

DATE 03/04/2005

# Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000022877

APPLICANT STACY BECKHAM PHONE 352.745.2738  
ADDRESS POB 2442 LAKE CITY FL 32056  
OWNER BERNARD GRAHAM PHONE 752.6231  
ADDRESS 251 NW REBEL PLACE LAKE CITY FL 32055  
CONTRACTOR STACY BECKHAM PHONE 352.745.2738  
LOCATION OF PROPERTY 41-N TO BAUGHN RD, TL GO TO FRIENDSHIP, TL, IT'S ON THE  
RIGHT HAND CORNER OF FRIENDSHIP & REBEL  
TYPE DEVELOPMENT M/H & UTILITY ESTIMATED COST OF CONSTRUCTION .00  
HEATED FLOOR AREA                      TOTAL AREA                      HEIGHT .00 STORIES                       
FOUNDATION                      WALLS                      ROOF PITCH                      FLOOR                       
LAND USE & ZONING A-3 MAX. HEIGHT                       
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.                     

PARCEL ID 28-2S-16-01772-060 SUBDIVISION PINE HILLS ADDITION  
LOT 10 BLOCK B PHASE                      UNIT                      TOTAL ACRES 1.00

IH0000512  
Culvert Permit No.                      Culvert Waiver                      Contractor's License Number                      Applicant/Owner/Contractor                       
EXISTING 05-0147-E BLK RK N  
Driveway Connection                      Septic Tank Number                      LU & Zoning checked by                      Approved for Issuance                      New Resident                     

COMMENTS: 1 FOOT ABOVE ROAD.

Check # or Cash 4204

## FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power                      Foundation                      Monolithic                       
                     date/app. by                      date/app. by                      date/app. by                       
Under slab rough-in plumbing                      Slab                      Sheathing/Nailing                       
                     date/app. by                      date/app. by                      date/app. by                       
Framing                      Rough-in plumbing above slab and below wood floor                       
                     date/app. by                      date/app. by                       
Electrical rough-in                      Heat & Air Duct                      Peri. beam (Lintel)                       
                     date/app. by                      date/app. by                       
Permanent power                      C.O. Final                      Culvert                       
                     date/app. by                      date/app. by                       
M/H tie downs, blocking, electricity and plumbing                      Pool                       
                     date/app. by                      date/app. by                       
Reconnection                      Pump pole                      Utility Pole                       
                     date/app. by                      date/app. by                       
M/H Pole                      Travel Trailer                      Re-roof                       
                     date/app. by                      date/app. by                     

BUILDING PERMIT FEE \$ .00 CERTIFICATION FEE \$ .00 SURCHARGE FEE \$ .00  
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 34.02 WASTE FEE \$ 73.50  
FLOOD ZONE DEVELOPMENT FEE \$                      CULVERT FEE \$                      TOTAL FEE 357.52

INSPECTORS OFFICE                      CLERKS OFFICE                     

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

### This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



# PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only

Zoning Official BLK 15.02.05 Building Official RK 2-24-05

AP# 0502-33 Date Received 2-10-05 By LH Permit # 22817

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments

4204

*pre OK by [signature] 2-30-05*

FEMA Map # \_\_\_\_\_ Elevation \_\_\_\_\_ Finished Floor \_\_\_\_\_ River \_\_\_\_\_ In Floodway \_\_\_\_\_

☒ Site Plan with Setbacks shown ☒ Environmental Health Signed Site Plan ☐ Env. Health Release

☐ Well letter provided ☒ Existing Well Public (Lennil)

Revised 9-23-04

Property ID 28-25-16-61772-060 Must have a copy of the property deed

New Mobile Home \_\_\_\_\_ Used Mobile Home ☒ Year 94

Subdivision Information Pine Hills Addition Lot 10, Block B

Applicant Stacy Beckham Phone # 352-745-2238

Address PO Box 2442 Lake City, FL 32050

Name of Property Owner Bernard Graham Phone# 752-6231

911 Address 251 NW Rebel Pl.

Circle the correct power company - FL Power & Light - Clay Electric  
(Circle One) - Suwannee Valley Electric - Progressive Energy

Name of Owner of Mobile Home Same Phone # \_\_\_\_\_

Address \_\_\_\_\_

Relationship to Property Owner same

Current Number of Dwellings on Property 0

Lot Size 140 x 309 Total Acreage ~

Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver Permit

Driving Directions Hang 41 North to Baughn (TH)  
to Friendship (TH) Right hand corner on  
friendship & Rebel.

Is this Mobile Home Replacing an Existing Mobile Home Yes (owe Assessment)

Name of Licensed Dealer/Installer Stacy Beckham Phone # 352-745-2238

Installers Address PO Box 2442 Lake City, FL 32050

License Number I/H0000512 Installation Decal # 228859



PERMIT NUMBER

Installer Spacy Backhaus License # TH9000572

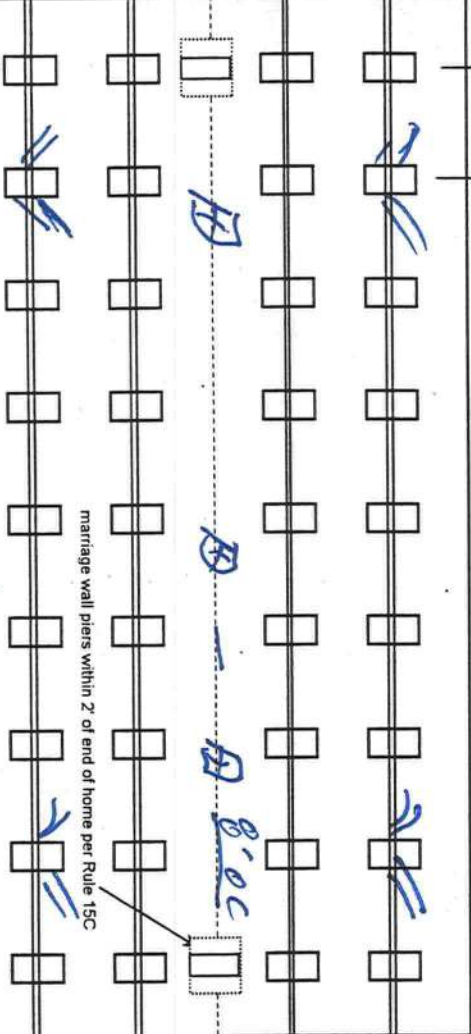
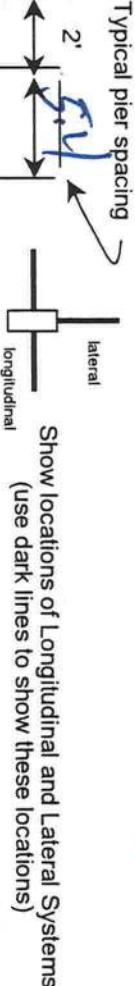
Address of home being installed PO Box 2442  
Coke City, N. 32056

Manufacturer H.O.M. Length x width 21x88

NOTE: if home is a single wide fill out one half of the blocking plan  
if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used)  
where the sidewall ties exceed 5 ft 4 in.

Installer's initials SB



Marriage wall piers  
8' oc except  
where openings  
greater than 8'.

New Home ☐ Used Home ☒

Home installed to the Manufacturer's Installation Manual ☐

Home is installed in accordance with Rule 15-C ☒

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 208845

Triple/Quad ☐ Serial # 995416

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'	8'
1500 psf	4'6"	6'	7'	8'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7'6"	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

\* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 20x20

Perimeter pier pad size 16x16

Other pier pad sizes (required by the mfg.) \_\_\_\_\_

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening \_\_\_\_\_ Pier pad size \_\_\_\_\_

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

4 ft ☒ 5 ft \_\_\_\_\_

FRAME TIES

within 2' of end of home  
spaced at 5' 4" oc \_\_\_\_\_

OTHER TIES

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer Strong-Tie

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer \_\_\_\_\_

Number \_\_\_\_\_

Sidewall \_\_\_\_\_

Longitudinal \_\_\_\_\_

Marriage wall \_\_\_\_\_

Shearwall \_\_\_\_\_



POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

X 1500 X 1450 X 1500

POCKET PENETROMETER TESTING METHOD

- 1. Test the perimeter of the home at 6 locations.
- 2. Take the reading at the depth of the footer.
- 3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1500 X 1450 X 1500

TORQUE PROBE TEST

The results of the torque probe test is 240 inch pounds or check here if you are declaring 5' anchors without testing     . A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. 1 underground 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.  
Installer's initials BD

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Shay Bachman  
Date Tested 2/5/05

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 15C

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 15C  
Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 15C

Site Preparation

Debris and organic material removed       
Water drainage: Natural      Swale      Pad      Other     

Fastening multi wide units

Floor: Type Fastener: lag Length: 6" Spacing: 16"  
Walls: Type Fastener: span Length: 4" Spacing: 12"  
Roof: Type Fastener: lag Length: 6" Spacing: 16"  
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials BD

Type gasket foam Installed:       
Pg. 15C Between Floors Yes       
Between Walls Yes       
Bottom of ridgebeam Yes     

Weatherproofing

The bottomboard will be repaired and/or taped. Yes      Pg. 15C  
Siding on units is installed to manufacturer's specifications. Yes       
Fireplace chimney installed so as not to allow intrusion of rain water. Yes     

Miscellaneous

Skirting to be installed. Yes      No       
Dryer vent installed outside of skirting. Yes      N/A       
Range downflow vent installed outside of skirting. Yes      N/A       
Drain lines supported at 4 foot intervals. Yes       
Electrical crossovers protected. Yes       
Other:     

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature Shay Bachman Date 2/5/05



251 NW Rebel Ph.

**WARRANTY DEED**

This Warranty Deed made and executed the 15<sup>th</sup> day of November A.D. 2004, by **LENVIL H. DICKS**, a single man not residing on the property described herein, hereinafter called the grantor, to **BERNARD GRAHAM AND LOUISE GRAHAM, HIS WIFE**, whose post office address is P.O. BOX 3281, LAKE CITY, FL. 32056, hereinafter called the grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

**Witnesseth:** That the grantor, for the consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

**LOT 10, BLOCK B, PINE HILLS ADDITION, a subdivision as recorded in Plat Book 6, Pages 36-36A, Columbia County, Florida, subject to Restrictions recorded in O.R. Book 0742, Page 0501, and Amendment of Deed of Restrictions recorded in O.R. Book 0501, Page 2377, Columbia County, Florida, and subject to Power line Easement.**

Together with all the tenements, hereditaments and appurtenances thereto belong or in any-wise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple: that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2004.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Nanci Nettles

Signature of witness  
Nanci Nettles

Suzanne Davis

Signature of witness  
Suzanne Davis

State of Florida  
County of Columbia

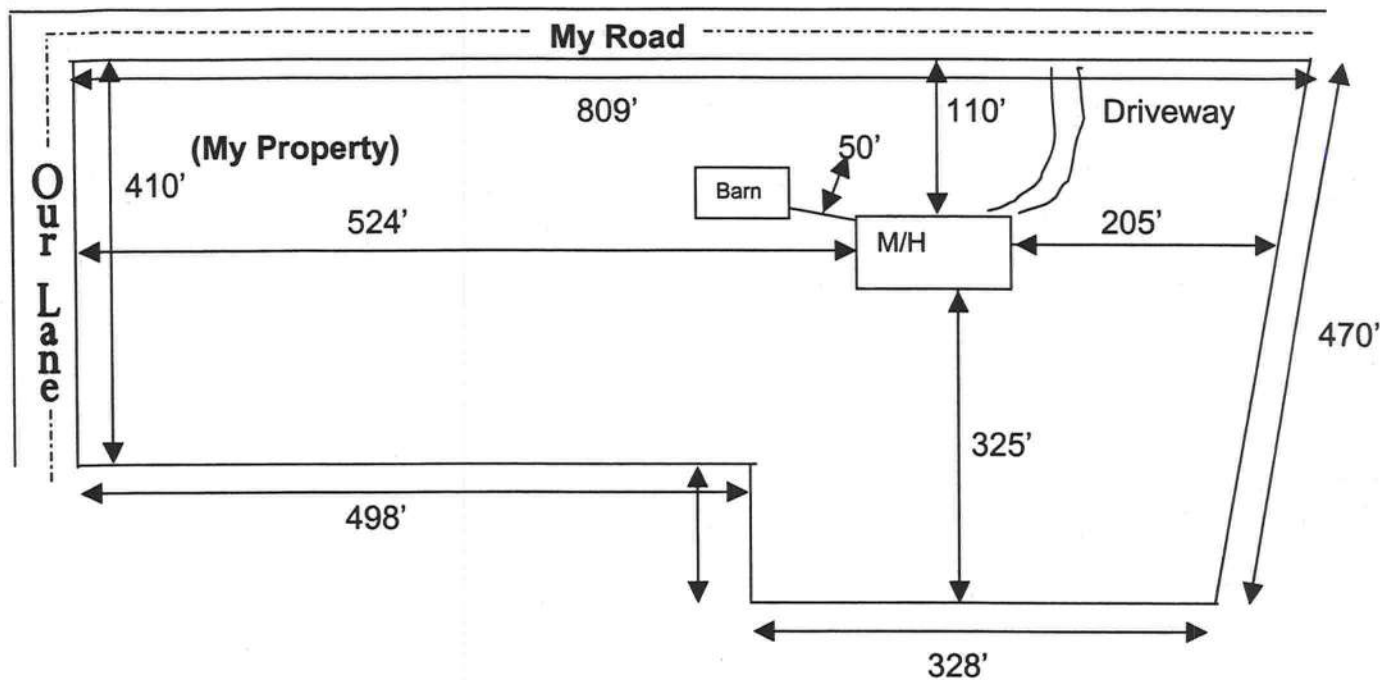
Lenvil H. Dicks L.S.  
LENVIL H. DICKS

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared Lenvil H. Dicks, who is personally known to me to be the person described in and who executed the foregoing instrument, who was not required to furnish identification and he acknowledged before me that he executed the same and who did

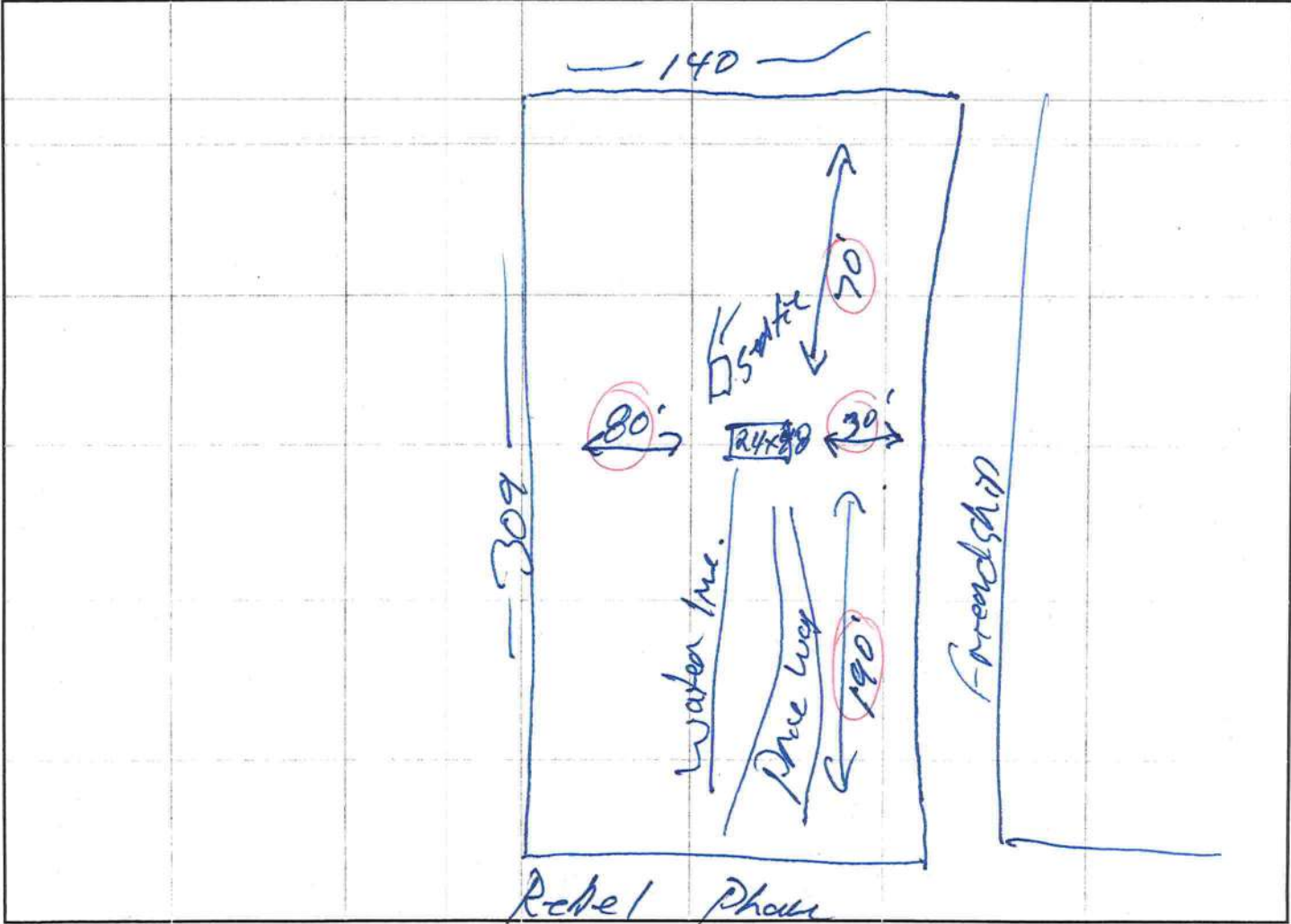




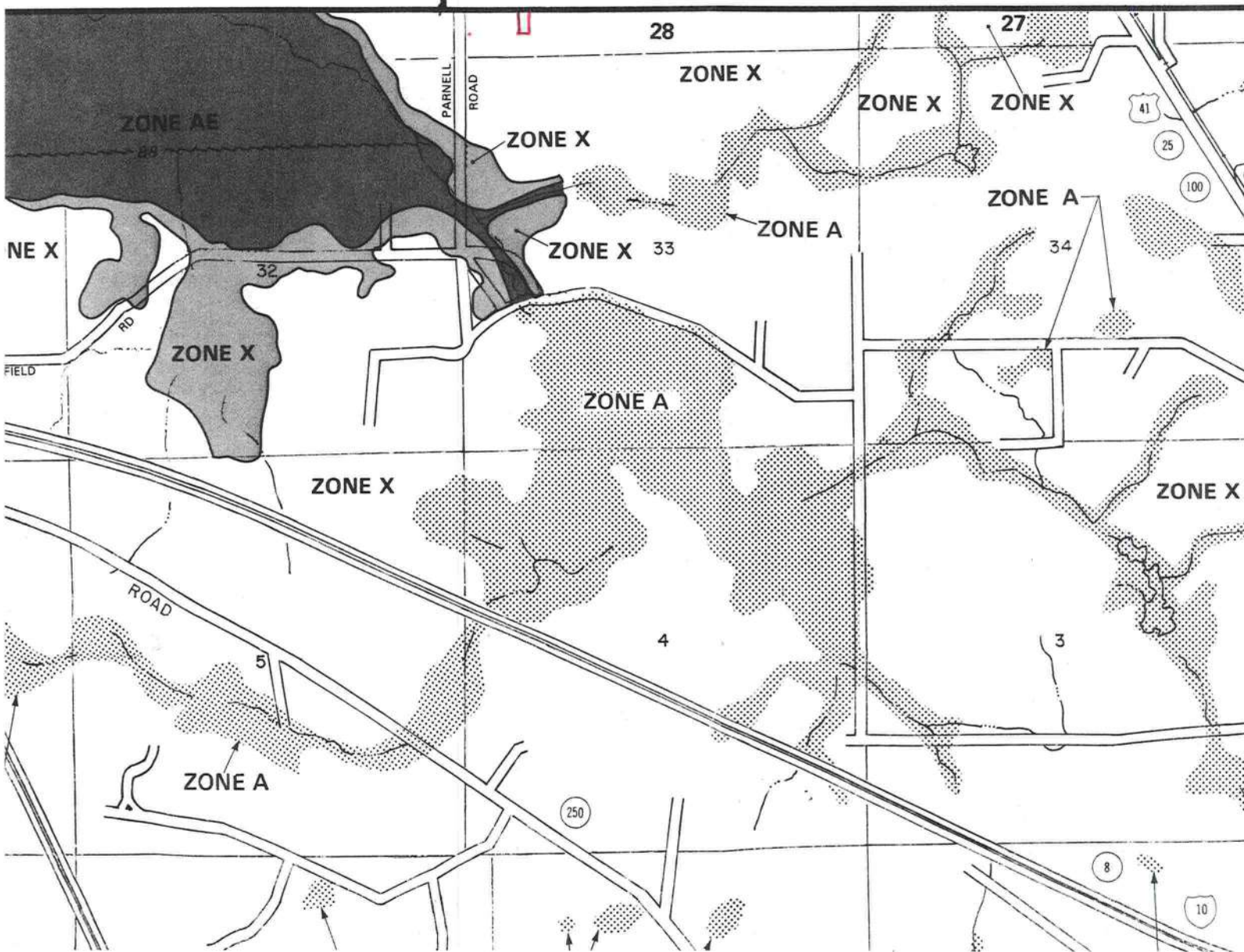
SITE PLAN EXAMPLE / WORKSHEET



Use this example to draw your own site plan. Show all existing buildings and any other homes on this property and show the distances between them. Also show where the road or roads are around your property.



0502-33









## LETTER OF AUTHORIZATION FOR AGENT

PERMIT # 05-005E

This is to certify that I have personally authorized the following named individual to act as my agent in applying for and obtaining Onset Sewage Disposal and Treatment permits from the Columbia County Health Department. I further certify that I am the legal owner of the property described in the permit and referenced below and have the right to install a sewage disposal system on it.

AUTHORIZED AGENT: Jeff Taylor

PROPERTY I.D.: 23-25-15-0379-000

OWNERS SIGNATURE: George L. Taylor

DATE: 2-21-05

**PLEASE RETURN TO : ENVIRONMENTAL HEALTH  
COURTHOUSE ANNEX BASEMENT  
135 N.E HERNANDO STREET, SUITE 031  
LAKE CITY, FLORIDA 32055**

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**COLUMBIA COUNTY HEALTH DEPARTMENT**  
217 N.E Franklin Street, Lake City, FL 32055  
Environmental Health  
(904) 758-1058  
Fax: 758-2187