

DATE 05/13/2009

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000027810

APPLICANT LINDA RODER PHONE 752-2281
ADDRESS 387 SW KEMP CT LAKE CITY FL 32024
OWNER DAN & GAIL NICKELSON PHONE 961-8283
ADDRESS 8673 SW STATE ROAD 47 LAKE CITY FL 32025
CONTRACTOR NATHAN PETERSEN PHONE 623-3307
LOCATION OF PROPERTY 47S, 1/2 MILE PAST CR 240, 2ND LOT ON LEFT PAST
WILLIS PLACE
TYPE DEVELOPMENT GARAGE APARTMENT ESTIMATED COST OF CONSTRUCTION 38400.00
HEATED FLOOR AREA 768.00 TOTAL AREA 768.00 HEIGHT STORIES 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH 8/12 FLOOR SLAB
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE A DEVELOPMENT PERMIT NO.

PARCEL ID 10-5S-16-03529-005 SUBDIVISION
LOT BLOCK PHASE UNIT TOTAL ACRES 2.40

CRC1328397
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 09-187 BK HD Y
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD, NOC ON FILE, FDOT APPROVAL ON FILE

Check # or Cash 6734

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Insulation date/app. by
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 195.00 CERTIFICATION FEE \$ 3.84 SURCHARGE FEE \$ 3.84
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 277.68
INSPECTORS OFFICE Clerk's Office

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

* WINDOW UNIT USED * FEEL AGENT
NO ENERGY CODE

CKH

Columbia County Building Permit Application

For Office Use Only Application # 0903-47 Date Received 3/27 By JIN Permit # 27810
Zoning Official BLK Date 070509 Flood Zone A Land Use A-3 Zoning A-3
FEMA Map # N/A Elevation N/A MFE 1st Rd River N/A Plans Examiner HD Date 5-13-09
Comments Finish Floor to be (Winsberg)
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☒ State Road Info ☐ Parent Parcel # 03529-000
☐ Dev Permit # ☐ In Floodway ☒ Letter of Auth. from Contractor ☐ F W Comp. letter
IMPACT FEES: EMS ☐ Fire ☐ Corr ☐ Road/Code ☐
School ☐ = TOTAL N/A - see attached memo

Septic Permit No. 09-0197 Fax 386-752-2282

Name Authorized Person Signing Permit Linda Roder Phone 386-752-2281

Address 387 S.W. Kemp Ct. Lake City FL 32024

Owners Name Dan & Gail Nickelson (Grandson of Daniel Winsberg) Phone 961-8283

911 Address 8673 SW State Rd 47 Lake City FL 32024

Contractors Name Nathan Petersen Phone 623-3307

Address 197 SW Waterford Ct. Lake City FL 32025

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address Nick Geister - William Meyers

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec - Suwannee Valley Elec. - Progress Energy

Property ID Number 10-55-16-03528-005 Estimated Cost of Construction 20K

Subdivision Name NA Lot ☐ Block ☐ Unit ☐ Phase ☐

Driving Directions Hwy 47S, Lot on left approx 1/2 mile past County Road 240 2nd lot on left past Willis Place

Number of Existing Dwellings on Property 1

Construction of garage/apartment Total Acreage 2.40 Lot Size 11

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 16'

Actual Distance of Structure from Property Lines - Front 321' Side 65' Side 121' Rear 89'

Number of Stories 1 Heated Floor Area 768 Total Floor Area 768 Roof Pitch 8-12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards

Columbia County Building Permit Application

Application # _____

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

[Signature]
Owners Signature

Affirmed under penalty of perjury to by the Owner and subscribed before me this 25 day of March 2009
Personally known ☒ or Produced Identification _____

[Signature]
State of Florida Notary Signature (For the Owner)

SEAL:

NOTARY PUBLIC-STATE OF FLORIDA
Linda R. Roder
Commission #DD755608
Expires: MAR. 24, 2012
BONDED THRU ATLANTIC BONDING CO., INC.

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

[Signature]
Contractor's Signature (Permitee)

Contractor's License Number CRC13283971
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 25 day of March 2009
Personally known ☒ or Produced Identification _____

[Signature]
State of Florida Notary Signature

SEAL:

NOTARY PUBLIC-STATE OF FLORIDA
Linda R. Roder
Commission #DD755608
Expires: MAR. 24, 2012
BONDED THRU ATLANTIC BONDING CO., INC.



Columbia County, Florida Planning & Zoning Department

Review of Building Permit for compliance with
County's Comprehensive Plan and
Land Development Regulations

To: Linda Roder

Fax: 386.752.2282

From : Brian L. Kepner, County Planner

Fax: 386.758.2160

Number of Pages : 1

Date : 7 April 2009

RE: Building Permit Application 0902-47, Nickelson

Dear Linda:

The above referenced building permit property is located within an Agriculture-3 (A-3) zoning district. This zoning district requires a minimum of five (5) acres for one (1) dwelling unit. Under the County's Land Development Regulations (LDR's) a Special Family Lot Permit can be issued to a family member being, brother, sister, parent, grandparent, child, adopted child or grandchild. I will need two (2) family affidavits to be completed for this permit. The first relationship affidavit needed between Daniel and Kathy Winsberg to Darrell and Rella Nickelson. The second relationship affidavit needed between Darrell and Rella Nickelson to Daniel and Gail Nickelson. Let me know if you need any additional copies of the family relationship affidavit.

In addition, the application shows the proposed structure to be a garage and apartment with 768 square feet of living area. Under the County's LDR's this is defined as a dwelling. It is my understanding that the property owners propose to build a house in the future on the property. Under the LDR's only one (1) principle structure is allowed per lot or parcel. In consultation with the County Attorney, they will need to sign an owner's agreement of understanding stating that when the house is constructed at a future time, the existing dwelling will have to comply with the County LDR's concerning the existing structure by turning it into an accessory structure by removing the cooking facilities and having said existing structure on the same power source as the house that then becomes the principle structure. I am finishing up the agreement and will get it faxed to you as soon as I get it completed

If you have any questions concerning this matter, please do not hesitate to contact me at 386.754.7119.

Sincerely,

A handwritten signature in black ink, appearing to read "Brian L. Kepner".

Brian L. Kepner
Land Development Regulation Administrator,
County Planner

Confidentiality Notice: This facsimile transmission is confidential and is intended only for the review of the party to whom it is addressed. It may contain proprietary and/or privileged information protected by law. If you are not the intended recipient, you may not use, copy or distribute this facsimile message or its attachments. If you have received this transmission in error, please immediately telephone the sender above to arrange for its return.



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0903-47

PRINCIPAL DWELLING AFFIDAVIT

The undersigned, Dan and Gail Nickelson, (herein "Owners"), whose mailing address is 418 SW Meadow Terrace, Lake City, FL 23024, hereby confirms that they have made application to COLUMBIA COUNTY, FLORIDA for a building permit which is defined in the Columbia County Land Development Regulations (LDR's) as a dwelling on the Owner's property as described below:

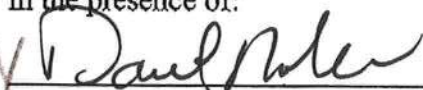
Tax Parcel # 10-5S-16-03529-005, a legal description being more particularly described, as follows: Commence at the Southeast corner of the Southwest 1/4 of Section 10; thence North 00°26'48" West along the East line of the West 1/2 of the Southeast 1/4 of said Section 10 a distance of 515.91 feet to the Point of Beginning; thence continue North 00°26'48" West along said East line of the West 1/2 of the Southeast 1/4 of Section 10 a distance of 212.34 feet; thence South 89°33'34" West 462.56 feet to the Easterly right-of-way line of State Road 47; thence South 15°29'30" West along said Easterly right-of-way line of State Road 47 a distance of 220.87 feet; thence North 89°33'53" East 523.19 feet to the point of Beginning, and a physical address of 8673 SW State Road 47, Lake City, FL 32024.

Owners are aware and have been advised that the proposed building of a garage and attached apartment is defined as a dwelling in the LDR's and should the owners make application for any other additional dwellings on the above referenced property defined as a dwelling by the LDR's, a Certificate of Occupancy for the new principle dwelling shall be issued only after the existing power has been transferred from the existing dwelling to the new principle dwelling and that kitchen facilities have been removed from the existing dwelling in order to comply with Columbia County Land Development Regulations (LDR's). Any other structures or uses shall comply with the LDR's and shall obtain any additional permitting or approval as required by the LDR's for such uses.

Owner and any future transferee of the property will at all times comply with the Columbia County Comprehensive Plan and Land Development Regulations regarding any development upon the property.

Dated this 10 Day of April, 20 09.

Signed, sealed and delivered
in the presence of:



Dan Nickelson



Gail Nickelson

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 10 Day of April, 20 09,
by _____ Who is personally known to me or who
has produced a _____ Driver's license as
identification.

(NOTARIAL
SEAL)

NOTARY PUBLIC-STATE OF FLORIDA
Linda R. Roder
Commission #DD755608
Expires: MAR. 24, 2012
BONDED THRU ATLANTIC BONDING CO., INC.


Notary Public, State of Florida

My Commission Expires:

AFFIDAVIT OF SUBDIVIDED REAL PROPERTY
FOR USE OF IMMEDIATE FAMILY MEMBERS
FOR PRIMARY RESIDENCE

STATE OF FLORIDA
COUNTY OF COLUMBIA

BEFORE ME the undersigned Notary Public personally appeared.

Darrell & Rella Nickelson, the Owner of the parent tract which has been subdivided for immediate family primary residence use, hereinafter the Owner, and Daniel & Gail Nickelson, the family member of the Owner, who is the owner of the family parcel which is intended for immediate family primary residence use, hereafter the Family Member, and is related to the Owner as Son, and both individuals being first duly sworn according to law, depose and say:

1. Both the Owner and the Family Member have personal knowledge of all matters set forth in this Affidavit.
2. The Owner holds fee simple title to certain real property situated in Columbia County, and more particularly described by reference to the Columbia county Property Appraiser Tax Parcel No. 10-55-16-03529-005.
3. The Owner has divided his parent parcel for use of immediate family members for their primary residence and the parcel divided and the remaining parent parcel are at least ½ acre in size. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child or grandchild.
4. The Family Member is a member of the Owner's immediate family, as set forth above, and holds fee simple title to certain real property divided from the Owner's parcel situated in Columbia County and more particularly described by reference to the Columbia County Property Appraiser Tax Parcel No. 10-55-16-03529-005.
5. No person or entity other than the Owner and Family Member claims or is presently entitled to the right of possession or is in possession of the property, and there are no tenancies, leases or other occupancies that affect the Property.
6. This Affidavit is made for the specific purpose of inducing Columbia County to recognize a family division for a family member on the parcel divided in accordance with Section 14.9 of the Columbia County Land Development Regulations.

7. This Affidavit is made and given by Affiants with full knowledge that the facts contained herein are accurate and complete, and with full knowledge that the penalties under Florida law for perjury include conviction of a felony of the third degree.

We Hereby Certify that the information contained in this Affidavit are true and correct.

X *Darrell Nickelson*
Owner

X *Dan Nickelson*
Family Member

Darrell Nickelson
Typed or Printed Name

Dan Nickelson
Typed or Printed Name

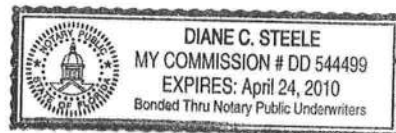
Subscribed and sworn to (or affirmed) before me this 7th day of April, 2009, by Darrell Nickelson (Owner) who is personally known to me or has produced _____ as identification.

Diane C. Steele
Notary Public



Subscribed and sworn to (or affirmed) before me this 7th day of April, 2009, by Dan Nickelson (Family Member) who is personally known to me or has produced _____ as identification.

Diane C. Steele
Notary Public



AFFIDAVIT OF SUBDIVIDED REAL PROPERTY
FOR USE OF IMMEDIATE FAMILY MEMBERS
FOR PRIMARY RESIDENCE

STATE OF FLORIDA
COUNTY OF COLUMBIA

BEFORE ME the undersigned Notary Public personally appeared.

Daniel & Kathy Winsberg, the Owner of the parent tract which has been subdivided for immediate family primary residence use, hereinafter the Owner, and Darrell & Rella Nickelson, the family member of the Owner, who is the owner of the family parcel which is intended for immediate family primary residence use, hereafter the Family Member, and is related to the Owner as daughter, and both individuals being first duly sworn according to law, depose and say:

1. Both the Owner and the Family Member have personal knowledge of all matters set forth in this Affidavit.
2. The Owner holds fee simple title to certain real property situated in Columbia County, and more particularly described by reference to the Columbia county Property Appraiser Tax Parcel No. 10-55-16-03529-000. *cfs*
3. The Owner has divided his parent parcel for use of immediate family members for their primary residence and the parcel divided and the remaining parent parcel are at least ½ acre in size. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child or grandchild.
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We Hereby Certify that the information contained in this Affidavit are true and correct.

X Bella Nickelson
Owner

Bella Nickelson
Typed or Printed Name

X Kathy Winsberg
Family Member

Kathy Winsberg
Typed or Printed Name

Subscribed and sworn to (or affirmed) before me this 7th day of April, 2009, by Bella Nickelson (Owner) who is personally known to me or has produced _____ as identification.

Diane C. Steele
Notary Public



Subscribed and sworn to (or affirmed) before me this 7th day of April, 2009, by Kathy Winsberg (Family Member) who is personally known to me or has produced _____ as identification.

Diane C. Steele
Notary Public



FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Performance Method A

Project Name: Nickelson Residence
 Street: Hwy 47 south
 City, State, Zip: Lake City, FL, 32024-
 Owner: Darrell & Rella Nickelson
 Design Location: FL, Gainesville

Builder Name: Nathan Peterson
 Permit Office: Columbia County
 Permit Number: 27810
 Jurisdiction: 221000

1. New construction or existing	New (From Plans)
2. Single family or multiple family	Single-family
3. Number of units, if multiple family	1
4. Number of Bedrooms	1
5. Is this a worst case?	No
6. Conditioned floor area (ft ²)	768
7. Windows	Description Area
a. U-Factor:	Dbl, U=0.30 33.00 ft ²
SHGC:	SHGC=0.50
b. U-Factor:	N/A ft ²
SHGC:	
c. U-Factor:	N/A ft ²
SHGC:	
d. U-Factor:	N/A ft ²
SHGC:	
e. U-Factor:	N/A ft ²
SHGC:	
8. Floor Types	Insulation Area
a. Slab-On-Grade Edge Insulation	R=5.0 768.00 ft ²
b. N/A	R= ft ²
c. N/A	R= ft ²

9. Wall Types	Insulation Area
a. Frame - Wood, Exterior	R=13.0 917.33 ft ²
b. N/A	R= ft ²
c. N/A	R= ft ²
d. N/A	R= ft ²
10. Ceiling Types	Insulation Area
a. Under Attic (Vented)	R=30.0 768.00 ft ²
b. N/A	R= ft ²
c. N/A	R= ft ²
11. Ducts	
a. Sup: Interior Ret: Interior AH: Interior Sup. R= 6, 192 ft ²	
12. Cooling systems	
a. Central Unit	Cap: 12.5 kBtu/hr SEER: 13
13. Heating systems	
a. Electric Heat Pump	Cap: 12.5 kBtu/hr HSPF: 7.7
14. Hot water systems	
a. Electric	Cap: 50 gallons EF: 0.9
b. Conservation features	None
15. Credits	None

Glass/Floor Area: 0.043

Total As-Built Modified Loads: 15.82

Total Baseline Loads: 20.92

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: 

DATE: 5/11/09

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: _____

DATE: _____

- Compliance requires an air distribution system test report, by a Florida Class 1 Rater, confirming system leakage to outdoors is not greater than 23.0399990081787 cfm at 25 pascals pressure difference in accordance with N1110.A.2.

PROJECT

Title: Nickelson Residence	Bedrooms: 1	Address Type: Street Address
Building Type: FLAsBuilt	Bathrooms: 0	Lot #
Owner: Darrell & Rella Nickelson	Conditioned Area: 768	SubDivision:
# of Units: 1	Total Stories: 1	PlatBook:
Builder Name: Nathan Peterson	Worst Case: No	Street: Hwy 47 south
Permit Office: Columbia County	Rotate Angle: 0	County: Columbia
Jurisdiction:	Cross Ventilation:	City, State, Zip: Lake City ,
Family Type: Single-family	Whole House Fan:	FL , 32024-
New/Existing: New (From Plans)		
Comment:		

CLIMATE

✓	Design Location	TMY Site	IECC Zone	Design Temp 97.5 % 2.5 %	Int Design Temp Winter Summer	Heating Degree Days	Design Moisture	Daily Temp Range
✓	FL, Gainesville	FL_GAINESVILLE_REGI	2	32 92	75 70	1305.5	51	Medium

FLOORS

✓	#	Floor Type	Perimeter	R-Value	Area	Tile	Wood	Carpet
✓	1	Slab-On-Grade Edge Insulatio	114.67 ft	5	768 ft²	0	0	1

ROOF

✓	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	Tested	Deck Insul.	Pitch
✓	1	Gable or shed	Composition shingles	923 ft²	256 ft²	Dark	0.96	No	0	33.7 deg

ATTIC

✓	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
✓	1	Full attic	Vented	303	768 ft²	N	N

CEILING

✓	#	Ceiling Type	R-Value	Area	Framing Frac	Truss Type
✓	1	Under Attic (Vented)	30	768 ft²	0.11	Wood

WALLS

✓	#	Ornt	Adjacent To	Wall Type	Cavity R-Value	Area	Sheathing R-Value	Framing Fraction	Solar Absor.
✓	1	N	Exterior	Frame - Wood	13	288 ft²	0	0.23	0.75
✓	2	S	Exterior	Frame - Wood	13	288 ft²	0	0.23	0.75
✓	3	E	Exterior	Frame - Wood	13	170.67 ft²	0	0.23	0.75
✓	4	W	Exterior	Frame - Wood	13	170.67 ft²	0	0.23	0.75

DOORS

✓	#	Ornt	Door Type	Storms	U-Value	Area
✓	1	N	Insulated	None	0.46	20 ft²
✓	2	W	Insulated	None	0.46	20 ft²

WINDOWS

Window orientation below is as entered. Actual orientation is modified by rotate angle shown in "Project" section above.

✓	#	Ornt	Frame	Panes	NFRC	U-Factor	SHGC	Storms	Area	Overhang Depth Separation	Int Shade	Screening
✓	1	W	Metal	Double (Clear)	Yes	0.3	0.5	N	12 ft²	0 ft 18 in 0 ft 30 in	HERS 2006	None
✓	2	N	Metal	Double (Clear)	Yes	0.3	0.5	N	15 ft²	0 ft 18 in 0 ft 18 in	HERS 2006	None
✓	3	E	Metal	Double (Clear)	Yes	0.3	0.5	N	6 ft²	0 ft 18 in 0 ft 60 in	HERS 2006	None

INFILTRATION & VENTING

✓	Method	SLA	CFM 50	ACH 50	ELA	EqLA	--- Forced Ventilation --- Supply CFM Exhaust CFM	Run Time Fraction	Fan Watts
✓	Default	0.00036	725	7.08	39.8	74.9	0 cfm 0 cfm	0	0

COOLING SYSTEM

✓	#	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Ductless
✓	1	Central Unit	None	SEER: 13	12.5 kBtu/hr	cfm	0.75	

HEATING SYSTEM

✓	#	System Type	Subtype	Efficiency	Capacity	Ductless
✓	1	Electric Heat Pump	None	HSPF: 7.7	12.5 kBtu/hr	

HOT WATER SYSTEM

✓	#	System Type	EF	Cap	Use	SetPnt	Conservation
✓	1	Electric	0.9	50 gal	40 gal	120 deg	None

SOLAR HOT WATER SYSTEM

✓	FSEC Cert #	Company Name	System Model #	Collector Model #	Collector Area	Storage Volume	FEF
✓	None	None			ft²		

DUCTS

✓	#	--- Supply --- Location R-Value Area	--- Return --- Location Area	Leakage Type	Air Handler	CFM 25	Percent Leakage	QN	RLF
✓	1	Interior 6 192 ft²	Interior 38 ft²	Prop. Leak Free	Interior	23.04 cfm	6.14 %	0.03	0.60

TEMPERATURES

Programable Thermostat: N

Ceiling Fans:

Cooling	☒ Jan	☒ Feb	☒ Mar	☒ Apr	☒ May	☒ Jun	☒ Jul	☒ Aug	☒ Sep	☒ Oct	☒ Nov	☒ Dec
Heating	☒ Jan	☒ Feb	☒ Mar	☒ Apr	☒ May	☒ Jun	☒ Jul	☒ Aug	☒ Sep	☒ Oct	☒ Nov	☒ Dec
Venting	☒ Jan	☒ Feb	☒ Mar	☒ Apr	☒ May	☒ Jun	☒ Jul	☒ Aug	☒ Sep	☒ Oct	☒ Nov	☒ Dec

Thermostat Schedule: HERS 2006 Reference

Schedule Type		Hours											
		1	2	3	4	5	6	7	8	9	10	11	12
Cooling (WD)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Cooling (WEH)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Heating (WD)	AM	68	68	68	68	68	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	68	68
Heating (WEH)	AM	68	68	68	68	68	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	68	68

Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: Hwy 47 south
Lake City, FL, 32024-

PERMIT #:

INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	N1106.AB.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	N1106.AB.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	N1106.AB.1.2.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	N1106.AB.1.2.3	Between walls & ceilings; penetrations of ceiling plane to top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	N1106.AB.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	N1106.AB.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	N1106.AB.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	N1112.AB.3	Comply with efficiency requirements in Table N112.ABC.3. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	N1112.AB.2.3	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%. Heat pump pool heaters shall have a minimum COP of 4.0.	
Shower heads	N1112.AB.2.4	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	N1110.AB	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section N1110.AB. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	N1107.AB.2	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	N1104.AB.1 N1102.B.1.1	Ceilings-Min. R-19. Common walls-frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 76

The lower the EnergyPerformance Index, the more efficient the home.

1. New construction or existing	New (From Plans)	9. Wall Types	Insulation	Area
2. Single family or multiple family	Single-family	a. Frame - Wood, Exterior	R=13.0	917.33 ft ²
3. Number of units, if multiple family	1	b. N/A	R=	ft ²
4. Number of Bedrooms	1	c. N/A	R=	ft ²
5. Is this a worst case?	No	d. N/A	R=	ft ²
6. Conditioned floor area (ft ²)	768	10. Ceiling Types	Insulation	Area
7. Windows**	Description	a. Under Attic (Vented)	R=30.0	768.00 ft ²
a. U-Factor:	Dbl, U=0.30	b. N/A	R=	ft ²
SHGC:	SHGC=0.50	c. N/A	R=	ft ²
b. U-Factor:	N/A	11. Ducts		
SHGC:		a. Sup: Interior Ret: Interior AH: Interior Sup. R= 6, 192 ft ²		
c. U-Factor:	N/A	12. Cooling systems		
SHGC:		a. Central Unit	Cap: 12.5 kBtu/hr	SEER: 13
d. U-Factor:	N/A	13. Heating systems		
SHGC:		a. Electric Heat Pump	Cap: 12.5 kBtu/hr	HSPF: 7.7
e. U-Factor:	N/A	14. Hot water systems		
SHGC:		a. Electric	Cap: 50 gallons	EF: 0.9
8. Floor Types	Insulation	b. Conservation features		
a. Slab-On-Grade Edge Insulation	R=5.0	None		
b. N/A	R=	15. Credits		None
c. N/A	R=			

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: _____



*Note: The home's estimated Energy Performance Index is only available through the EnergyGauge USA - FlaRes2008 computer program. This is not a Building Energy Rating. If your Index is below 100, your home may qualify for incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at (321) 638-1492 or see the Energy Gauge web site at energygauge.com for information and a list of certified Raters. For information about Florida's Energy Efficiency Code for Building Construction, contact the Department of Community Affairs at (850) 487-1824.

**Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.

NOTICE OF COMMENCEMENT

Inst 200912004928 Date 3/27/2009 Time 11:34 AM
 10-DC P DeWitt Cason, Columbia County Page 1 of 1 B 1169 P 2670

Tax Parcel Identification Number 10-55-16-03529-005 County Clerk's Office Stamp or Seal

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): 10-55-16-03529-005
 a) Street (job) Address: _____
2. General description of improvements: Single family dwelling
418 SW Meadow Terrace
3. Owner Information
 a) Name and address: Daniel & Gail Nickelson Lake City FL 32024
 b) Name and address of fee simple titleholder (if other than owner) NA
 c) Interest in property home site
4. Contractor Information
 a) Name and address: Nathan Petersen 197 SW Waterford Ct. Lake City FL 32024
 b) Telephone No.: 623-3307 Fax No. (Opt.) _____
5. Surety Information
 a) Name and address: _____
 b) Amount of Bond: NA
 c) Telephone No.: _____ Fax No. (Opt.) _____
6. Lender
 a) Name and address: NA
 b) Phone No.: _____
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served
 a) Name and address: NA
 b) Telephone No.: _____ Fax No. (Opt.) _____
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b) Florida Statutes:
 a) Name and address: NA
 b) Telephone No.: _____ Fax No. (Opt.) _____

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
 COUNTY OF COLUMBIA

NOTARY PUBLIC-STATE OF FLORIDA
 Linda R. Roder
 Commission # DD755608
 Expires: MAR. 24, 2012
 BONDED THRU ATLANTIC BONDING CO., INC.

[Signature]
 Signature of Owner or Owner's Authorized Office/Director/Partner/Manager
Dan Nickelson
 Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 25 day of March, 2009, by:

_____ as _____ (type of authority, e.g. officer, trustee, attorney

fact) for _____ (name of party on behalf of whom instrument was executed).

Personally Known ☒ OR Produced Identification ☐ Type _____

Notary Signature [Signature] Notary Stamp or Seal: _____

—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

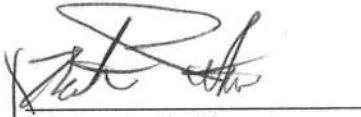
[Signature]
 Signature of Natural Person Signing (in line #10 above.)

Notice of Authorization

I Nathan Petersen, hereby authorize Linda Roder or Melanie Roder to be my

Representative and act on my behalf in all aspects for applying for a Building Permit and Septic

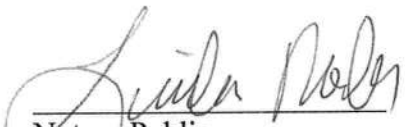
to be located in Columbia County.


Contractor's Signature

3-27-09
Date

NOTARY PUBLIC-STATE OF FLORIDA
Linda R. Roder
Commission #DD755608
Expires: MAR. 24, 2012
BONDED THRU ATLANTIC BONDING CO., INC.

Sworn and Subscribed to me this 27 day of March, 2008
Personally known ✓
Produced Identification _____


Notary Public

Green line

Inst. 200812022561 Date: 12/17/2008 Time: 11:37 AM

Doc Stamp-Deed.0.70

DC, P DeWitt Cason, Columbia County Page 1 of 2 B:1163 P:2744

WARRANTY DEED

1. IDENTIFICATION OF GRANTOR

Grantor's name and address is: DARRELL JAY NICKELSON and RELLA HEATH NICKELSON,
as husband and wife
286 SW Pecan Glen
Lake City, Florida 32024

The word "I" or "me" as hereafter used means the Grantor.

2. IDENTIFICATION OF GRANTEE

Grantee's name and address is: DANIEL JAY NICKELSON and GAIL F NICKELSON,
as husband and wife
418 SW Meadow Terrace
Lake City, Florida 32024

The word "you" as hereafter used means Grantee.

3. MEANINGS OF TERMS

The terms "I", "me", "you", "grantor," and "grantee", shall be non-gender specific ((i) masculine, (ii) feminine, or (iii) neuter, such as corporations, partnerships or trusts), singular or plural, as the context permits or requires, and include heirs, personal representatives, successors or assigns where applicable and permitted.

4. DESCRIPTION OF REAL PROPERTY CONVEYED

Property hereby conveyed (the "Real Property") is described as follows:

COMMENCE AT THE SE CORNER OF THE SW ¼ OF THE SE ¼ OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 16 EAST, AND RUN N 00 26' 48" W., ALONG THE EAST LINE OF THE WEST ½ OF THE SE ¼, A DISTANCE OF 515.91 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N. 00 26' 48" W., 212.34 FEET; THENCE S, 89 33' 34" W., 462.56 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 47; THENCE S. 15 29' 30" W., ALONG SAID EASTERLY RIGHT-OF-WAY, 220.78 FEET; THENCE N. 89 33' 53" E., 523.19 FEET TO THE POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA. CONTAINING 2.40 ACRES MORE LESS.

Together with all tenements (property capable of being held with unconditional power of disposition), hereditaments (inheritable interest in property), easements (right to use land of another) and appurtenances (right used land for its benefit) belonging to or benefitting such property.

The Property Appraisers Parcel Identification Number is 10-5S-XXXXXXXXXX.

5. CONSIDERATION

Good and valuable consideration plus the sum of (\$10.00) received by me from you.

6. CONVEYANCE OF REAL PROPERTY

For the consideration described in paragraph 5, I have granted, bargained and sold to you the Real property to have and hold in fee simple (estate in property unlimited as to duration, disposition and descendability) forever.

7. WARRANTY

I fully warrant the title to the Real Property and will defend the same against the lawful claims of all persons whomsoever.

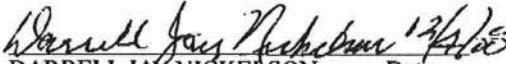
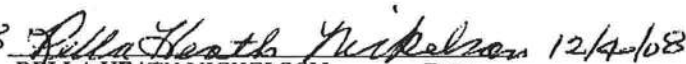
8. NOT HOMESTEAD

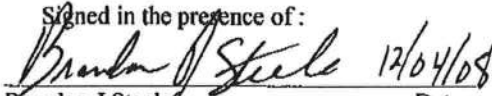
I represent and warrant that the Real Property is neither the homestead or residence of myself or a member of my family, nor is the Real Property adjacent to the homestead or residence of myself or a member of my family.

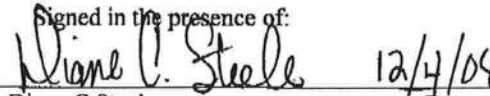
9. EXCEPTIONS

This conveyance is subject to taxes for year 2007 and subsequent years.

Executed on December 4 2008.

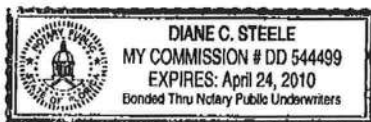
 DARRELL JAY NICKELSON 286 SW Pecan Gln Lake City, FL 32024	Date	 RELLA HEATH NICKELSON 286 SW Pecan Gln Lake City, FL 32024	Date
			12/4/08

Signed in the presence of:

Brandon J Steele
6875 SW State RD 47
Lake City, FL 32024

Signed in the presence of:

Diane C Steele
9115 SW State Rd 47
Lake City, FL 32024

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 4th day of December 2008, by Darrell Jay Nickelson, who is personally known to me.

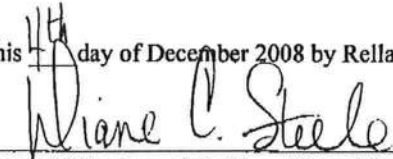



Notary Public- State of Florida Diane C Steele

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 4th day of December 2008 by Rella Heath Nickelson who is personally known to me.

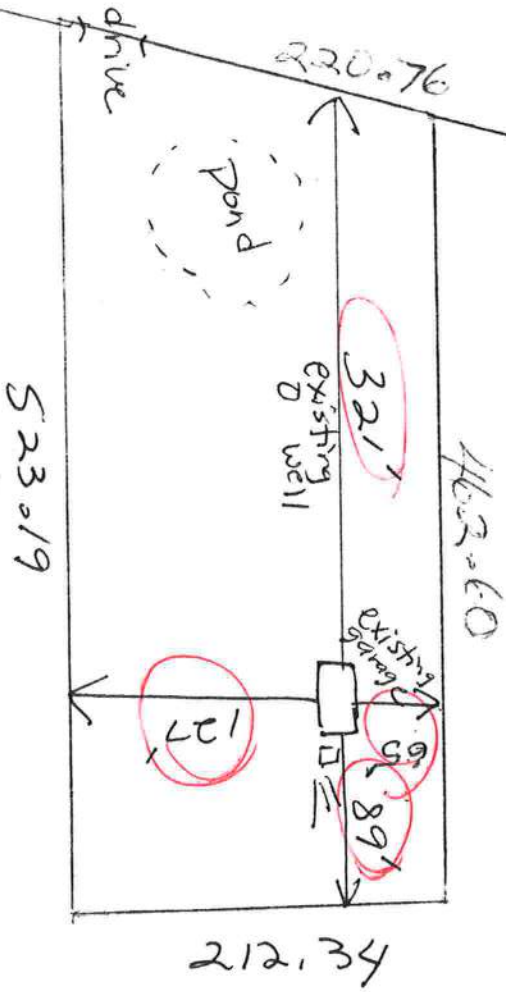



Notary Public- State of Florida Diane C Steele

Dan Nickelson
10-55-16-03528-005



Hwy 47



Prepared by & Return to:
Matthew D. Rocco
Sierra Title, LLC
619 SW Baya Drive, Suite 102
Lake City, Florida 32025

File Number: 06-0413

Blue
line

Inst:2007001505 Date:01/22/2007 Time:09:35
Doc Stamp-Deed : 1365.00
S-7 DC, P. DeWitt Cason, Columbia County B:1108 P:1069

General Warranty Deed

Made this January 19, 2007 A.D. By **Ronald L. Fiorenza and his wife, Brooke A. Fiorenza**, whose address is: PO Box 3426, Lake City, FL 32056, hereinafter called the grantor, to **Daniel Winsberg and his wife, Kathy T. Winsberg**, whose post office address is: 5623 SW SR 47, Lake City, FL 32024, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

Commence at the SE corner of the SW ¼ of the SE ¼ of Section 10, Township 5 South, Range 16 East, and run N 00°26'48"W, along the East line of the West ½ of the SE ¼, a distance of 298.25 feet to the Point of Beginning; thence S 89°39'54"W, 585.05 feet to the Easterly Right of Way line of State Road No. 47; thence N 15°29'30"E along said Easterly right of way, 677.31 feet; thence N 89°33'12"E, 399.06 feet to a point on the East line of the West ½ of the SE ¼; thence S 00°26'48"E, along said East line of the West ½ of the SE ¼, a distance of 652.40 feet to the Point of Beginning, Columbia County, Florida.

Parcel ID Number: R03529-000

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2006.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:


Witness Printed Name Matthew D. Rocco

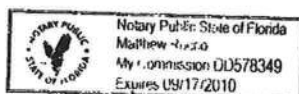

Ronald L. Fiorenza (Seal)
Address: PO Box 3426, Lake City, FL 32056

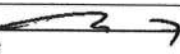

Witness Printed Name Lisa Kraus


Brooke A. Fiorenza (Seal)
Address: PO Box 3426, Lake City, FL 32056

State of Florida
County of Columbia

The foregoing instrument was acknowledged before me this 19th day of January, 2007, by Ronald L. Fiorenza and his wife, Brooke A. Fiorenza, who is/are personally known to me or who has produced 1 DL as identification.




Notary Public
Print Name: _____
My Commission Expires: _____

Red line

Prepared by:
Lloyd E. Peterson, Jr.
905 SW Baya Drive
Lake City, Florida 32025

When recorded return to:
Lloyd E. Peterson, Jr.
905 SW Baya Drive
Lake City, Florida 32025

Inst: 200812016745 Date: 9/10/2008 Time: 1:12 PM
Doc Stamp-Deed: 0.70
DC, P. DeWitt Cason, Columbia County Page 1 of 3 B: 1158 P: 472

(Space above this line reserved for recording office use only)

WARRANTY DEED

1. IDENTIFICATION OF GRANTOR

Grantor's name and address is: DANIEL WINSBERG and KATHY T. WINSBERG, as husband and wife
5623 SW State Road 47
Lake City, Florida 32024

The word "I" or "me" as hereafter used means the Grantor.

2. IDENTIFICATION OF GRANTEE

Grantee's name and address is: DARRELL JAY NICKELSON and RELLEA HEATH NICKELSON, as husband and wife
286 SW Pecan Glen
Lake City, Florida 32024

The word "you" as hereafter used means the Grantee.

3. MEANINGS OF TERMS

The terms "I," "me," "you," "grantor," and "grantee," shall be non-gender specific ((i) masculine, (ii) feminine, or (iii) neuter, such as corporations, partnerships or trusts), singular or plural, as the context permits or requires, and include heirs, personal representatives, successors or assigns where applicable and permitted.

4. DESCRIPTION OF REAL PROPERTY CONVEYED

Property hereby conveyed (the "Real Property") is described as follows:

COMMENCE AT THE SE CORNER OF THE SW 1/4 OF THE SE 1/4 OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 16 EAST, AND RUN N. 00° 26' 48" W., ALONG THE EAST LINE OF THE WEST 1/2 OF THE SE 1/4, A DISTANCE OF 515.91 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N. 00° 26' 48" W., 212.34 FEET; THENCE S. 89° 33' 34" W., 462.56 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 47; THENCE S. 15° 29' 30" W., ALONG SAID EASTERLY RIGHT-OF-WAY, 220.78 FEET; THENCE N. 89° 33' 53" E., 523.19 FEET TO THE POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA. CONTAINING 2.40 ACRES, MORE OR LESS.

together with all tenements (property capable of being held with unconditional power of disposition), hereditaments (inheritable interest in property), easements (right to use land of another) and appurtenances (right used with land for its benefit) belonging to or benefitting such property.

The Property Appraiser's Parcel Identification Number is 10-5S- [REDACTED]

5. CONSIDERATION

Good and valuable consideration plus the sum of Ten Dollars (\$10.00) received by me from you.

6. CONVEYANCE OF REAL PROPERTY

For the consideration described in Paragraph 5, I have granted, bargained and sold to you the Real Property to have and to hold in fee simple (estate in property unlimited as to duration, disposition and descendability) forever.

7. WARRANTY

I fully warrant the title to the Real Property and will defend the same against the lawful claims of all persons whomsoever.

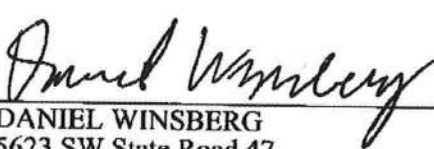
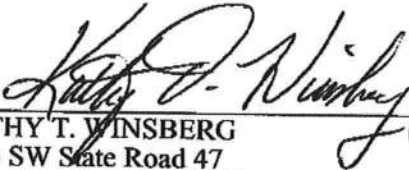
8. NOT HOMESTEAD

I represent and warrant that the Real Property is neither the homestead or residence of myself or a member of my family, nor is the Real Property adjacent to the homestead or residence of myself or a member of my family.

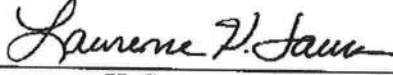
9. EXCEPTIONS

This conveyance is subject to taxes for year 2007 and subsequent years.

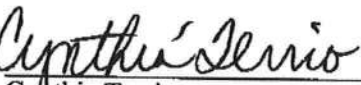
Executed on August 29th, 2008.

	8/29/08		8-29-08
DANIEL WINSBERG	(Date)	KATHY T. WINSBERG	(Date)
5623 SW State Road 47		5623 SW State Road 47	
Lake City, Florida 32024		Lake City, Florida 32024	

Signed in the presence of:


Lawrence H. Saucer
905 SW Baya Drive
Lake City, FL 32025
Witness

Signed in the presence of:


Cynthia Terrio
905 SW Baya Drive
Lake City, FL 32025
Witness

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 29th day of August, 2008, by DANIEL WINSBERG, who is personally known to me or has produced a Florida Driver's License as identification.



Cynthia Terrio
Notary Public - State of Florida

Cynthia Terrio

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 29th day of August, 2008, by KATHY T. WINSBERG, who is personally known to me or has produced a Florida Driver's License as identification.



Cynthia Terrio
Notary Public - State of Florida

Cynthia Terrio



Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 10-5S-16-03529-000 - SINGLE FAM (000100)

Name:	WINSBERG DANIEL & KATHY T	LandVal	\$28,420.00
Site:	SR 47	BldgVal	\$95,123.00
Mail:	P O BOX 3627	ApprVal	\$126,081.00
	LAKE CITY, FL 32056	JustVal	\$126,081.00
Sales	1/19/2007 \$195,000.00 I / Q	Assd	\$126,081.00
Info	10/3/2003 \$114,900.00 I / Q	Exmpt	\$0.00
	11/1/1996 \$18,500.00V / Q	Taxable	\$126,081.00

0 120 240 360 ft



This information, GIS Map Updated: 3/5/2009, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

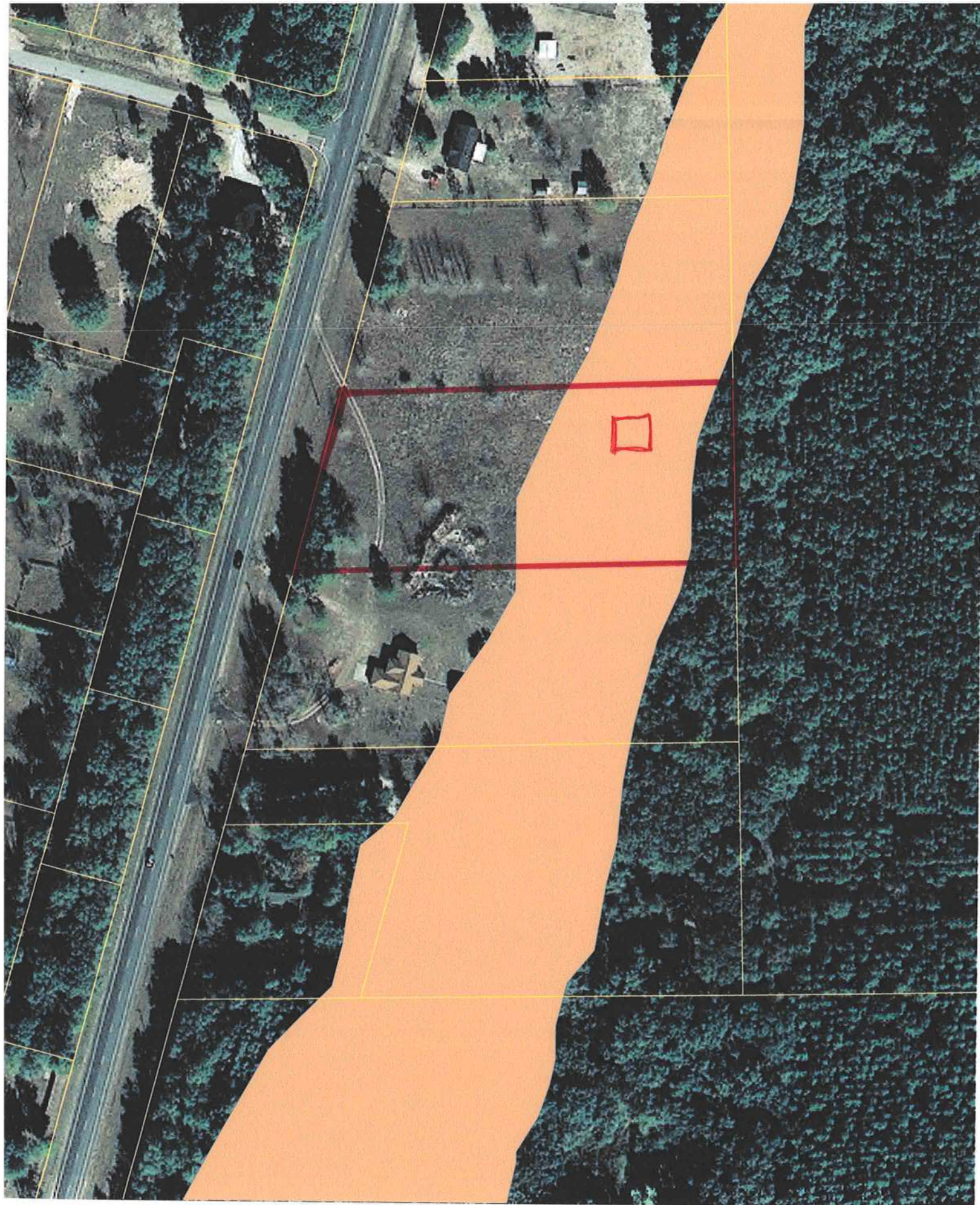
PARCEL: 10-5S-16-03529-005 - VACANT (000000)

Name:	NICKELSON DANIEL JAY & GAIL F	LandVal	\$24,624.00
Site:	SR 47	BldgVal	\$0.00
Mail:	418 SW MEADOW TERR	ApprVal	\$24,624.00
	LAKE CITY, FL 32024	JustVal	\$24,624.00
Sales	12/4/2008 \$100.00 V / U	Assd	\$24,624.00
Info	9/10/2008 \$100.00 V / U	Exmpt	\$0.00
		Taxable	\$24,624.00

0 120 240 360 ft



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0903-47



Columbia County, Florida Planning & Zoning Department

Review of Building Permit for compliance with
County's Comprehensive Plan and
Land Development Regulations

To: Linda Roder

Fax: 386.752.2282

From : Brian L. Kepner, County Planner

Fax: 386.758.2160

Number of Pages : 1

Date : 9 April 2009

RE: Building Permit Application 0902-47, Nickelson

Dear Linda:

I have received the family relationship affidavits as requested. The owner's agreement of understanding is at the County Attorney's for final review. I will fax it to you as soon as I get the approval for form from him. I would think that would be Monday at the latest since of Good Friday. One more additional requirement is needed. The property accesses off of a state road. We will need a statement from Florida Department of Transportation that the existing driveway connection meets their requirements. ✓ - REC'D - 5.6.09 (JW)

If you have any questions concerning this matter, please do not hesitate to contact me at 386.754.7119.

Sincerely,

A handwritten signature in black ink, appearing to read "Brian L. Kepner".

Brian L. Kepner
Land Development Regulation Administrator,
County Planner

Handwritten notes in red ink:
FK -
TIF
I'm not sure if
JOE has other
problems with
this application or
not. Cit has not been
approved. By an inspector
JW

Confidentiality Notice: This facsimile transmission is confidential and is intended only for the review of the party to whom it is addressed. It may contain proprietary and/or privileged information protected by law. If you are not the intended recipient, you may not use, copy or distribute this facsimile message or its attachments. If you have received this transmission in error, please immediately telephone the sender above to arrange for its return.

FAX MEMORANDUM

MEMORANDUM

FLORIDA DEPARTMENT OF TRANSPORTATION

To: Mr. John Kerce, Dept. Director
Columbia Co. Building Dept.
Fax No: 904-758-2160

From: Neil E. Miles, FDOT Permits Coord.
Date: 5-06-09 Fax No. 904-961-7180
Attention: In-House Staff

() Sign and return. (XX) For your files. () Please call me. () FYI () For Review

Reason for Contact. Property Owner requesting release of Columbia County Certificate of Occupancy and Permanent Electrical Power restrictions for property located south of Columbia City SR-47 South.

RE: New Permitted FDOT Driveway Connection / Inspected On: 5-05-09

PROJECT: Proposed New Driveway Connection Required

PROPT. OWNER: Daniel J. & Gail F. Nickelson

PROPOSED: New FDOT Permitted 16 Ft. wide Earth-Limerock Surfaced Connection from SR 47 South
PERMITTEE's MAILING ADDRESS: 418 SW Meadow Terrace, Lake City, FL 320024

COUNTY PARCEL Tax ID No: 10-55-16-03529-005

Land Owners Phone #: 386-961-8283

FDOT Permit No: 09-A-292-0008 /Construction Rep: Unknown

Mr. Kerce or Staff Member:

Our office completed a review of the above property owners newly permitted and recently constructed 16 foot wide earth-limerock driveway connection on 5-05-09 and the connection has passed our inspection for code and residential use. After reviewing the connection, the FDOT Permits Office is satisfied that ALL required ACCESS improvements have now been satisfied.

Please accept this notice as legal proof from our office at FDOT Permits in releasing any hold there may be for this person's planned move on in relation to the required Access acceptance.

If further information is required on this project please do not hesitate to contact this office for additional access permitting information details. My office number is 961-7193 or 961-7180.

Sincerely,
Neil Miles

Access Permits Coordinator

It's great to have folks like you to work with, thanks again for your assistance!

PS: 2 sheets faxed

0902-47



0902-47

Florida Department of Transportation

District 2 – Lake City Maintenance

Rev. 8-15-05

F.D.O.T. Permits Office, Lake City Maintenance
Post Office Box 1415
Lake City, Florida 32056-1415

Date: 4-29-2009

Re: Notice of Approved State FDOT Access Connection Permit
Access Permit Category A
Residential Connection

Permitted: Daniel J. & Gail F. Nickelson
Mailing Address: 418 SW Meadow Terrace Lake City FL 32024
Permit No: 2009-A-292-0008 / State Hwy No: 47 (S) / Mile Post: 13.971+-
Road Section No. 29020/ Col. Co.

Mr. & Mrs. Nickelson

Enclosed within is your approved state access permit applied for previously. I would like to take this opportunity to thank you for your courteous assistance during this time. Cooperation between yourself and our office has allowed us to process your application in a most timely manner, and for this I thank you.

Below is information that if followed can prevent permit and construction problems down the road, please read them carefully and pay special attention to item number 4, 5 and 6.

- 1.) If you plan to hire a contractor to construct your new access connection (driveway), we would recommend that you make several complete copies of the enclosed connection permit packet and seek at least three bids, as with most things in this life, all contractors are different. A complete listing of all contractors for the county you have permitted too is available on request.
- 2.) Please take the time to review your new permit package and read all of the permit construction descriptions and requirements as well as the General and any Special Provisions attached, very closely. **State Specifications call for much greater final construction requirements and standards than called for by either city or county government agencies.** Items such as sloped shoulders, mitered end sections, extended radii returns and grass sod are many times over-looked. Be sure to point these items out to those

- 3.) Once a contractor is selected and you are ready to activate & Commence construction of the approved connection, you **must contact** The Permits Office here at Lake City Maintenance 48 hours in advance. Be aware that failure to call and activate your approved permit according To this permit provision is legal reason to suspend or revoke the approved Permit. Please take the time to call us to legally activate your permit so all will Go well.
- 4.) A Final Access Connection Inspection is Mandatory before the new access Can be utilized. We would highly recommend that before making any Final payments to your contractor that you call our office and set up the required FDOT Final Inspection. Contractors who are not willing to accept this pre-Contract agreement may not be worthy of your business. Be aware that you are Legally responsible for liability of the access connection as long as you have not Received a final passing inspection through this office.
- 5.) **A special note in regards to access permits issued on State Roadways Where the State has future plan for construction or where the State contractor is presently working:** When this is the case, you are Required to make 48 hour advance contact both to our office and the Lake City Construction Office before starting actual construction on your approved access Permit. Please phone 961-7050 to notify them of your intentions, tell them the State highway number on which you are permitted and be specific about your Permitted location Mile Post and permit number. If you decide to activate your Permit and start construction during the on-going FDOT Project and you elect to Hire a contractor other than the on-site FDOT Project contractor, and you must Obtain legal permission from the on-site project supervisor before commencing. All contractors must complete all permitted construction, with a passing FDOT Permits Office inspection within 30 days of the first day of driveway construction. Failure to abide by this permit provision will automatically require the removal of The permitted connection by the State FDOT or On-site Contractor's forces. Neither the FDOT nor the FDOT's on-site project contractor is under any Obligation to construct or complete you're permitted connection unless prior legal Written agreements have been entered into by both parties.
- 6.) **Special Note about permit validation periods:** Your newly issued permit is Valid for a period of 1 year from the date of original signature from the permits Office, however, as a special provision of this permit, you only have 30 days of Total construction time once you activate the permit and start any type if Driveway construction upon the FDOT Right-of-Way.

Page 3 of 3

Legal Cover Letter

Permit No. 2009-A-292-0008

Permitted: Mr. & Mrs. Nickelson

No. 6 Continued: To explain this permit provision more clearly, let's say you Activated your new permit to start construction on the first day of the 2nd month of Your approved permit, then all work and the required final passing inspection must Be completed by the first day of the 3rd month (30 days later.) The other 10 months Are not valid after you have officially activated the permits construction Commencement starts date.

The same is true of whatever month you activate your permit. You must start construction in time to be completed within the 30 day period in which you activate the permit, (See Part 3, Permit Approval Section of Page 1 of 3 of the Driveway Connection Permit for All Categories Form No. 850-040-18). Once activated you have only 30 days in which to be completely finished and have received the required final passing FDOT inspection. In most all cases every driveway access permitted can be completed within this 30 day period. **THIS IS A VERY IMPORTANT PERMIT PROVISION, PLEASE READ CAREFULLY. IF YOU DO NOT UNDERSTAND THIS PROVISION YOU SHOULD CONTACT THE FDOT PERMITS OFFICE AND REQUEST FURTHER CLARIFICATION IMMEDIATELY UPON READING THESE PERMIT PROVISIONS.**

Important Notice about State and Local County Permits Offices:

If you are planning improvements to your property, please be aware that complete construction of the permitted State FDOT Access Connection with an official final passing FDOT inspection is required before we can release you back to the county government. Once the connection has passed State Inspection the County Government shall be officially notified at which time, you may make county application for property permit improvements.

Well there it is, if you follow the above suggestions both you and the Permits Office can expect all to be in order when the time comes for you to request the final driveway construction inspection. Remember that we here at the Permits Office are always available in case you have a question or problem, about your approved access permit. We also offer driveway layout assistance if requested, please call us!

Sincerely,



Neil E. Miles
Access Permits Coordinator

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**DRIVEWAY CONNECTION PERMIT
FOR ALL CATEGORIES**

850-040-18
SYSTEMS PLANNING - 06/06
Page 1 of 3

PART 1: PERMIT INFORMATION

APPLICATION NUMBER: 2009-A-292-0008

Permit Category: A Access Classification: 4

Project: Daniel J. & Gail F. Nickelson

Permittee: Daniel J. & Gail F. Nickelson

Section/Mile Post: 29020 / 13.971+- State Road: 47 (S)

Section/Mile Post: N/A State Road: N/A

PART 2: PERMITTEE INFORMATION

Permittee Name: Daniel J. & Gail F. Nickelson

Permittee Mailing Address: 418 SW Meadow Terrace

City, State, Zip: Lake City, FL 32024

Telephone: (386)961-8283

Engineer/Consultant/or Project Manager: N/A

Engineer responsible for construction inspection:

N/A
NAME

P.E. #

Mailing Address: N/A

City, State, Zip: N/A

Telephone: N/A Mobile Phone N/A

PART 3: PERMIT APPROVAL

The above application has been reviewed and is hereby approved subject to all Provisions as attached.

Permit Number: 2009-A-292-0008

Signature: Neil E. Miles Department of Transportation

Title: Permits Coordinator

Department Representative's Printed Name Neil E. Miles

Temporary Permit ☐ YES ☒ NO (If temporary, this permit is only valid for 6 months)

Special provisions attached ☒ YES ☐ NO

Date of Issuance: APR 29 2009

If this is a normal (non-temporary) permit it authorizes construction for one year from the date of issuance. This can only be extended by the Department as specified in 14-96.007(6).

See following pages for General and Special Provisions

PART 4: GENERAL PROVISIONS

1. Notify the Department of Transportation Maintenance Office at least 48 hours in advance of starting proposed
Phone: (386) 961-7180 , Attention: NEIL E. MILES, PERMITS COORDINATOR
2. A copy of the approved permit must be displayed in a prominent location in the immediate vicinity of the connection construction.
3. Comply with Rule 14-96.008(1), F.A.C., Disruption of Traffic.
4. Comply with Rule 14-96.008(7), F.A.C., on Utility Notification Requirements.
5. All work performed in the Department's right of way shall be done in accordance with the most current Department standards, specifications and the permit provisions.
6. The permittee shall not commence use of the connection prior to a final inspection and acceptance by the Department.
7. Comply with Rule 14-96.003(3)(a), F.A.C., Cost of Construction.
8. If a Significant Change of the permittee's land use, as defined in Section 335.182, Florida Statutes, occurs, the Permittee must contact the Department.
9. Medians may be added and median openings may be changed by the Department as part of a Construction Project or Safety Project. The provision for a median might change the operation of the connection to be for right turns only.
10. All conditions in NOTICE OF INTENT WILL APPLY unless specifically changed by the Department.
11. All approved connection(s) and turning movements are subject to the Department's continuing authority to modify such connection(s) or turning movements in order to protect safety and traffic operations on the state highway or State Highway System.
12. **Transportation Control Features and Devices in the State Right of Way.** Transportation control features and devices in the Department's right of way, including, but not limited to, traffic signals, medians, median openings, or any other transportation control features or devices in the state right of way, are operational and safety characteristics of the State Highway and are not means of access. The Department may install, remove or modify any present or future transportation control feature or device in the state right of way to make changes to promote safety in the right of way or efficient traffic operations on the highway.
13. The Permittee for him/herself, his/her heirs, his/her assigns and successors in interest, binds and is bound and obligated to save and hold the State of Florida, and the Department, its agents and employees harmless from any and all damages, claims, expense, or injuries arising out of any act, neglect, or omission by the applicant, his/her heirs, assigns and successors in interest that may occur by reason of this facility design, construction, maintenance, or continuing existence of the connection facility, except that the applicant shall not be liable under this provision for damages arising from the sole negligence of the Department.
14. The Permittee shall be responsible for determining and notify all other users of the right of way.
15. Starting work on the State Right of Way means that I am accepting all conditions on the Permit.

PART 5: SPECIAL PROVISIONS

NON-CONFORMING CONNECTIONS:

☒ YES ☐ NO

If this is a non-conforming connection permit, as defined in Rule Chapters 14-96 and 14-97, then the following shall be a part of this permit.

1. The non-conforming connection(s) described in this permit is (are) not permitted for traffic volumes exceeding the Permit Category on page 1 of this permit, or as specified in "Other Special Provisions" below.
2. All non-conforming connections will be subject to closure or relocation when reasonable access becomes available in the future.

OTHER SPECIAL PROVISIONS:

REFER TO APPROVED ACCESS PERMIT, GENERAL AND SPECIAL PROVISION SHEET AND THE LEGAL ATTACHED COVER LETTER FOR OFFICIAL DRIVEWAY CONSTRUCTION AND SAFETY SPECIFICATION, AND FDOT APPROVED SITE-PLAN FOR ANY ADDITIONAL INFORMATION NEEDED TO COMPLETE DRIVEWAYS. ALL WORK APPROVED HEREIN UNDER THIS PLAN SHALL BE ACCORDING TO THE STATE FDOT'S MOST CURRENT ROADWAY AND CONSTRUCTION SPECIFICATION AT THE TIME OF ACTUAL CONSTRUCTION AND PERMIT ACTIVATION. UPON ACTIVATION THE PERMITTEE HAVE (30 DAYS) TO COMPLETE ALL PHASES OF PERMITTED PROJECT. PERMITTEE SHALL ADHERE TO THE FINAL APPROVED SITE-PLAN DATED APR 29 2009. THIS PERMIT IS FOR: DANIEL J. & GAIL F. NICKELSON ETC).PERMITTEE SHALL NOTIFY THE FDOT PERMITS DEPT FOR PRE-CONSTRUCTION MEETING (BEFORE) ANY WORK ON THE FDOT'S R.O.W. PROJECT CONSIST OF:16' EARTH LIMEROCK DRIVEWAY WITH DOUBLE 30' TURN RADII ETC. WHILE WORKING ON THE FDOT'S R.O.W. APPROPRIATE (MOT) SHALL BE IN PLACE CONES, BARACADES, SIGNS, ETC. (ALL) WORKERS WITH IN 15' FEET OF THE EDGE OF THE TRAVEL WAY SUPERVISORS, CREW MEMBERS AND ANY PERSONAL ON THE (FDOTS' R.O.W.) SHALL WEAR ANSI / ISEA CLASS 2 APPAREL (AT ALL TIMES).WORKERS OPERATING MACHINERY OR EQUIPMENT IN WHICH LOOSE CLOTHING COULD BECOME ENTANGLED, SHALL WEAR FITTED H/VISIBLE SAFETY APPAREL. OTHERS WISE

PART 6: APPEAL PROCEDURES

You may petition for an administrative hearing pursuant to sections 120.569 and 120.57, Florida Statutes. If you dispute the facts stated in the foregoing Notice of Intended Department Action (hereinafter Notice), you may petition for a formal administrative hearing pursuant to section 120.57 (1), Florida Statutes. If you agree with the facts stated in the Notice, you may petition for an informal administrative hearing pursuant to section 120.57(2), Florida Statutes. You must file the petition with:

Clerk of Agency Proceedings
Department of Transportation
Haydon Burns Building
605 Suwannee Street, M.S. 58
Tallahassee, Florida 32399-0458

The petition for an administrative hearing must conform to the requirements of Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code, and be filed with the Clerk of Agency Proceedings by 5:00 p.m. no later than 21 days after you received the Notice. The petition must include a copy of the Notice, be legible, on 8 1/2 by 11 inch white paper, and contain:

1. Your name, address, telephone number, any Department of Transportation identifying number on the Notice, if known, the name and identification number of each agency affected, if known, and the name, address, and telephone number of your representative, if any, which shall be the address for service purposes during the course of the proceeding.
2. An explanation of how your substantial interests will be affected by the action described in the Notice;
3. A statement of when and how you received the Notice;
4. A statement of all disputed issues of material fact. If there are none, you must so indicate;
5. A concise statement of the ultimate facts alleged, including the specific facts you contend warrant reversal or modification of the agency's proposed action, as well as an explanation of how the alleged facts relate to the specific rules and statutes you contend require reversal or modification of the agency's proposed action;
6. A statement of the relief sought, stating precisely the desired action you wish the agency to take in respect to the agency's proposed action.

If there are disputed issues of material fact a formal hearing will be held, where you may present evidence and argument on all issues involved and conduct cross-examination. If there are no disputed issues of material fact an informal hearing will be held, where you may present evidence or a written statement for consideration by the Department.

Mediation, pursuant to section 120.573, Florida Statutes, may be available if agreed to by all parties, and on such terms as may be agreed upon by all parties. The right to an administrative hearing is not affected when mediation does not result in a settlement.

Your petition for an administrative hearing shall be dismissed if it is not in substantial compliance with the above requirements of Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code. If you fail to timely file your petition in accordance with the above requirements, you will have waived your right to have the intended action reviewed pursuant to chapter 120, Florida Statutes, and the action set forth in the Notice shall be conclusive and final.

FLORIDA DEPARTMENT OF TRANSPORTATION

CHARLIE CRIST
GOVERNOR

STEPHANIE KOPELOUSOS
SECRETARY



PERMITTEE: Daniel J. & Gail F. Nickelson SEC NO: 29020 PERMIT

CAT : A STATE RD: 47 (S) M.P. 13.971+-

PROJ. DESCRIPTION: 16' E/L W/D 30' T/R.

PERMIT NO: 09-A-292-0008

Asst. Maintenance Engineer or Permits Coordinator Approval

NEIL E. MILES, PERMITS COORDINATOR

THE FOLLOWING ARE ADDITIONAL SPECIAL PERMIT PROVISIONS THAT ARE A LEGAL PART OF THIS PERMIT & DO APPLY TO THE ABOVE REFERENCED PERMIT, IF SO MARKED MUST BE COMPLIED WITH IN ADDITIONAL TO THE GENERAL PROVISIONS.

1. XXX All portions of the FDOT right-of-way disturbed during construction under this permit shall be mulched seeded and /or 2 feet of grass sod placed adjacent to the driving lane, or as called for under the approved permit & per FDOT specifications.
2. XXX Permitted shall restore wildflowers disturbed during permitted construction with new seed to be (amount and & method) determined by Mr. Dick Bush, District Landscaping Engineer. Seed shall be delivered to Lake City Maintenance, Permits Office before commencement of permitted placement.
3. XXX The Permitted will contact the appropriate city, county, state government agency; a minimum of forty-eight (48) hours in advance of starting excavation within the area of any signalized intersection.
4. XXX the Permitted can be required to physically relocate (move), as so indicated under this permit at a future date, due to proposed future or on-going FDOT roadway construction planned within the limits of the permitted area.
5. XXX existing utilities may be located within the construction area. Prior to permit approval, permitted shall locate and notify all utilities within the proposed limits of construction and or permitted area and obtain detailed information from the utility owners as to possible conflicts between utilities and permit tee's work. Permitted shall be responsible for pre & post permit coordination, and all adjustments and shall be solely responsible for resolving any conflicts of utilities, either before or during or after the final permitting. The Permitted shall be solely responsible for any and all damages to existing utilities and/or damage to third parties caused by interference with or damage to existing utilities. The Permitted shall show positive proof that all utility owners with existing interest in the area permitted, have been previously contacted in advance of final permit approval.
6. XXX No business is to be done on FDOT right-of-ways, if vehicles are to be serviced on roadside with pumps, Pump islands must be located at least twelve (12) feet from right-of-way line.
7. XXX Driveway permits are granted to permit access to abutting property only. Parking on right-of-way may be restricted or prohibited.
8. XXX the erection of signs on or overhanging the right-of-way of state roads is not permitted. The connection of any type of subsurface drainage to FDOT storm drains or ditches is prohibited unless by permit or as shown in the general or special provisions of the referenced permit.
9. XXX All Construction and/or Maintenance on the Department's right-of-way shall conform to Federal Manual on Uniform Traffic Control Devices (MUTCD), the Department's most current manual of the Roadway and Traffic Design Standards Specifications for Road and Bridge Construction.
10. XXX Pre and Final Inspections are required by FDOT Permits Office and the assigned inspector.
11. XXX a pre-construction review of the construction planned under the permit shall be mandatory. The Permit tee shall make contact with the Lake City, Permits Office at (904) 961-7180 or 961-7193, a minimum of 48 hours in advance of the Permit tee's planned start date so as to arrange a mutually time to meet. Failure by the Permit tee to meet this requirement can be reason for revocation of the approved permit.
12. XXX If proposed permitted work limits are within a State Roadway Construction Area that is proposed or underway then the permit tee shall schedule commencement date and all planned work under this permit with the State FDOT's contract representative in charge of on-site project operational responsibilities.
13. XXX Final approved permit shall adhere to the signed and sealed plans, with no plan substitutions once approved.

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
DRIVEWAY/CONNECTION APPLICATION
CATEGORY A

850-040-14
SYSTEMS PLANNING
09/02

(INDIVIDUAL HOMES, DUPLEXES OR OTHER USES LESS THAN 20 TRIPS/DAY TOTAL)

OFFICE USE ONLY

Application Number: 09-A-292-0008

Category: A

Section Road Number & Mile Post: 29020 / 13.971+-

Accepted By: Dale L. Cray

FDOT STAFF (TYPE OR PRINT)

Date: 4-28-2009

APPLICANT COMPLETE REMAINDER OF FORM

PART I: APPLICANT INFORMATION (Please type or print)

APPLICANT: Daniel J. & Gail F. Nickelson

Mailing Address: 418 SW Meadow Terrace

City, State, Zip: Lake City, FL. 32024

Telephone: (386) 961-8283

Physical Address of Site (if different): _____

Attach Map & Drawing If Necessary

PROPERTY OWNER: (if different from above) Same As Above

Mailing Address: _____

City, State, Zip: _____

Telephone: _____

PART 2: NOTICE TO APPLICANT

Proposed traffic control features and devices in the right of way, such as median openings and other traffic control devices, are not part of the connection(s) to be authorized by a connection permit. The Department reserves the right to change these features in the future in order to promote safety in the right of way or efficient traffic operations on the highway. Expenditure by the applicant of monies for installation or maintenance of such features shall not create any interest in the features or their maintenance.

PART 3: CERTIFICATION AND SIGNATURE

I certify that I am familiar with the information contained in this application and that to the best of my knowledge and belief such information is true, complete and accurate. I will not begin work on the connection until I receive my Permit and I understand all the conditions of the Permit. When I begin work on the connection I am accepting all conditions listed in my Permit.

Signed: _____

(Applicant)

Date: 4/28/09

Printed Name: DARRELL J NICKELSON

Inst: 200812022561 Date: 12/17/2008 Time: 11:37 AM

Doc Stamp-Deed: 0.70

DC, P DeWitt Cason, Columbia County Page 1 of 2 B 1163 P 2744

WARRANTY DEED

1. IDENTIFICATION OF GRANTOR

Grantor's name and address is: DARRELL JAY NICKELSON and RELLA HEATH NICKELSON,
as husband and wife
286 SW Pecan Glen
Lake City, Florida 32024

The word "I" or "me" as hereafter used means the Grantor.

2. IDENTIFICATION OF GRANTEE

Grantee's name and address is: DANIEL JAY NICKELSON and GAIL F NICKELSON,
as husband and wife
418 SW Meadow Terrace
Lake City, Florida 32024

The word "you" as hereafter used means Grantee.

3. MEANINGS OF TERMS

The terms "I", "me", "you", "grantor," and "grantee", shall be non-gender specific ((i) masculine, (ii) feminine, or (iii) neuter, such as corporations, partnerships or trusts), singular or plural, as the context permits or requires, and include heirs, personal representatives, successors or assigns where applicable and permitted.

4. DESCRIPTION OF REAL PROPERTY CONVEYED

Property hereby conveyed (the "Real Property") is described as follows:

COMMENCE AT THE SE CORNER OF THE SW ¼ OF THE SE ¼ OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 16 EAST, AND RUN N 00 26' 48" W., ALONG THE EAST LINE OF THE WEST ½ OF THE SE ¼, A DISTANCE OF 515.91 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N. 00 26' 48" W., 212.34 FEET; THENCE S, 89 33' 34" W., 462.56 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 47; THENCE S. 15 29' 30" W., ALONG SAID EASTERLY RIGHT-OF-WAY, 220.78 FEET; THENCE N. 89 33' 53" E., 523.19 FEET TO THE POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA. CONTAINING 2.40 ACRES MORE LESS.

Together with all tenements (property capable of being held with unconditional power of disposition), hereditaments (inheritable interest in property), easements (right to use land of another) and appurtenances (right used land for its benefit) belonging to or benefitting such property.

The Property Appraisers Parcel Identification Number is 10-5S-16-03529-000.

5. CONSIDERATION

Good and valuable consideration plus the sum of (\$10.00) received by me from you.

6. CONVEYANCE OF REAL PROPERTY

For the consideration described in paragraph 5, I have granted, bargained and sold to you the Real property to have and hold in fee simple (estate in property unlimited as to duration, disposition and descendability) forever.

7. WARRANTY

I fully warrant the title to the Real Property and will defend the same against the lawful claims of all persons whomsoever.

8. NOT HOMESTEAD

I represent and warrant that the Real Property is neither the homestead or residence of myself or a member of my family, nor is the Real Property adjacent to the homestead or residence of myself or a member of my family.

9. EXCEPTIONS

This conveyance is subject to taxes for year 2007 and subsequent years.

Executed on December 4 2008.

Darrell Jay Nickelson 12/4/08
DARRELL JAY NICKELSON Date
286 SW Pecan Gln
Lake City, FL 32024

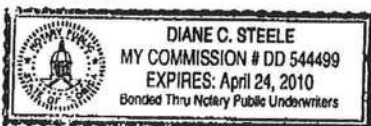
Rella Heath Nickelson 12/4/08
RELLA HEATH NICKELSON Date
286 SW Pecan Gln
Lake City, FL 32024

Signed in the presence of:
Brandon J Steele 12/4/08
Brandon J Steele Date
6875 SW State RD 47
Lake City, FL 32024

Signed in the presence of:
Diane C. Steele 12/4/08
Diane C Steele Date
9115 SW State Rd 47
Lake City, FL 32024

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 4th day of December 2008, by Darrell Jay Nickelson, who is personally known to me.



Diane C. Steele
Notary Public- State of Florida Diane C Steele

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 4th day of December 2008 by Rella Heath Nickelson who is personally known to me.



Diane C. Steele
Notary Public- State of Florida Diane C Steele

Columbia County Property Appraiser

DB Last Updated: 3/5/2009

2009 Preliminary Values

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 10-5S-16-03529-005

Owner & Property Info

Owner's Name	NICKELSON DANIEL JAY & GAIL F		
Site Address	SR 47		
Mailing Address	418 SW MEADOW TERR LAKE CITY, FL 32024		
Use Desc. (code)	VACANT (000000)		
Neighborhood	10516.00	Tax District	3
UD Codes	SD MKTA01	Market Area	01
Total Land Area	2.400 ACRES		
Description	COMM SE COR OF SW1/4 OF SE1/4, RUN N 515.91 FT FOR POB, CONT N 212.34 FT, W 462.56 FT TO E R/W OF S R 47, SW ALONG R/W 220.78 FT, E 523.19 FT TO POB ORB 1158-472, WD 1163-2744		

<< Prev Search Result: 10 of 22 Next >>

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$24,624.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$24,624.00

Just Value	\$24,624.00
Class Value	\$0.00
Assessed Value	\$24,624.00
Exempt Value	\$0.00
Total Taxable Value	\$24,624.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
12/4/2008	1163/2744	WD	V	U	11	\$100.00
9/10/2008	1158/472	WD	V	U	01	\$100.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	2.400 AC	1.00/1.00/1.00/1.00	\$10,260.00	\$24,624.00

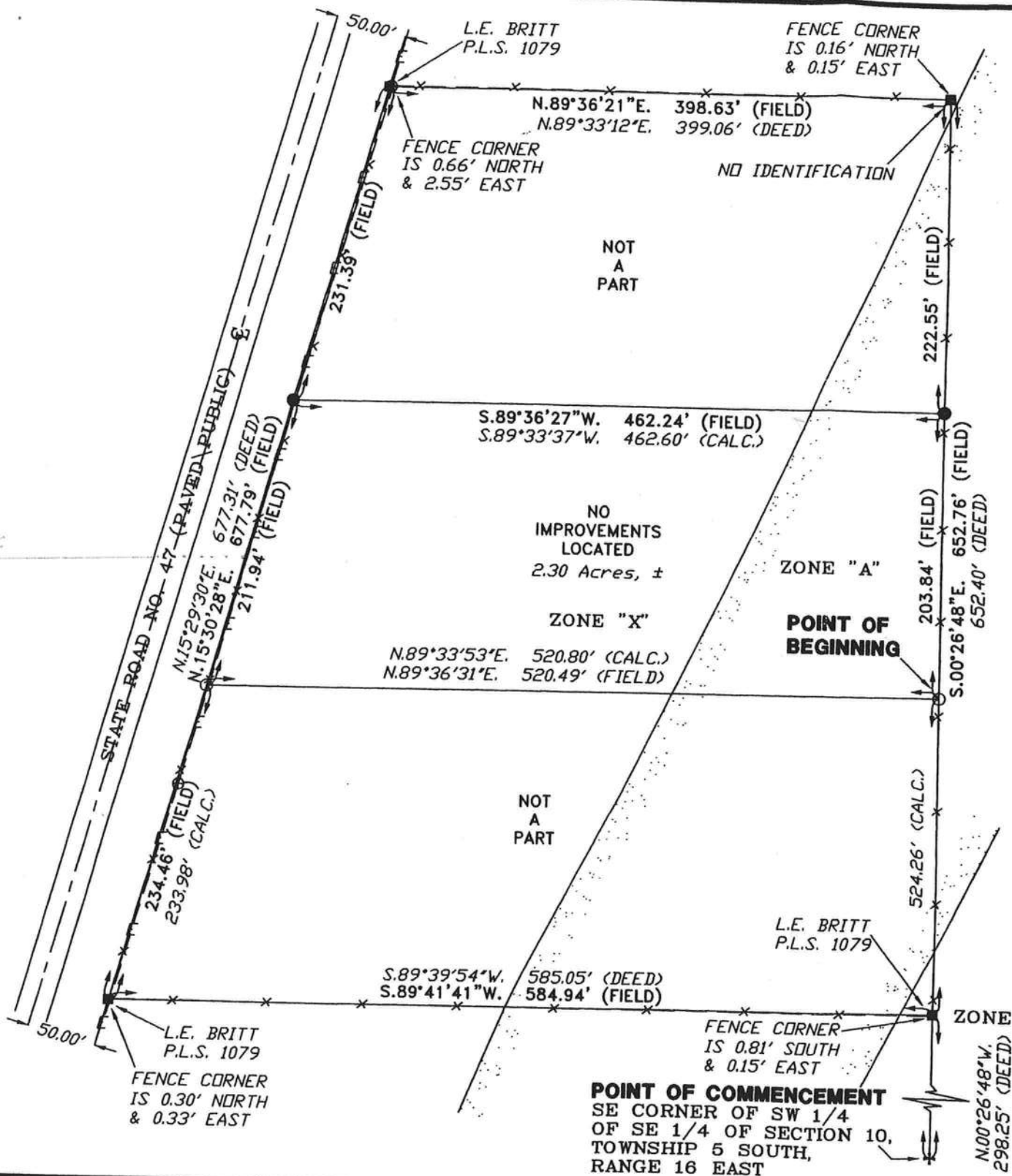
Columbia County Property Appraiser

DB Last Updated: 3/5/2009

<< Prev

10 of 22

Next >>



CERTIFIED TO:

DARRELL & RELLA NICHOLSON

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEET:
 TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS
 IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA

01/15/08

01/17/08

FIELD SURVEY DATE

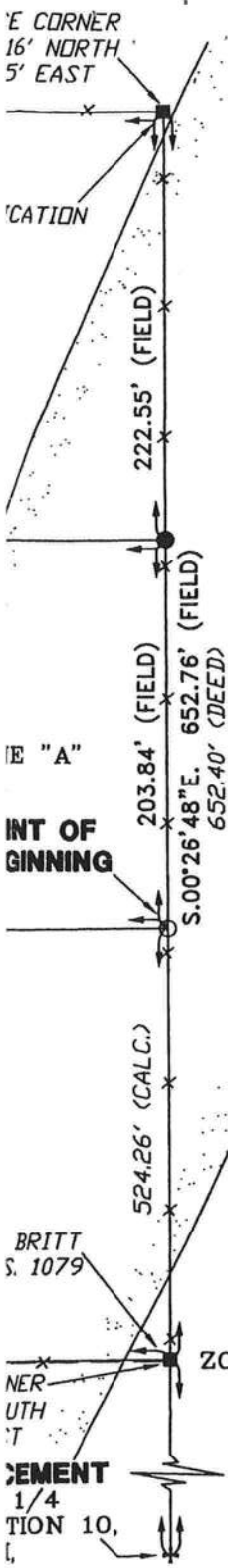
DRAWING DATE

L. SCOTT BRITT, P.S.M.
 CERTIFICATION # 5757

NOTE: UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED
 MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NO

FIELD BOOK: SEE PAGE(S): FILE

BOUNDARY SURVEY IN SECTION 10, TOWNSHIP 5 SOUTH,
RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.



SYMBOL LEGEND:

■	4\"X4\" CONCRETE MONUMENT FOUND
□	4\"X4\" CONCRETE MONUMENT SET
●	IRON PIPE FOUND
○	IRON PIN AND CAP SET
⊕	POWER POLE
▲	WATER METER
⌒	CENTERLINE
*	WELL
⊙	SATELLITE DISH
⊙	TELEPHONE BOX
---	ELECTRIC LINES
---	WIRE FENCE
---	CHAIN LINK FENCE
---	WOODEN FENCE



SCALE: 1" = 100'

DESCRIPTION:

COMMENCE AT THE SE CORNER OF THE SW 1/4 OF THE SE 1/4 OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 16 EAST, AND RUN N.00°26'48"W., ALONG THE EAST LINE OF THE WEST 1/2 OF THE SE 1/4, A DISTANCE OF 524.26 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N.00°26'48"W., 203.84 FEET; THENCE S.89°33'37"W., 462.60 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 47; THENCE N.15°29'30"E., ALONG SAID EASTERLY RIGHT-OF-WAY, 211.94 FEET; THENCE N.89°33'53"E., 520.80 FEET TO THE POINT OF BEGINNING, COLUMBIA COUNTY, FLORIDA, CONTAINING 2.30 ACRES, MORE OR LESS.

SURVEYOR'S NOTES:

1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF A PREVIOUS SURVEY BY THIS OFFICE ON 09/25/87.
2. BEARINGS ARE BASED ON SAID PREVIOUS SURVEY BY THIS OFFICE.
3. SOME PORTIONS OF THIS PARCEL ARE IN ZONE "A" AND MAY BE SUBJECT TO FLOODING. HOWEVER, NO BASE FLOOD ELEVATION HAS BEEN DETERMINED FOR ZONE "A". SOME PORTIONS OF THIS PARCEL ARE IN ZONE "X" AND ARE DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP, DATED 6 JAN. 1988 COMMUNITY PANEL NO. 120070 0225 B. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
4. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
5. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.

NOTATION:

BY RESPONSIBLE CHARGE AND MEETS THE MINIMUM
BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS
PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

L. SCOTT BRITT, P.S.M.
CERTIFICATION # 5757

RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND
NATIONAL PURPOSES ONLY AND IS NOT VALID.

BRITT SURVEYING
& ASSOCIATES, INC.



LAND SURVEYORS AND MAPPERS

830 WEST DUVAL STREET LAKE CITY, FLORIDA 32055

(386)752-7163 FAX (386)752-5573

WORK ORDER # L-19028

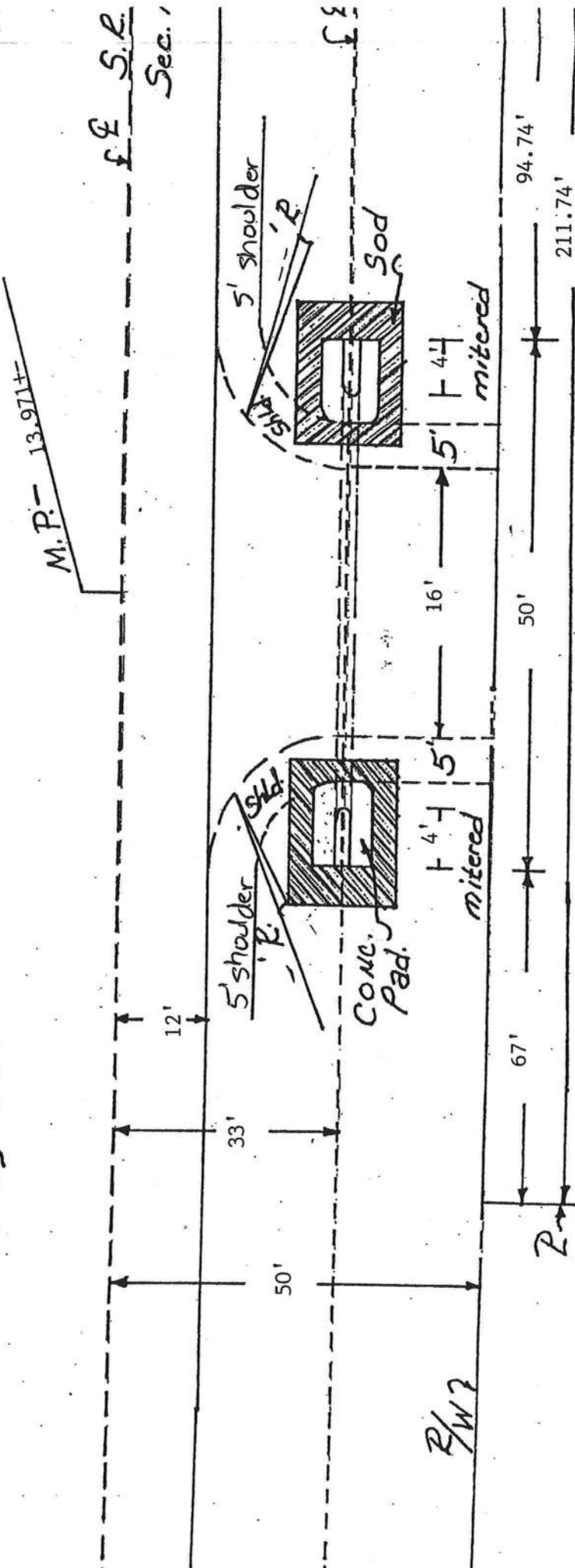
Name: Mr. & Mrs. Nickelson
County: Col. Co.
S.P. No: 47 (S)
Sec. No: 29020
Permit No: 09-A-292-0008

This permit is for a 16' earth limerock drive turn radii. Driveway will require 50' of Ell in DIA. Please refer to attached sheet for con

48 HOURS BEFORE YOU DR.
CALL SUNSHINE
1-800-432-4770
IT'S THE LAW IN FLORIDA
FLECT APPROVED
Date APR 29 2009



Residential Driveway Rural



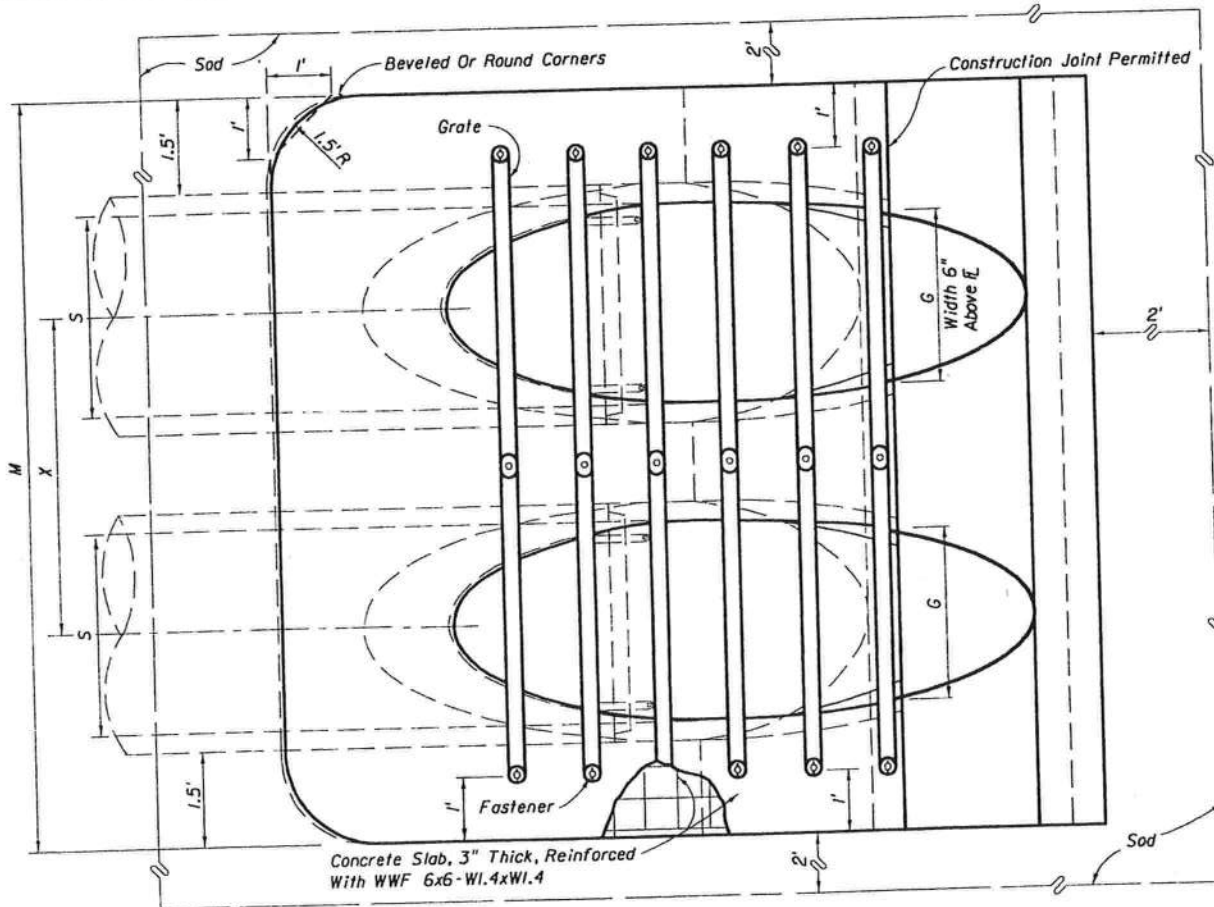
"This drawing is not to scale, but the total pipe length shown was scaled out to obtain the correct length. Pipe distance number shown are generic, additional measurements have been added that are not shown here. The pipe length shown is correct for the location ditch size and depth, so there is no need to call to recheck the pipe length shown."

ACCESS CONNECTION CONSTRUCTION DESCRIPTION

PERMITTEE: DANIEL J. & GAIL F. NICKELSON/ FDOT ACCESS PERMIT NO. 2009-A-292-0008/ CURRENT ADDRESS: 418 SW MEADOW TERRACE LAKE CITY, FL. 32063/ SECTION NO. 39050/ M.P. 4.726+- / PERMITTED CO: COL. CO PARCEL NO.10-5S-16-03529-005, COL. COUNTY, FL/ **PROPOSED 16' FT WIDE, RESIDENTIAL DRIVEWAY WITH DOUBLE 30' TURNING RADII, IF CONCRETE MIN OF 6" TO R.O.W LINE 2500 PSI (NO-FIBER). (NOTE: IF EXISTING, NO PORTION OF THE ASPHALT PAVED SHOULDER CAN BE USED AS PART OF EITHER TURNOUT RADII.** THE NEW RESIDENTIAL CONNECTION CENTER LINE SHALL BE CONSTRUCTED AT OR ABOUT 92' LF N OF THE SW PROPERTY CORNER FOR THE ABOVE REFERENCED PROPERTY**. THE NEW DRIVEWAY WILL REQUIRE **50' LF OF 14 X 23 DIA. ELLIPTICAL PIPE WITH MITERED END SECTION.** THE DRIVEWAY SURFACE WILL REQUIRE A MINIMUM OF 6" INCHES OF CRUSHED LIMEROCK MATERIAL TO FDOT R.O.W LINE.(NO MORE THAN 1" INCH DIA.)COVER OVER ALL TRAVEL SURFACES (INCLUDING DRIVEWAY WIDTH AND BOTH TURNING RADII.) ** THE NEW CONNECTION SHALL ALSO REQUIRE TWO (2) FULL 5 FOOT WIDE OR GREATER SLOPED AND STABILIZED EARTH SHOULDERS, (1:4 GRADE REQUIRED) THOUGHOUT THE ENTIRE TURNING RADII TO THE R/W LINE (NOTE THAT THE SLOPED SHOULDER MUST BE STABILIZED IN PLACE.) ** IF LESS THAN 1:4, BOTH SLOPED AND RADIUSSED EARTH SHOULDERS MAY BE SEEDED AND STRAW MULCHED WITH COPIOUS AMOUNTS OF HULLED COASTAL BERMUDA GRASS SEED & BROWN TOP MILLET SEED IN A 40/60 % MIX. **DRIVEWAYS WITH SLOPES 1:4 OR STEEPER MUST BE GRASSING SODDED.** ** **MAINTENANCE OF TRAFFIC SAFETY REQUIREMENTS:** A CORRECT MAINTENANCE OF TRAFFIC PLAN SHALL BE REQUIRED TO BE IN PLACE BEFORE ANY TYPE OF WORK CAN COMMENCE UNDER THIS APPROVED PERMIT. ****PERMIT ACTIVATION AND NOTICE INFORMATION: THERE IS A MINIMUM 48-HOUR ADVANCED NOTICE OF PERMIT ACTIVATION REQUIRED FROM THE PERMITTEE TO THE LOCAL FDOT PERMITS OFFICE BEFORE ANY WORK CAN COMMENCE UPON FDOT RIGHT-OF-WAY, CALL 386-961-7180 TO COMPLETE THIS PERMIT PROVISION. A FINAL (PASSING) DRIVEWAY INSPECTION IS MANDATORY BEFORE THE CONNECTION CAN BE UTILIZED, CONTACT FDOT PERMITS A MINIMUM OF 48 HOURS IN ADVANCE OF PROPOSED UTILIZATION DATE FOR FINAL INSPECTION. FAILURE TO CONTACT THE FDOT PERMITS OFFICE CAN RESULT IN PERMIT SUSPENSION OR REMOVAL, CALL 386-961-7180 TO REQUEST THE REQUIRED FINAL INSPECTION. ONCE STARTED YOU HAVE ONLY 30 CONTINUOUS DAYS TO COMPLETE THE DRIVEWAY CONNECTION, REFER TO ITEM NUMBER 6 OF THE ATTACHED COVER LETTER.**

PIPE SIZES		CONCRETE (Cu. Yds.)				SODDING (Sq. Yds.)			
Extra Strong Pipe	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	
	0.68	1.04	1.41	1.77	8	9	11	12	
	0.76	1.19	1.63	2.05	9	10	12	13	
3"	0.95	1.52	2.09	2.65	10	12	13	15	
3"	1.18	1.95	2.74	3.53	11	13	15	18	
3 1/2"	1.41	2.42	3.44	4.45	12	15	18	20	
3 1/2"	1.63	2.92	4.22	5.52	13	17	20	23	
4"	1.83	3.36	4.89	6.41	14	18	21	25	
4"	2.09	3.95	5.80	7.65	16	20	23	27	
Special	2.37	4.54	6.73	8.92	17	21	26	30	
Special	2.61	5.09	7.56	10.03	18	23	27	32	
Special	2.91	5.77	8.64	11.50	19	24	29	35	

■ Values shown for estimating pipe quantities and are for information only.



TOP VIEW-MULTIPLE PIPE

NOTE: See Sheets 5 and 6 for details and general notes.

1: Major Axis For Pipes 24" x 38" And Smaller.
2: For Pipes 29" x 45" And Larger.



2006 FDOT Design Standards

SIDE DRAIN MITERED END SECTION - SINGLE AND MULTIPLE ELLIPTICAL CONCRETE PIPE

Last
Revision
02

Sheet No.
4 of 6

Index No.
273

RECORD OF SALE OF GOODS AND SERVICE/RECEIPT TRANSMITTALTRANSMITTAL #: **3712** STATUS: PENDINGTRANSMITTAL TOTAL: **\$50.00** (CASH: **\$0.00** CHECKS:
\$50.00)CONTACT: **KIMBERLY STEFANIK** PHONE: **(386) 961-7180** DISTRICT: **D2**

CASHIER'S OFFICE COMMENT:

PAYMENT METHOD

CHECK #	ISSUER	CASH PAYMENT	CHECK PAYMENT	TOTAL
3681893	DANIEL J. & GAIL F. NICKELSON	\$0.00	\$50.00	\$50.00

DESCRIPTION OF SALE(S)

DESCRIPTION OF SALE	SUBTOTAL	SALES TAX	DISCRETIONARY TAX	COUNTY	TOTAL
CONNECTION FEE - PERMIT #09-A-292-0008	\$50.00	\$0.00	\$0.00		\$50.00

COST DISTRIBUTION

ORG CODE	EO	OBJECT	FINANCIAL	CB	EOB	CONTRACT	AMOUNT
910200000	11	004029	2139401A102	1	393		\$50.00

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**RECEIPT OF CONNECTION APPLICATION
AND FEE (OR WAIVER OF FEE)**

850-040-16
SYSTEMS PLANNING
06/06

IMPORTANT NOTE: Even though your application has been accepted, it may not be complete. We will contact you if more information is needed.

(1) APPLICATION NUMBER: 09-A-292-0008

APPLICANT:

(2) Name/Address Daniel J. & Gail F. Nickelson

418 SW Meadow Terrace

Lake City, FL 32024

(3) Project Name: Daniel J. & Gail F. Nickelson (Res. Driveway)

		VEHICLES PER DAY	FEE
(4) Fee	☒	Category A 1-20	\$50.00
	☐	Category B 21-600	\$250.00
	☐	Category C 601-1,200	\$1,000.00
	☐	Category D 1,201-4,000	\$2,000.00
	☐	Category E 4,001-10,000	\$3,000.00
	☐	Category F 10,001-30,000	\$4,000.00
	☐	Category G 30,001 +	\$5,000.00
	☐	Temporary	\$250.00
	☐	Safety	NO FEE
	☐	Government Entity	NO FEE

(5) Application Fee Collected \$ 50.00

Payment Type:

Money Order ☐

Check ☒ Check Number 3681893

Cash ☐

(6) Fee Collected By

Name Dale L. Cray

Signature *Dale L. Cray*

Date: 4-28-2009 District 2 Unit 292

(7) Receipt Given Back to Applicant Via

☐ Hand Delivery

☐ Mail

☐ Courier Service

☐ Other

Applicant (or Agent) Signature (if available) _____

This form bears your application number and serves as your receipt.

(8) If fee is waived, give justification below or on separate sheet.

FOR AGENCY USE ONLY - ATTACH COPY OF CHECK ON THE NEXT PAGE

Make Checks payable to: *State of Florida Department of Transportation*

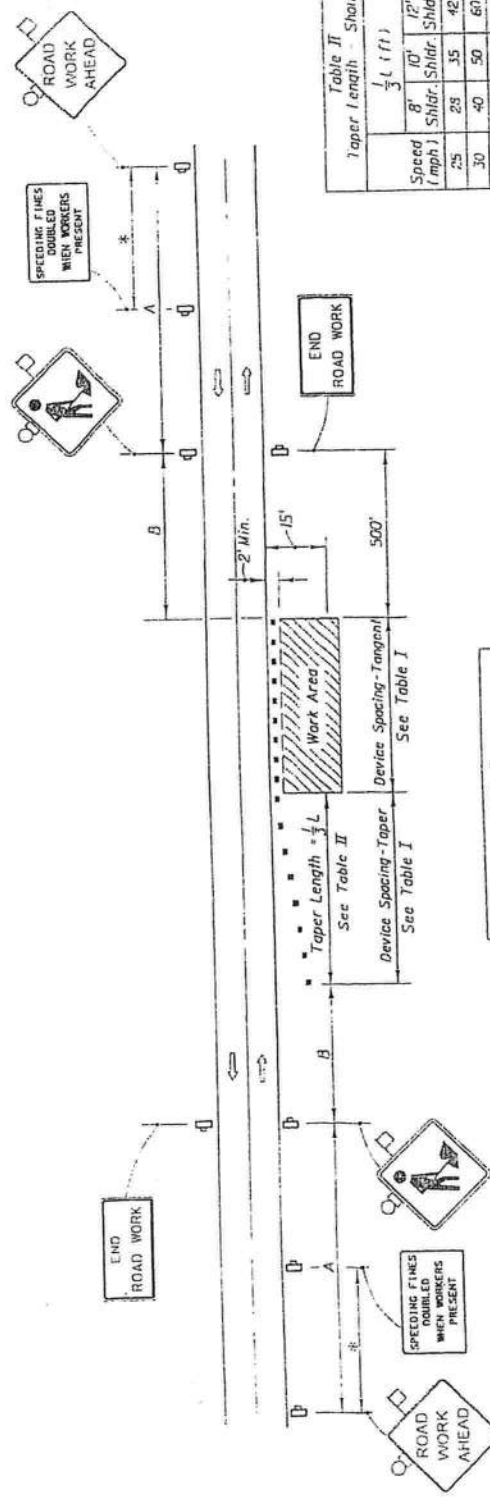


Table II
Taper Length - Shoulder

Speed (mph)	L (ft)			Notes
	8'	10'	12'	
25	25	35	42	WS* L = WS ² /60
30	40	50	60	
35	55	66	82	
40	72	90	107	L = WS
45	120	150	180	
50	133	167	200	
55	147	183	220	
60	160	200	240	
65	173	217	260	
70	187	233	280	

8' minimum shoulder width.
L = Length of shoulder taper in feet
WS = Width of total shoulder in feet
(combined paved and unpaved width)
S = Posted speed limit (mph)

Table I
Device Spacing

Speed (mph)	Max. Distance Between Devices (ft)			
	Cones or Tubular Markers	Type I or Type II Barricades or Vertical Pancake or Drums	Taper	Tangent
25	25	50	25	50
30 to 45	25	50	30	50
50 to 70	25	50	50	100

1. Signs and channelizing devices may be omitted if all of the following conditions are met:
a) Work operations are 60 minutes or less.
b) Vehicles in the work area have high-intensity, rotating, flashing, oscillating, or strobe lights operating.

- GENERAL NOTES**
- All vehicles, equipment, workers (except flaggers), and their activities are restricted to one side of the roadway.
 - When four or more work vehicles enter the through traffic lanes in a one hour period or less (excluding establishing and terminating the work area), the advanced FLAGGER sign shall be substituted for the WORKERS sign. For location of flaggers and FLAGGER signs, see Index No. 603.
 - WORKERS sign to be removed or fully covered when no work is being performed.
 - SHOULDER WORK sign may be used as an alternate to the WORKER symbol sign only on the side where the shoulder work is being performed.
 - When a side road intersects the highway within the TTC zone, additional TTC devices shall be placed in accordance with other applicable TTC indexes.
 - For general TTC requirements and additional information refer to Index No. 600.

- SYMBOLS**
- Work Area
 - Sign With 18" x 18" (Min.) Orange Flag And Type B Light
 - Channelizing Device (See Index No. 600)
 - Work Zone Sign
 - Lane Identification - Direction of Traffic

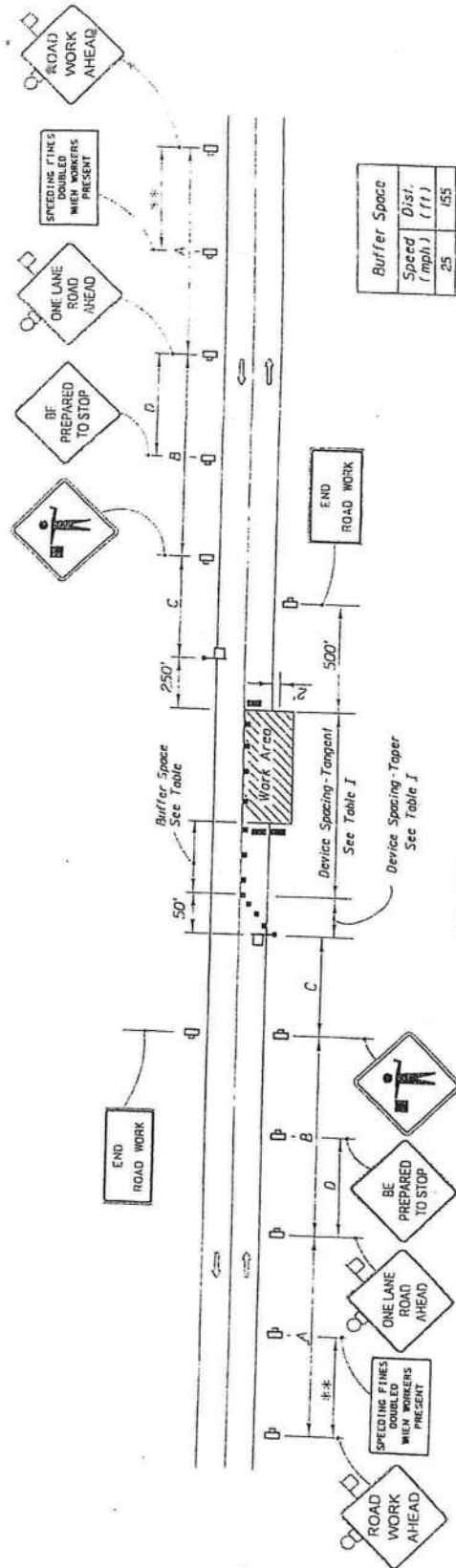
DISTANCE BETWEEN SIGNS

Speed	Spacing (ft)
40 mph or less	200
45 mph	350
50 mph or greater	500

* 500' beyond the ROAD WORK AHEAD sign or midway between signs whichever is less.

CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ENCRDACH THE AREA CLOSER THAN 15' BUT NOT CLOSER THAN 2' TO THE EDGE OF TRAVEL WAY.



Speed (mph)	Dist. (ft)
25	155
30	200
35	250
40	305
45	360
50	425
55	495
60	570
65	645
70	730

When Buffer Space cannot be obtained due to geometric constraints, the greatest attainable length shall be used, but not less than 200 ft.

Speed (mph)	Max. Distance Between Devices (ft)
25 to 45	20
45 to 50	20
50 to 55	20
55 to 60	20
60 to 65	20
65 to 70	20
70 to 75	20

Table I
Device Spacing

GENERAL NOTES

- Work operations shall be confined to one traffic lane, leaving the opposite lane open to traffic.
- All vehicles, equipment, workers (except flaggers), and their activities are restricted to one side of the roadway.
- Additional one-way control may be effected by the following means:
(1) Flag-carrying vehicle; (2) Official vehicle;
(3) Flag vehicles; (4) Traffic signals.

SYMBOLS

Work Area

Sign With 18" x 18" (Min.)
Orange Flag And Type B Light

Type I, Type II Or Type III Barricade
Or Vertical Panel Or Drum
Channelizing Device (See Index No. 600)

Work Zone Sign

Flagger

Lane Identification - Direction of Traffic

DURATION NOTES

- ROAD WORK AHEAD and the BE PREPARED TO STOP signs may be omitted if all of the following conditions are met:
a) Work operations are 60 minutes or less.
b) Speed limit is 45 mph or less.
c) No sight obstructions to vehicles approaching the work area for a distance equal to the buffer space.
d) Vehicles in the work area have high-intensity, rotating, flashing, oscillating, or strobe lights operating.
e) Volume and complexity of the roadway has been considered.

CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ENCRUCH THE AREA BETWEEN THE CENTERLINE AND A LINE 2' OUTSIDE THE EDGE OF TRAVEL WAY.



2008 FDOT Design Standards

TWO-LANE TWO-WAY, WORK WITHIN THE TRAVEL WAY

Last Revision
07/01/05
Sheet No.
1 of 1
Index No.
603

Speed	Spacing (ft)			
	A	B	C	D
40 mph or less	200	200	200	100
45 mph	350	350	350	175
50 mph	500	500	500	250
55 mph or greater	660	660	660	330

* The ROAD WORK 1 MILE sign may be used as an alternate to the ROAD WORK AHEAD sign.

** 500' beyond the ROAD WORK AHEAD sign or midway between signs whichever is less.

*** BE PREPARED TO STOP sign may be omitted for speeds of 45 MPH or less.

IPMENT.
VITIES
OSER
R THAN
VEL WAY.

Last Revision
07/01/05
Sheet No.
1 of 1
Index No.
602

0903-47

STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
ON-SITE SEWAGE DISPOSAL SYSTEM

FW

APPLICATION FOR CONSTRUCTION PERMIT
Authority: Chapter 381, FS & Chapter 10D-6, FAC

PERMIT # 917021
DATE PAID 3/25/09
FEE PAID \$ 310.00
RECEIPT # 1187728
CR # 08-4597

4/3 Amendment 1108702

APPLICATION FOR:

[X] New System [] Existing System [] Holding Tank [] Temporary/Experimental System
[] Repair [] Abandonment [] Other (Specify)

APPLICANT: DANIEL NICKELSON

TELEPHONE: 386-752-2281

AGENT: PETERSEN CONSTRUCTION/NORTH FLORIDA PERMIT SERVICES

MAILING ADDRESS: 387 SW KEMP COURT CITY: LAKE CITY STATE: FL ZIP: 32024

911-8673 SW St Rd 47 Lake City FL 32024

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. ATTACH BUILDING PLAN AND TO-SCALE SITE PLAN SHOWING PERTINENT FEATURES REQUIRED BY CHAPTER 10D-6, FLORIDA ADMINISTRATIVE CODE.

PROPERTY INFORMATION [IF LOT IS NOT IN A RECORDED SUBDIVISION, ATTACH LEGAL DESCRIPTION OR DEED]

LOT: N/A BLOCK: N/A SUBDIVISION: MEETS & BOUNDS DATESUBD: N/A

PROPERTY ID #: 10-SS-16-03528-005 [Section/Township/Range/Parcel] ZONING: N/A

PROPERTY SIZE: 2.40 ACRES [Sqft/43560] PROPERTY WATER SUPPLY: [X] PRIVATE [] PUBLIC

PROPERTY STREET ADDRESS: 418 SW MEADOW TERRACE

DIRECTIONS TO PROPERTY: HIGHWAY 47 SOUTH, LOT ON LEFT APPROXIMATELY 1/2 MILE PAST COUNTY ROAD 240

BUILDING INFORMATION

[X] RESIDENTIAL

[] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	# Persons Served	Business Activity For Commercial Only
1	HOUSE (Future)	3	2000	4	GARAGE APT.
2	Garage Apt (Now)	1	768		NOW, HOUSE
3	Sign				TO BE BUILT
4	date 4-3-09				LATER

[N] Garbage Grinders/Disposals
[N] Ultra-low Volume Flush Toilets

[N] Spas/Hot Tubs
[N] Other (Specify)

[N] Floor/Equipment Drain:

APPLICANT'S SIGNATURE: Zinda Roden

DATE: 3-25-09

STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
ONSITE SEWAGE DISPOSAL SYSTEM
CONSTRUCTION PERMIT
Authority: Chapter 381, FS & Chapter 10D-6, FAC

09-0187
PERMIT # 917021
DATE PAID 3/27/09
FEE PAID \$ 1370.00
RECEIPT # 1107478
CR # 08-4597

CONSTRUCTION PERMIT FOR:

[X] New System [] Existing System [] Holding Tank [] Temporary/Experimental System
[] Repair [] Abandonment [] Other (Specify) _____

APPLICANT: DANIEL NICKELSONAGENT: PETERSEN CONSTRUCTION/NORTH FLORIDAPROPERTY STREET ADDRESS: 418 SW MEADOW TERRACELOT: N/A BLOCK: N/A SUBDIVISION: MEETS & BOUNDSPROPERTY ID #: 10-5S-16-03528-005 [SECTION/TOWNSHIP/RANGE/PARCEL NO.]
[OR TAX ID NUMBER]

=====

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 10D-6, FAC. REPAIR PERMITS AND HOLDING TANK PERMITS EXPIRE 90 DAYS FROM THE DATE OF ISSUE. ALL OTHER PERMITS EXPIRE 18 MONTHS FROM THE DATE OF ISSUE. HRS APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID.

=====

SYSTEM DESIGN AND SPECIFICATIONS

T	[900]	[GALLONS / GPD]	SEPTIC TANK	CAPACITY	MULTI-CHAMBERED/IN SERIES: []
A	[]	[GALLONS / GPD]		CAPACITY	MULTI-CHAMBERED/IN SERIES: []
N	[0]	GALLONS GREASE INTERCEPTOR CAPACITY			[MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS]
K	[]	GALLONS PER DOSE DOSING TANK CAPACITY		DOSE RATE [N] PER 24 HRS	NO. OF PUMPS: [N]

D [375.0] SQUARE FEET PRIMARY DRAINFIELD SYSTEM

R [] SQUARE FEET SYSTEM

A TYPE SYSTEM: [X] STANDARD [] FILLED [] MOUND []

I CONFIGURATION: [X] TRENCH [] BED []

F LOCATION OF BENCHMARK: TOP OF 2" X 4" POST EAST OF SYSTEM SITE

I ELEVATION OF PROPOSED SYSTEM SITE IS [16] INCHES BELOW BENCHMARK/REFERENCE POINT

E BOTTOM OF DRAINFIELD TO BE ± [46] INCHES BELOW BENCHMARK/REFERENCE POINT

L

D FILL REQUIRED: [0] INCHES EXCAVATION REQUIRED: [0.0] INCHES

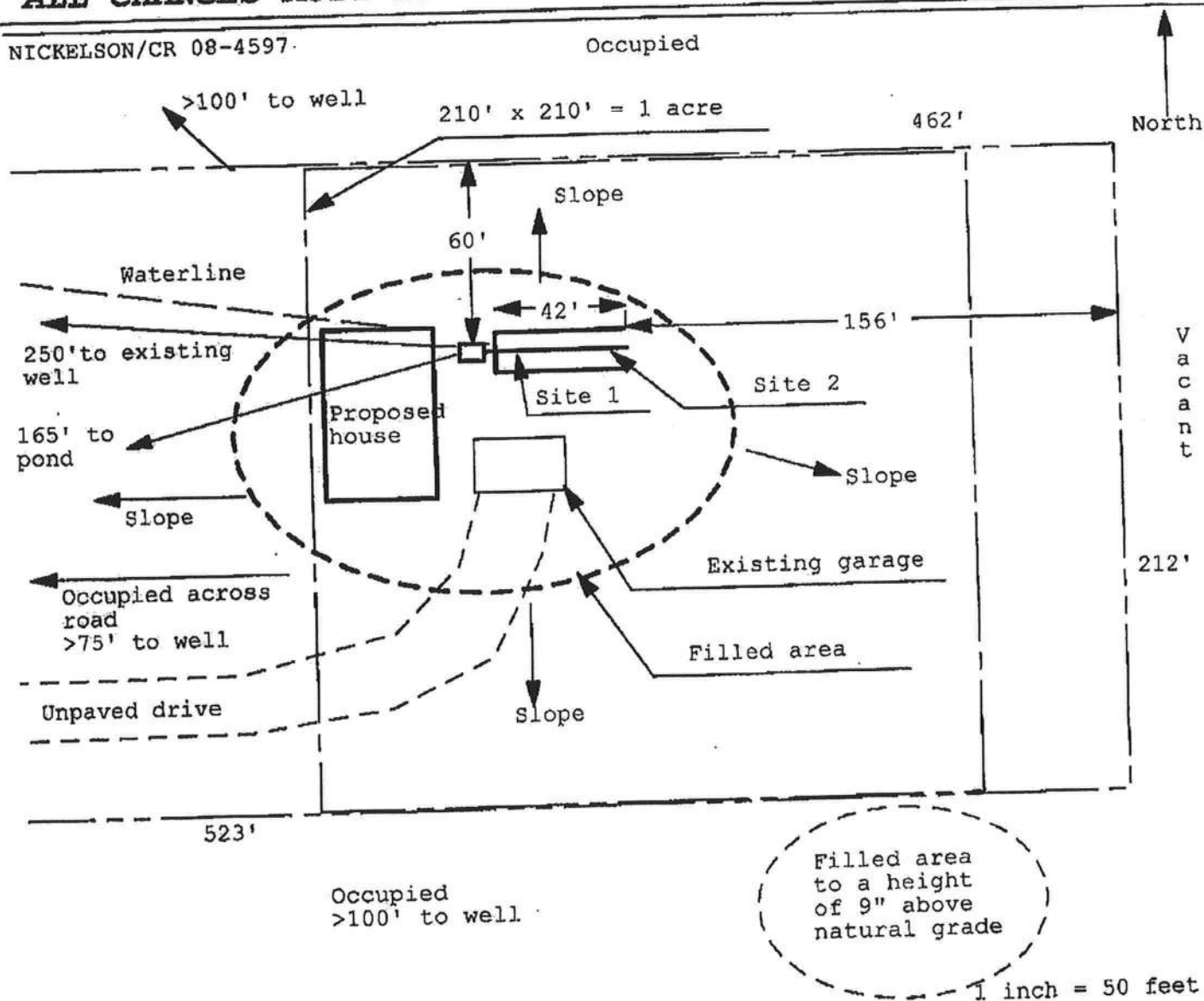
O Permit is for garage Apt only. P.S.E. sized for larger than required
 T code would be 200 gal w/ 250 sq ft of drainfield. Applicant will be required to apply for
 H existing system permit when constructing the house because health department will be
 E releasing final for garage Apt, and will need to reinspect home to ensure proper
 R is being converted back to garage. Applicant may wish to install larger tank & drainfield
to accommodate apartment in future.

SPECIFICATIONS BY: Paul Lloyd TITLE: Soil ScientistAPPROVED BY: Mark A. Lander TITLE: Env Manager COLUMBIA, CFDATE ISSUED: 3-31-09EXPIRATION DATE: 10-1-09

Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan
Permit Application Number: 09-0187

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT



Site Plan Submitted By _____
Plan Approved ✓ No _____

Plan Approved

Not Approved

Date 3-31-09

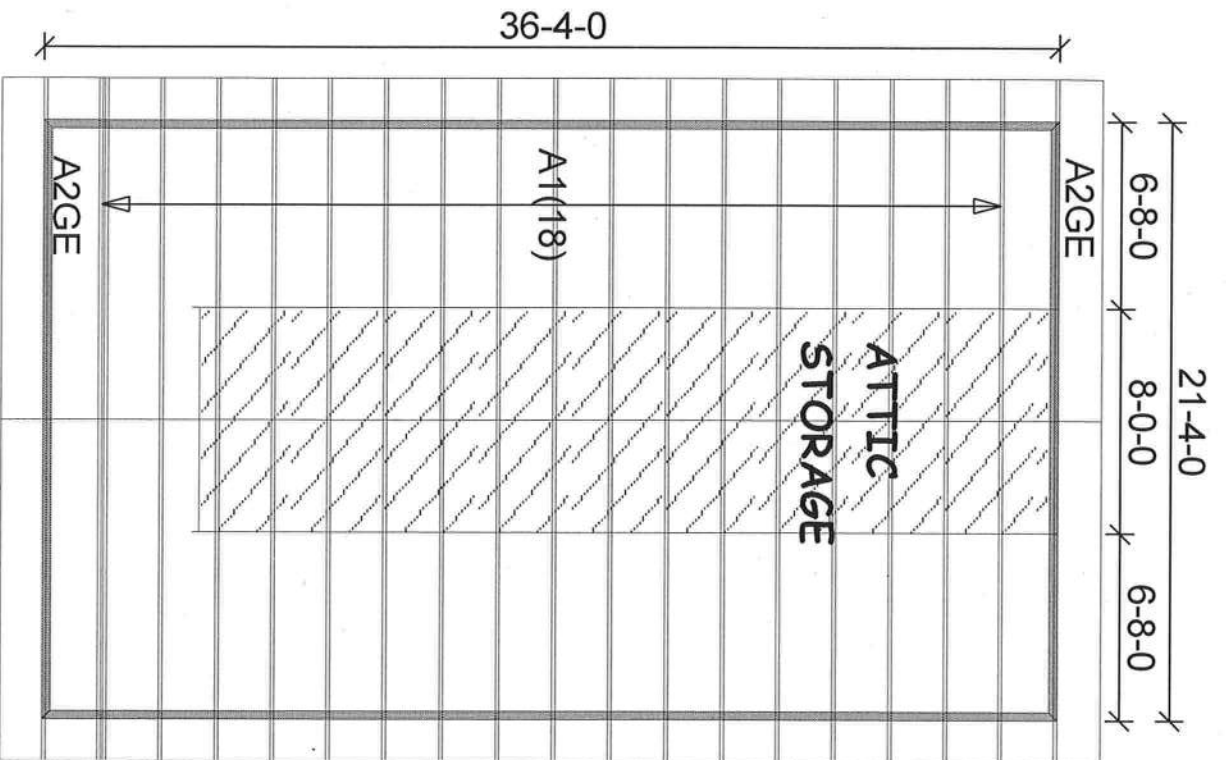
Date 3/25/09

By

Mark A. Zuck

Columbia CPHU

Notes: For garage Apartment only. Not house



8' BEARING
 8/12 ROOF
 18" OVERHANG
 1-7-3 OA HEEL TO MATCH
 FUTURE 9' BEARING 9/12 ROOF

Mayo Truss Co., Inc.
 845 East US 27
 MAYO, FL 32066
 (386)294-3988
 (877)-558-6262

NATE-PETERSEN CONST.
 NICKELSON GARAGE
 COLUMBIA COUNTY
 120 MPH ASCE WIND LOAD

Roof Loading
 TC Live: 20.00 psf
 TC Dead: 10.00 psf
 BC Live: 0.00 psf
 BC Dead: 10.00 psf
 TC Stress Inc: 25.00
 BC Stress Inc: 25.00
 Spacing: 2'-0" o.c.

Account: INDIVIDUAL
 Job: NATE-GARAGE
 Designer: C. LITTLE
 Checker:
 Date: 12-03-08



RE: NATE-GARAGE -

Site Information:

Customer Info: NATE PETERSON CONST. Model: NICKELSON GARAGE
Lot/Block: . Subdivision: .
Address: .
City: COLUMBIA COUNTY State: FLORIDA

Name Address and License # of Structural Engineer of Record, If there is one, for the building.

Name: License #:
Address:
City: State:

General Truss Engineering Criteria & Design Loads (Individual Truss Design Drawings Show Special Loading Conditions):

Design Code: FBC2004/TPI2002 Design Program: Robbins OnLine Plus 23.0.042
Wind Code: ASCE 7-02 Wind Speed: 120 mph Floor Load: N/A psf
Roof Load: 40.0 psf

This package includes 2 individual, dated Truss Design Drawings and 0 Additional Drawings.
With my seal affixed to this sheet, I hereby certify that I am the Truss Design Engineer and this index sheet conforms to 61G15-31.003, section 5 of the Florida Board of Professional Engineers Rules.

No.	Seal#	Truss Name	Date
1	T3222301	A1	12/2/08
2	T3222302	A2GE	12/2/08

The truss drawing(s) referenced above have been prepared by Robbins Engineering, Inc. under my direct supervision based on the parameters provided by Mayo Truss Company, Inc..

Truss Design Engineer's Name: Velez, Joaquin

My license renewal date for the state of Florida is February 28, 2009.

NOTE: The seal on these drawings indicate acceptance of professional engineering responsibility solely for the truss components shown. The suitability and use of this component for any particular building is the responsibility of the building designer, per ANSI/TPI-1 Sec. 2.

6904 Parke East Boulevard
Tampa, FL 33610-4115
Phone: 813-972-1135 • Fax: 813-971-6117
www.robbseng.com

Joaquin Velez, FL Lic. #68182
Robbins Engineering
6904 Parke East Blvd
Tampa, FL, 33610
FL Cert.#5555

DALLAS

TAMPA

FT. WORTH
Velez, Joaquin

December 2, 2008

1 of 1

BOARD OF COUNTY COMMISSIONERS

OFFICE OF

BUILDING & ZONING

COLUMBIA COUNTY, FLORIDA

CERTIFICATE OF OCCUPANCY RECEIPT

RECEIPT NUMBER / PERMIT NUMBER 000027810 DATE 05/28/2009

APPLICANT LINDA RODER

OWNER DAN & GAIL NICKELSON

CONTRACTOR NATHAN PETERSEN

PARCEL ID NUMBER 10-5S-16-03529-005 NUMBER OF EXISTING DWELLINGS 0

TYPE OF DEVELOPMENT GARAGE APARTMENT

HEATED FLOOR AREA 768.00 TOTAL AREA 768.00

FEES:

FIRE FEE (5 ACRES OR LESS) 32.10

FIRE FEE (MORE THAN 5 ACRES) _____

WASTE ASSESSMENT FEE 83.75

TOTAL ASSESSMENT FEES CHARGED 115.85

CHECK NUMBER _____

MAKE CHECKS PAYABLE TO: BCC (Board of County Commissioners)

135 NE Hernando Ave., Suite B-21
Lake City, Florida 32055
Phone: 386-758-1008
Fax: 386-758-2160



*Did not
PAY*

*Sent Assessment
Sheet to Tax Collector
10/20/09
G*

CERTIFICATE OF OCCUPANCY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 10-5S-16-03529-005

Building permit No. 000027810

Use Classification GARAGE APARTMENT

Fire: 32.10

Permit Holder NATHAN PETERSEN

Waste: 83.75

Owner of Building DAN & GAIL NICKELSON

Total: 115.85

Location: 8673 SW SR 47, LAKE CITY, FL

Date: 05/28/2009

Fanny Dicks

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)



Location:

Project Name:

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number
A. EXTERIOR DOORS			
1. Swinging	Mayfair	entry door	FL 1311
2. Sliding			
3. Sectional			
4. Roll up	general american	garage door	FL 2868
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung	Danvid	single hung windows	FL 1369
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
C. PANEL WALL			
1. Siding	Janes Hardie	hardiboard siding	FL 889-R1
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles	Tamko	30-year shingles	FL 673
2. Underlayments			
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
3. Liquid Applied Roof Sys			
14. Cements-Adhesives - Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
E. SHUTTERS			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight			
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor			
2. Truss plates			
3. Engineered lumber			
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection

Dan Nickelson
Contractor or Contractor's Authorized Agent Signature
Dan Nickelson
Location

Linda Roder
Print Name
Date
Permit # (FOR STAFF USE ONLY)

Brian Kepner

From: Marlin Feagle [leagle@bellsouth.net]
Sent: Thursday, April 09, 2009 4:57 PM
To: Brian Kepner
Subject: Nickelson

Brian, your principal dwelling affidavit looks ok. Have a great Easter. Marlin

**COLUMBIA COUNTY BUILDING DEPARTMENT
RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST
FOR THE FLORIDA RESIDENTIAL BUILDING CODE 2004 with 2005 & 2006
Supplements and One (1) and Two (2) Family Dwellings**

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current FLORIDA BUILDING CODES and the Current FLORIDA RESIDENTIAL CODE. ALL PLANS OR DRAWING SHALL PROVIDED CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE- AND-TWO FAMILY DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the Residential Code (Florida Wind speed map) SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE -----110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

GENERAL REQUIREMENTS:

- Two (2) complete sets of plans containing the following:
- All drawings must be clear, concise and drawn to scale, details that are not used shall be marked void
- Condition space (Sq. Ft.) and total (Sq. Ft.) under roof shall be shown on the plans.
- Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents per FBC 106.1.

Site Plan information including:

- Dimensions of lot or parcel of land
- Dimensions of all building set backs
- Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.
- Provide a full legal description of property.

Wind-load Engineering Summary, calculations and any details required:

- Plans or specifications must meet state compliance with FRC Chapter 3
- The following information must be shown as per section FRC
- Basic wind speed (3-second gust), miles per hour
- Wind importance factor and nature of occupancy
- Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated
- The applicable internal pressure coefficient, Components and Cladding The design wind pressure in terms of psf (kN/m²), to be used for the design of exterior component and cladding materials not specifiably designed by the registered design professional.

Elevations Drawing including:

- All side views of the structure
- Roof pitch
- Overhang dimensions and detail with attic ventilation
- Location, size and height above roof of chimneys
- Location and size of skylights with Florida Product Approval
- Number of stories
- e) Building height from the established grade to the roofs highest peak

Floor Plan including:

- Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies and raised floor surfaces located more than 30 inches above the floor or grade
- All exterior and interior shear walls indicated
- Shear wall opening shown (Windows, Doors and Garage doors)
- Emergency escape and rescue opening in each bedroom (net clear opening shown)
- Safety glazing of glass where needed
- Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FRC)
- Stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails (see FRC 311)
- Plans must show and identify accessibility of bathroom (see FRC 322)

All materials placed within opening or onto/into exterior shear walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plans (see Florida product approval form)

Foundation Plans Per FRC 403:

- a) Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.
- b) All posts and/or column footing including size and reinforcing
- c) Any special support required by soil analysis such as piling.
- d) Assumed load-bearing value of soil _____ (psf)
- e) Location of horizontal and vertical steel, for foundation or walls (include # size and type)

CONCRETE SLAB ON GRADE Per FRC R506

- Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)
- Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports

PROTECTION AGAINST TERMITES Per FRC 320:

- Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or submit other approved termite protection methods. Protection shall be provided by registered termiticides

Masonry Walls and Stem walls (load bearing & shear Walls) FRC Section R606

- Show all materials making up walls, wall height, and Block size, mortar type
- Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

- Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer
- Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers
- Girder type, size and spacing to load bearing walls, stem wall and/or piers
- Attachment of joist to girder
- Wind load requirements where applicable
- Show required under-floor crawl space
- Show required amount of ventilation opening for under-floor spaces
- Show required covering of ventilation opening.
- Show the required access opening to access to under-floor spaces
- Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & intermediate of the areas structural panel sheathing
- Show Draft stopping, Fire caulking and Fire blocking
- Show fireproofing requirements for garages attached to living spaces, per FRC section R309
- Provide live and dead load rating of floor framing systems (psf).

WOOD WALL FRAMING CONSTRUCTION FRC CHAPTER 6

- Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls.
- Fastener schedule for structural members per table R602.3 (1) are to be shown.
- Show wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing
- Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems.
- Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FRC Table R502.5 (1)
- Indicate where pressure treated wood will be placed.
- Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas
- A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail

ROOF SYSTEMS:

- Truss design drawing shall meet section FRC R802.10 Wood trusses. Include a layout and truss details and be signed and sealed by Fl. Pro. Eng.
- Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters
- Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details
- Provide dead load rating of trusses

Conventional Roof Framing Layout Per FRC 802:

- Rafter and ridge beams sizes, span, species and spacing
- Connectors to wall assemblies' include assemblies' resistance to uplift rating.
- Valley framing and support details
- Provide dead load rating of rafter system.

ROOF SHEATHING FRC Table R602.3(2) FRC 803

- Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing on the edges & intermediate areas

ROOF ASSEMBLIES FRC Chapter 9

- Include all materials which will make up the roof assemblies covering; with Florida Product Approval numbers for each component of the roof assemblies covering.

FCB Chapter 13 Florida Energy Efficiency Code for Building Construction

- Residential construction shall comply with this code by using the following compliance methods in the FBC Subchapter 13-6, Residential buildings compliance methods. Two of the required forms are to be submitted, showing dimensions condition area equal to the total condition living space area
- Show the insulation R value for the following areas of the structure: Attic space, Exterior wall cavity and Crawl space (if applicable)

HVAC information shown

- Manual J sizing equipment or equivalent computation
- Exhaust fans locations in bathrooms

Plumbing Fixture layout shown

- All fixtures waste water lines shall be shown on the foundation plan

Electrical layout shown including:

- Switches, outlets/receptacles, lighting and all required GFCI outlets identified
- Ceiling fans
- Smoke detectors
- Service panel, sub-panel, location(s) and total ampere ratings

NA
window
unit

- On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.
- Appliances and HVAC equipment and disconnects
- Arc Fault Circuits (AFCI) in bedrooms
- Notarized Disclosure Statement for Owner Builders
- Notice of Commencement Recorded (in the Columbia County Clerk Office) Notice Of Commencement is required to be filed with the building department Before Any Inspections Will Be Done.

Private Potable Water

- Size of pump motor
- Size of pressure tank
- Cycle stop valve if used

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

- Building Permit Application: A current Building Permit Application form is to be completed and submitted for all residential projects.
- Parcel Number: The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested.
- Environmental Health Permit or Sewer Tap Approval: A copy of the Environmental Health permit, existing septic approval or sewer tap approval is required before a building permit can be issued. (386) 758-1058 (Toilet facilities shall be provided for construction workers)
- City Approval: If the project is to be located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321
- Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED. A development permit will also be required. The permit cost is \$50.00.
- Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.
- 911 Address: If the project is located in an area where the 911 address has been issued, then the proper Paper work from the 911 Addressing Departments must be submitted. (386) 758-1125

ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. NOTIFICATION WILL BE GIVEN WHEN THE APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT.

Residential System Sizing Calculation

Summary

Darrell & Rella Nickelson
Hwy 47 south
Lake City, FL 32024-

Project Title:
Nickelson Residence

Code Only
Professional Version
Climate: North

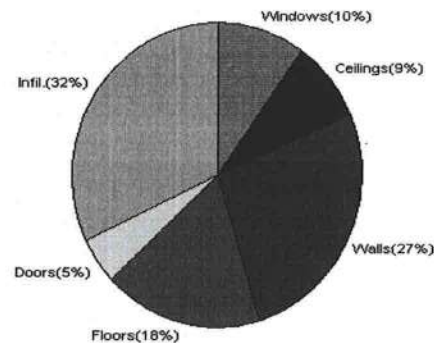
5/11/2009

Location for weather data: Gainesville - Defaults: Latitude(29) Altitude(152 ft.) Temp Range(M)					
Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(54gr.)					
Winter design temperature	33	F	Summer design temperature	92	F
Winter setpoint	70	F	Summer setpoint	75	F
Winter temperature difference	37	F	Summer temperature difference	17	F
Total heating load calculation	10478	Btuh	Total cooling load calculation	11433	Btuh
Submitted heating capacity	% of calc	Btuh	Submitted cooling capacity	% of calc	Btuh
Total (Electric Heat Pump)	119.3	12500	Sensible (SHR = 0.75)	111.4	9375
Heat Pump + Auxiliary(0.0kW)	119.3	12500	Latent	103.5	3125
			Total (Electric Heat Pump)	109.3	12500

WINTER CALCULATIONS

Winter Heating Load (for 768 sqft)

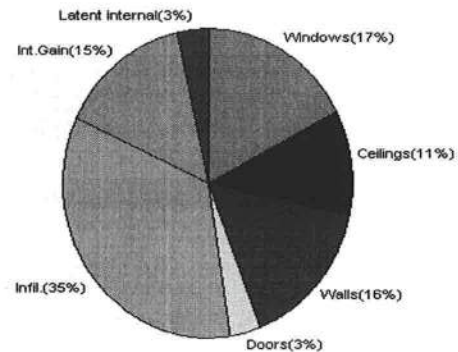
Load component		Load	
Window total	33 sqft	1062	Btuh
Wall total	852 sqft	2799	Btuh
Door total	40 sqft	518	Btuh
Ceiling total	768 sqft	905	Btuh
Floor total	115 sqft	1875	Btuh
Infiltration	82 cfm	3318	Btuh
Duct loss		0	Btuh
Subtotal		10478	Btuh
Ventilation	0 cfm	0	Btuh
TOTAL HEAT LOSS		10478	Btuh



SUMMER CALCULATIONS

Summer Cooling Load (for 768 sqft)

Load component		Load	
Window total	33 sqft	1978	Btuh
Wall total	852 sqft	1778	Btuh
Door total	40 sqft	392	Btuh
Ceiling total	768 sqft	1272	Btuh
Floor total		0	Btuh
Infiltration	72 cfm	1334	Btuh
Internal gain		1660	Btuh
Duct gain		0	Btuh
Sens. Ventilation	0 cfm	0	Btuh
Total sensible gain		8413	Btuh
Latent gain(ducts)		0	Btuh
Latent gain(infiltration)		2620	Btuh
Latent gain(ventilation)		0	Btuh
Latent gain(internal/occupants/other)		400	Btuh
Total latent gain		3020	Btuh
TOTAL HEAT GAIN		11433	Btuh



Version 8
For Florida residences only

EnergyGauge® System Sizing

PREPARED BY:

DATE: 5/11/09

System Sizing Calculations - Winter

Residential Load - Whole House Component Details

Darrell & Rella Nickelson
Hwy 47 south
Lake City, FL 32024-

Project Title:
Nickelson Residence

Code Only
Professional Version
Climate: North

Reference City: Gainesville (Defaults) Winter Temperature Difference: 37.0 F

5/11/2009

WHOLE HOUSE TOTALS

	Subtotal Sensible	10478 Btuh
	Ventilation Sensible	0 Btuh
	Total Btuh Loss	10478 Btuh

EQUIPMENT

1. Electric Heat Pump	#	12500 Btuh
-----------------------	---	------------

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)
(Frame types - metal, wood or insulated metal)
(U - Window U-Factor or 'DEF' for default)
(HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types)



Version 8
For Florida residences only

System Sizing Calculations - Winter

Residential Load - Room by Room Component Details

Darrell & Rella Nickelson
Hwy 47 south
Lake City, FL 32024-

Project Title:
Nickelson Residence

Code Only
Professional Version
Climate: North

Reference City: Gainesville (Defaults) Winter Temperature Difference: 37.0 F

5/11/2009

Component Loads for Zone #1: Main					
Window	Panes/SHGC/Frame/U	Orientation	Area(sqft) X	HTM=	Load
1	2, Clear, Metal, 0.87	W	12.0	32.2	386 Btuh
2	2, Clear, Metal, 0.87	N	15.0	32.2	483 Btuh
3	2, Clear, Metal, 0.87	E	6.0	32.2	193 Btuh
	Window Total		33(sqft)		1062 Btuh
Walls	Type	R-Value	Area X	HTM=	Load
1	Frame - Wood - Ext(0.09)	13.0	852	3.3	2799 Btuh
	Wall Total		852		2799 Btuh
Doors	Type		Area X	HTM=	Load
1	Insulated - Exterior		40	12.9	518 Btuh
	Door Total		40		518Btuh
Ceilings	Type/Color/Surface	R-Value	Area X	HTM=	Load
1	Vented Attic/D/Shin	30.0	768	1.2	905 Btuh
	Ceiling Total		768		905Btuh
Floors	Type	R-Value	Size X	HTM=	Load
1	Slab On Grade	5	114.7 ft(p)	16.4	1875 Btuh
	Floor Total		115		1875 Btuh
	Zone Envelope Subtotal:				7160 Btuh
Infiltration	Type	ACH X Volume(cuft) walls(sqft)	CFM=		
	Natural	0.80 6144 852	81.9		3318 Btuh
Ductload	Average sealed, Supply(R6.0-Cond.), Return(R6.0-Cond)DLM of 0.000)				0 Btuh
Zone #1	Sensible Zone Subtotal				10478 Btuh

WHOLE HOUSE TOTALS

	Subtotal Sensible	10478 Btuh
	Ventilation Sensible	0 Btuh
	Total Btuh Loss	10478 Btuh

Manual J Winter Calculations

Residential Load - Component Details (continued)

Darrell & Rella Nickelson
Hwy 47 south
Lake City, FL 32024-

Project Title:
Nickelson Residence

Code Only
Professional Version
Climate: North

5/11/2009

EQUIPMENT

1. Electric Heat Pump	#	12500 Btuh
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Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)
(Frame types - metal, wood or insulated metal)
(U - Window U-Factor or 'DEF' for default)
(HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types)



Version 8
For Florida residences only

System Sizing Calculations - Summer

Residential Load - Whole House Component Details

Darrell & Rella Nickelson
Hwy 47 south
Lake City, FL 32024-

Project Title:
Nickelson Residence

Code Only
Professional Version
Climate: North

Reference City: Gainesville (Defaults) Summer Temperature Difference: 17.0 F

5/11/2009

The following window Excursion will be assigned to the system loads.

~~527.0~~.87, None,N,N

~~602.0~~.87, None,N,N

~~400.0~~.87, None,N,N

	Window Total		33 (sqft)		1866 Btuh
Walls	Type	R-Value/U-Value	Area(sqft)	HTM	Load
1	Frame - Wood - Ext	13.0/0.09	852.4	2.1	1778 Btuh
	Wall Total		852 (sqft)		1778 Btuh
Doors	Type		Area (sqft)	HTM	Load
1	Insulated - Exterior		40.0	9.8	392 Btuh
	Door Total		40 (sqft)		392 Btuh
Ceilings	Type/Color/Surface	R-Value	Area(sqft)	HTM	Load
1	Vented Attic/DarkShingle	30.0	768.0	1.7	1272 Btuh
	Ceiling Total		768 (sqft)		1272 Btuh
Floors	Type	R-Value	Size	HTM	Load
1	Slab On Grade	5.0	115 (ft(p))	0.0	0 Btuh
	Floor Total		114.7 (sqft)		0 Btuh
Windows	July excursion for System 1				112 Btuh
	Excursion Subtotal:				3554 Btuh
Duct load	(DGM of 0.000)				0 Btuh
	Sensible Load All Zones				3554 Btuh

Manual J Summer Calculations

Residential Load - Component Details (continued)

Darrell & Rella Nickelson
Hwy 47 south
Lake City, FL 32024-

Project Title:
Nickelson Residence

Code Only
Professional Version
Climate: North

5/11/2009

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	Sensible Envelope Load All Zones	8413 Btuh
	Sensible Duct Load	0 Btuh
	Total Sensible Zone Loads	8413 Btuh
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	8413 Btuh
	Latent infiltration gain (for 54 gr. humidity difference)	2620 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	0 Btuh
	Latent occupant gain (2 people @ 200 Btuh per person)	400 Btuh
	Latent other gain	0 Btuh
	Latent total gain	3020 Btuh
	TOTAL GAIN	11433 Btuh

EQUIPMENT

1. Central Unit	#	12500 Btuh
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*Key: Window types (Pn - Number of panes of glass)

(SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)

(U - Window U-Factor or 'DEF' for default)

(InSh - Interior shading device: none(N), Blinds(B), Draperies(D) or Roller Shades(R))

(ExSh - Exterior shading device: none(N) or numerical value)

(BS - Insect screen: none(N), Full(F) or Half(H))

(Ornt - compass orientation)



Version 8
For Florida residences only

System Sizing Calculations - Summer

Residential Load - Room by Room Component Details

Darrell & Rella Nickelson
Hwy 47 south
Lake City, FL 32024-

Project Title:
Nickelson Residence

Code Only
Professional Version
Climate: North

Reference City: Gainesville (Defaults) Summer Temperature Difference: 17.0 F

5/11/2009

The following window Excursion will be assigned to the system loads.

Windows	July excursion for System 1	Excursion Subtotal:	112 Btuh 112 Btuh
Duct load			0 Btuh
	Sensible Excursion Load		112 Btuh

Component Loads for Zone #1: Main

Window	Type*	Ornt	Overhang Len Hgt	Window Area(sqft) Gross Shaded Unshaded	HTM Shaded Unshaded	Load
1	2, Clear, 0.87, None,N,N	W	1.5ft 5.5ft	12.0 0.0 12.0	29 80	954 Btuh
2	2, Clear, 0.87, None,N,N	N	1.5ft 6.5ft	15.0 0.0 15.0	29 29	434 Btuh
3	2, Clear, 0.87, None,N,N	E	1.5ft 8ft.	6.0 0.0 6.0	29 80	477 Btuh
	Window Total			33 (sqft)		1866 Btuh
Walls	Type		R-Value/U-Value	Area(sqft)	HTM	Load
1	Frame - Wood - Ext		13.0/0.09	852.4	2.1	1778 Btuh
	Wall Total			852 (sqft)		1778 Btuh
Doors	Type			Area (sqft)	HTM	Load
1	Insulated - Exterior			40.0	9.8	392 Btuh
	Door Total			40 (sqft)		392 Btuh
Ceilings	Type/Color/Surface		R-Value	Area(sqft)	HTM	Load
1	Vented Attic/DarkShingle		30.0	768.0	1.7	1272 Btuh
	Ceiling Total			768 (sqft)		1272 Btuh
Floors	Type		R-Value	Size	HTM	Load
1	Slab On Grade		5.0	115 (ft(p))	0.0	0 Btuh
	Floor Total			114.7 (sqft)		0 Btuh
	Zone Envelope Subtotal:					5308 Btuh
Infiltration	Type		ACH	Volume(cuft) wall area(sqft)	CFM=	Load
	SensibleNatural		0.70	6144 852	71.7	1334 Btuh
Internal gain			Occupants	Btuh/occupant	Appliance	Load
			2	X 230 +	1200	1660 Btuh
	Sensible Envelope Load:					8302 Btuh
Duct load	Average sealed, Supply(R6.0-Cond.), Return(R6.0-Cond) (DGM of 0.000)					0 Btuh
	Sensible Zone Load					8302 Btuh

Manual J Summer Calculations

Residential Load - Component Details (continued)

Darrell & Rella Nickelson
Hwy 47 south
Lake City, FL 32024-

Project Title:
Nickelson Residence

Code Only
Professional Version
Climate: North

5/11/2009

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	Sensible Envelope Load All Zones	8413 Btuh
	Sensible Duct Load	0 Btuh
	Total Sensible Zone Loads	8413 Btuh
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	8413 Btuh
	Latent infiltration gain (for 54 gr. humidity difference)	2620 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	0 Btuh
	Latent occupant gain (2 people @ 200 Btuh per person)	400 Btuh
	Latent other gain	0 Btuh
	Latent total gain	3020 Btuh
	TOTAL GAIN	11433 Btuh

EQUIPMENT

1. Central Unit	#	12500 Btuh
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*Key: Window types (Pn - Number of panes of glass)
(SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)
(U - Window U-Factor or 'DEF' for default)
(InSh - Interior shading device: none(N), Blinds(B), Draperies(D) or Roller Shades(R))
(ExSh - Exterior shading device: none(N) or numerical value)
(BS - Insect screen: none(N), Full(F) or Half(H))
(Ornt - compass orientation)



Version 8
For Florida residences only

Residential Window Diversity

MidSummer

Darrell & Rella Nickelson
Hwy 47 south
Lake City, FL 32024-

Project Title:
Nickelson Residence

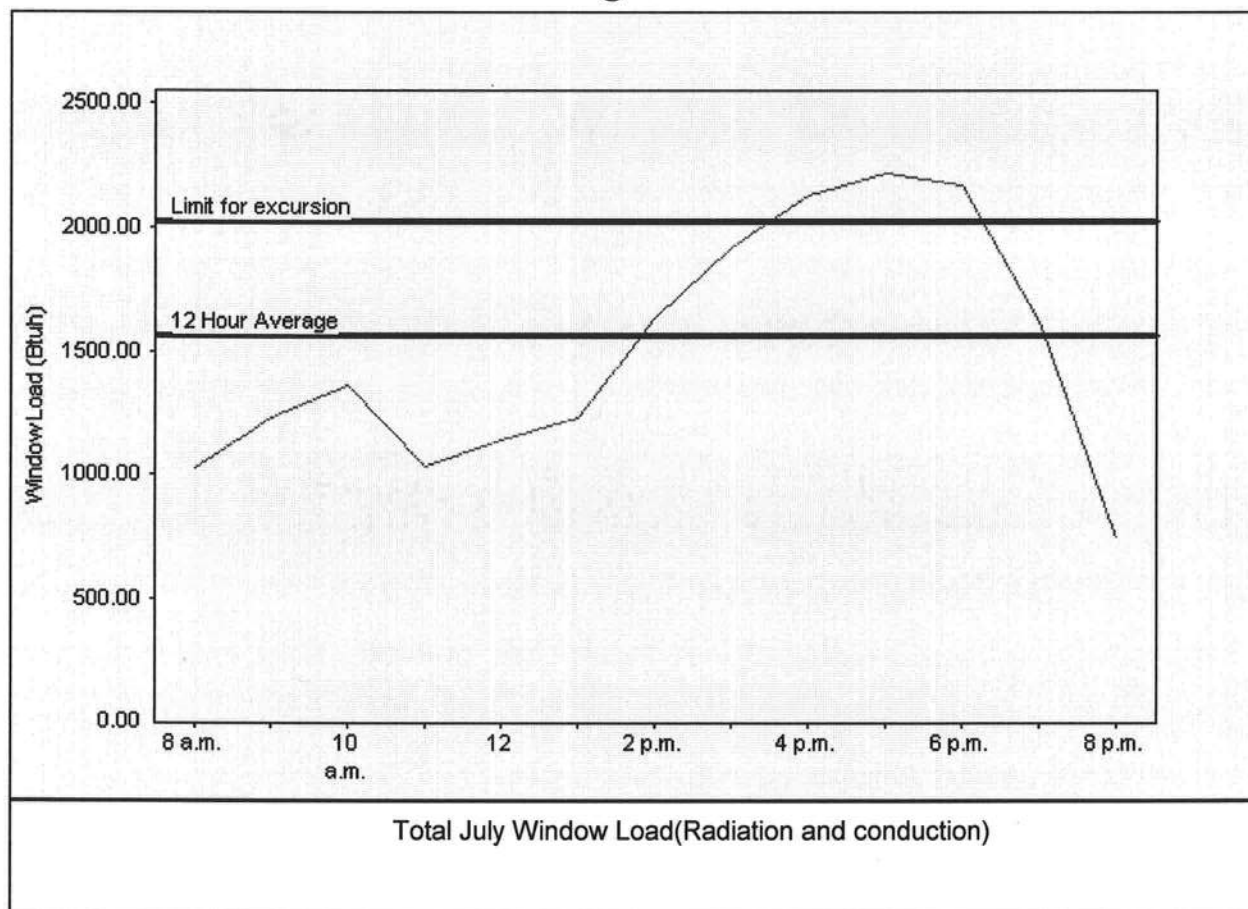
Code Only
Professional Version
Climate: North

5/11/2009

Weather data for: Gainesville - Defaults

Summer design temperature	92 F	Average window load for July	1561 Btuh
Summer setpoint	75 F	Peak window load for July	2221 Btuh
Summer temperature difference	17 F	Excursion limit(130% of Ave.)	2029 Btuh
Latitude	29 North	Window excursion (July)	192 Btuh

WINDOW Average and Peak Loads



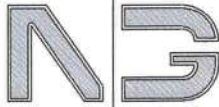
Warning: This application has glass areas that produce relatively large heat gains for part of the day. Variable air volume devices may be required to overcome spikes in solar gain for one or more rooms. A zoned system may be required or some rooms may require zone control.

EnergyGauge® System Sizing for Florida residences only

PREPARED BY: _____

DATE: _____





**NICHOLAS
PAUL
GEISLER**
ARCHITECT
N.C.A.R.B. Certified

1758 NW Brown Road
Lake City, FL 32055
386/755-9021

20 MARCH 2009

JOHNNY KEARSE, BUILDING OFFICIAL
COLUMBIA COUNTY, BUILDING DEPT.
COLUMBIA COUNTY COURTHOUSE ANNEX
LAKE CITY, FLORIDA 32055

RE: DARREL & RELLA NICKELSON GARAGE
PERMIT Nr.: _____

DEAR SIR:

PLEASE BE ADVISED THAT I HAVE INSPECTED THE ABOVE REFERENCED PROJECT IN IT'S "AS-BUILT" CONDITION. PLANS OF THE "AS-BUILT" CONDITIONS OF THE STRUCTURE ARE ATTACHED FOR YOUR REVIEW.

WHILE AT THE JOB SITE THE FOLLOWING LIST OF DEFICIENCIES WAS NOTED AND SHALL BE CORRECTED PRIOR TO APPLICATION FOR A CERTIFICATE OF OCCUPANCY:

1. THE GLAZING IN THE WINDOW OVER THE PROPOSED TOILET LOCATION SHALL BE CHANGED TO TEMPERED GLASS IN LIEU OF THE ANNEALED GLAZING, PRESENTLY IN PLACE.
2. THE ELECTRICIAN SHALL REVIEW ALL RECEPTACLES IN THE SLEEPING AREA AND INSURE ALL SUCH RECEPTACLES ARE OF THE "ARC FAULT INTERRUPTER" TYPE.
3. THE ELECTRICIAN SHALL REVIEW ALL RECEPTACLES IN THE BATHROOM AREA AND THE AREA WITHIN 6'-0" OF THE KITCHEN AREA AS WELL AS ALL EXTERIOR RECEPTACLES ARE EITHER OF THE "GROUND FAULT INTERRUPTER" TYPE OR ARE ON "GFI" CIRCUIT BREAKERS.
4. A WALL MOUNTED LIGHT FIXTURE SHALL BE INSTALLED OUTSIDE OF THE MAN DOOR ON THE WEST SIDE OF THE BUILDING WITH A WALL SWITCH FOR SAME LOCATED NEAR THE DOOR ON THE INSIDE OF THE WALL.

PENDING THESE FEW CORRECTIONS, THIS PROJECT WILL BE IN COMPLIANCE WITH THE 2007 FLORIDA BUILDING CODE.

SHOULD YOU HAVE ANY FURTHER QUESTIONS WITH THIS, PLEASE CALL FOR ASSISTANCE.

YOURS TRULY,
NICHOLAS PAUL GEISLER, ARCHITECT AR0007005