



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM

PERMIT #: 12-SC-2685737  
APPLICATION #: AP1957705  
DATE PAID: 4/6/23  
FEE PAID: 310.00  
RECEIPT #: \_\_\_\_\_  
DOCUMENT #: PR1921914

CONSTRUCTION PERMIT FOR: OSTDS New  
APPLICANT: Dennis\*\*23-0262 & Rebecca Mouras  
PROPERTY ADDRESS: 735 SW Sterling Ter High Springs, FL 32643  
LOT: 7 BLOCK: \_\_\_\_\_ SUBDIVISION: Summers Acres  
PROPERTY ID #: 100066-107 [SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]  
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [ 1,200 ] GALLONS / GPD New Multi-Chambered Septic CAPACITY  
A [ ] GALLONS / GPD N/A CAPACITY  
N [ ] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK:1250 GALLONS]  
K [ ] GALLONS DOSING TANK CAPACITY [ ] GALLONS @ [ ] DOSES PER 24 HRS #Pumps [ ]

D [ 575 ] SQUARE FEET Drainfield SYSTEM  
R [ ] SQUARE FEET N/A SYSTEM  
A TYPE SYSTEM: [X] STANDARD [ ] FILLED [ ] MOUND [ ]  
I CONFIGURATION: [X] TRENCH [ ] BED [ ]

F LOCATION OF BENCHMARK: Nail in power pole west of septic system

I ELEVATION OF PROPOSED SYSTEM SITE [ 24.00 ] [ INCHES ] FT [ ABOVE / BELOW ] BENCHMARK/REFERENCE POINT  
E BOTTOM OF DRAINFIELD TO BE [ 54.00 ] [ INCHES ] FT [ ABOVE / BELOW ] BENCHMARK/REFERENCE POINT

L  
D FILL REQUIRED: [ 0.00 ] INCHES EXCAVATION REQUIRED: [ ] INCHES

O The system is sized for 4 bedrooms with a maximum occupancy of 8 persons (2 per bedroom), for a total estimated flow of 400 gpd.  
T  
H  
E  
R

SPECIFICATIONS BY: Ronald Ford TITLE: M. Contractor

APPROVED BY: [Signature] TITLE: Environmental Specialist I Columbia CHD

DATE ISSUED: 04/07/2023 EXPIRATION DATE: 10/07/2024

DH 4016, 08/09 (Obsoletes all previous editions which may not be used)

Incorporated: 64E-6.003, FAC

Page 1 of 3

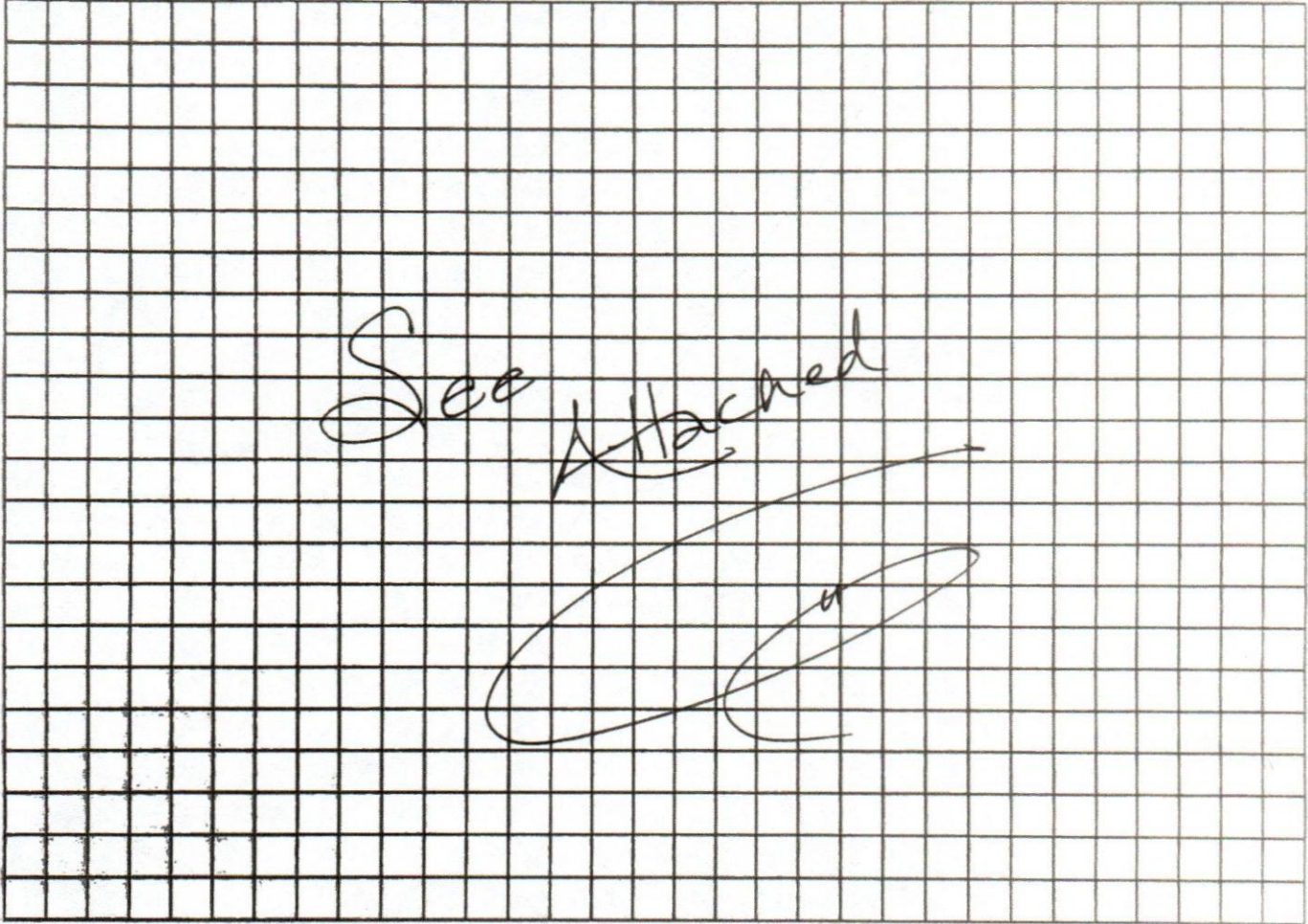


STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 23-0262

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes: \_\_\_\_\_

Site Plan submitted by: RC Ford RONALD FORD

Plan Approved ☒ Not Approved \_\_\_\_\_ Date 4/7/23

By [Signature] ESZ Columbia County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**





STATE OF FLORIDA  
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ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 23-0262  
DATE PAID: 4/6/23  
FEE PAID: 310.00  
RECEIPT #: AP1957705

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative  
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Dennis & Rebecca Mouras

AGENT: Mark Bauer

TELEPHONE: 352-283-2002

MAILING ADDRESS: 25232 NW 168<sup>th</sup> Ln High Springs, FL 32643

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 7 BLOCK: - SUBDIVISION: Summer Acres - unrecorded PLATTED: N

PROPERTY ID #: 16-75-17-10006-107 ZONING: Res/Ag I/M OR EQUIVALENT: ☐ Y ☒ N

PROPERTY SIZE: 10.6 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ <2000GPD ☐ >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y ☒ N DISTANCE TO SEWER: N/A FT

PROPERTY ADDRESS: 735 SW Sterling Ter. High Springs, FL 32643

DIRECTIONS TO PROPERTY: Take US Hwy 441 South to CR 778 on Right. Follow CR 778 to SW Sterling Ter. on Left. Property is approx 1/2 mile down SW Sterling Ter. on Left.

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	New Construction SFD	4	3092 #/c 6560 TOTAL	3752 with bonus room.
2				
3				
4				

**SS# 095305189**  
done on 04.05.2023

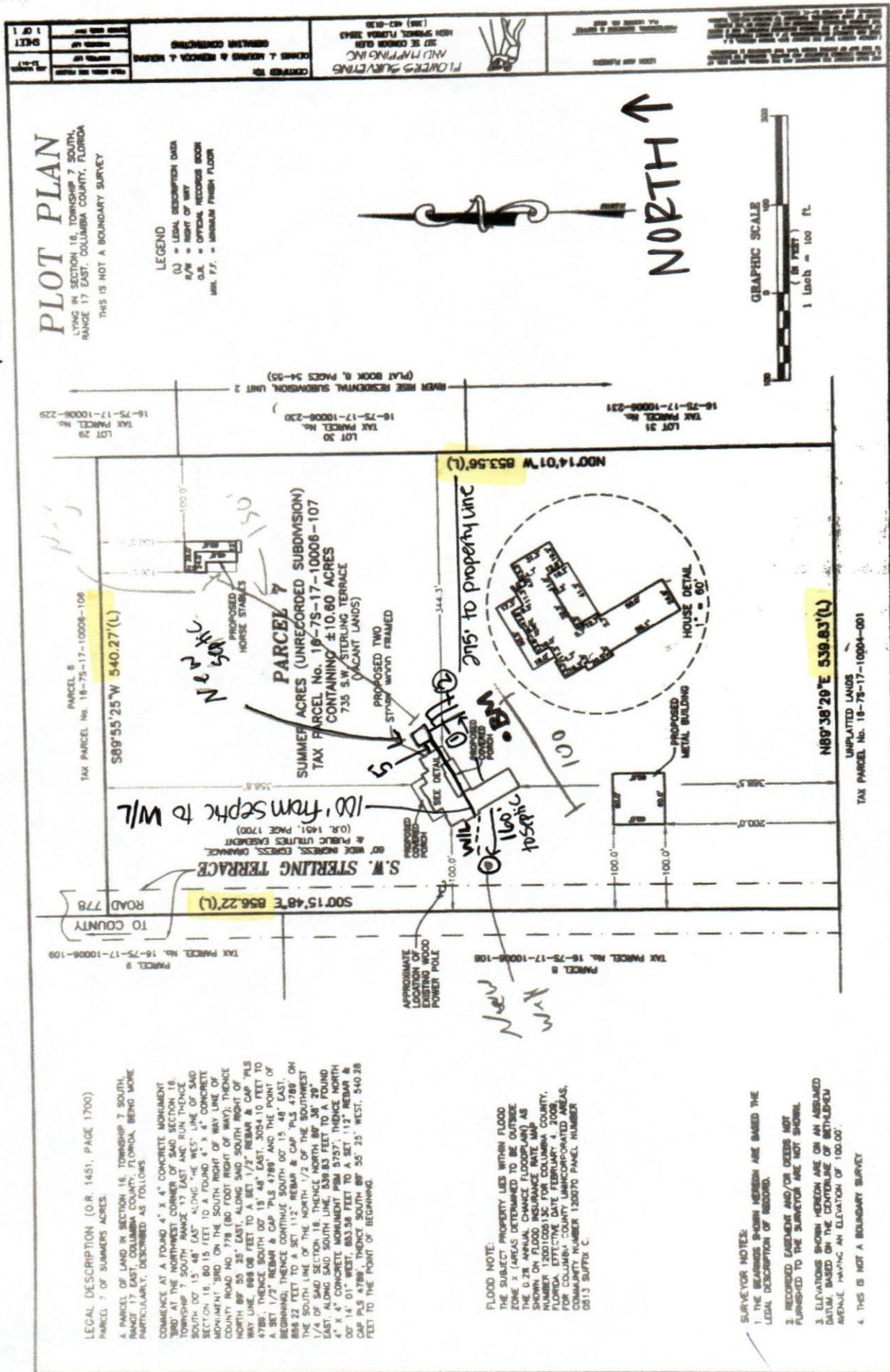
☐ Floor/Equipment Drains ☐ Other (Specify) \_\_\_\_\_

SIGNATURE: RC Ford DATE: 3-28-23



Submitted by: ca of 04.05.2023  
 Ronald Ford

23-0262



LEGAL DESCRIPTION (O.R. 1451, PAGE 1700)  
 A PARCEL OF LAND IN SECTION 18, TOWNSHIP 7 SOUTH,  
 RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE  
 PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A FOUND 4" x 4" CONCRETE MONUMENT  
 '3RD' AT THE NORTHWEST CORNER OF SAID SECTION 18,  
 TOWNSHIP 7 SOUTH, RANGE 17 EAST, AND RUN THENCE  
 SOUTH 00° 15' 48" EAST ALONG THE WEST LINE OF SAID  
 SECTION 18, 80.15 FEET TO A FOUND 4" x 4" CONCRETE  
 MONUMENT '3RD' ON THE SOUTH RIGHT OF WAY LINE OF  
 COUNTY ROAD NO. 778 (80 FOOT RIGHT OF WAY); THENCE  
 NORTH 89° 55' 25" EAST, ALONG SAID SOUTH RIGHT OF WAY  
 LINE, 898.08 FEET TO A SET 1 1/2" REBAR & CAP PLS  
 4788'; THENCE SOUTH 00° 15' 48" EAST, 3054.10 FEET TO  
 A SET 1 1/2" REBAR & CAP PLS 4789'; AND THENCE EAST  
 BEGINNING, THENCE CONTINUE SOUTH 00° 15' 48" EAST  
 888.22 FEET TO A SET 1 1/2" REBAR & CAP PLS 4788'; ON  
 THE SOUTH LINE OF THE NORTH 1/4 OF THE SOUTHWEST  
 1/4 OF SAID SECTION 18, THENCE NORTH 89° 34' 20"  
 4' 1" CONCRETE MONUMENT FROM 3757'; THENCE NORTH  
 00° 14' 01" WEST, 883.54 FEET TO A SET 1 1/2" REBAR &  
 CAP PLS 4788'; THENCE SOUTH 89° 55' 25" WEST, 540.28  
 FEET TO THE POINT OF BEGINNING.

FLOOD NOTE:

THE SUBJECT PROPERTY LIES WITHIN FLOOD  
 ZONE X (AREAS DETERMINED TO BE OUTSIDE  
 THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS  
 SHOWN ON FLOOD INSURANCE RATE MAP COUNTY,  
 NUMBER 120070S, EFFECTIVE DATE FEBRUARY 4, 2008.  
 FLOOD ELEVATIONS SHOWN HEREON ARE ON AN ASSUMED  
 DATUM, COLUMBIA COUNTY UNINCORPORATED AREAS,  
 COMMUNITY NUMBER 120070 PANEL NUMBER  
 0513 SURF C.

SURVEYOR NOTES:

1. THE BEARINGS SHOWN HEREON ARE BASED THE  
 LEGAL DESCRIPTION OF RECORD.
2. RECORDED EASEMENT AND/OR DEEDS NOT  
 FURNISHED TO THE SURVEYOR ARE NOT SHOWN.
3. ELEVATIONS SHOWN HEREON ARE ON AN ASSUMED  
 DATUM, BASED ON THE CENTRELINE OF BETHLEHEM  
 AVENUE, HAVING AN ELEVATION OF 100.00'.
4. THIS IS NOT A BOUNDARY SURVEY.