

DATE 3/2005

# Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000023872

APPLICANT JEFF HARDEE PHONE 352 949-0572  
ADDRESS 6450 NW 72 LANE CHIEFLAND FL 32626  
OWNER LINDA LESTER PHONE 454-7626  
ADDRESS 351 SW SHILOH ROAD FT. WHITE FL 32038  
CONTRACTOR WENDELL CREWS PHONE 352 351-6100  
LOCATION OF PROPERTY 47S, TL ON 27, TR ON SHILOH ROAD, 3RD LOT ON RIGHT

TYPE DEVELOPMENT SFD,UTILITY ESTIMATED COST OF CONSTRUCTION .00  
HEATED FLOOR AREA                      TOTAL AREA                      HEIGHT .00 STORIES                       
FOUNDATION                      WALLS                      ROOF PITCH                      FLOOR                       
LAND USE & ZONING A-3 MAX. HEIGHT                       
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.                     

PARCEL ID 13-7S-16-04202-007 SUBDIVISION                       
LOT                      BLOCK                      PHASE                      UNIT                      TOTAL ACRES                     

IH0000629  
Culvert Permit No.                      Culvert Waiver                      Contractor's License Number                      Applicant/Owner/Contractor                       
EXISTING 05-1139-E BK JH N                       
Driveway Connection                      Septic Tank Number                      LU & Zoning checked by                      Approved for Issuance                      New Resident                     

COMMENTS: ONE FOOT ABOVE THE ROAD

Check # or Cash 6946

## FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power                      Foundation                      Monolithic                       
                    date/app. by                      date/app. by                      date/app. by  
Under slab rough-in plumbing                      Slab                      Sheathing/Nailing                       
                    date/app. by                      date/app. by                      date/app. by  
Framing                      Rough-in plumbing above slab and below wood floor                       
                    date/app. by                      date/app. by  
Electrical rough-in                      Heat & Air Duct                      Peri. beam (Lintel)                       
                    date/app. by                      date/app. by                      date/app. by  
Permanent power                      C.O. Final                      Culvert                       
                    date/app. by                      date/app. by                      date/app. by  
M/H tie downs, blocking, electricity and plumbing                      Pool                       
                    date/app. by                      date/app. by  
Reconnection                      Pump pole                      Utility Pole                       
                    date/app. by                      date/app. by                      date/app. by  
M/H Pole                      Travel Trailer                      Re-roof                       
                    date/app. by                      date/app. by                      date/app. by

BUILDING PERMIT FEE \$ .00 CERTIFICATION FEE \$ .00 SURCHARGE FEE \$ .00  
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ .00 WASTE FEE \$                       
FLOOD DEVELOPMENT FEE \$                      FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$                      TOTAL FEE 275.00

INSPECTORS OFFICE                      CLERKS OFFICE                     

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

### This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



23872

**Central Dozer Service, Inc.**

5711 NE 25th Ave.

Ocala, FL 34479

352-351-6100 off.

352-351-6103 fax

I, Wendell Crews, license # IH0000629 do hereby grant permission for  
Jeff Hardee to sign and obtain permits in my behalf for  
customer Linda Harris located in Columbia County,  
for the purpose of setting up a manufactured home.

Wendell Crews

Wendell Crews

Signed this 18 day of November 2005  
by Wendell Crews who is personally known.

Sandra Ellen Hall

Notary Public



SANDRA ELLEN HALL  
MY COMMISSION # DD 219170  
EXPIRES: June 20, 2007  
Bonded Thru Budget Notary Services

758-2160

758-2160  
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CK# 9746 6946

# PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

**For Office Use Only** (Revised 6-23-05) Zoning Official BLK 17.11.05 Building Official OK JTH 11-8-05

AP# OS11-25 Date Received 11/7 By JW Permit # 23872

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments Replacing Property owners mH

\$275.00 DECOR

FEMA Map# \_\_\_\_\_ Elevation \_\_\_\_\_ Finished Floor \_\_\_\_\_ River \_\_\_\_\_ In Floodway \_\_\_\_\_

☒ Site Plan with Setbacks Shown ☐ EH Signed Site Plan ☐ EH Release ☒ Well letter ☐ Existing well

☒ Copy of Recorded Deed or Affidavit from land owner ☒ Letter of Authorization from installer

- Property ID # 13-7-16-04202-007 Must have a copy of the property deed
- New Mobile Home ☒ Used Mobile Home \_\_\_\_\_ Year 2006
- Applicant Jeff Hardoe Phone # 352-949-0592 ?
- Address 6450 NW 72 Ln Chickland FL 32626
- Name of Property Owner Linda Lester Phone# 386-454-7626
- 911 Address 351 SW Shiloh Rd Ft White 32638 32038
- Circle the correct power company - FL Power & Light - Clay Electric  
(Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home Linda Lester Phone # 386-454-7626
- Address 351 SW Shiloh Rd Ft White FL 32638
- Relationship to Property Owner SAME
- Current Number of Dwellings on Property 2 one to be replaced
- Lot Size 630 x 419 Total Acreage 5
- Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver (Circle one)
- Is this Mobile Home Replacing an Existing Mobile Home yes = PAID
- Driving Directions to the Property 47 S to Ft White (C)  
E 27 then (R) SW Shiloh Rd Property on (D)
- Name of Licensed Dealer/Installer Wendell Crews IH000629 Phone # 352-954-6100
- Installers Address 5711 NE 25th Ave Ocala FL 34479
- License Number IA10006 629 Installation Decal # 259370

NO # LEFT TO CALL JEFF - (SORRY) JW

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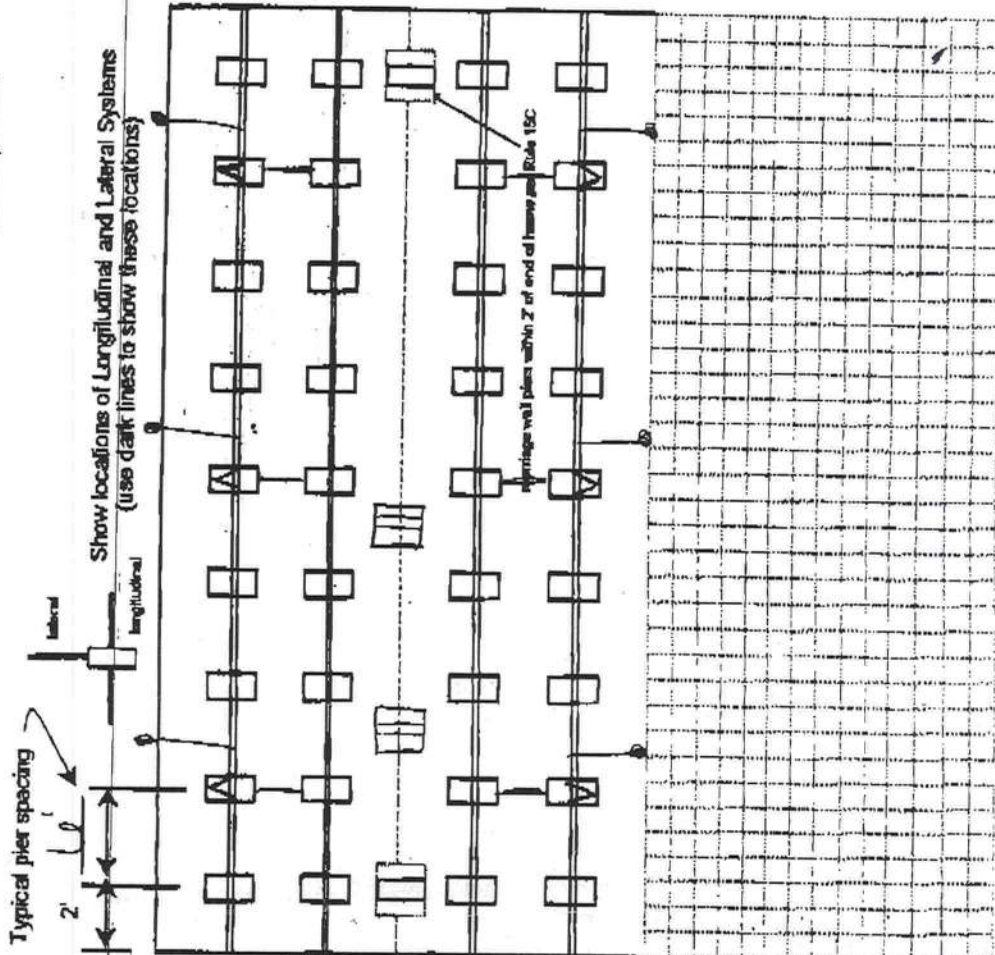
PERMIT NUMBER

Installer Wendell Croyes License # TH0000629  
Address of home being installed 351 SW Evelyn Rd  
Manufacturer Mobility Length x width 28x56

NOTE: If home is a single wide fill out one half of the blocking plan  
If home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used)  
where the sidewall ties exceed 5 ft 4 in.

Installer's initials W/C



88 PAGE

3867582160

07/15/2004 11:13

PERMIT BLOCKING PLAN

page 1 of 2

New Home ☒ Used Home ☐  
Home installed to the Manufacturer's Installation Manual ☒  
Home is installed in accordance with Rule 15-C ☐  
Single wide ☐ Wind Zone II ☒ Wind Zone III ☐  
Double wide ☒ Installation Decal # 259370  
TripleQuad ☐ Serial # 0N 0001-ARB

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16' x 16" (258)	16 1/2' x 18 1/2" (342)	20' x 20" (400)	22' x 22" (484)	24' x 24" (576)	26' x 26" (676)
1000 psf	3'	4'	4'	5'	6'	7'	8'
1500 psf	4'	6'	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7'	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 21x29  
Perimeter pier pad size N/A  
Other pier pad sizes (required by the mfg.) 16x16 Doors

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening 15' 10" Pier pad size 21x29

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 25 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

4 ft

5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)  
Manufacturer Oliver  
Longitudinal Stabilizing Device w/ Lateral Arms  
Manufacturer Oliver

OTHER TIES

Sidewall  
Longitudinal  
Marriage wall  
Shearwall

Number

5/4" oc

SP1A

4

N/A

874 - 12550 40

23052 117 23052 117  
23052 117 23052 117  
23052 117 23052 117



PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to \_\_\_\_\_ psf or check here to declare 1000 lb. soil \_\_\_\_\_ without testing.

X \_\_\_\_\_ X \_\_\_\_\_ X \_\_\_\_\_

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X \_\_\_\_\_ X \_\_\_\_\_ X \_\_\_\_\_

TORQUE PROBE TEST

The results of the torque probe test is \_\_\_\_\_ inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile frame manufacturer may require anchors with 4000 lb holding capacity.

\_\_\_\_\_  
Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Wendell Crews

Date Tested

10/10/05

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 40

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 39

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 39

Site Preparation

Debris and organic material removed yes  
Water drainage: Natural ✓ Swale ✓ Pad ✓ Other \_\_\_\_\_

Fastening multi wide units

Floor: \_\_\_\_\_  
Walls: \_\_\_\_\_  
Roof: \_\_\_\_\_  
Type Fastener: lag Length: 6" Spacing: 24"  
Type Fastener: lag Length: 4" Spacing: 18"  
Type Fastener: 20ga. metal Length: 3/16" Spacing: 24"  
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2' on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled masonry walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's Initials WC

Installed:

Between Floors Yes ✓  
Between Walls Yes ✓  
Bottom of ridgebeam Yes ✓

Type gasket epdm  
Pg. 13

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ✓ Pg. 13  
Siding on units is installed to manufacturer's specifications. Yes ✓  
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ✓

Miscellaneous

Skirting to be installed. Yes ✓ No \_\_\_\_\_  
Dryer vent installed outside of skirting. Yes ✓ N/A \_\_\_\_\_  
Range downflow vent installed outside of skirting. Yes ✓ N/A \_\_\_\_\_  
Drain lines supported at 4 foot intervals. Yes ✓ \_\_\_\_\_  
Electrical crossovers protected. Yes ✓ \_\_\_\_\_  
Other: \_\_\_\_\_

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature Wendell Crews

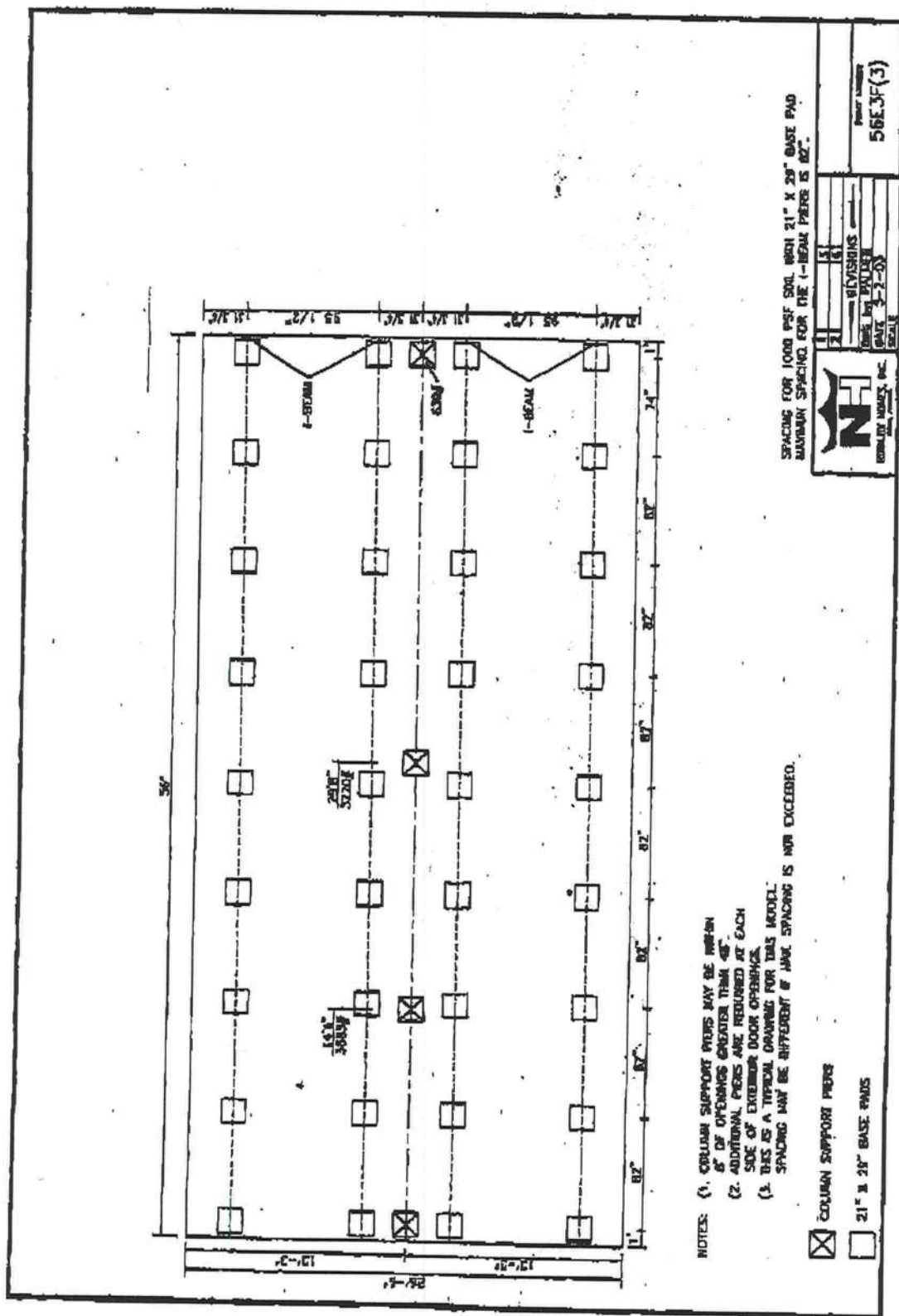
Date 10/10/05

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5. 1999

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MELISSA

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**This Warranty Deed** Made the 17th day of March A. D. 1981 by

Donald L. Beal and Linda C. Beal, his wife

hereinafter called the grantor, to

Linda J. Lester

whose postoffice address is Rt. 3, Box 71, Gainesville, Florida 32601

hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth:** That the grantor, for and in consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

Commence at the SW corner of the SE 1/4 of NW 1/4, Section 13, Township 7 South, Range 16 East, and run thence N 0°36'51" W, along the West line of said SE 1/4 of NW 1/4, 30.00 feet, to the North line of a county maintained road, thence N 88°24'30" E, along said North line 890.00 feet, to the POINT OF BEGINNING; thence N 0°36'51" W, 420.00 feet; thence N 88°24'30" E, 210.00 feet; thence N 0°36'51" W, 210.00 feet; thence N 88°24'30" E, 210.00 feet, more or less, to the East line of said SE 1/4 of NW 1/4, thence S 0°52'14" E, along said East line 630.00 feet, to the North line of said County maintained road; thence S 88°24'30" W, 419.41 feet to the POINT OF BEGINNING.

**Together,** with all the tenements, hereditaments and appurtenances thereto belonging, in use appertaining.

**To Have and to Hold,** the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1980

**In Witness Whereof,** the said grantor has signed and sealed these presents the day and year first above written

Signed, sealed and delivered in our presence:

*Eugene P. Hogue*  
Witness

*Carolyn Sargent*  
Witness

*Donald L. Beal*  
Donald L. Beal

*Linda C. Beal*  
Linda C. Beal

LS

LS

BOOK 464 PAGE 768  
OFFICIAL RECORDS

FILE NO 8102269  
RECORDED  
BOOK 464 PAGE 768

STATE OF FLORIDA  
DOCUMENTARY STAMP TAX  
DEPT. OF REVENUE  
MAR 20 '81  
PB. 11120  
COLUMBIA COUNTY  
\$ 0 1 1 8 0

INSTRUMENT PREPARED BY  
STEPHEN E. HARTIN  
P. O. BOX 1672









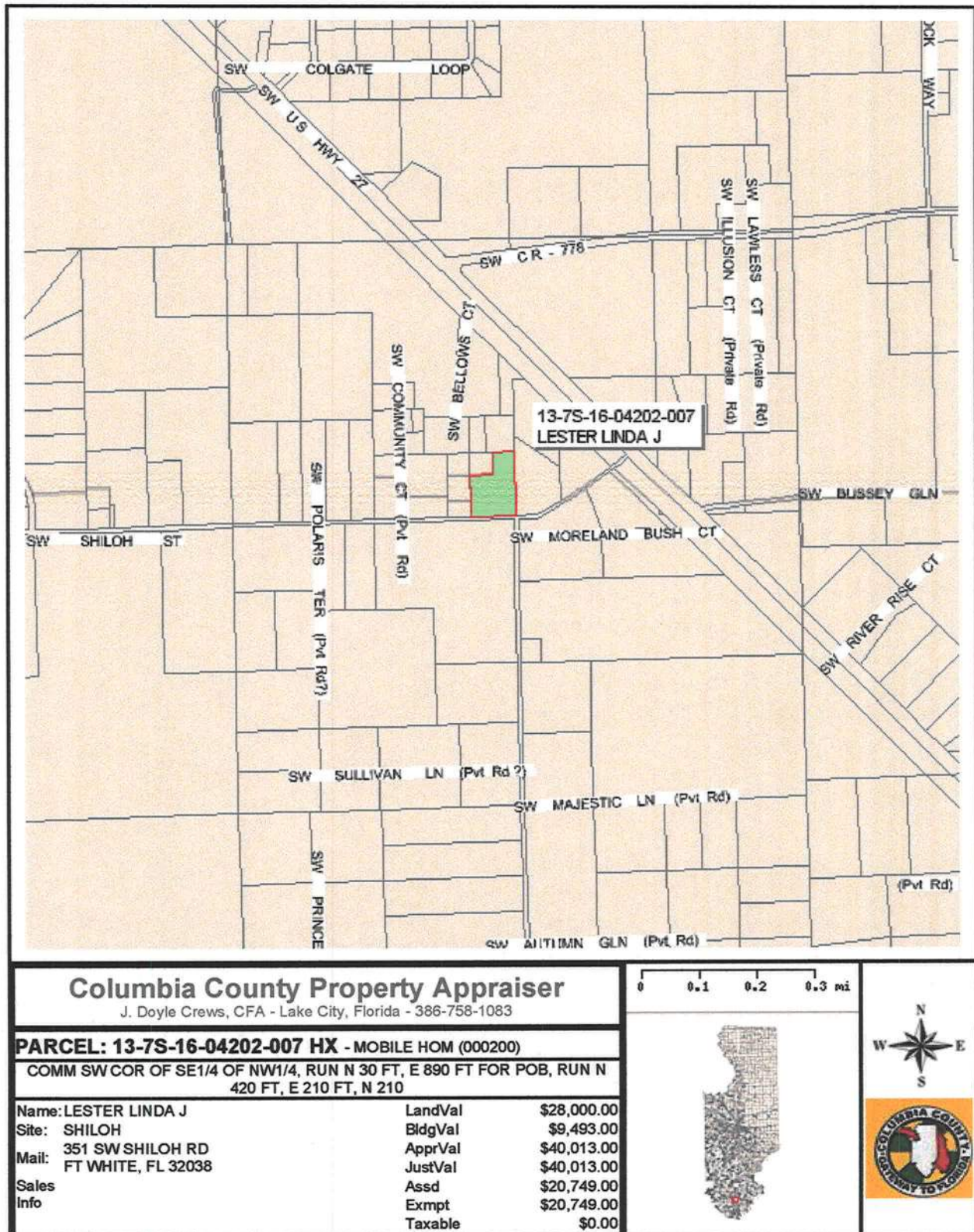


@ CAM112M01S CamaUSA Appraisal SystemColumbia County  
11/07/2005 12:44 Legal Description Maintenance28000 Land 003  
Year T Property \* PRIOR YEAR \* SelAG 000  
2005 R 13-7S-16-04202-0079493 Bldg 001 \*  
351 SHILOH RD SW FT WHITE2520 Xfea 006 \*  
HX LESTER LINDA J40013 TOTALB\*

1 COMM SW COR OF SE1/4 OF NW1/4, RUN N 30 FT, E 890 FT FOR POB, 2  
3 RUN N 420 FT, E 210 FT, N 210 FT, E 210 FT, S 630 FT, W 4  
5 419.41 FT TO POB. ORB 305-09, 464-768, 6  
7 8  
9 10  
11 12  
13 14  
15 16  
17 18  
19 20  
21 22  
23 24  
25 26  
27 28

Mnt 9/11/1997 TERR  
F1=Task F3=Exit F4=Prompt F10=GoTo PgUp/PgDn F24=More



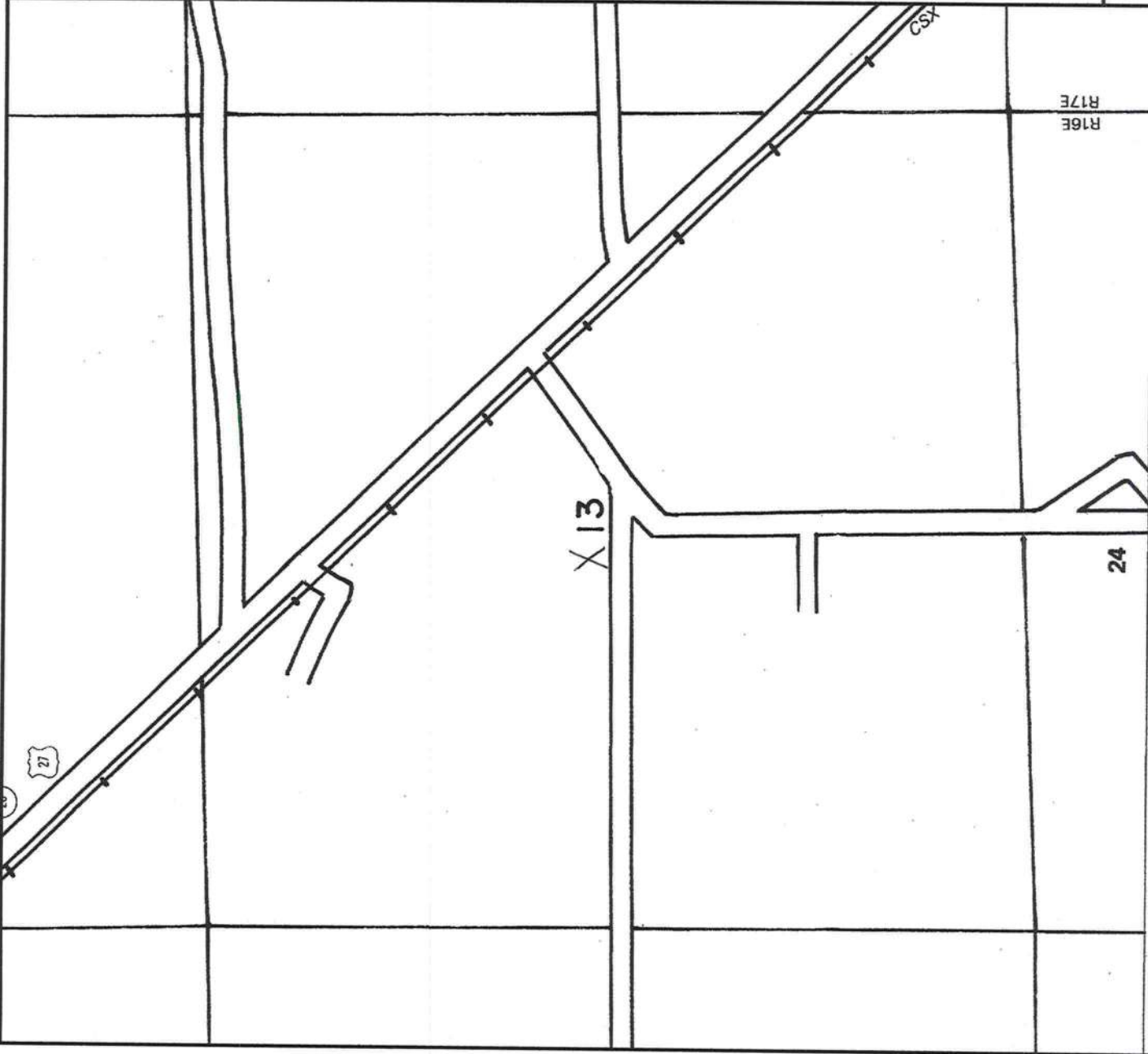


This information, GIS Map Updated: 8/3/2005, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.









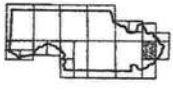
NATIONAL FLOOD INSURANCE PROGRAM

**FIRM**  
FLOOD INSURANCE RATE MAP

COLUMBIA  
COUNTY,  
FLORIDA  
(UNINCORPORATED AREAS)

PANEL 260 OF 290

PANEL LOCATION



COMMUNITY-PANEL NUMBER  
120070 0260 B

EFFECTIVE DATE:  
JANUARY 6, 1988



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at [www.fema.gov/nifm/fed](http://www.fema.gov/nifm/fed).





# *Nobility Homes Inc.*

## INSTALLATION MANUAL

*Pertinent Pages*

Keep this booklet with your manufactured home. Title IV of the Housing and Community Development Act of 1974 provides you with protection against certain construction and safety hazards in your manufactured home. It is important that you keep this booklet and give it to any person who buys the manufactured home from you.





## SET-UP INSTRUCTIONS

### SITE PREPARATION

The home site must be properly graded and sloped to provide for storm drainage run-off. In particular, the area beneath the home must be graded to prevent water accumulation.

Proper support for the home must allow for soil conditions in the immediate area. Pier footings must be placed on firm undisturbed soil or soil which has been compacted.

Climatic conditions must also be taken into account. If footings are placed on a frost-susceptible soil such as clay or silt, heaving or settling may occur. Therefore, in areas where temperatures go below freezing have the foundation designed so that it is below the frost line or to local requirements.

It is recommended that a layer of polyethylene plastic, roofing paper or heavy felt be used to cover the ground below the home to form a moisture barrier when the soil beneath the home is damp and/or a high water table level exists.

### SUPPORT REQUIREMENTS

The design loads used in selection of the support structure are set forth in Table 1 & 2. The values specified on these tables are for pier spacing and footing size. The design is based on a floor live load of 40 pounds per square foot (P.S.F.) and a south zone roof live load of 20 P.S.F. in conjunction with the home structural dead load.

Each pier footing shall have sufficient capacity to support total pier loads specified in Table 1 & 2. The required dimensions of footings will depend on soil bearing capacity. In lieu of soil tests, use a pocket penetrometer or confer with the local Building Authority for the recommended soil bearing capacity in your locality. All grass and organic material shall be removed from the area beneath the footings.



Refer to Figure 2 for an approved foundation and pier arrangement designed by Nobility Homes, acceptable for all Nobility models, using readily available concrete footing slabs and pier caps with cellular concrete blocks. In those instances where your dealer or set-up contractor prefers to use a field designed foundation, Nobility Homes has provided the required design data for this. Any foundation design other than those presented by Nobility Homes should be based on total pier loads specified in Table 3. Other acceptable support methods are poured concrete footings, ABS pads or a properly designed continuous foundation, under each main frame beam, which meet the support loading requirements of the home. Foundations and piers must support the main frame beams of each section of the home. Additional joint wall and/or perimeter piers are required under opening columns for openings wider than 48".

NOTE: Foundations not complying with the specifications in this manual must be designed by a registered professional engineer or architect.

TABLE 1 Max Pier Spacing

SOIL PRESSURE					
Floor Width	Footing *	1000 PSF	1500 PSF	2000 PSF	2500 PSF
140"	16x16	29"	50"	70"	90"
	16x32	47"	78"	108"	120"
159"	16x16	26"	43"	61"	79"
	16x32	41"	68"	95"	120"
183"/ 186"	16x16	22"	38"	54"	70"
	16x32	37"	60"	84"	107"

MAIN BEAMS PIER SPACING AND FOOTING SIZE  
PER SOIL PRESSURE IN POUNDS PER SQUARE FOOT (P.S.F.)

TABLE 2 Max Tributary Spans

Footing*	1000 PSF	1500 PSF	2000 PSF	2500 PSF
16x16	4'	8'	12'	16'
16x32	8'	12'	18'	24'

Joint wall and sidewall column support pier footing sized per soil pressure in pounds per square foot (P.S.F.) for each half of double wide.

\* 4" Thick Pre-cast concrete pad with compressive strength of 4,000 P.S.I.

[illegible]



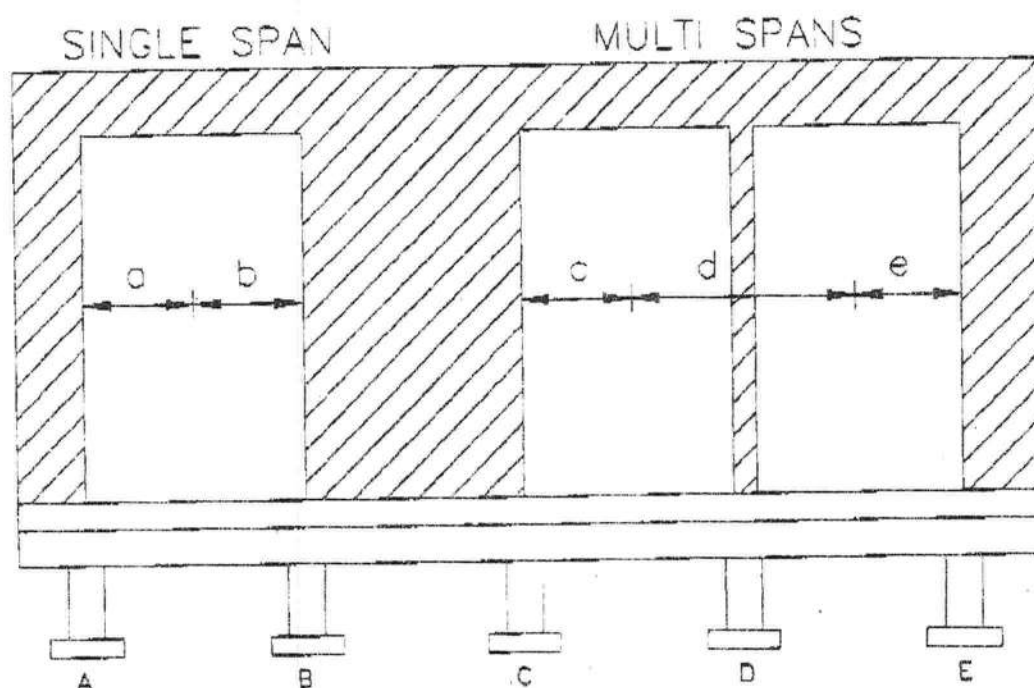


FIGURE 1

Piers supporting columns in one half  
of multi wide or columns in single wide

"A" and "B" piers are designed to support the tributary distance "a" and "b" (half the length of the span between "A" and "B")  
 "C" pier is designed to support the tributary distance "c" (half the length of the span between "C" and "D")  
 "D" pier is designed to support the tributary distance "d" (half the length of the span between "C" and "E")  
 "E" pier is designed to support the tributary distance "e" (half the length of the span between "D" and "E")

When piers are to support columns on two sections, use the same method as above then add together for total tributary distance.

Use Table 2 for required footing size.



TABLE 3

PIER SPACING (UNDER "T" BEAMS)	TOTAL PIER LOAD		
	12'	14'	16'
4' O.C.	2104#	2409#	2729#
6' O.C.	3155#	3613#	4094#
8' O.C.	4207#	4818#	5458#

## NOTES for TABLES 1, 2, 3 and FIGURES 1, 2, 3, 4, 5.

1. Footings and piers must be designed to support the loads shown (which include both live and dead loads) at the selected spacing. The support system presented in Figure 2 is a typical design which will meet the support requirements.
2. Where it is impractical to maintain spacing, such as in the axle area, refer to Table 1 for spacing in inches O.C. and use footing size to the left, i.e., with 2500 PSF soil capacity spacing is 90" O.C. use 16"x16" footing, in the axle area spacing must be increased to 120" O.C. use 16"x32" footing.
3. Additional piers are to be installed under exterior wall edge members at fireplace locations along side wall and at each side of all door openings wider than 32 inches. Piers are to be installed at each end of joint wall openings 48 inches and greater. See Figure 1, 2, 3, 4, and 5.
4. Additional end wall piers are to be installed under double wide joint edge joists at the point of end wall juncture. They should span both joint edge joists and be located adjacent to the end crossmember/outrigger. The pier should be capable of supporting a 3100 pound load. See Figures 2 and 4.
5. Additional side wall piers may be necessary. Concentrated weight along outside walls (like a piano) may create a sagging condition. This can be corrected or prevented by installing piers under the edge joist.



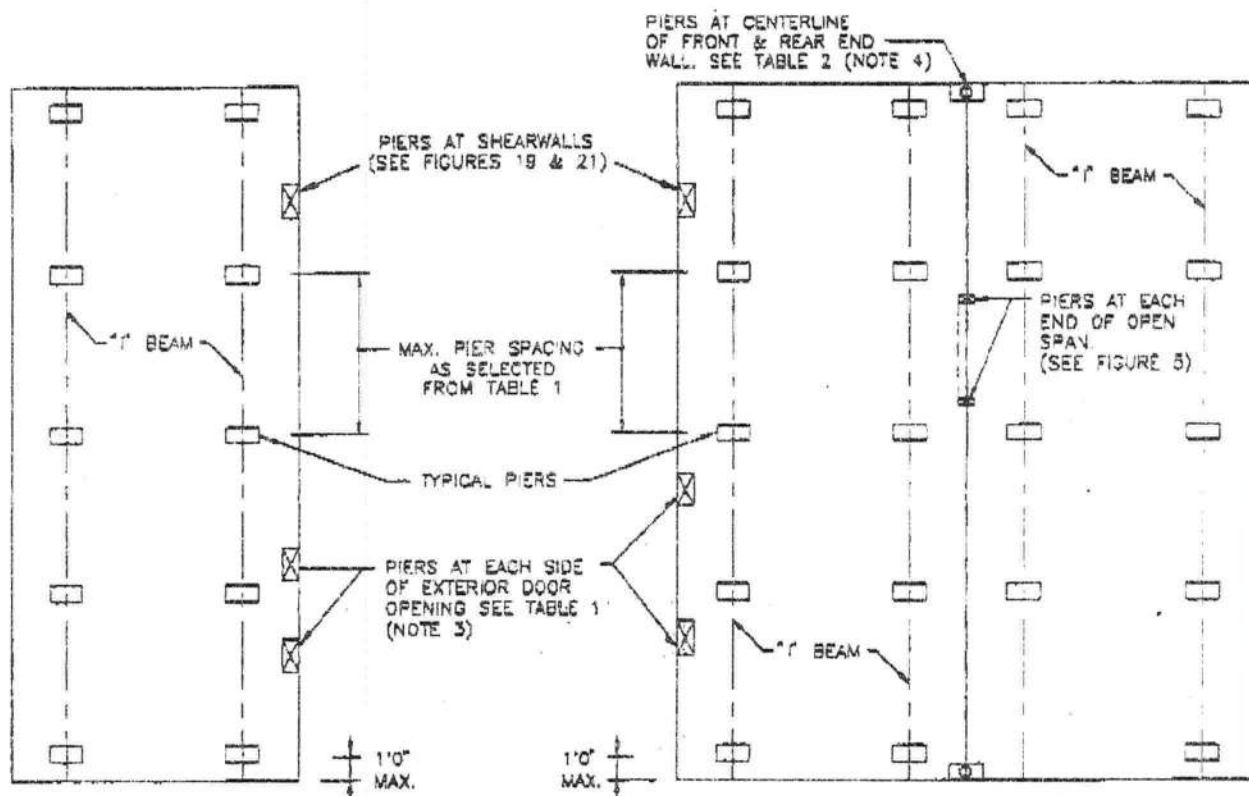




- FIGURE 2







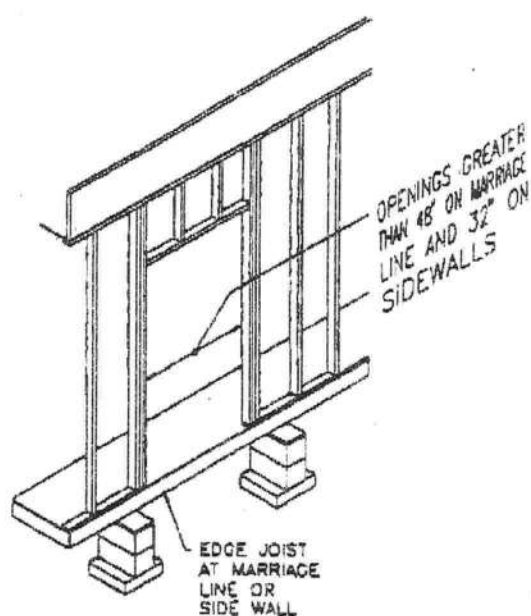
**FIGURE 3**

**FIGURE 4**

WHERE AVAILABLE PIERS DO NOT HAVE THE CAPACITY REQUIRED BY TABLE 2, 2 OR MORE PIERS MAY BE USED. THE TOTAL DESIGN CAPACITY OF ALL PIERS AT EACH SUPPORT POINT SHALL BE AT LEAST EQUAL TO THE LOADS SPECIFIED IN THE TABLE.

FOOTINGS AND PIERS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY - ANY APPROVED SYSTEM MAY BE USED.

(REFER TO TABLE 2, NOTE 3)



**FIGURE 5**





9. Block and level the second section. Repeat Step 3 as necessary. Additional piers are to be installed under joint wall edge members under the sides of all openings in excess of 48 inches. Piers are to be placed (centered so as to equally support both edge joists). Additional piers are to be installed under exterior wall edge member at the sides of all door openings in excess of 32 inches. Additional piers are to be installed under end wall junctures.
10. Raise and wedge the outside of the second section to bring the roofs together. Check the alignment of the joint wall openings and ceiling. Refer to the Multi-wide Alignment Procedure Section page 17.
11. If the tops of the end walls are not flush, refer to Figure 14 for flushing procedure prior to connecting the roofs together.

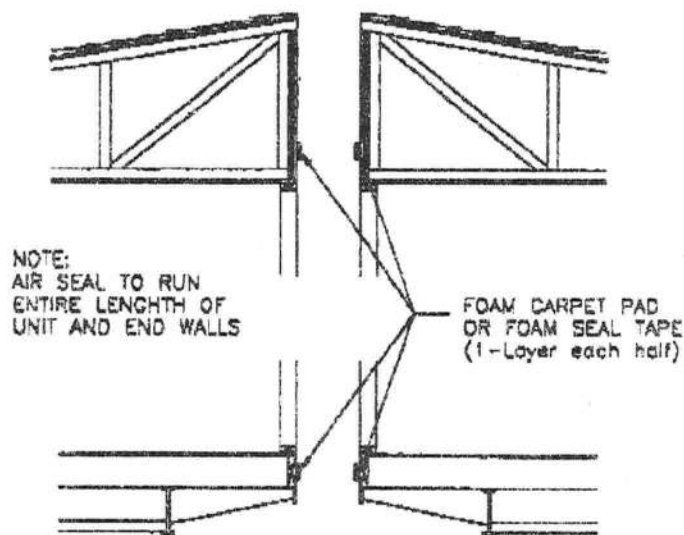
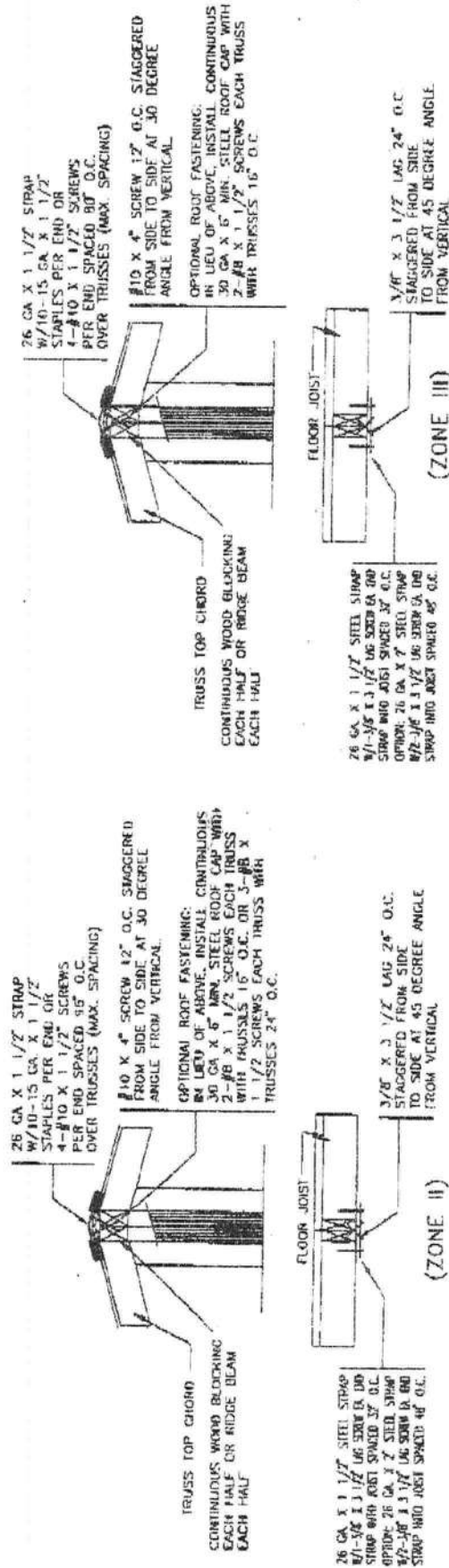


FIGURE 7





**FIGURE B**





12. Secure floor halves together, leveling and aligning the two floor halves as the floor joists are lag screwed 24" O.C. maximum. See figure 8.

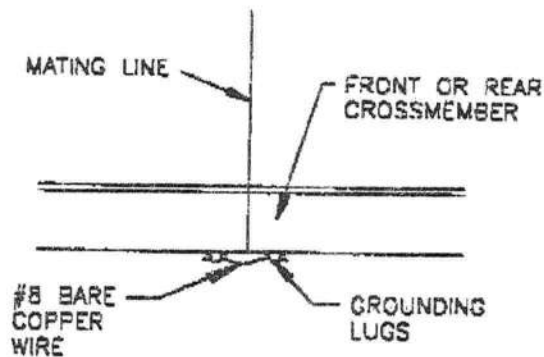


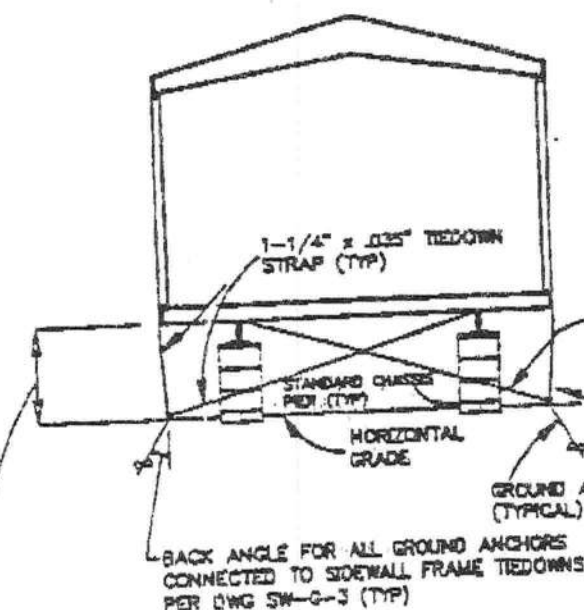
FIGURE 9

13. Connect the ridge beams together with (1) #10 x 4" wood screw 12" O.C. (Max.) staggered and fasten 26 GA. straps per figure 8.
14. Check the inside joint wall openings and shim out as necessary.
15. Hang interior doors as provided (some models).
16. Trim out interior openings.
17. Electrical circuit connecting wires are snapped together or spliced, stowed in their junction boxes and the covers installed. See figures 27, 28, and 29. Connect #8 bare copper wire to each unit chassis. See figure 9.
18. Install the bottom starter strip, lap siding, vertical panels, and/or "T" trim on the end walls.
19. Install window flashing and/or windows as necessary (some models).
20. When installing lap siding, careful cutting and trimming is necessary. Be sure lap is tight in its lock before fastening.
21. Install hood splice caps.



# TYPICAL SINGLEWIDE TIEDOWN INSTALLATION \* (STANDARD TIEDOWN INSTALLATION - NOT AT SHEAR WALLS)

WIND ZONE 2 & 3  
WIND ZONE II (100 MPH)  
WIND ZONE III (110 MPH)



\* W/FRAME TIEDOWNS CONNECTED TO FAR STEEL BEAMS.

EXCEPT AT SHEAR WALL VERTICAL TIEDOWNS, INSTALL A FRAME TIEDOWN STRAP AT EACH VERTICAL TIEDOWN LOCATION AND CONNECT THE FRAME TIEDOWN STRAP TO THE SAME DOUBLE HEAD GROUND ANCHOR AS THE VERTICAL TIEDOWN STRAP (TYP EACH SIDEWALL)

INSTALL VERTICAL TIEDOWN STRAPS AND/OR SECURE THE VERTICAL TIEDOWN STRAPS TO GROUND ANCHORS AT OPENING STUDS WHEN THE OPENING WIDTH EXCEEDS 48" AND AT A SPACING NOT TO EXCEED THE VALUE SPECIFIED ON DRAWING SW-G-3.

HEIGHT FROM GRADE TO TOP OF STEEL BEAM SPECIFIED ON DWG SW-G-3



## GENERAL NOTES:

1. ALL TIEDOWN STRAPS AND CONNECTING HARDWARE MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER OR A RECOGNIZED TESTING LABORATORY TO ADEQUATELY SUPPORT A 3150# ALLOWABLE LOAD MINIMUM (ULTIMATE LOAD 4725# MINIMUM) AND/OR TO COMPLY WITH ASTM D3953-91.
2. ALL GROUND ANCHORS SPECIFIED ON THIS DRAWING MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER OR A RECOGNIZED TESTING LABORATORY TO ADEQUATELY SUPPORT A 3150# ALLOWABLE WITHDRAWAL LOAD (ULTIMATE LOAD 4725#) MIN. WHEN LOADED AT A 45° ANGLE FROM THE ANCHOR SHAFT AND 3150# ALLOWABLE WITHDRAWAL LOAD (ULTIMATE LOAD 4725#) MIN. WHEN LOADED PARALLEL TO THE ANCHOR SHAFT.
3. THE GROUND ANCHORS MUST BE INSTALLED TO THEIR FULL DEPTH IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTION (I.E. APPROVED FOR INSTALLATION IN THE SOIL TYPE WHICH EXISTS AT THE SITE, ETC.) AND MUST EXTEND BELOW THE FRO LINE AND BE AT LEAST 12" ABOVE THE WATER TABLE.
4. ALL GROUND ANCHORS CONNECTED TO THE SIDEWALL FRAME TIEDOWNS MUST BE PROVIDED WITH STABILIZER PLATES TO MINIMIZE HORIZONTAL MOVEMENT.

NOTE:  
UNLESS SPECIFIED OTHERWISE ON OTHER DRAWINGS, ALL TIEDOWN STRAPS AND GROUND ANCHORS SPECIFIED ON THIS DRAWING ARE IN ADDITION TO THE TIEDOWN STRAPS AND GROUND ANCHORS REQUIRED AT THE SHEAR WALLS.


P.E. SEAL	THIRD PARTY	REVISIONS				
		LTR	BY	DATE	NOBILITY	
					ANCHORAGE SYSTEM	
					FAR BEAM METHOD	
					DRAWN BY: TC	DAPLA NO:
					DATE: 1/20/98	SEC. A.T.S.
					SW-FI-1	
					REV. C	

FIGURE 18a



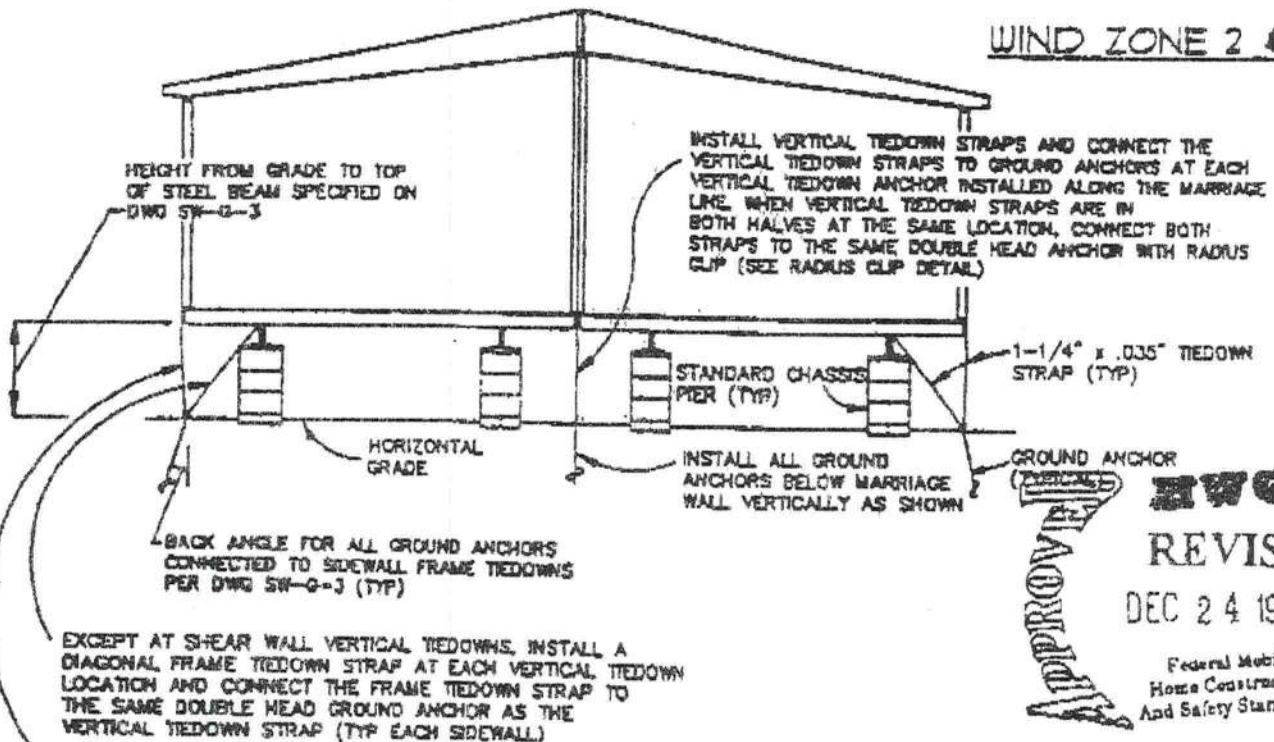


# NOBILITY HOMES

WIND ZONE II (100 MPH)  
WIND ZONE III (110 MPH)

## TYPICAL DOUBLEWIDE TIEDOWN INSTALLATION (STANDARD TIEDOWN INSTALLATION - NOT AT SHEAR WALLS)

WIND ZONE 2 & 3



### GENERAL NOTES:

1. ALL TIEDOWN STRAPS AND CONNECTING HARDWARE MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER OR A RECOGNIZED TESTING LABORATORY TO ADEQUATELY SUPPORT A 3150# ALLOWABLE LOAD MINIMUM (ULTIMATE LOAD 4725# MINIMUM) AND/OR TO COMPLY WITH ASTM D3953-91.
2. ALL GROUND ANCHORS SPECIFIED ON THIS DRAWING MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER OR A RECOGNIZED TESTING LABORATORY TO ADEQUATELY SUPPORT A 3150# ALLOWABLE WITHDRAWAL LOAD (ULTIMATE LOAD 4725# MIN. WHEN LOADED AT A 45° ANGLE FROM THE ANCHOR SHAFT AND A 3150# ALLOWABLE WITHDRAWAL LOAD (ULTIMATE LOAD 4725# MIN. WHEN LOADED PARALLEL TO THE ANCHOR SHAFT.
3. THE GROUND ANCHORS MUST BE INSTALLED TO THEIR FULL DEPTH IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS (IG. APPROVED FOR INSTALLATION IN THE SOIL TYPE WHICH EXISTS AT THE SITE, ETC.) AND MUST EXTEND BELOW THE FROST LINE AND BE AT LEAST 12" ABOVE THE WATER TABLE.
4. ALL GROUND ANCHORS CONNECTED TO THE SIDEWALL FRAME TIEDOWNS MUST BE PROVIDED WITH STABILIZER PLATES TO MINIMIZE HORIZONTAL MOVEMENT.

FIGURE 20

NOTE:  
UNLESS SPECIFIED OTHERWISE ON OTHER DRAWINGS, ALL TIEDOWN STRAPS AND GROUND ANCHORS SPECIFIED ON THIS DRAWING ARE IN ADDITION TO THE TIEDOWN STRAPS AND GROUND ANCHORS REQUIRED AT THE SHEAR WALLS.

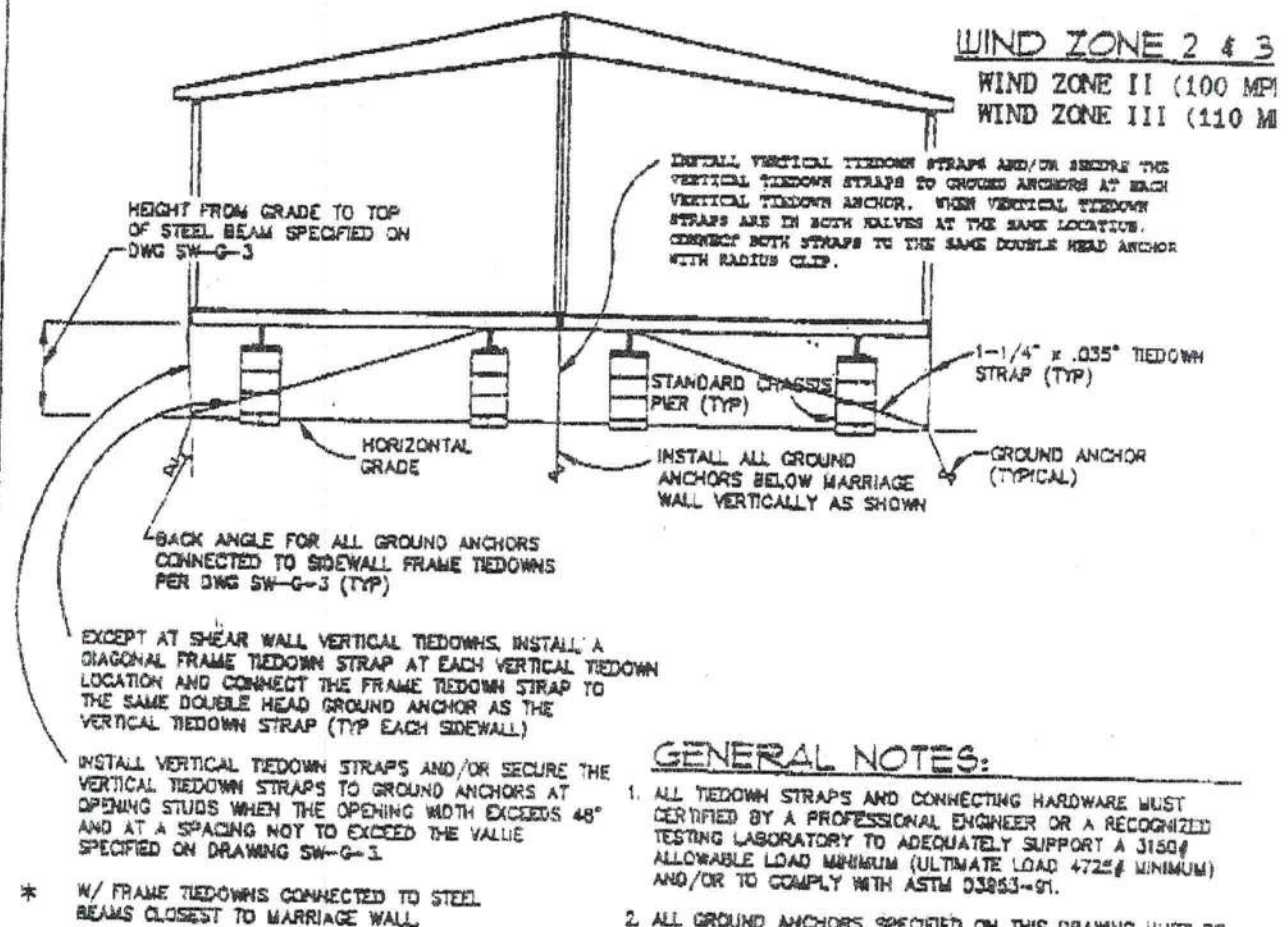
<b>P.E. SEAL</b> 	<b>THIRD PARTY</b>	<b>REVISIONS</b>			<b>NOBILITY</b> <b>CONTINUOUS RIDGE BEAM ANCHORAGE SYSTEM</b> <b>NEAR BEAM METHOD</b>
		LTR BY DATE			
		DRAWN BY: TC DATE: 1/28/98			SW-Fi-2 REV. B





## NOBILITY HOMES

# TYPICAL DOUBLEWIDE TIEDOWN INSTALLATION \* (STANDARD TIEDOWN INSTALLATION - NOT AT SHEAR WALLS)



## GENERAL NOTES:

1. ALL TIEDOWN STRAPS AND CONNECTING HARDWARE MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER OR A RECOGNIZED TESTING LABORATORY TO ADEQUATELY SUPPORT A 3150# ALLOWABLE LOAD MINIMUM (ULTIMATE LOAD 4725# MINIMUM) AND/OR TO COMPLY WITH ASTM D3853-91.
2. ALL GROUND ANCHORS SPECIFIED ON THIS DRAWING MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER OR A RECOGNIZED TESTING LABORATORY TO ADEQUATELY SUPPORT A 3150# ALLOWABLE WITHDRAWAL LOAD (ULTIMATE LOAD 4725# MIN. WHEN LOADED AT A 45° ANGLE FROM THE ANCHOR SHAFT AND A 3150# ALLOWABLE WITHDRAWAL LOAD (ULTIMATE LOAD 4725# MIN. WHEN LOADED PARALLEL TO THE ANCHOR SHAFT).
3. THE GROUND ANCHORS MUST BE INSTALLED TO THEIR FULL DEPTH IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS (I.E. APPROVED FOR INSTALLATION IN THE SOIL TYPE WHICH EXISTS AT THE SITE, ETC.) AND MUST EXTEND BELOW THE FROST LINE AND BE AT LEAST 12" ABOVE THE WATER TABLE.
4. ALL GROUND ANCHORS CONNECTED TO THE SIDEWALL FRAME TIEDOWNS MUST BE PROVIDED WITH STABILIZER PLATES TO MINIMIZE HORIZONTAL MOVEMENT.

FIGURE 20a

NOTE:  
UNLESS SPECIFIED OTHERWISE ON OTHER DRAWINGS, ALL TIEDOWN STRAPS AND GROUND ANCHORS SPECIFIED ON THIS DRAWING ARE IN ADDITION TO THE TIEDOWN STRAPS AND GROUND ANCHORS REQUIRED AT THE SHEAR WALLS.

P.E. SEAL	THIRD PARTY	REVISIONS		NOBILITY
		LTR	BY	
				CONTINUOUS RIDGE BEAM ANCHORAGE SYSTEM FOR BEAM METHOD
		DESIGN BY: TC	DAPRA DEL:	SW-F1-2
		DATE: 3/10/98	SC: N.T.S.	

REV.D





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VIC LIBERTY  
CENTRAL DOZER

PAGE 6  
PAGE 89

OLIVER TECHNOLOGIES, INC.  
FLORIDA INSTALLATION INSTRUCTIONS FOR THE  
MODEL 1101 "V" SERIES ALL-STEEL FOUNDATION SYSTEM  
MODEL 1101 "V" (STEPS 1-18)  
MODEL 1101-L "V" LONGITUDINAL ONLY:  
FOLLOW STEPS 1-9  
FOR ADDING LATERAL ARM:  
Follow Steps 10-15

ENGINEER'S STAMP

ENGINEER'S STAMP

1. SPECIAL CIRCUMSTANCES: If the following conditions occur - STOP! Contact Oliver Technologies at 1-800-284-7437:  
a) Pier height exceeds 48' b) Length of home exceeds 76' c) Roof eaves exceed 16' d) Sidewall height exceed 96'  
e) Location is within 1500 feet of coast

#### INSTALLATION OF GROUND PAN

2. Remove weeds and debris in an approximate two foot square to expose firm soil for each ground pan (C).  
3. Place ground pan (C) directly below channel I-beam. Press or drive pan firmly into soil until flush with or below soil.  
SPECIAL NOTE: The longitudinal "V" brace system serves as a pier under the home and should be loaded as any other pier. It is recommended that after leveling piers, and one-half inch (1/2") before home is lowered completely on to piers, complete steps 4 through 9 below.

#### INSTALLATION OF LONGITUDINAL "V" BRACE SYSTEM

NOTE: WHEN INSTALLING THE MODEL 1101-L "V" LONGITUDINAL SYSTEM, A MINIMUM OF 2 SYSTEMS PER FLOOR SECTION IS REQUIRED. FOUR FOOT (4') GROUND ANCHOR MAY BE USED EXCEPT WHERE THE HOME MANUFACTURER SPECIFIES DIFFERENT. USE GROUND ANCHOR WITH DIAGONAL TIES AND STABILIZER PLATES EVERY 8'4". VERTICAL TIES ARE ALSO REQUIRED ON HOMES SUPPLIED WITH VERTICAL CONNECTION POINTS (PER FLORIDA REG.).

4. Select the correct square tube brace (E) length for set-up (pier) height at support location. (The 18" tube is always used as the bottom part of the longitudinal arm). Note: Either tube can be used by itself, cut and drilled to length as long as a 40 to 45 degree angle is maintained.

PIER HEIGHT (Approx. 45 degree Max.)      1.25" ADJUSTABLE Tube Length      1.50" ADJUSTABLE Tube Length

7 3/4" to 25"	22"	
24 3/4" to 32 1/4"	32"	18"
33" to 41"	44"	18"
40" to 48"	54"	18"

5. Install (2) of the 1.50" square tubes (E (18" tube)) into the "U" bracket (J), insert carriage bolt and leave nut loose for final adjustment.  
6. Place I-beam connector (F) loosely on the bottom flange of the I-beam.  
7. Slide the selected 1.25" tube (E) into a 1.50" tube (E) and attach to I-beam connectors (F) and fasten loosely with bolt and nut.  
8. Repeat steps 5 through 7 to create the "V" pattern of the square tubes loosely in place. The angle is not to exceed 45 degrees and not below 40 degrees.  
9. After all bolts are tightened, secure 1.25" and 1.50" tubes using four (4) 1/4" - 14 x 3/4" self-tapping screws in pre-drilled holes.

#### INSTALLATION OF LATERAL TELESCOPING TRANSVERSE ARM SYSTEM

THE MODEL 1101 "V" (LONGITUDINAL & LATERAL PROTECTION) ELIMINATES THE NEED FOR MOST STABILIZER PLATES & FRAME TIES

10. Install remaining vertical tie-down straps and 4' ground anchors per home manufacturer's instructions. NOTE: Centerline anchors to be sized according to soil torque condition. Any manufacturer's specifications for sidewall anchor loads in excess of 4,000 lbs. require a 5' anchor.  
11. NOTE: Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location.  
12. Select the correct square tube brace (H) length for set-up lateral transverse at support location. The lengths come in either 60" or 72" lengths. (With the 1.50" tube as the bottom tube, and the 1.25" tube as the inserted tube.)  
13. Install the 1.50" transverse brace (H) to the ground pan connector (D) with bolt and nut.  
14. Slide 1.25" transverse brace into the 1.50" brace and attach to adjacent I-beam connector (I) with bolt and nut.  
15. Secure 1.50" transverse arm to 1.25" transverse arm using four (4) 1/4" - 14 x 3/4" self-tapping screws in pre-drilled holes.

MANUFACTURED HOUSING FOUNDATION SYSTEMS  
A DIVISION OF OLIVER TECHNOLOGIES, INC.  
1-800-284-7437

Telephone: 831-700-1  
Fax: 831-700-8517  
www.olivertechnologies.com



**Central Dozer Service, Inc.**

5711 NE 25th Ave.

Ocala, FL 34479

352-351-6100 off.

352-351-6103 fax

I, Wendell Crews, license # IH0000629 do hereby grant permission for  
Jeff Hardee to sign and obtain permits in my behalf for  
customer Linda Harris located in Columbia County,  
for the purpose of setting up a manufactured home.

Wendell Crews

Wendell Crews

Signed this 18 day of November, 2005  
by Wendell Crews who is personally known.

Sandra Ellen Hall  
Notary Public



SANDRA ELLEN HALL  
MY COMMISSION # DD 219170  
EXPIRES: June 20, 2007  
Bonded Thru Budget Notary Services







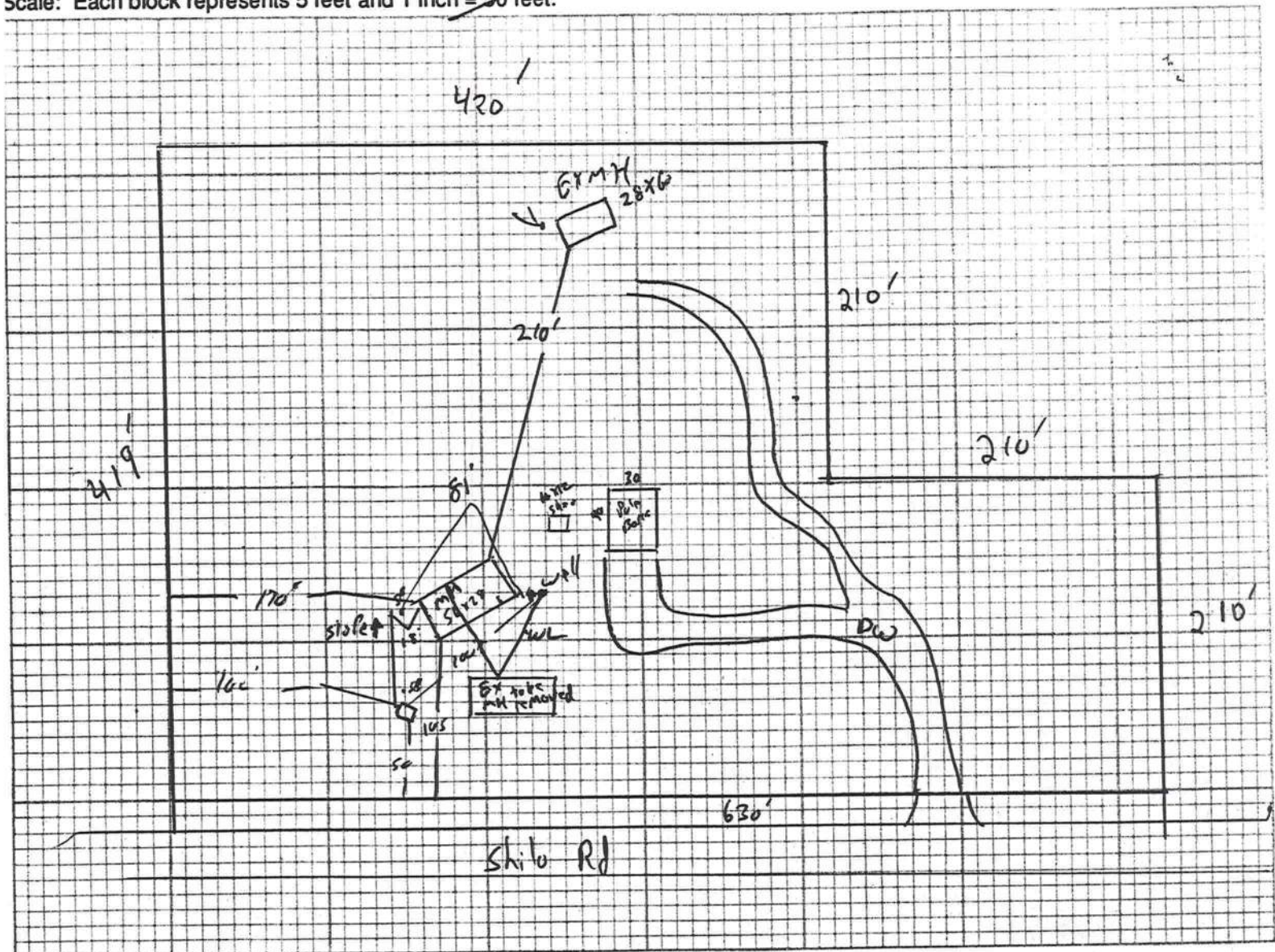
STATE OF FLORIDA  
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 05-1139E

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = <sup>100</sup>/<sub>50</sub> feet.



Notes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Site Plan submitted by: [Signature] Signature \_\_\_\_\_ Title \_\_\_\_\_  
Plan Approved \_\_\_\_\_ Not Approved \_\_\_\_\_ Date 10/8/05  
By [Signature] Columbia County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT





Linda Harris Lister  
351 SW Shiloh Rd  
Ft White, FL 32058

**RE: On-Site Sewage Treatment and Disposal System Construction Inspection and Final Approval.**

Dear Sir / Madam:

On 11/3/05, an <sup>Review</sup> inspection was conducted on your property for Permit # 05-1139-E. The Construction or Final Approval for this system was not issued because the following was / were noted. This / These item(s) will need to be resolved before this department can grant Final Approval.

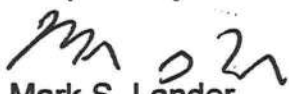
<input type="checkbox"/> Private well not installed.	<input type="checkbox"/> Mound / Filled system needs stabilization.
<input type="checkbox"/> Bldg. not installed.	<input type="checkbox"/> Need audio / visual alarm installed.
<input type="checkbox"/> Bldg. does not match floor plans.	<input type="checkbox"/> Need storm water run-off control.
<input type="checkbox"/> H2O line not hooked up or marked.	<input type="checkbox"/> Need 911- Address.
<input type="checkbox"/> H2O line does not meet required setbacks.	<input type="checkbox"/> Need property (tax) ID #.
<input type="checkbox"/> System does not meet required setbacks.	<input type="checkbox"/> Need Tank Certification.
<input type="checkbox"/> Property lines not clearly marked.	<input type="checkbox"/> Other.

Remarks: Please call when home is on site  
& hooked to the existing septic system & well.

The items mentioned above need to be resolved as soon as possible before a final approval can be granted. If this department has to return to the site a ~~\$50.00 re-inspection fee~~ will ☐ will not ☒ be charged.

When completed or if there should be any questions, please contact the Environmental Health Section of the Columbia County Health Department at 386-758-1058.

Respectfully,



Mark S. Lander  
Columbia County Health Department  
cc: file

**COULUMBIA COUNTY HEALTH DEPARTMENT**  
217 N.E. Franklin Street, Lake City, FL 32055  
Environmental Health  
(386) 758-1058  
Fax: 758-2187

