling Type	R-Value	Area	Framing Frac	Truss Type
_____	1	Under Attic (Vented)	30	720 ft²	0.1	Wood

## WALLS

✓	#	Ornt	Adjacent To	Wall Type	Cavity R-Value	Area	Sheathing R-Value	Framing Fraction	Solar Absor.
_____	1	N	Exterior	Frame - Wood	13	300 ft²	1	0.25	0.8
_____	2	E	Exterior	Frame - Wood	13	240 ft²	1	0.25	0.8
_____	3	S	Exterior	Frame - Wood	13	300 ft²	1	0.25	0.8
_____	4	W	Exterior	Frame - Wood	13	240 ft²	1	0.25	0.8

DOORS													
✓	#	Ornt	Door Type			Storms	U-Value		Area				
_____	1	N	Wood			None	0.29		21 ft²				
_____	2	S	Wood			None	0.29		21 ft²				
WINDOWS													
Orientation shown is the entered, asBuilt orientation.													
✓	#	Ornt	Frame	Panes	NFRC	U-Factor	SHGC	Storms	Area	Overhang Depth Separation		Int Shade	Screening
_____	1	N	Vinyl	Double (Clear)	No	0.87	0.66	N	24 ft²	2 ft 0 in	1 ft 0 in	HERS 2006	None
_____	2	E	Vinyl	Low-E Double	No	0.87	0.66	N	5.25 ft²	2 ft 0 in	1 ft 0 in	HERS 2006	None
_____	3	E	Vinyl	Low-E Double	No	0.87	0.66	N	12 ft²	2 ft 0 in	1 ft 0 in	HERS 2006	None
_____	4	S	Vinyl	Low-E Double	No	0.87	0.66	N	8.75 ft²	2 ft 0 in	1 ft 0 in	HERS 2006	None
_____	5	W	Vinyl	Low-E Double	Yes	0.57	0.56	N	12 ft²	2 ft 0 in	1 ft 0 in	HERS 2006	None
INFILTRATION & VENTING													
✓	Method	SLA	CFM 50	ACH 50	ELA	EqLA	---- Forced Ventilation ---- Supply CFM Exhaust CFM		Run Time Fraction	Fan Watts			
_____	Default	0.00036	680	7.08	37.3	70.2	0 cfm 0 cfm		0	0			
COOLING SYSTEM													
✓	#	System Type		Subtype		Efficiency		Capacity		Air Flow		SHR	Ducts
_____	1	Central Unit		Split		SEER: 13.2		22.8 kBtu/hr		cfm		0.7	sys#1
HEATING SYSTEM													
✓	#	System Type		Subtype		Efficiency		Capacity		Ducts			
_____	1	Electric Heat Pump		None		HSPF: 8		22.8 kBtu/hr		sys#1			
HOT WATER SYSTEM													
✓	#	System Type		EF		Cap		Use		SetPnt		Conservation	
_____	1	Electric		0.9		40 gal		40 gal		120 deg		None	
SOLAR HOT WATER SYSTEM													
✓	FSEC Cert #	Company Name		System Model #		Collector Model #		Collector Area		Storage Volume		FEF	
_____	None	None						ft²					
DUCTS													
✓	#	---- Supply ---- Location R-Value Area		---- Return ---- Location Area		Leakage Type		Air Handler		CFM 25		Percent Leakage QN RLF	
_____	1	Attic 8 287 ft²		Interior 220 ft²		Default Leakage		Interior		(Default)		(Default) %	

## TEMPERATURES

Programable Thermostat: Y

Ceiling Fans:

	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec
Cooling	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec
Heating	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec
Venting	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec

Thermostat Schedule: HERS 2006 Reference

		Hours											
Schedule Type		1	2	3	4	5	6	7	8	9	10	11	12
Cooling (WD)	AM	78	78	78	78	78	78	78	78	80	80	80	80
	PM	80	80	78	78	78	78	78	78	78	78	78	78
Cooling (WEH)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Heating (WD)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66
Heating (WEH)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66



# Code Compliance Checklist

## Residential Whole Building Performance Method A - Details

ADDRESS: 2934 SW Lassie Black St  
Lake City, FL, 32055-

PERMIT #:

### INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	N1106.AB.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	N1106.AB.1.2	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	N1106.AB.1.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	N1106.AB.1.2	Between walls & ceilings; penetrations of ceiling plane to top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	N1106.AB.1.2	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	N1106.AB.1.2	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	N1106.AB.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

### OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	N1112.AB.3	Comply with efficiency requirements in Table N1112.ABC.3 Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	N1112.AB.2.3	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%. Heat pump pool heaters shall have a minimum COP of 4.0.	
Shower heads	N1112.AB.2.4	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	N1110.AB	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section N1110.AB. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	N1107.AB.2	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	N1104.AB.1 N1102.B.1.1	Ceilings-Min. R-19. Common walls-frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX\* = 85

The lower the EnergyPerformance Index, the more efficient the home.

2934 SW Lassie Black St, Lake City, FL, 32055-

1. New construction or existing	New (From Plans)	9. Wall Types	Insulation	Area
2. Single family or multiple family	Single-family	a. Frame - Wood, Exterior	R=13.0	1080.00 ft <sup>2</sup>
3. Number of units, if multiple family	1	b. N/A	R=	ft <sup>2</sup>
4. Number of Bedrooms	1	c. N/A	R=	ft <sup>2</sup>
5. Is this a worst case?	No	d. N/A	R=	ft <sup>2</sup>
6. Conditioned floor area (ft <sup>2</sup> )	720	10. Ceiling Types	Insulation	Area
7. Windows**	Description	a. Under Attic (Vented)	R=30.0	720.00 ft <sup>2</sup>
a. U-Factor:	Dbl, U=0.57	b. N/A	R=	ft <sup>2</sup>
SHGC:	SHGC=0.56	c. N/A	R=	ft <sup>2</sup>
b. U-Factor:	Dbl, default	11. Ducts		
SHGC:	Clear, default	a. Sup: Attic Ret: Interior AH: Interior Sup. R= 8, 287 ft <sup>2</sup>		
c. U-Factor:	N/A	12. Cooling systems		
SHGC:		a. Central Unit	Cap: 22.8 kBtu/hr	
d. U-Factor:	N/A		SEER: 13.2	
SHGC:		13. Heating systems		
e. U-Factor:	N/A	a. Electric Heat Pump	Cap: 22.8 kBtu/hr	
SHGC:			HSPF: 8	
8. Floor Types	Insulation	Area		
a. Slab-On-Grade Edge Insulation	R=0.0	720.00 ft <sup>2</sup>		
b. N/A	R=	ft <sup>2</sup>		
c. N/A	R=	ft <sup>2</sup>		
		14. Hot water systems		
		a. Electric	Cap: 40 gallons	
			EF: 0.9	
		b. Conservation features		
		None		
		15. Credits		Pstat

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Address of New Home: \_\_\_\_\_ City/FL Zip: \_\_\_\_\_



\*Note: The home's estimated Energy Performance Index is only available through the EnergyGauge USA - FlaRes2008 computer program. This is not a Building Energy Rating. If your Index is below 100, your home may qualify for incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at (321) 638-1492 or see the Energy Gauge web site at [energygauge.com](http://energygauge.com) for information and a list of certified Raters. For information about Florida's Energy Efficiency Code for Building Construction, contact the Department of Community Affairs at (850) 487-1824.

\*\*Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.

**Columbia County Building Permit Application**

**For Office Use Only** Application # 1301-39 Date Received 1-22-13 By LH Permit # 30750  
 Zoning Official BLK Date 28 Jan 2013 Flood Zone X Land Use A-3 Zoning A-3  
 FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner T.C. Date 1-25-13  
 Comments Accessory Building not required to be 1' above Road  
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☒ State Road Info ☒ Well letter ☒ 911 Sheet ☐ Parent Parcel # \_\_\_\_\_  
☐ Dev Permit # \_\_\_\_\_ ☐ In Floodway N/A Letter of Auth. from Contractor ☒ F W Comp. letter  
 IMPACT FEES: EMS \_\_\_\_\_ Fire \_\_\_\_\_ Corr \_\_\_\_\_ ☒ Sub VF Form  
 Road/Code \_\_\_\_\_ School \_\_\_\_\_ = TOTAL (Suspended) N/A Ellisville Water ☒ App Fee Paid

Septic Permit No. 12-0575 BEVERLEY E. ASHE Fax \_\_\_\_\_  
 Name Authorized Person Signing Permit NOWHERE L. MULLINS Phone 904-525-9555  
 Address P.O. Box 320 O'BRIEN FL. 32071  
 Owners Name H.L. MULLINS/BEVERLEY ASHE Phone (904-525-9555)  
 911 Address 3587 S.W. HERLONG ST. 32038 PRIVATE (904-210-7630)  
 Contractors Name OWNER/BUILDER Phone 904-525-9555  
 Address P.O. Box 320 O'BRIEN FL. 32071

Fee Simple Owner Name & Address \_\_\_\_\_  
 Bonding Co. Name & Address N/A  
 Architect/Engineer Name & Address FREEMAN DESIGN GROUP  
 Mortgage Lenders Name & Address NONE

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 02-65-16-03815-17 Estimated Cost of Construction 12000.00

Subdivision Name CARDINAL FARMS Lot 77 Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase 3

Driving Directions HWY 47 South FROM LAKE CITY TO OLD WIRE Rd  
turn Left heading south TO HERLONG ST TURN RIGHT go 1/3 mile

DRIVEWAY ON RIGHT - BLACK WOOD Fence 60' WIDE Number of Existing Dwellings on Property 0

Construction of POLE BARN/STORAGE Rm OF 1344 Total Acreage 14.72 Lot Size \_\_\_\_\_

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 21'

Actual Distance of Structure from Property Lines - Front 300 Side 1120' Side 250' Rear 160'

Number of Stories 1 Heated Floor Area 1344 Total Floor Area 3744 Roof Pitch 4/12  
1444 CONCRETE 1444 GASS 1344 CONCRETE

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. **CODE:** Florida Building Code 2010 and the 2008 National Electrical Code.

ok # 122

VM on both Mullins & Ashe 1-28-13



**Columbia County Building Permit Application**

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

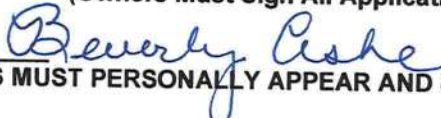
**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

  
Owners Signature

(Owners Must Sign All Applications Before Permit Issuance.)

  
Beverly Ashe

**\*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

\_\_\_\_\_  
Contractor's Signature (Permitee)

Contractor's License Number \_\_\_\_\_  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this \_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.  
Personally known \_\_\_\_\_ or Produced Identification \_\_\_\_\_

SEAL:

\_\_\_\_\_  
State of Florida Notary Signature (For the Contractor)



# Columbia County Property Appraiser

CAMA updated: 12/19/2012

**2012 Tax Year**

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

Interactive GIS Map

Print

Parcel: 02-6S-16-03815-177

&lt;&lt; Next Lower Parcel

Next Higher Parcel &gt;&gt;

Search Result: 1 of 1

## Owner & Property Info

<b>Owner's Name</b>	ASHE BEVERLY E & HOWARD L		
<b>Mailing Address</b>	MULLINS (JTWS) 4749 CALENDULA AVE MIDDLEBURG, FL 32068		
<b>Site Address</b>	CALENDULA AVE		
<b>Use Desc. (code)</b>	NO AG ACRE (009900)		
<b>Tax District</b>	3 (County)	<b>Neighborhood</b>	11616
<b>Land Area</b>	14.680 ACRES	<b>Market Area</b>	02
<b>Description</b>	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.  LOT 77 CARDINAL FARMS UNREC: DESC AS FOLLOWS: COMM AT THE SE COR OF SEC RUN W 1321.85 FT N 580.60 FT, N 82 DEG W 292.40 FT. TO POB. CONT N 82 DEG W 474.14 FT, S 643.13 FT, TO A POINT ON THE N'ERLY R/W OF OLD ICHETUCKNEE RD THENCE WERLY APPROX 60.00 FT, N 710.47 FT, N 43 DEG W 745.64 FT, THENCE E 1322.44 FT, S 100.79 FT, S 24 DEG W 667.91 FT TO POB. EX .04 AC FOR RD R/W TAKEN(PARCEL#23) DESC ORB 1 ...more>>>		



## Property & Assessment Values

2012 Certified Values		
<b>Mkt Land Value</b>	cnt: (0)	\$52,496.00
<b>Ag Land Value</b>	cnt: (1)	\$0.00
<b>Building Value</b>	cnt: (0)	\$0.00
<b>XFOB Value</b>	cnt: (0)	\$0.00
<b>Total Appraised Value</b>		\$52,496.00
<b>Just Value</b>		\$52,496.00
<b>Class Value</b>		\$0.00
<b>Assessed Value</b>		\$52,496.00
<b>Exempt Value</b>		\$0.00
<b>Total Taxable Value</b>	Cnty: \$52,496 Other: \$52,496   Schl: \$52,496	

## 2013 Working Values

### NOTE:

2013 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

## Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
9/13/2010	1201/1017	WD	V	U	40	\$56,000.00
7/7/2010	1198/84	CT	V	U	11	\$100.00
5/10/2004	1028/2668	AG	V	Q		\$51,000.00

## Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

## Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

# NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

02-6S-16-03815-177

Clerk's Office Stamp

Doc: 201312000962 Date: 1/22/2013 Time: 3:01 PM  
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1248 P: 346

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this **NOTICE OF COMMENCEMENT**.

1. Description of property (legal description): SECTION 2 Township 6 South Range 16 EAST Columbia  
a) Street (job) Address: 3587 SW HERLONG ST FT. WHITE, FL 32038 CTY, FL
2. General description of improvements: Build Barn
3. Owner Information  
a) Name and address: HOWARD L. MULLINS / BEVERLY ASHE PO Box 320 D'BRIEN, FL  
b) Name and address of fee simple titleholder (if other than owner) \_\_\_\_\_  
c) Interest in property \_\_\_\_\_
4. Contractor Information  
a) Name and address: OWNER  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
5. Surety Information  
a) Name and address: \_\_\_\_\_  
b) Amount of Bond: \_\_\_\_\_  
c) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
6. Lender  
a) Name and address: NONE  
b) Phone No. \_\_\_\_\_
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:  
a) Name and address: \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:  
a) Name and address: \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10.

Howard L. Mullins  
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager

Howard L. Mullins  
Printed Name

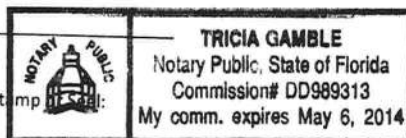
The foregoing instrument was acknowledged before me, a Florida Notary, this 14 day of January, 2013, by:  
Howard L. Mullins as owner (type of authority, e.g. officer, trustee, attorney

fact) for \_\_\_\_\_ (name of party on behalf of whom instrument was executed).

Personally Known ☐ OR Produced Identification ☒ Type FL DL

Notary Signature

Notary Stamp

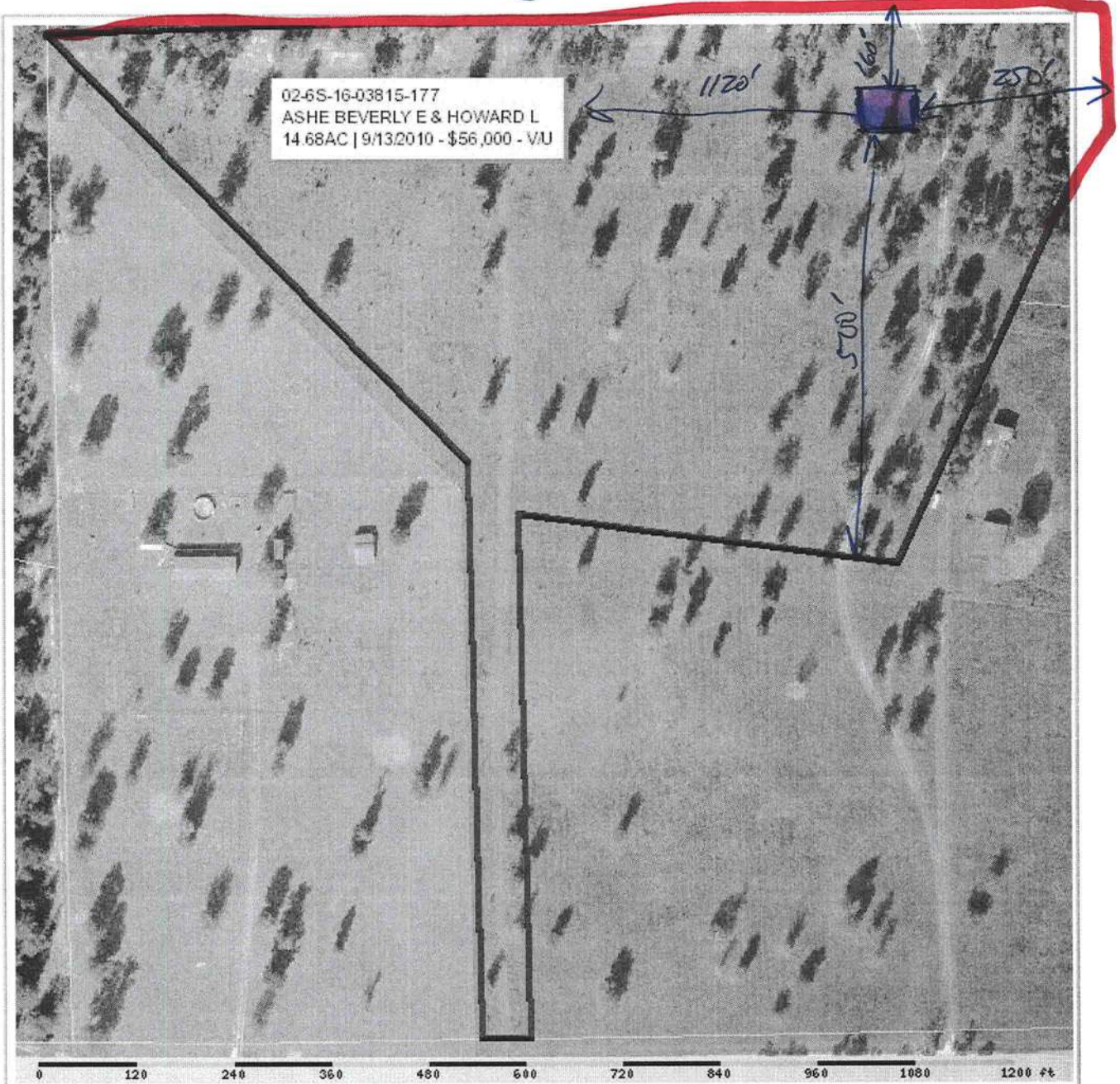


11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Howard L. Mullins  
Signature of Natural Person Signing (in line #10 above.)



# Site Plan



## Columbia County Property Appraiser

J. Doyle Crews - Lake City, Florida 32055 | 386-758-1083

**PARCEL: 02-6S-16-03815-177** - NO AG ACRE (009900)

LOT 77 CARDINAL FARMS UNREC: DESC AS FOLLOWS: COMM AT THE SE COR OF SEC RUN W 1321.85  
FT N 580.60 FT, N 82 DEG W 292.40 FT. TO POB. CONT N 82 DEG W 47

Name: ASHE BEVERLY E & HOWARD L **2012 Certified Values**

Site:	CALENDULA AVE	Land	\$52,496.00
	MULLINS (JTWRS)	Bldg	\$0.00
Mail:	4749 CALENDULA AVE	Assd	\$52,496.00
	MIDDLEBURG, FL 32068	Exmpt	\$0.00
Sales	9/13/2010 \$56,000.00 V / U		Cnty: \$52,496
Info	7/7/2010 \$100.00 V / U	Taxbl	Other: \$52,496   Schl: \$52,496

NOTES:





# SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER \_\_\_\_\_ CONTRACTOR OWNER/BUILDER PHONE 904-525-9555  
**THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT**

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

**Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.**

<b>ELECTRICAL</b>	Print Name <u>OWNER - HOWARD L. MULLINS</u> Signature <u>Howard L. Mullins</u> License #: _____ Phone #: <u>904-525-9555</u>
<b>MECHANICAL/ A/C</b>	Print Name _____ Signature _____ License #: _____ Phone #: _____
<b>PLUMBING/ GAS</b>	Print Name <u>OWNER - HOWARD L. MULLINS</u> Signature <u>Howard L. Mullins</u> License #: _____ Phone #: _____
<b>ROOFING</b>	Print Name <u>OWNER - HOWARD L. MULLINS</u> Signature <u>Howard L. Mullins</u> License #: _____ Phone #: _____
<b>SHEET METAL</b>	Print Name _____ Signature _____ License #: _____ Phone #: _____
<b>FIRE SYSTEM/ SPRINKLER</b>	Print Name _____ Signature _____ License #: _____ Phone #: _____
<b>SOLAR</b>	Print Name _____ Signature _____ License #: _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

**STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT**

Permit Application Number

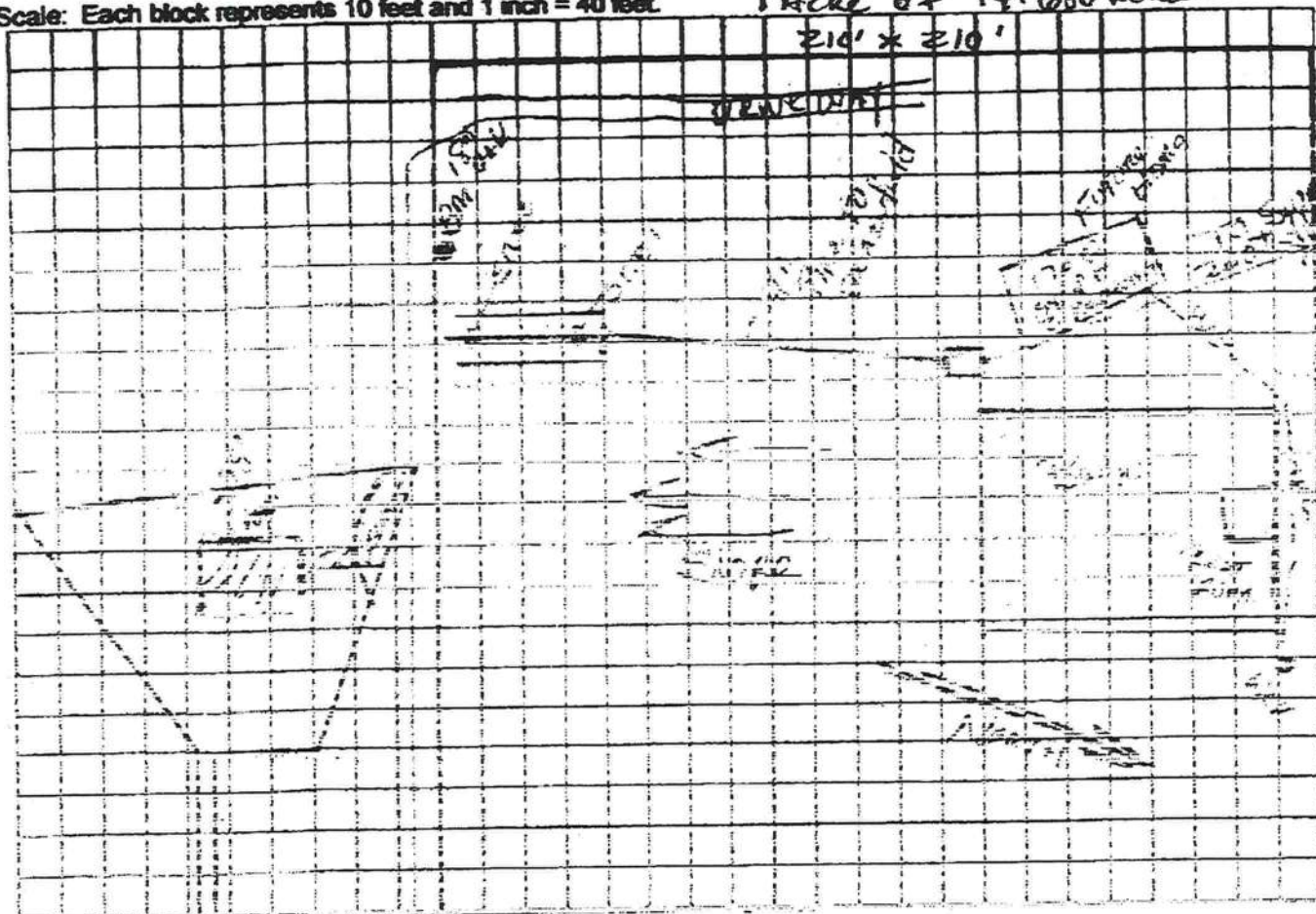
12-2575

Per Sal O.  
Env. Health

## PART II - SITEPLAN

**Scale:** Each block represents 10 feet and 1 inch = 40 feet.

1 Acre of 14.680 Acres  
210' x 210'



Notes. March 12th

1. Land 2. Water 3. Atmosphere

107 107 cardinalis 14.680 acres.

1940-1941

Site Plan submitted by: 42607-0-3000 12-27-12

Plan Approved

NOT APPROVED

1212

4-315

Sector 47-A ENVIRONMENTAL IMPACT STATEMENT

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



## WARRANTY DEED

This Warranty Deed made and executed the 13<sup>th</sup> day of September A.D. 2010, by **SUBRANDY LIMITED PARTNERSHIP**, a Florida limited partnership, hereinafter called the grantor, to **BEVERLY E. ASHE AND HOWARD L. MULLINS**, each as to an undivided one half interest as joint tenants with rights of survivorship, and not as tenants in common, Whose post office address is 8519 Sturbridge Circle E, Jacksonville, FL 32244, hereinafter called the grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

**Witnesseth:** That the grantor, for the consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

LOT 77 OF AN UNRECORDED SUBDIVISION KNOWN AS CARDINAL FARMS PHASE 3  
A parcel of land in Section 2, Township 6 South, Range 16 East, Columbia County, Florida, being more particularly described as follows:  
COMMENCE at the Southeast corner of Section 2, Township 6 South, Range 16 East, Columbia County, Florida and run thence South 88°10'29" West along the South line of said Section 2 a distance of 1321.85 feet to the Southwest corner of the Southeast ¼ of the Southeast ¼ of Section 2; thence North 01°15'25" West along the East line of the Southwest ¼ of the Southeast ¼ of Section 2 a distance of 580.60 feet; thence North 82°33'20" West a distance of 292.40 feet to the POINT OF BEGINNING; thence continue North 82°33'20" West a distance of 474.14 feet; thence South 01°16'50" East a distance of 643.13 feet to a point on the Northerly maintained Right-of-Way line of Old Ichetucknee Road; thence Westerly along said Northerly maintained Right-of-Way line of Old Ichetucknee Road a distance of 60 feet, more or less; thence North 01°16'50" West a distance of 710.47 feet; thence North 43°50'37" West a distance of 745.64 feet to the Northwest corner of the Southwest ¼ of the Southeast ¼ of Section 2; thence North 88°00'39" East along the North line of the Southwest ¼ of the Southeast ¼ of Section 2 a distance of 1322.44 feet to the Northeast corner of the Southwest ¼ of the Southeast ¼ of Section 2; thence South 01°15'25" East along the East line of the Southwest ¼ of the Southeast ¼ of Section 2 a distance of 100.79 feet; thence South 24°23'07" West a distance of 667.91 feet to the POINT OF BEGINNING. Containing 14.72 acres, more or less.

Subject to Restrictions recorded in O.R. Book 1008, Pages 2480-2486, Columbia County, Florida. Subject to Road Easements over and across the South 60 feet thereof, as described in O.R. Book 1008, Pages 2301-2303, Columbia County, Florida.

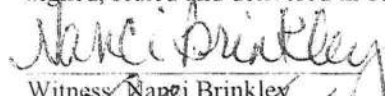
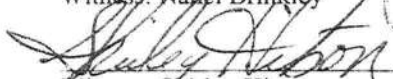
**Together** with all the tenements, hereditaments and appurtenances thereto belong or in any-wise appertaining.


**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple: that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2009.

**In Witness Whereof**, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

  
Witness: Nancy Brinkley  


  
Bradley N. Dicks, General Partner  
Subrandy Limited Partnership



Witness, Shirley Hitson

State of Florida

County of Columbia

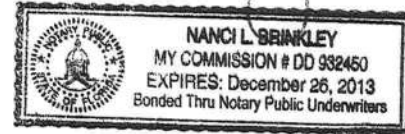
I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared Bradley N. Dicks, who is personally known to me to be the person described in and who executed the foregoing instrument, who was not required to furnish identification, and he acknowledged before me that he executed the same and who did not take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this 13<sup>th</sup> day of September, A.D. 2010

*Nanci L. Brinkley*

Notary Public, State of Florida

This instrument prepared by: Bradley N. Dicks  
Address: P.O. Box 513 Lake City, FL 32056



# COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

## Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 1/5/2011 DATE ISSUED: 1/20/2011

### ENHANCED 9-1-1 ADDRESS:

3587 SW HERLONG ST

FORT WHITE FL 32038

### PROPERTY APPRAISER PARCEL NUMBER:

02-6S-16-03815-177

### Remarks:

STRUCTURE LOT 77 CARDINAL FARMS UNREC S/D

Address Issued By: \_\_\_\_\_

Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**



## **COLUMBIA COUNTY BUILDING DEPARTMENT**

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

### **OWNER BUILDER DISCLOSURE STATEMENT**

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.



I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myflorida.com/dbpr/pro/cilb/index.html> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

3587 S.W. HERLONG ST FT. WHITE FL 32038

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

**TYPE OF CONSTRUCTION**

- ( ) Single Family Dwelling      ( ) Two-Family Residence      ☒ Farm Outbuilding  
( ) Addition, Alteration, Modification or other Improvement  
( ) Commercial, Cost of Construction \_\_\_\_\_ Construction of \_\_\_\_\_  
( ) Other \_\_\_\_\_

I Howard L. Morris, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

[Signature]  
Owner Builder Signature

Date

12/27/12

Beverly Ashe

1/22/13 (FL DL Given)



**NOTARY OF OWNER BUILDER SIGNATURE**

The above signer is personally known to me or produced identification Florida Drivers License

Notary Signature

Lurayna Davis

Date

12/27/12



**FOR BUILDING DEPARTMENT USE ONLY**

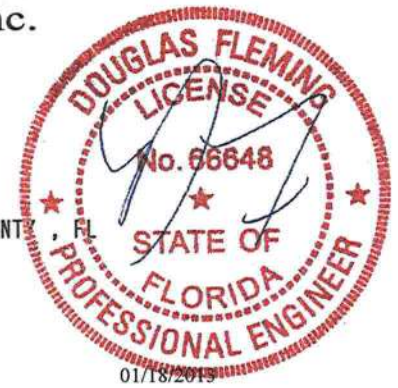
I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative

J. Hodson

# ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844  
Florida Engineering Certificate of Authorization Number: 0 278  
Florida Certificate of Product Approval # FL1999  
Page 1 of 1 Document ID:1UT0215-Z0118103502



Truss Fabricator: W.B. Howland  
Job Identification: 7107-/LEE MULLINS POLE BARN /OWNER BUILDER -- COLUMBIA COUNTY, FL  
Truss Count: 3  
Model Code: Florida Building Code 2010  
Truss Criteria: FBC2010Res/TPI-2007(STD)  
Engineering Software: Alpine Software, Version 10.03.  
Structural Engineer of Record: The identity of the structural EOR did not exist as of  
Address: the seal date per section 61G15-31.003(5a) of the FAC  
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration  
Floor - N/A  
Wind - 130 MPH ASCE 7-10 -Partially Enclosed

## Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR215

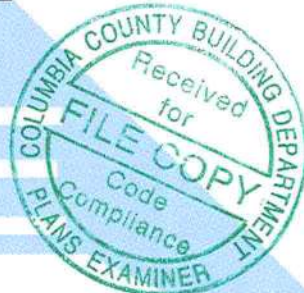
Douglas Fleming  
-Truss Design Engineer-

1950 Marley Drive  
Haines City, FL 33844

Details: 16030EC1-GBLLETIN-

#	Ref	Description	Drawing#	Date
1	64327--A		13018001	01/18/13
2	64328--A1		13018002	01/18/13
3	64329--A2		13018003	01/18/13

# ALPINE





THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

130 mph wind, 17.35 ft mean hgt, ASCE 7-10, PART. ENC. bldg, located anywhere in roof, RISK CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. GCPI (+/-)=0.55

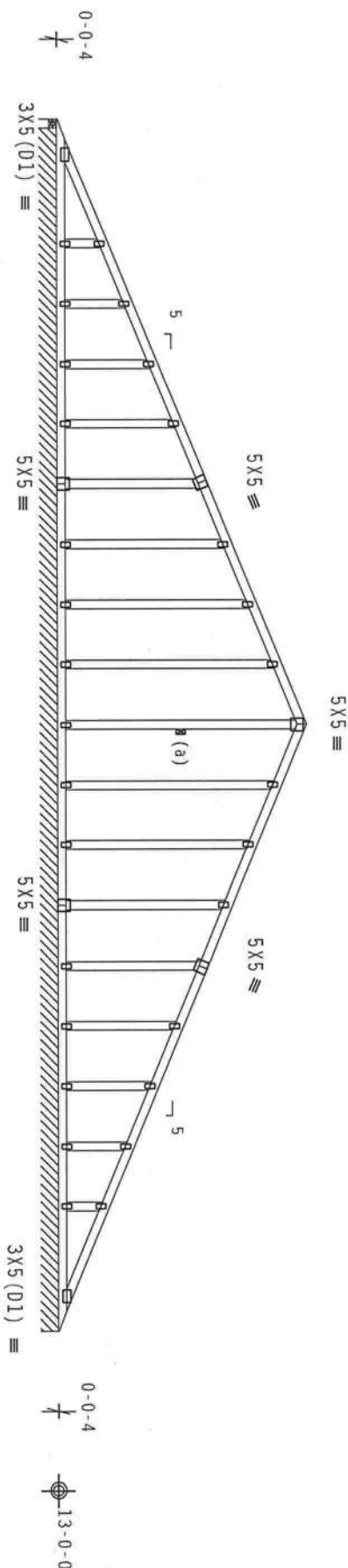
Wind Toads and reactions based on MWFRS with additional C&C member design.

(a) continuous lateral bracing, equally spaced on member.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets  $L/240$  live and  $L/180$  total load. Creep increase factor for dead load is 1.50.

In new structural panel or rigid ceiling use purlins to brace TC @ 24" OC, BC @ 24" OC. Apply purlins to chords above or below fillers at 24" OC unless shown otherwise above.



R=103 PLF U=18 PLF W=40-0-0

Design Crit: FBC2010Res/TP1-2007 (STD)  
FT/RT=20%(0%)/10(0)

10.03.11.0209.20 / 05.1

Scale = .1875"/ft.

**\*\*WARNING\*\*** READ AND FOLLOW ALL NOTES ON THIS SHEET  
FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.

**ITW Building Components Group Inc.**

Haines City, FL 33844  
FL COA #0 278

**\*\*IMPORTANT\*\* READ AND FOLLOW ALL NOTES ON THIS SHEET**  
FURNISH THIS DECISION TO ALL CONTRACTORS INCLUDING INSTALLERS.

Trusscraft requires extreme care in fabricating, handling, shipping, installing and bracing. Refer to the following information for details. For more information, contact Trusscraft at 1-800-368-7263. To follow the latest edition of BCSP (Building Component Safety) Information, by TPI and MICA for safe practices related to performing these functions. Installers shall provide temporary bracing per BCSP unless noted otherwise. Top chord shall have properly attached structural bracing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of wall shall have bracing installed per BCSP sections 89, 93 or 910, as applicable.

ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design or any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation or bracing of trusses. Existing plates bearing the name of Trusscraft are not to be removed. A seal on this drawing or cover page listing the design, drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this design for any structure is the responsibility of the Building Designer. Per ANSI/TPI 1, Sec.2. For more information see: This job's general notes page. ITW-BCG: [www.itwbcg.com](http://www.itwbcg.com); TPI: [www.tlpi.net.org](http://www.tlpi.net.org); MICA: [www.bcindustry.com](http://www.bcindustry.com); [www.trusscraft.com](http://www.trusscraft.com).

STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER  
01/18/2013

TC LL	20.0 PSF	REF R215-- 64327
TC DL	10.0 PSF	DATE 01/18/13
BC DL	10.0 PSF	DRW HCUR215 13018001
BC LL	0.0 PSF	HC-ENG JB/DF
TOT.LD.	40.0 PSF	SEQN- 362547
DUR.FAC.	1.25	FROM CDM
SPACING	32.0"	JREF- 1UT0215_201

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

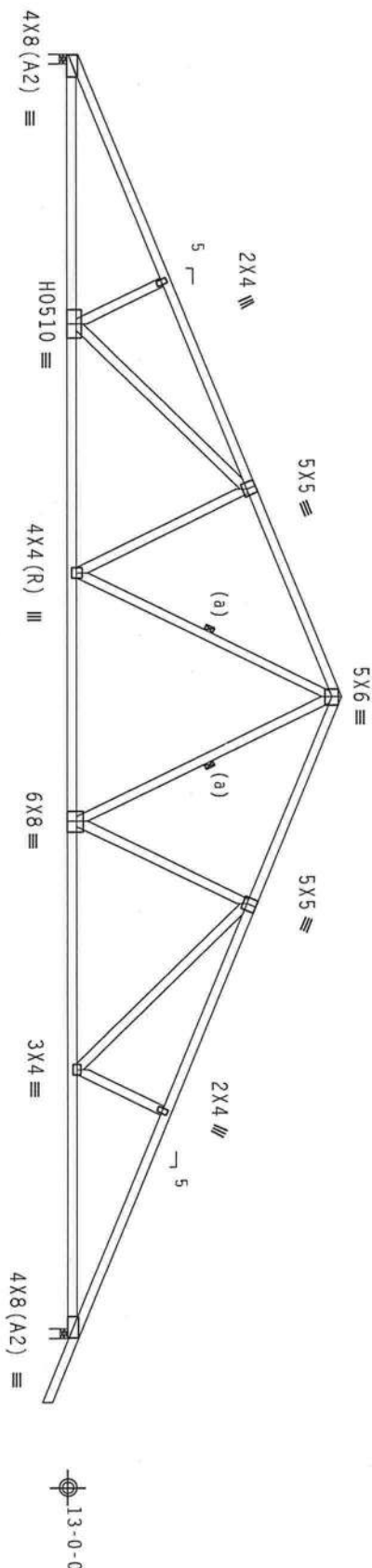
130 mph wind, 17.12 ft mean hgt, ASCE 7-10, PART-ENC. bldg, located anywhere in roof, RISK CAT II, Exp B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Gcpl (+/-)=0.55

Wind loads and reactions based on MUFRS with additional C&C member design.

(a) continuous lateral bracing, equally spaced on member.

Trusses to be spaced at 32.0" OC maximum.

The overall height of this truss excluding overhang is 8-8-12.



R=2565 U=392 W=3.5"

Design Crit: FBC2010Res/TPI-2007 (STD,  
FT/RT=20%(0%)/10(0))

10:03:11.0209.20

**ITW Building Components Group Inc.**

Haines City, FL 33844  
FL COA #0278

FL/-/5/-/-/R/-	Scale = .1875"/Ft.
TC LL 20.0 PSF	REF R215-- 64328
TC DL 10.0 PSF	DATE 01/18/13
BC DL 10.0 PSF	DRW HCURS215 13018002
BC LL 0.0 PSF	HC-ENG JB/DF
TOT.LD. 40.0 PSF	SEQN- 362550
DUR.FAC. 1.25	FROM CDM
SPACING 32.0"	JREF- 1UT0215_201



THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

130 mph wind, 16.96 ft mean hgt, ASCE 7-10, PART. ENC. bldg, located anywhere in roof, RISK CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Gcpl(+/-)=0.55

Webs 2x4 SP-#2-N-12A

Webs 2x4 SP-#2-N-12A

 $DL=5.0 \text{ psf}, GCPi(+/-)=0.55$ 

Wind loads and reactions based on MWRFS with additional C&C member design.

Roof overhang supports 2.00 psf soffit load.

Roof overhang supports 2.00 psf soffit load.

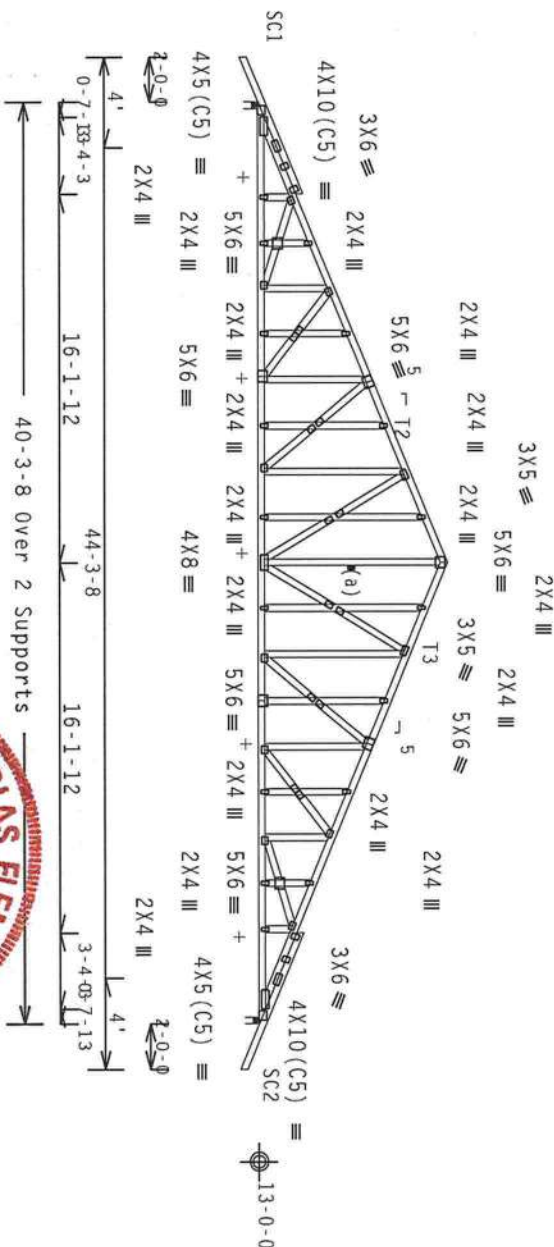
Stacked top chord must NOT be notched or cut in area (NML). Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie plates 2' on center. Attach plate to stacked/dropped chord

interface, plate length perpendicular to chord length. Splice top chord in notched area using 3x6.

Trusses to be spaced at 32.0" OC maximum.

The overall height of this truss excluding overhang is 8-5-0.

The overall height of this truss excluding overhang is 8-5-0.



- $R=2320$   $U=328$   $W=3.5$   
 $RL=206/-206$

DOUGLAS  
LICENSE  
300 U=328 W=3.5

Design Crit: FBC2010Res/TPI-2007 (STD

10:05:11:0209:20 / QTY:

FL/-/5/-/-/R/-/

Scale = .125"/Ft.

**\*\*\*IMPORTANT\*\*\***  
**\*\*\*WARNING\*\*\*** READ AND FOLLOW ALL NOTES ON THIS SHEET!  
FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.

**ITW Building Components Group Inc.**

Haines City, FL 33844  
FL COA #0278

Apply plates to each face of truss and position as shown above and on the joint details, unless noted otherwise. Refer to drawings 100-2 for standard plate positions. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility for the design shown. The suitability and use of this design for any structure is the responsibility of the building designer per AISI/TPI 1 Sec.2. For more information see: This job's general notes page; ITH-BCG: [www.ithbcg.com](http://www.ithbcg.com); TPI: [www.tpi-nti.org](http://www.tpi-nti.org); WCA: [www.stcindustry.com](http://www.stcindustry.com); ICC: [www.iccactive.org](http://www.iccactive.org)

**DOUGLAS FLEMING**  
**LICENSE**  
No. 68848  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

TC LL	20.0 PSF	REF	R215-- 64329
TC DL	10.0 PSF	DATE	01/18/13
BC DL	10.0 PSF	DRW	HCU8R215 13018003
BC LL	0.0 PSF	HC-ENG	JB/DF
TOT.LD.	40.0 PSF	SEQN-	362543
DUR.FAC.	1.25	FROM	CDM
SPACING	32.0"	JREF-	IUT0215_Z01



ASCE 7-10: 160 mph Wind Speed, 30' Mean Height, Enclosed, Exposure C,  $K_z t = 1.00$

Dr:	140 MPH	Wind Speed, 30'	Mean Height, Partially Enclosed, Exposure C, Kzt = 1.00
Dr:	140 MPH	Wind Speed, 30'	Mean Height, Enclosed, Exposure D, Kzt = 1.00
Dr:	120 mph	Wind Speed, 30'	Mean Height, Partially Enclosed, Exposure D, Kzt = 1.00

Bracing Group Species and Grades:

Group A:

Sapce-Pine-Fir		Hem-Fir	
#1 / #2	Standard	#2	Stud
#3	Stud	#3	Standard

Douglas Fir-Larch

#3	Southern Pine***
Stud	Stud
Standard	Standard

Group B:

Hem-Fir	
#1 & Btr	
#1	

Douglas Fir-Larch

Southern Pine***	
#1	#1
#2	#2

1x4 Braces shall be SRB (Stress-Rated Board).  
 \*\*\*For 1x4 So. Pine use only Industrial S5 or Industrial S4 Stress-Rated Boards. Group B values may be used with these grades.

Gable Truss Detail Notes:  
Wind Load deflection criterion is  $L/240$ .

Wind Load Definition Criterion is Level

Provide uplift connections for 135 plf over continuous bearing (5 psf TC Dead Load).

Gable end supports load from 4' 0" outlookers with 2' 0" overhang, or 12' plywood overhang

So. Pine lumber design values based on the ALSC January, 2012 ruling

Attach 'L' braces with 10d (0.128"x3.0" min) nails

\* For (1) 'L' brace: space nails at 2' o.c. in 18" end zones and 4' o.c. between zones.

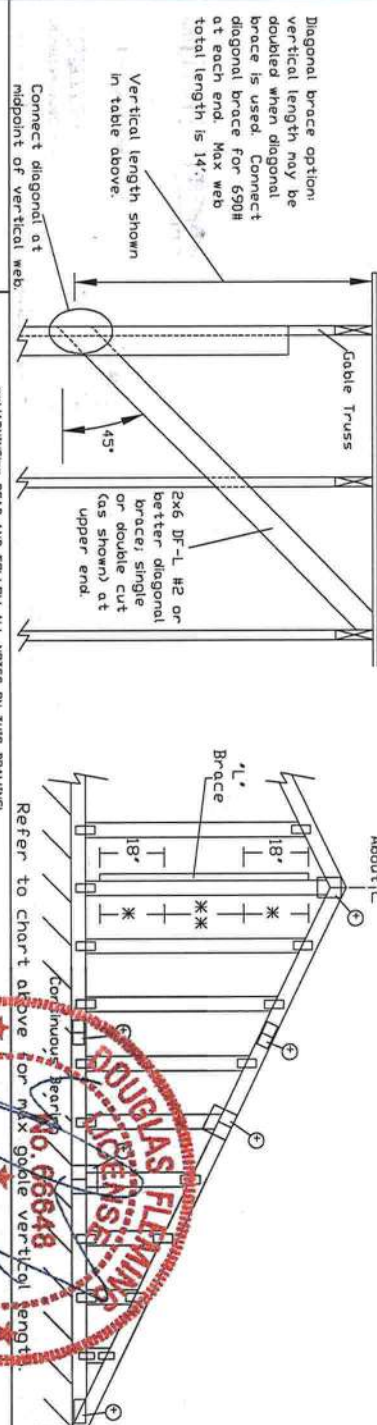
\* Major (C) L braces: space nails at 3 o.c. in 18" end zones and 6" o.c. between zones.

\* L' bracing must be a minimum of 80% of web member length.

Vertical Length	No Splice
Less than 4' 0"	2X4
Greater than 4' 0", but less than 12' 0"	3.5X4

+ Refer to common truss design for peak, splice, and heel plates.

Refer to the Building Designer for conditions not addressed by this detail.



\*\*\*WARNING\*\*\* READ AND FOLLOW ALL NOTES ON THIS DRAWING  
 \*\*\*IMPORTANT\*\*\* FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS



**TW**  
Building Components Group Inc.

Earth City, MO 63045

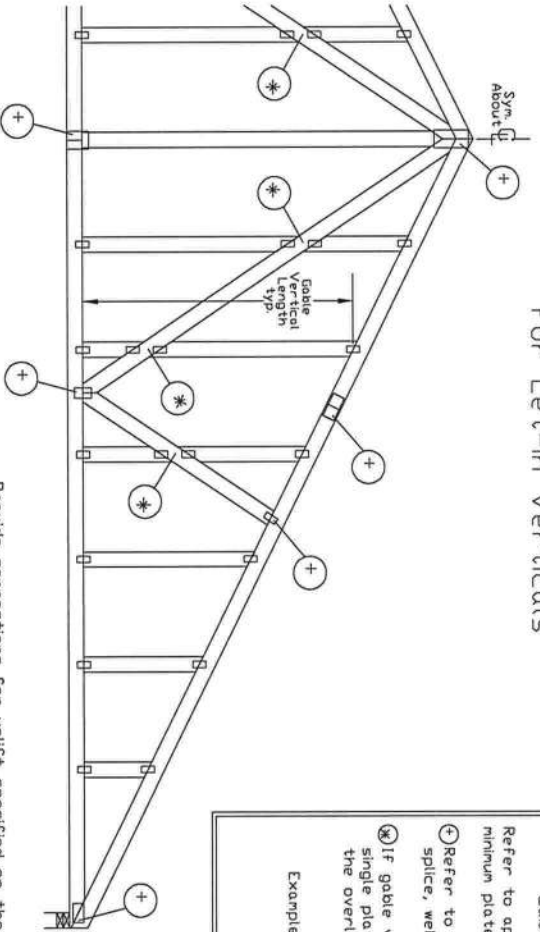
Jan 18 '13

MAX. SPACING	24.0"
--------------	-------

	0	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
0	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	



# Gable Detail For Let-in Verticals



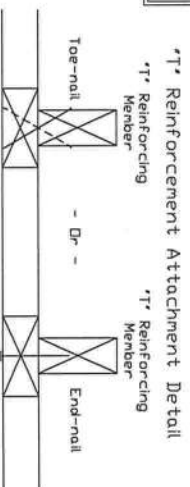
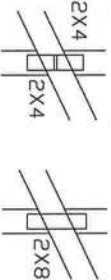
## Gable Truss Plate Sizes

Refer to appropriate ITV gable detail for minimum plate sizes for vertical studs.

⊕ Refer to Engineered truss design for peak, splice, web, and heel plates.

⊗ If gable vertical plates overlap, use a single plate that covers the total area of the overlapped plates to span the web.

Example:



To convert from 'L' to 'T' reinforcing members, multiply 'T' increase by length (based on appropriate ITV gable detail).

Maximum allowable 'T' reinforced gable vertical length is 14' from top to bottom chord.

'T' reinforcing member material must match size, specie, and grade of the 'L' reinforcing member.

Web Length Increase w/ 'T' Brace

'T' Reinf. Mbr. Size	'T' Increase %
2x4	30 %
2x6	20 %

Example:

ASCE 7-10 Wind Speed = 120 mph  
Mean Roof Height = 30 ft. Kzt = 1.00

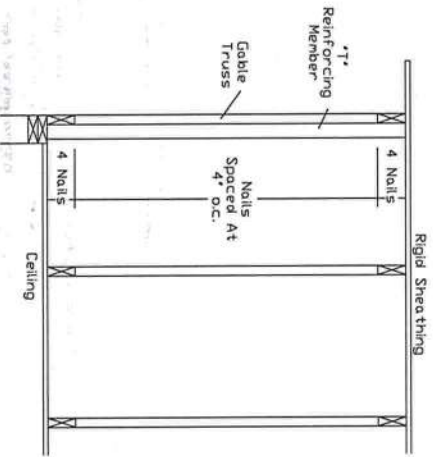
Gable Vertical = 24' o.c. SP #3

'T' Reinforcing Member Size = 2x4

'T' Brace Increase (from Above) = 30% = 1.30

(1) 2x4 'L' Brace Length = 8' 7"

Maximum 'T' Reinforced Gable Vertical Length  
1.30 x 8' 7" = 11' 2"



See appropriate ITV gable detail for maximum unreinforced vertical length

\*\*\*WARNING\*\*\* READ AND FOLLOW ALL NOTES ON THIS DRAWING  
\*\*\*IMPORTANT\*\*\* FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS.



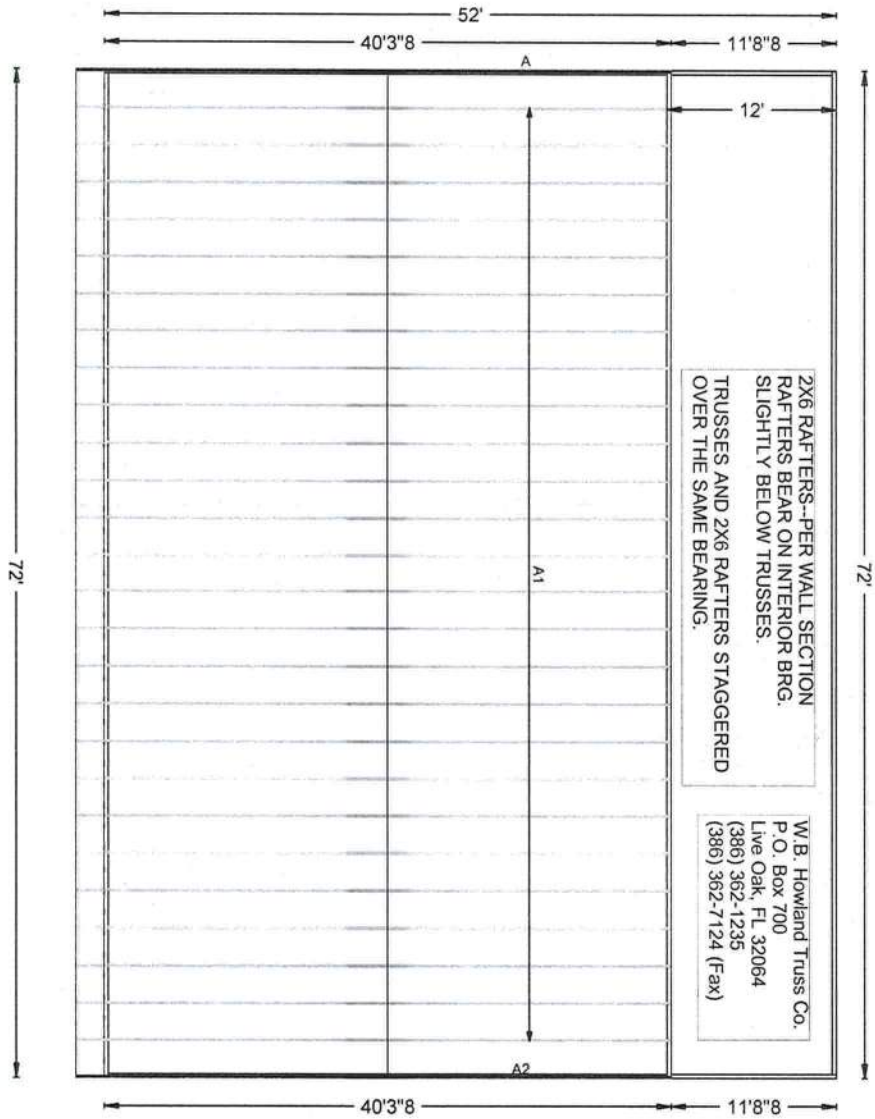
Building Components Group Inc.

Earth City, MO 63045

ITV Building Components Group Inc. shall not be responsible for any deviation from this drawing, any failure to build the trusses in conformance with ANSI/TPI 1, or for handling, shipping, installation & bracing of trusses. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility. The responsibility of the Building Designer per ANSI/TPI 1 Section 1.1 shall remain with the Building Designer. For more information see this job's general notes page and these web sites:  
ITVBCG: [www.itvbcg.com](http://www.itvbcg.com), TPI: [www.tpinet.org](http://www.tpinet.org), VITC: [www.vitc.com](http://www.vitc.com), ICC: [www.iccsafe.org](http://www.iccsafe.org)



REF	LET-IN VERT
DATE	2/16/12
DRWG	GBLETT00212
MAX. TOT. L.D.	60 PSF
DUR. FAC.	ANY
MAX. SPACING	24'0"



2x6 RAFTERS--PER WALL SECTION  
RAFTERS BEAR ON INTERIOR BRG.  
SLIGHTLY BELOW TRUSSES.  
TRUSSES AND 2x6 RAFTERS STAGGERED  
OVER THE SAME BEARING.

W.B. Howland Truss Co.  
P.O. Box 700  
Live Oak, FL 32064  
(386) 362-1235  
(386) 362-7124 (Fax)

PLEASE REVIEW LAYOUT AND  
DRAWINGS CAREFULLY AS  
TRUSSES WILL BE BUILT IN  
STRICT ACCORDANCE WITH  
THIS LAYOUT.

ROOF PITCH: 5/12  
CLG PITCH: FLAT  
OVERHANG: 2'  
\*\*SEE NOTE  
LOADING: 40  
WIND LOAD: 130  
PARTIAL ENCLS.  
EXPOSURE: B  
EXT WALLS: 3 1/2" X 13' HT.  
DATE: 1/18/2012

# IMPORTANT DESIGN NOTES:

- FIELD TRIM A2 OVERHANG  
AS NEEDED
- 2' OVERHANG--NOTIFY PRE-FAB  
IF LESS IS DESIRED. PLANS APPEARS  
TO SHOW 1', BUT CUSTOMER PREVIOUSLY  
INDICATED 1' OVERHANG.
- NOTE THAT TRUSS SPAN IS 40' 3 1/2"  
BASED ON PLAN. 2x4 TOP CHORD ON  
TRUSS. 2x4 HEEL HT.
- DROP GABLE TRUSSES BOTH ENDS.  
ONE END ON CONT. BRG., STRUCTURAL  
GABLE OPPOSITE END.



JOB #: 7107

Job Name: LEE MULLINS POLE BARN  
Customer: OWNER BUILDER  
Designer: Cynthia Gude-Newsome  
ADDRESS: COLUMBIA COUNTY  
SALESMAN: HOUSE  
: <Not Found>

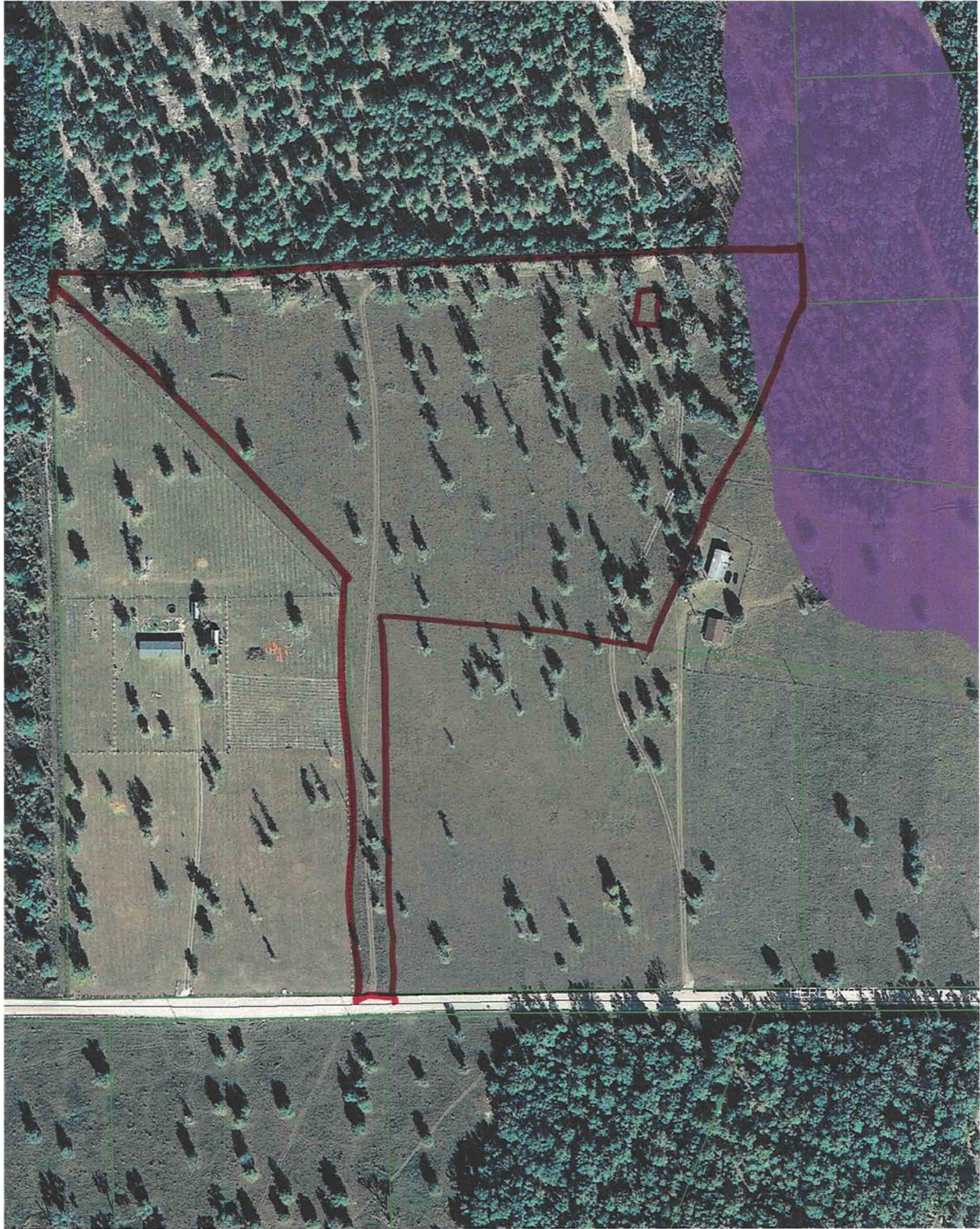
JOB NO:

7107

PAGE NO:

1 OF 1





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