

GENERAL DESIGN REQUIREMENTS

DESIGN DIMENSIONS SHALL COMPLY WITH SPECIFICATIONS IN ANSI/NSPI 5 RESIDENTIAL IN-GROUND SWIMMING POOLS BASED ON THE POOL TYPE AND NSPI 3 PERMANENTLY INSTALLED RESIDENTIAL SPAS. SLIDES SHALL MEET THE MANUFACTURER'S INSTALLATION REQUIREMENTS. ENTRY/EXIT SHALL COMPLY WITH ANSI/NSPI 5 AND NSPI 3 LADDERS, UNDERWATER SEATS, AND SWIM OUTS (MAX 20" BELOW WATER). CIRCULATION SYSTEMS, COMPONENTS AND EQUIPMENT SHALL COMPLY WITH NSF-50. THE MAXIMUM TURNOVER TIME IS 12 HOURS. FILTERS SHALL HAVE AN AIR RELIEF AND PRESSURE GAUGE. PUMPS 3 HP AND LESS SHALL MEET ANSI/UL 1081, CORROSION RESISTANT WITH STRAINER AND MEET THE REQUIRED FLOW SURFACE. SKIMMERS SHALL MEET NSF 50 AND THERE SHALL BE ONE FOR EVERY 800 SQUARE FEET OF SURFACE AREA. RETURN INLETS SHALL BE A MINIMUM OF ONE FOR EVERY 600 SQUARE FEET. HEATERS SHALL MEET ANSI Z21.56 OR UL 1261 OR UL 559. DISINFECTANT EQUIPMENT SHALL COMPLY WITH NSF 50. PRESSURE TEST PIPING AT 35 PSI FOR 15 MINUTES.

The following codes are to be met where required:

Florida Building Code - Residential 2007, with 2009 Supplement
Chapter 41: Section R4101
Florida Building Code - Mechanical 2007
Florida Building Code - Plumbing 2007
Florida Building Code - Fuel Gas 2007
NEC 2008
98-76 Building Construction Administrative Code
ANSI/NSPI 5-03 & 3-99
ANSI/APSP-7 2006

SPECIAL SPA REQUIREMENTS

ELECTRICAL REQUIREMENTS

WIRING AND BONDING AND ALL ELECTRICAL TO NEC2008 ART. 680 OR LOCAL CODE. NO OUTLET OR OVERHEAD POWER WITHIN 10' IF WITHIN 15' PROTECT BY GFI TRANSFORMER MIN. 10' FROM POOL. 8" ABOVE WATER. J BOX 4' FROM POOL. BRASS TO J BOX OR TRANSFORMER WHICH EVER IS FIRST EXCEPT WHERE PVC IS APPROVED.

EQUIPOTENTIAL BONDING GRID TO BE ACCOMPLISHED PER THE NEC 2008, SECTION 680.26(B)(1)b

CONSTRUCTION NOTES:

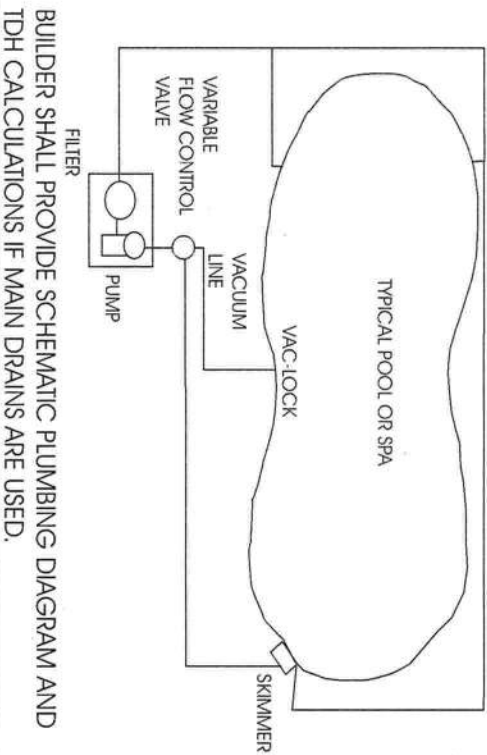
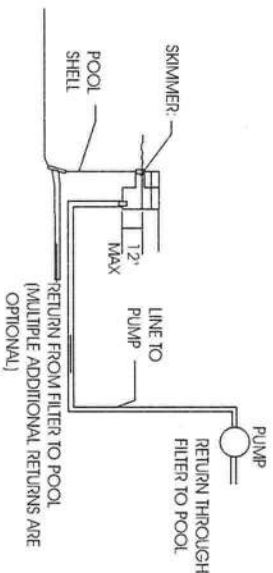
SLAB & FOOTING: 2500 PSI CONCRETE



ADDITIONAL NOTES:

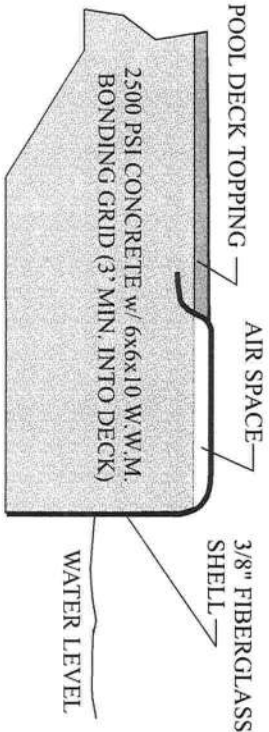
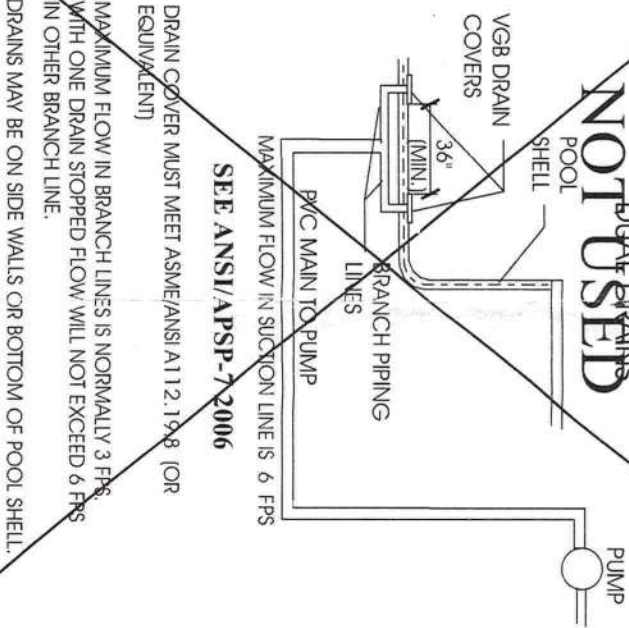
1. POOL INSTALLATION SHALL BE BY A LICENSED POOL CONTRACTOR
2. TYPICAL PROPERTIES OF A REINFORCED FIBERGLASS POOL:
BARCOL HARDNESS OF 30 MIL GEL COAT 30 - 40
GLASS CONTENT BY WEIGHT 37%
TENSILE STRENGTH, PSI AT 77°F 13,400
TENSILE ELONGATION 1 - 2%
FLEXURAL STRENGTH, PSI AT 77°F 900,000 - 1,000,000
FLEXURAL MODULUS, PSI X 10⁶ AT 77°F 0.72 - 0.77
1200 IMPACT FT-LBS INCH OF NOTCH 5.9
COMPRESSIVE STRENGTH, PSI 25000 - 38000
TYPICAL THICKNESS, INCHES 1/4" TO 3/8" AVG.
3. POOL SHELL SHALL BEAR ON UNDISTURBED SOIL, FREE OF PEAT, MUCK, OR OTHER DELETERIOUS MATERIAL OF ANY SIGNIFICANT AMOUNT.
4. BACKFILL MATERIAL MUST NOT CONTAIN ROCKS OR OTHER MATERIALS THAT COULD DAMAGE POOL WALLS.
5. PUMP AND FILTRATION SHALL BE DESIGNED FOR WATER TURNOVER OF 12 HOURS, MAXIMUM.
6. STEPS SHALL BE PROVIDED AT THE SHALLOW END OF THE POOL.
7. LADDERS ARE TO BE PROVIDED IN POOLS WITH GREATER THAN 5' DEPTH WITHOUT SWIM OUTS.
8. INSTALL LOW VOLTAGE LIGHT PER NEC 2008, SECTION 680.
9. DIVING PLATFORMS OR DIVING BOARDS ARE NOT TO BE INSTALLED ON POOLS.
10. POOL SHALL NOT BE DRAINED WITHOUT CONSULTING POOL CONTRACTOR OR ENGINEER.
11. ALL GLASS WITHING 5' OF WATER'S EDGE SHALL COMPLY BUILDING CODE REQUIREMENTS.

SUCTION PIPEWORK DIAGRAM
FOR SKIMMER MAIN RETURN SYSTEM

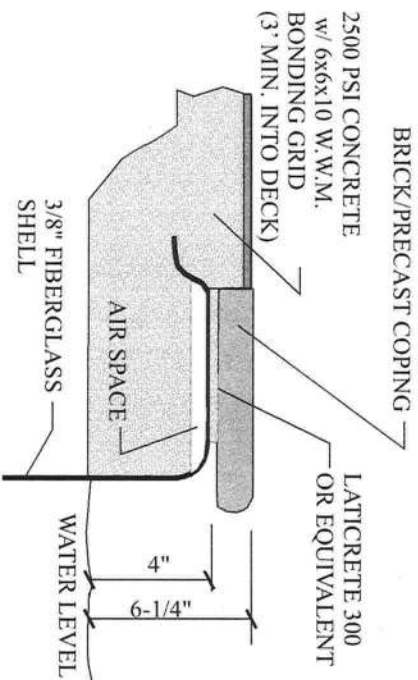


MAIN DRAINS
NOT USED

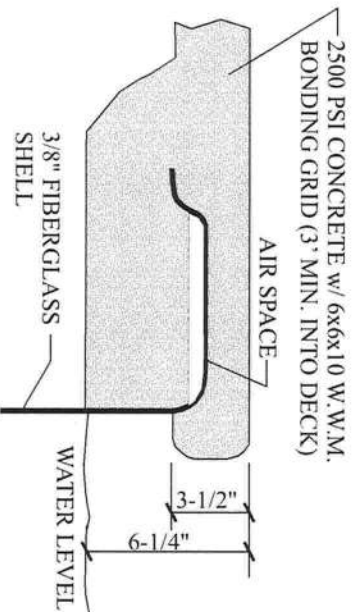
DUAL DRAINS / MAIN DRAINS ARE OPTIONAL. CIRCULATION AND CLEANING BY DESIGN ARE TO BE ACCOMPLISHED WITH SKIMMER AND VACUUM LINE.



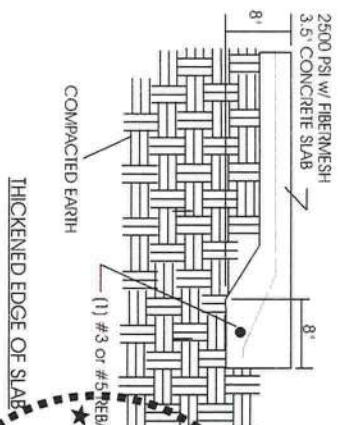
PERIMETER DECK AT POOLSIDE



OPTIONAL BRICK/PRECAST
AT POOLSIDE



OPTIONAL CANTILEVER DECK
AT POOLSIDE



WILLIAM A. BLOCK
No. 52583
STATE OF FLORIDA
PROFESSIONAL ENGINEER
June 13, 2011
Lidon Engineering Company, Inc.
920 Sunset Shores Dr.
Minneapolis, Florida 34715
394-2690 Ph. & FAX

CONTRACTOR:

POOL & SPA WORKS
186 NW BUTTERMILK GLEN
LAKE CITY, FL 32055

OWNER:

DATE 06/24/2011

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT

000029502

APPLICANT LAWRENCE TRUAX PHONE 386-984-0955
ADDRESS 359 SW CREST GLEN LAKE CITY FL 32024
OWNER LAWRENCE TRUAX PHONE 386-984-0955
ADDRESS 359 SW CREST GLEN LAKE CITY FL 32024
CONTRACTOR OWNER BUILDER PHONE
LOCATION OF PROPERTY 90 W, L 247, L KIRBY, L WOODCREST, R WOODVIEW WAY, LEFT
SW CREST GLN, AT CUL-DE-SAC 1ST ON LEFT
TYPE DEVELOPMENT SWIMMING POOL ESTIMATED COST OF CONSTRUCTION 23000.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING RSF-2 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 1 FLOOD ZONE NA DEVELOPMENT PERMIT NO.

PARCEL ID 11-4S-16-02905-331 SUBDIVISION WOODCREST
LOT 31 BLOCK PHASE UNIT 2 TOTAL ACRES

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING NA BK TC N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE

Check # or Cash 2588

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Insulation date/app. by
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by RV date/app. by Re-roof date/app. by

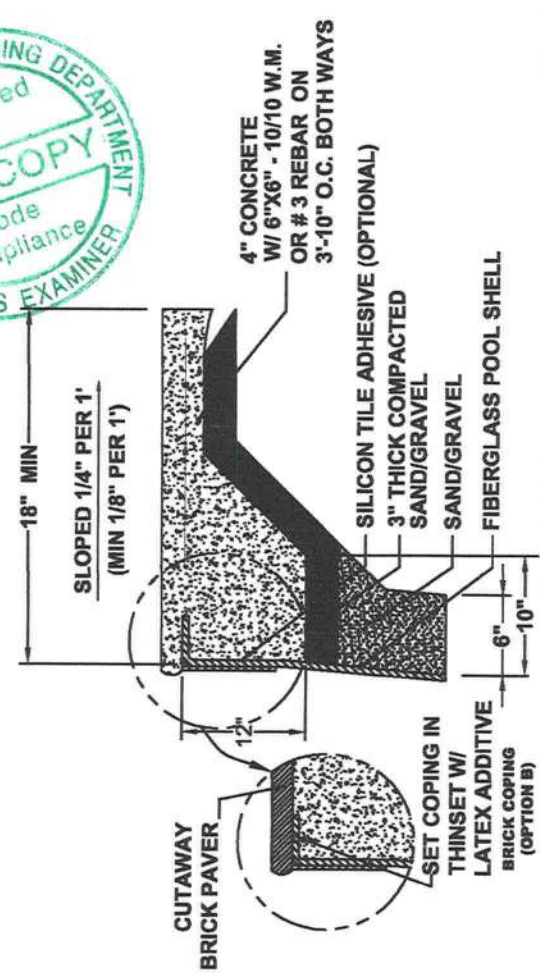
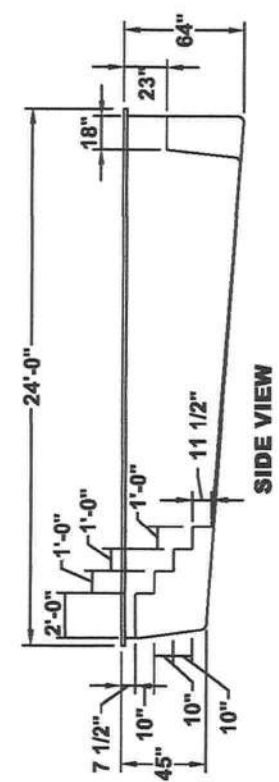
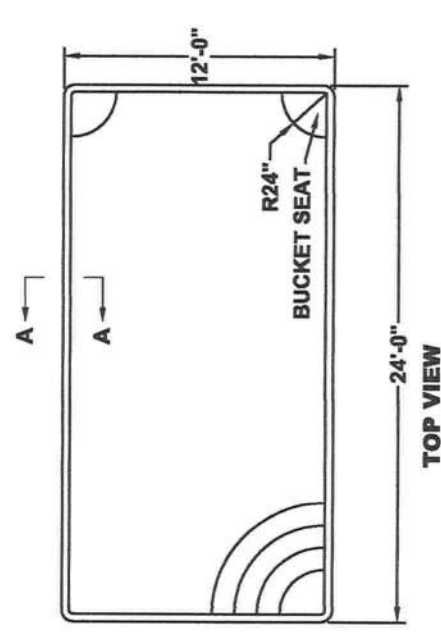
BUILDING PERMIT FEE \$ 115.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 165.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

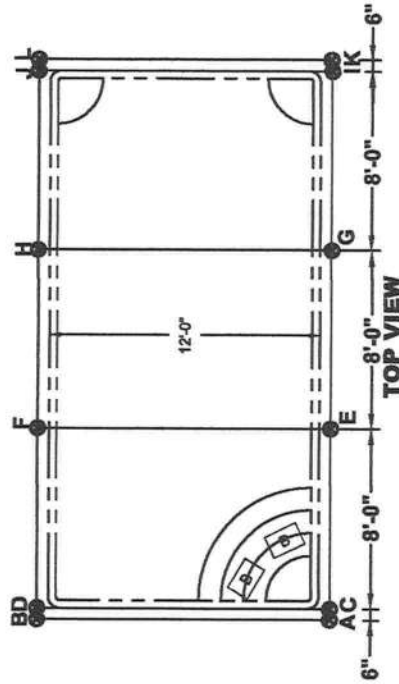
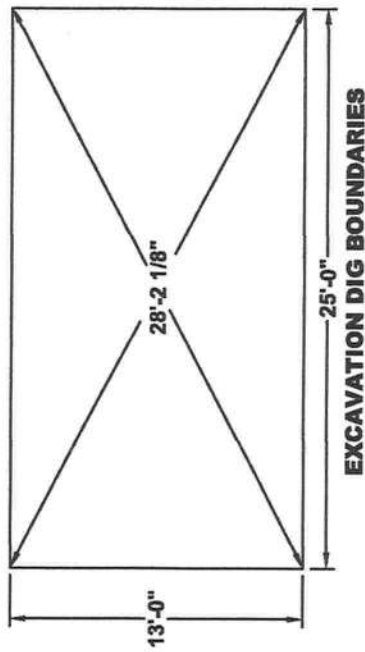


SECTION A-A
CANTILEVER CONCRETE DECK (OPTION A)

This drawing is the property of Trilogy Pools, LLC. Any reproduction, alteration, or use without the written consent of Trilogy Pools, LLC.																
POOL NAME	SIZE (OUTSIDE)	PERIMETER FEET	SURFACE AREA (SQ FT)	TOP STEP SURFACE(SQ IN)	DEPTH	GALLONS	SHT	LBS WT	SIZE:	DWG NO:	REV:	DATE: 01/31/09			SCALE: NTS	SHEET: 2 OF 5
									HELIOS	.03.11						
Helios	24'-0" X 12'-0"	69'	264'	451.5"	3'-9" TO 5'-4"	7,500	F.7	1,900								

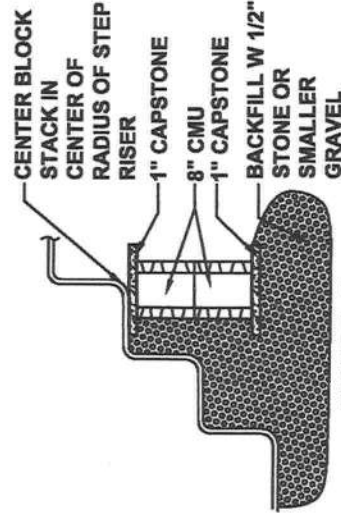
EXCAVATION NOTES:

1. The excavation of the site will coincide to the size and shape of the pool. Typically a 6 to 12 inch over excavation will be sufficient to adequately access all plumbing. Over excavation for the depth is typically less than 4 inches and varies slightly based on local soil type.
2. We recommend using 1/2 inch washed gravel to build base on which to set pool. This same medium should be used to backfill pools.
3. Extra care should be taken to ensure that all transition areas are completely packed. Transition areas are where the pool wall meets the pool bottom or the point at which the shallow end meets the slope or the slope meets the deep end or where the riser for the lowest step meets the pool floor. These areas are high stress areas for the shell and must be given extra attention. If a pool cracks, most of the time it will be in one of these transition areas. Take your time do it right the first time.



DIG POINTS	AB	CD	EF	GH	IJ	KL
DEPTH	45"	45"	51 1/4"	57 1/2"	64"	64"

4. Run plumbing lines at bottom of excavation on gravel to ensure that the earth beneath the pipe will not settle and allow pipe to sag and crack or pull out of a fitting.
5. Pool may be filled to bottom of lowest step with no back fill.
6. [B] : Indicates proper location for stacking CMU blocks for supporting steps. Completely backfill under steps and around CMU blocks.-See figure 1 block detail below.
7. Before cutting any holes check the backside/outside of shell to be sure you are not cutting into a steel hook or sandwich core.

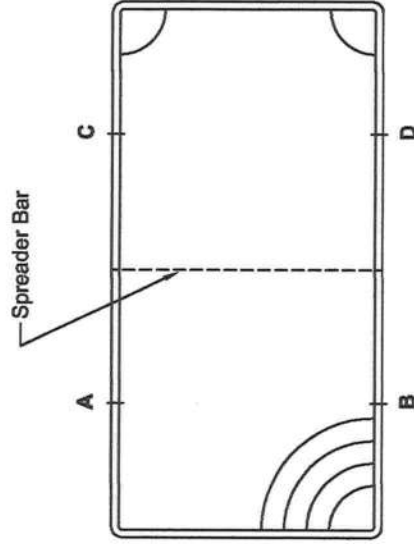


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dissemination, or use is prohibited without the
written consent of Trilogy Pools, LLC.

SIZE:	DWG NO:	REV:	SHEET: 3 OF 5
		.03.11	
DATE: 01/31/08	SCALE: NTS		

HANDLING NOTES:

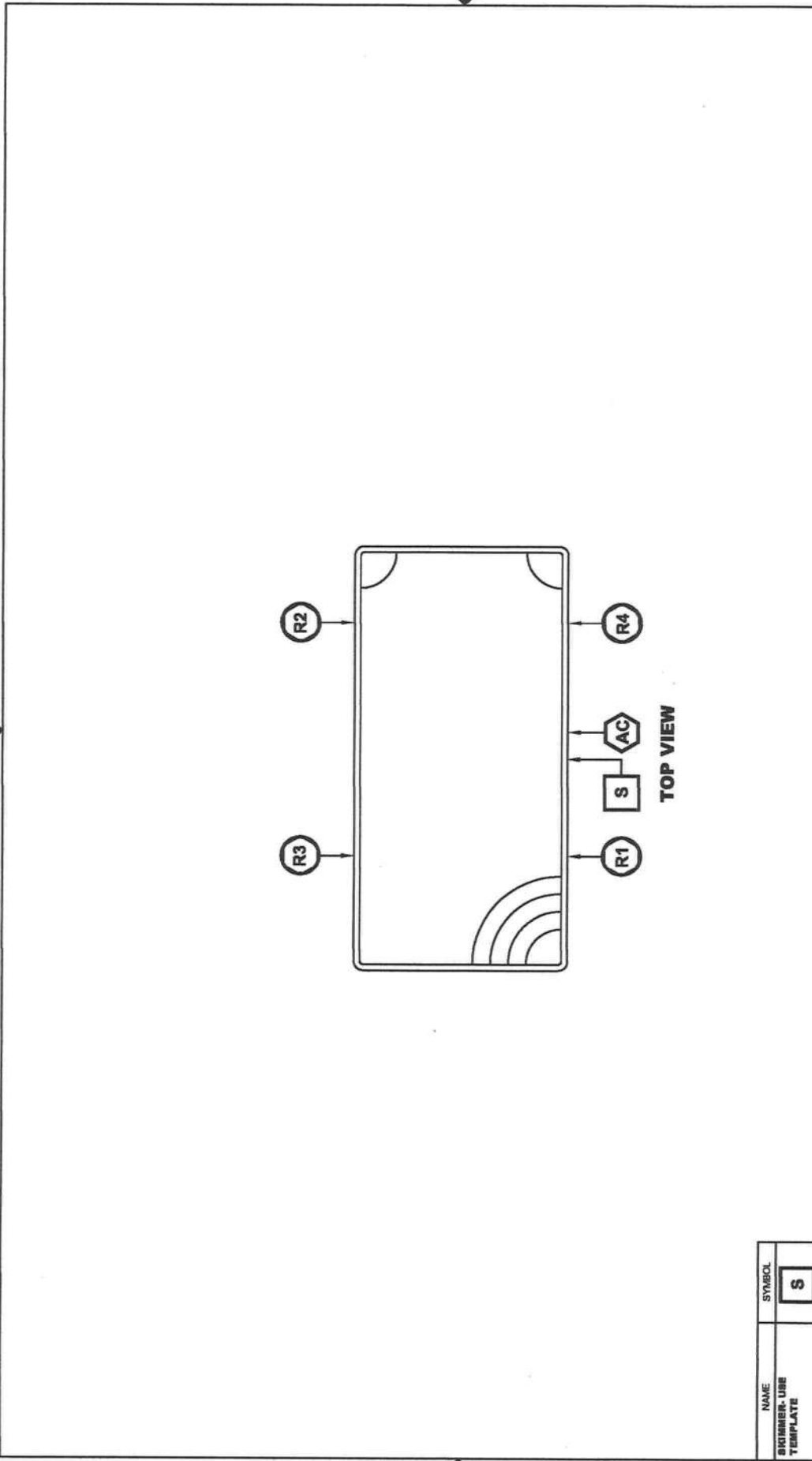
1. (4) 20' straps on B & D (2 each)
2. 33' strap on A
3. 35' strap on C
4. Side "B-D" should be lifted to accomplish flip.



TOP VIEW

This drawing is the property of
Triology Pools, LLC. Any reproduction,
disclosure, or use is prohibited without the
written consent of Triology Pools, LLC.

SIZE:	DWG NO:	HELIOS	REV:	.03.11
DATE: 01/20/11	SCALE: NTS	SHEET: 4	OF	5



TOP VIEW

NAME	SYMBOL
SKIMMER- USE TEMPLATE	S
RETURN 1'-4" BELOW BEAM	R
AUTO CLEANER- 8" BELOW BEAM. MUST BE EXACT MEASUREMENT.	AC

This drawing is the property of Trilogy Pools, LLC. Any reproduction, disclosure, or use is prohibited without the written consent of Trilogy Pools, LLC.

SIZE:	DWG NO:	REV:
DATE: 01/20/11	SCALE: NTS	SHEET: 5 OF 5

Trility Pools, LLC Manufactures a one-piece fiberglass shell at its facility in Fayetteville, TN. The shell can be divided generally into two layers. A cosmetic, un-reinforced gel coat layer and a fiberglass reinforced plastic (FRP) structural layer. The cosmetic layer varies in thickness from approximately 25 mils (6.4 mm) dry for standard gel coat finishes and up to 35 mils (8.9 mm) for solid surface finishes. The structural layer ranges from 0.3 inches (0.76 cm) to 0.375 inches (0.95 cm) thick in the bulk laminate and up to 0.975 inches (2.48 cm) in areas of sandwich core construction. The structural layer is composed of various combinations of polyester resins and fiberglass chopped roving and woven roving cloth. Trility Pools, LLC produces various styles and shapes of swimming pools, spas, tanning ledges and water features.

The fiberglass laminate schedule used by Trilogy Pools, LLC has been tested according to ASTM D 790 with an average flexural strength of 37,125 psi and an average tensile strength of 15,764 psi. The upper perimeter of the pool is constrained by a concrete bond beam that is continuous around the entire pool. This structurally ties the entire shell into the concrete pool deck.

All plumbing and electrical work must comply with the local and national codes currently in effect at the site and at the time of construction. All plumbing should be designed to run from the shell exit point down to undisturbed soil, or bottom bedding and then out of the excavation to avoid cracking with any settling of the backfill.

The excavation of the site will coincide to the size and shape of the pool. Typically a 6 to 12 inch over excavation will be sufficient to adequately access all plumbing. Over excavation for the depth is typically less than 4 inches and varies slightly based on local soil type. A bed of sand or 1/2 inch washed gravel (preferred) is placed on the bottom of the hole and graded to match the slope of the pool shell. The pool shell is delivered to the construction site by truck and a crane is used to lower the shell into the hole. Once in place, the shell is leveled to within 1 inch around the entire perimeter of the pool and spa. This is accomplished through the successive addition and removal of bedding material as necessary. When sand is used to backfill over excavation, it should be washed in place using water and manually tamped to aid in removing air voids and completely packing the backfill. Washed gravel will achieve sufficient packing without tamping or washing. See SECTION A-4.

Once the pool has been placed, it is checked for level around the upper perimeter and should be adjusted to less than 1 inch. On most pool shells (check EXCAVATION NOTES for specific shell being installed), water can be filled to the bottom of the first step and then the pool should be checked to assure it is still level. If not, the water should be completely removed and bedding material added and removed as necessary to achieve level. As the pool is filled with water, the level should always be kept approximately 12 inches above the backfill level. If, during the backfill process, the pool shell distorts outward, the water level is lowered and the backfill increased to correct level. If the pool shell distorts inward, the backfill is excavated until shell releases back. This pool should not require annual draining for service. If draining is ever required, the owner, or their agents, must first receive written permission and instructions from Trilogypools, LLC.

A standard cantilevered concrete deck, as shown in SECTION A-A (Option A), requires that forms be placed on the inside perimeter of the pool. These forms are attached to the pool coping every 16 inches using supplied wire ties and screws. Cantilever forms are typically installed on the same day or the day before the concrete pour. The backfill would be removed for the top 8 inches around the pool perimeter to a width of approximately 10 inches. In areas of sandy soil conditions, the material is typically removed just prior to pouring deck. Care should be taken that the concrete is worked into this area under the coping of the pool so that all voids are minimized. If desired, $\frac{3}{4}$ inch holes may be drilled every 38 inches to aid in bleeding air. Rebar or wire mesh should be used in the concrete deck. For decks using pavers, as shown in SECTION A-A (Option C), the concrete deck should be poured up to approximately $\frac{1}{4}$ inch of the top of the pool coping. Deck should fall $\frac{1}{4}$ inch per 12 inches to allow any surface water to be drained away from the pool.



TRILOGY
Innovation Style Freedom

**FIGURE - 4
HANDRAIL DETAIL**

STEPS:

- 12" MAX RISER
- 10" MIN TREAD
- ALL TREADS MIN AREA = 240 SQ IN
- HANDRAIL
- ANCHOR W/ WEDGE AND NUT
- ESCUTCHEON
- GROUND WIRE #8

Trilogy Pools, LLC
 1405 Winchester Highway, Fayetteville, TN 37334
 Phone: (831)438-4744

DRAFTER: CAD/TEK DATE: 07/15/08	Trilogy Pools, LLC 1405 Winchester Highway, Fayetteville, TN 37334 Phone: (931)436-4744	
CHECKER:	HELIOS	
DATE:	SIZE: MODEL: FUSION	REV: .03,11
APPROVAL:	DATE: GROUP: SCALE: NTC	DATE: GROUP: SCALE: NTC

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

Lawrence E. Lujan
Owners Signature

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

John J. All
Contractor's Signature (Permitee)

Contractor's License Number CPC 1457112
Columbia County
Competency Card Number 683

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 16 day of June 2011.
Personally known X or Produced Identification

Laurie Hodson
State of Florida Notary Signature (For the Contractor)

SEAL:



SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1106-35 CONTRACTOR Peri + Spa Works PHONE 386-867-1017

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name <u>Lawrence E. Truax</u> Signature <u>Lawrence E. Truax</u> License #: <u>Homeowner</u> Phone #: <u>386-758-1739</u>
MECHANICAL/ A/C	Print Name _____ Signature _____ License #: _____ Phone #: _____
PLUMBING/ GAS	Print Name _____ Signature _____ License #: _____ Phone #: _____
ROOFING	Print Name _____ Signature _____ License #: _____ Phone #: _____
SHEET METAL	Print Name _____ Signature _____ License #: _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ Signature _____ License #: _____ Phone #: _____
SOLAR	Print Name _____ Signature _____ License #: _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER	<u>CPC1457112</u>		<u>Jan J Allen</u>
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

11-45-16-02905-331

Clerk's Office Stamp

Inst 201112009143 Date: 6/16/2011 Time: 3:10 PM
DC, P DeWitt Cason, Columbia County Page 1 of 1 B: 1216 P: 1313

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this **NOTICE OF COMMENCEMENT**.

1. Description of property (legal description): Wood crest S/D unit 2 Lot 31
a) Street (job) Address: 359 SW CREST GLN
2. General description of improvements: Swimming Pool
3. Owner Information
a) Name and address: Lawrence & Judith L Truax
b) Name and address of fee simple titleholder (if other than owner) _____
c) Interest in property: OWNER
4. Contractor Information
a) Name and address: Pool & Spa Works
b) Telephone No.: 386-867-1017 Fax No. (Opt.) _____
5. Surety Information
a) Name and address: _____
b) Amount of Bond: _____
c) Telephone No.: _____ Fax No. (Opt.) _____
6. Lender
a) Name and address: _____
b) Phone No.: _____
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address: JAMES ALLEN 186 NW Butternut Glen Lake Ct FL 32055
b) Telephone No.: 386-867-1017 Fax No. (Opt.) _____
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b), Florida Statutes:
a) Name and address: _____
b) Telephone No.: _____ Fax No. (Opt.) _____
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

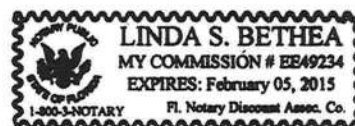
STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Lawrence E. Truax
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager
Lawrence E. Truax
Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 13th day of June, 20 11, by:
Lawrence E. Truax as _____ (type of authority, e.g. officer, trustee, attorney
fact) for _____ (name of party on behalf of whom instrument was executed).

Personally Known X OR Produced Identification _____ Type _____

Notary Signature Linda S. Bethea Notary Stamp or Seal:



—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Lawrence E. Truax
Signature of Natural Person Signing (in line #10 above.)



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

Application Number _____

NOTICE TO SWIMMING POOL OWNERS

I Lawrence Truax have been informed and I understand that prior to the final inspection approval and use of my pool, I will need all the inspections approved and the required fencing installed in accordance with applicable regulations. The Florida Building Code Chapter 4 Section 24 requires private residential swimming pools, hot tubs, or non-portable spas containing water over 24 inches deep to meet the following pool barrier safety feature requirements:

- The pool access must be isolated by a barrier at least 4 feet high and installed around the perimeter of the pool. Unless the pool is equipped with a safety cover complying with the specifications of American Society for Testing and Materials standard F-1346-91.
- The barrier shall not have any gaps or openings which would allow a child to crawl under, squeeze through or climb over and must be placed no less than 20 inches from the water's edge.
- Gates located in the pool barrier must open outward away from the pool and be both self-closing and self-latching, with a release mechanism not less than 54" above the standing surface at the gate.
- The barrier must be separate from any other fence, wall, or other enclosure surrounding the yard unless the fence, wall or other enclosure or portion thereof is situated on the perimeter of the pool and meets the pool barrier requirements.
- Where a wall of a dwelling serves as part of the barrier one of the following shall apply:
 - 1) All doors and first floor windows with a sill height of less than 48 inches providing direct access from the home to the pool must be equipped with an alarm that has a minimum sound pressure rating of 85 decibels at 10 feet. The alarm shall sound immediately upon opening the window or door unless the temporary bypass mechanism is activated.
 - 2) Or; all doors providing direct access from the home to the pool must be equipped with a self-closing, self-latching device with a release mechanism located at least 54 inches above the floor.

According to Florida statutes, failure to comply with these requirements is a misdemeanor of the second degree, punishable by imprisonment for up to 60 days or a fine of up to \$500, except that no penalty shall be imposed if within 45 days after arrest or issuance of a summons or notice to appear, the pool is equipped with the aforementioned safety features and the responsible person attends a drowning prevention education program developed by the Florida Department of Health. I also understand that there are several inspections required in addition to a final inspection for my swimming pool.

Lawrence E. Truax
Owner Signature Date 6/13/11

Address: _____

James Allen 6/13/11
Contractor Signature Date

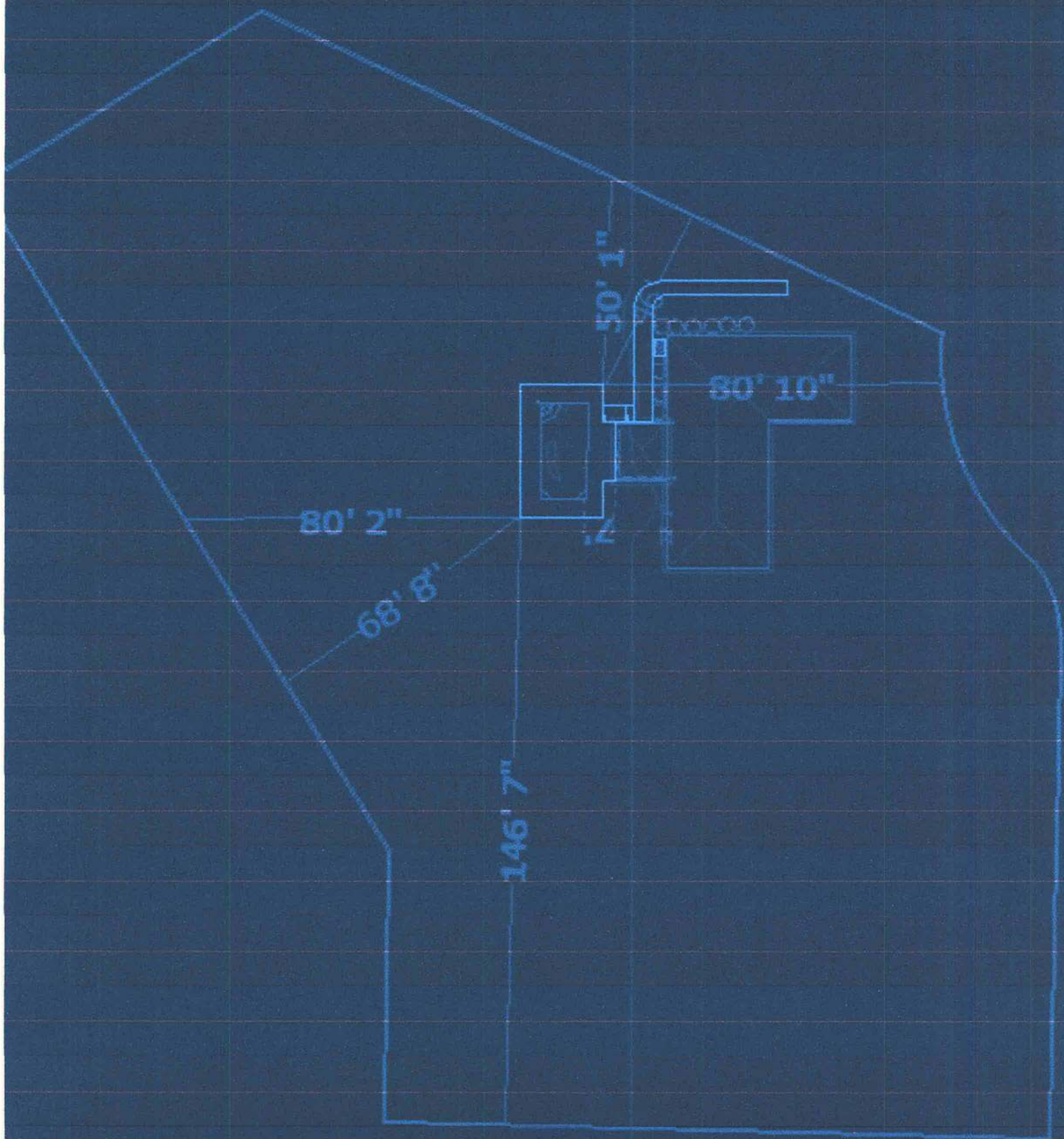
CPC 1457112
License Number

Columbia County 2011 R
CARD 001 of 001
12:38 BY JEFF

CARD 001 of 001
BY JEFF

TOTAL		2004	1714	80326											GRANTOR F GIEBEIG GRANTEE TRUAX'S						
EXTRA		FEATURES			FIELD CK:																
AE	BN	CODE	DESC	LEN	WID	HGHT	QTY	QL	YR	ADJ	UNITS	UT	PRICE	ADJ	UT	PR	SPCD	%	%GOOD	XFOB	VALUE
Y		0166	CONC,PAVMT				1		1999	1.00	1558.000	SF	1.500			1.500			100.00		2,337
Y		0294	SHED WOOD/VI	10	12		1		1999	1.00	120.000	SF	7.500			7.500			100.00		900

AE	LAND CODE	DESC	ZONE	ROAD TOPO	{UD1 UTIL	{UD3 FRONT	{UD4 BACK	DEPTH DT	FIELD CK: ADJUSTMENTS	UNITS UT	PRICE	ADJ UT PR	LAND VALUE
Y	000100	SFR	RSF-2	0002	0002				1.00 1.00 1.00 1.00	1.000 LT	20880.000	20880.00	20,880
Y	000000	VAC RES	RSF-2	0002	0002				1.00 1.00 1.00 1.00	1.000 LT	20880.000	20880.00	20,880



Pool and Spa Works

186 NW Buttermilk Glen

Lake City, Florida 32055

Florida 386-867-1017 Georgia 229-227-0830

CPC 1457112

www.swim-in-pools.com

June 16, 2011

Mr and Mrs Truax
359 SW Crest Glen
Lake City FL 32024

Swimming Pool Site Plans

- 1) Drawing attached
- 2) Pool Fiberglass Trilogy Helios spec sheet attached
Concrete for deck 4" Thick 3000 lb pump mix rebar #3 30 inches on center in deck
Footers for screen enclosure 8" x 8" x 8" with 2 ea # 3 rebar
- 3) Skimmer 2 1/2 " plumbing to Variable Speed pump
Three returns 2 " plumbing
- 4) No entrapment device One Skimmer No Main Drains
- 5) No Back up relief valve One Skimmer No Main Drains
- 6) Pool 5'6" deep placed 7 feet from home
- 7) Pool set 84 " from Glass
- 8) One hand rail proposed next to steps
- 9) Outlet to be installed by electrician No existing electrical at this time
- 10) Pool Equipment located on diagram approximately 20 feet from pool
- 11) No heater proposed
- 12) Pool will be completely enclosed by screen enclosure on three sides. One door to enter and exit from outside only.
- 13) Form attached



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myflorida.com/dbpr/pro/cilb/index.html> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

359 SW Crest Glen Lake City, FL 32024

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Columbia County Building Permit Application

☒ W.C./EX.C.A.E.D

For Office Use Only Application # 11 06-35 Date Received 6/16/11 By LA Permit # 29502
 Zoning Official BLK Date 23 June 2011 Flood Zone N/A Land Use Res. L-Dev. Zoning RSF-2
 FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner T.C. Date 6-22-11
 Comments _____
☒ NOC ☒ DEH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☒ Well letter ☒ 911 Sheet ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☒ Letter of Auth. from Contractor ☐ F W Comp. letter _____
 IMPACT FEES: EMS _____ Fire _____ Corr _____ ☒ Sub VF Form Electrical
 Road/Code _____ School Accessory use = TOTAL (Suspended) ☒ App Fee Paid ☒ Disclosure Statement

Septic Permit No. N/A

Fax _____

Name Authorized Person Signing Permit Lawrence Traux Phone 386-984-0955Address 359 SW Crest Glen Lake City FL 32024Owners Name Lawrence Traux Phone 386-984-0955911 Address 359 SW Crest Glen LC FL 32024Contractors Name Owner Builder Phone _____

Address _____

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address _____

Mortgage Lenders Name & Address _____

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress EnergyProperty ID Number 11-45-16-02905-331 Estimated Cost of Construction 23,000Subdivision Name Woodcrest Lot 31 Block _____ Unit 2 Phase _____Driving Directions 90 W to 247 South to SW Kirby to SW Woodcrest
4. SW Woodview Way to SW Crest Glen at End on left 1st on!Number of Existing Dwellings on Property 1Construction of Swimming Pool Total Acreage _____ Lot Size _____Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____Actual Distance of Structure from Property Lines - Front 80 Side 50 Side 68 Rear 80Number of Stories _____ Heated Floor Area _____ Total Floor Area Pool 288
Deck 344 Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. **CODE: Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code.**

Page 1 of 2 (Both Pages must be submitted together.) Revised 1-11

Spoke to Mr. Traux 6-24-11

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

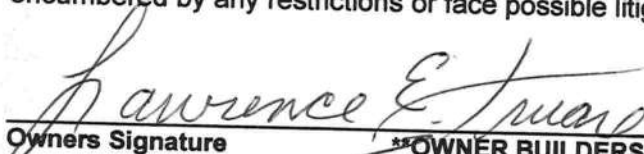
FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.


Owners Signature

(Owners Must Sign All Applications Before Permit Issuance.)

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

Contractor's License Number
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20____.
Personally known _____ or Produced Identification _____

SEAL:

State of Florida Notary Signature (For the Contractor)