Columbia County Building Permit Application
For Office Use Only Application # 1110-29 Date Received 1921 By The Permit # 29756
Zoning Official BLX Date 3/ QA, 20 Flood Zone N/A Land Use RES La DWZoning RSF-2
FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner 1, C. Date 10-31-//
Comments
NOC EH Deed or PA Site Plan State Road Info Well letter 911 Sheet Parent Parcel #
□ Dev Permit # □ In Floodway □ Letter of Auth. from Contractor □ F W Comp. letter
IMPACT FEES: EMS Fire Corr & Sub VF Form Denature needs to
Road/CodeSchool= TOTAL (Suspended) App Fee Paid
Septic Permit No. <u>X -11-087</u> Fax
Name Authorized Person Signing Permit Jerry CASTAGNA Phone 755-6867
Owners Name WARD - Gregory & Michelle Phone 752 - 9700
911 Address 311 NW Mission Ridge Ct
Contractors Name Castagna Construction Phone 755-6867
Address 521 NW Old Mill Dr Loke City Fl 32055
Fee Simple Owner Name & Address
Bonding Co. Name & Address
Architect/Engineer Name & Address Sun Constant Anchitecture & Engineering, Clear Water Fl
Mortgage Lenders Name & Address
Circle the correct power company – FL Power & Light – Clay Elec. – Suwannee Valley Elec. – Progress Energy
Property ID Number 36-35-16-02611-205 Estimated Cost of Construction \$8800 =
Subdivision Name Lot Block Unit Phase
Driving Directions 90 W, R Gwen Lake AVE, L Laborte LN, L Brady Circle, Brady
Becomes Mission Ridge CRT, R Then Straight to the End.
Number of Existing Dwellings on Property $\underline{\mathcal{I}}$
Construction of Pool Carse Screen. Total Acreage 3.64 Lot Size 3.64
Do you need a - <u>Culvert Permit</u> or <u>Culvert Waiver</u> or <u>Have an Existing Drive</u> Total Building Height/ 1 4 '
Actual Distance of Structure from Property Lines - Front 800 Side 200 Side 300 Rear
Number of Stories Heated Floor Area Total Floor Area / 400 Roof Pitch 30°
Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or
installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards
of all laws regulating construction in this jurisdiction. <u>CODE: Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code.</u> Page 1 of 2 (Both Pages must be submitted together.)  Revised 1-11

## **Columbia County Building Permit Application**

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

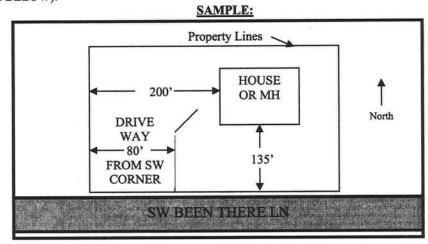
<u>NOTICE TO OWNER:</u> There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

encumbered by any restrictions or face possible litigati	on and or fines.
Michel Ward	(Owners Must Sign All Applications Before Permit Issuance.)
Owners Signature **OWNER BUILDERS MU	IST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.
	estand and agree that I have informed and provided this tten responsibilities in Columbia County for obtaining ermit time limitations.
Contractor's Signature (Permitee)	Contractor's License Number CBCO 47847  Columbia County  Competency Card Number 431 in System
Affirmed under penalty of perjury to by the <u>Contractor</u> a	nd subscribed before me this 20 day of 00002011.
Personally known or Produced Identification	MELINDA PETTYJOHN
nelinda tetty in	SEAL: Expires November 1, 2012

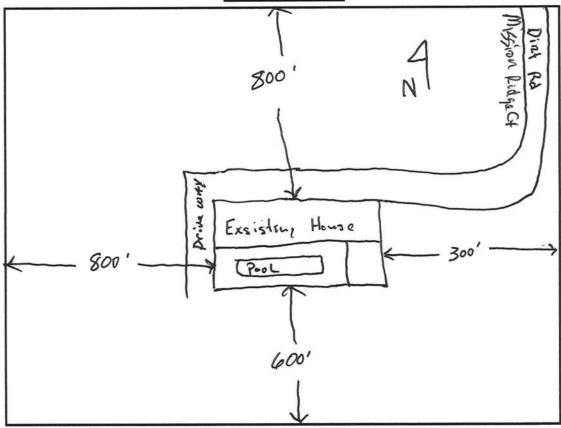
State of Florida Notary Signature (For the Contractor)

Bonded Thru Troy Fain Insurance 800-365-7019

- 1. A PLAT, PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
- 2. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM AT LEAST TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
- 3. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
- 4. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).



## **SITE PLAN BOX:**



Page 2 of 2

3.64 AC

97547088

1/1

03:06:35 p.m.

10-27-2011

		EU- CONTRACTOR VERIFICATION FORM	
APPLICATION NUMBER	1110-29	CONTRACTOR JERLY CISTAGNA	PHONE 755 686
	THIS FORM MUST B	E SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT	

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name License #:			SignaturePhor	ne#:
MECHANICAL/	Print Name			SignaturePhon	ne #:
PLUMBING/ GAS	Print Name			SignaturePho:	ne #:
ROOFING	Print Name			SignaturePhor	ne #:
SHEET METAL	Print Name	, , , , , , , , , , , , , , , , , , ,		SignaturePho	ne#;
FIRE SYSTEM/ SPRINKLER	Print Name License#:		<del>\</del>	SignaturePho	ne#:
SOLAR	Print Name License #:		_	SignaturePho	ne#:
Specialty L	License	Ucease Number	Sub Contract	or: Printed Name	Sub-Contractors Signature
MASON					
CONCRETE FI	NISHER				
FRAMING					
INSULATION					
STUCCO	,				
DRYWALL					
PLASTER					
CABINET INST	TALLER				
PAINTING					
ACOUSTICAL	CEILING				
GLASS					
CERAMIC TIL	E				
FLOOR COVE	RING				
ALUM/VINYL	SIDING43	PBC047842	Jerry	CASTAGO	of reun lastan
GARAGE DOC			1		1 1 8
METAL BLDG	ERECTOR				

F. 5. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each Contractor Forms: Subcontractor form: 5/09 time the employer applies for a building permit.

7:39:21 AM 10/31/2011

### Licensee Details

### **Licensee Information**

Name:

CAMPBELL, SCOTT GUY (Primary Name)

(DBA Name)

Main Address:

250 58 STREET NORTH

**APARTMENT 805** 

ST PETERSBURG Florida 33710

County:

**PINELLAS** 

License Mailing:

LicenseLocation:

### **License Information**

License Type:

**Professional Engineer** 

Rank:

**Prof Engineer** 

License Number:

40904

Status:

Current, Active

Licensure Date:

02/09/1989

Expires:

02/28/2013

Special Qualifications

**Qualification Effective** 

Building Code Core Course Credit

View Related License Information View License Complaint

Contact Us :: 1940 North Monroe Street, Tallahassee FL 32399 :: Call.Center@dbpr.state.fl.us :: Customer Contact Center:

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Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact the office by phone or by traditional mail. If you have any questions regarding DBPR's ADA web accessibility, please contact our Web Master at <a href="mailto:webmaster@dbpr.state.fl.us">webmaster@dbpr.state.fl.us</a>.

# Columbia County Property Appraiser DB Last Updated: 10/3/2011

Parcel: 36-3S-16-02611-205

<< Next Lower Parcel | Next Higher Parcel >>

### **Owner & Property Info**

Owner's Name	WARD GREGO	RY & MICHELLE			
Mailing Address	331 NW MISSION RIDGE CT LAKE CITY, FL 32055				
Site Address	331 NW MISSION RIDGE CT				
Use Desc. (code)	SINGLE FAM (	000100)			
Tax District	2 (County)	Neighborhood	36316		
Land Area	3.640 ACRES	Market Area	06		
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.				

COMM NE COR OF NW1/4 OF NE1/4, RUN W 1731.97 FT FOR POB, RUN S 333.75 FT, W 492.60 FT, N 333.75 FT, E 508.11 FT TO POB. (AKA PART OF LOT 1) ORB 840-1848, 902-2192,

# 2010 Tax Year

Tax Collector Tax Estimator Property Card

> Parcel List Generator Interactive GIS Map

<< Prev

Search Result: 29 of 79

Next >>



### Property & Assessment Values

2010 Certified Values		
Mkt Land Value	cnt: (0)	\$30,250.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (2)	\$256,975.00
XFOB Value	cnt: (1)	\$180.00
Total Appraised Value		\$287,405.00
Just Value		\$287,405.00
Class Value		\$0.00
Assessed Value		\$287,405.00
Exempt Value	(code: HX)	\$50,000.00
Total Taxable Value	Other:	Cnty: \$237,405 \$237,405   Schl: \$262,405

### 2011 Working Values

### NOTE:

2011 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

**Show Working Values** 

### Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
5/23/2000	902/2192	WD	V	U	01	\$0.00

### **Building Characteristics**

Bldg Item	Bidg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	2001	COMMON BRK (19)	3207	5246	\$213,269.00
2	PREF M B A (008700)	2001	PREFIN MTL (27)	2000	2000	\$29,787.00
	Note: All S.F. calculati	ons are bas	sed on exterior build	ding dimension	S.	

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	2001	\$180.00	0000120.000	10 x 12 x 0	(000.00)

### Land Breakdown

DATE 11/03	3/2011	Colum	bia County Bu Be Prominently Posted of	uilding Permit	etruction	PERMIT 000029756
			se Prominently Posted C	PHONE	386.755.6867	000025730
APPLICANT		ASTAGNA	NAD.	LAKE CITY	380.733.0807	FL 32055
ADDRESS	521 CREC % 1	NW OLD MILL RO MICHELE WARD	JAD	PHONE	386.752.9700	
OWNER ADDRESS	331	NW MISSION RID	GE COURT	LAKE CITY	300170213770	FL 32055
CONTRACTO		RY CASTAGNA	dE cocki	PHONE	386.755.6867	
LOCATION O	-		GWEN LAKE AVE, L LA	y and the second second	CIRCLE, BRAD	Υ
LOCATION	I KOI EK	The same of the sa	S MISSION RIDGE CR			
TYPE DEVEL	OPMENT	POOL CAGE EN	CLOSURE EST	TIMATED COST OF CO	NSTRUCTION	8800.00
HEATED FLO	OR AREA		TOTAL ARE	A	HEIGHT _	STORIES
FOUNDATION	٧	WAL	LSR	OOF PITCH	FL	OOR
LAND USE &	ZONING	RSF-2		MAX	HEIGHT _	
Minimum Set I	Back Requir	rments: STREET-	-FRONT 30.00	REAR	25.00	SIDE 25.00
NO. EX.D.U.	1	FLOOD ZONE	( <del></del>	DEVELOPMENT PERI	MIT NO.	
PARCEL ID	36-3S-16-	02611-205	SUBDIVISIO	N		
LOT	BLOCK	PHASE	UNIT	тотл	AL ACRES 3.0	54
	THE PAYER		CBC047842	X	1 1-	
Culvert Permit	No.	Culvert Waiver	Contractor's License Nun	nber	Applicant/Owner/	Contractor
EXISTING		X-11-087	BLK		C	N
Driveway Conn	nection	Septic Tank Number	LU & Zonir	ng checked by App	proved for Issuance	e New Resident
COMMENTS:	NOC ON					
					Check # or Ca	ash 8283
			III DING 8 ZONIA	IC DEPARTMENT		
Tamparary Pau	var		JILDING & ZONIN		ONLY	ash 8283 (footer/Slab)
Temporary Pow	ver	FOR BI	p 1.0		ONLY	(footer/Slab)
	-	FOR BU	Foundation	date/app. by	ONLY  Monolithic	(footer/Slab)  date/app. by
Under slab roug	-	FOR BI	Foundation Slab		ONLY  Monolithic	(footer/Slab)  date/app. by
	gh-in plumb	FOR BU  date/app. by  ping  date/ap	Foundation Slab  pp. by sulation	date/app. by	ONLY  Monolithic	(footer/Slab)  date/app. by  Nailing
Under slab roug	gh-in plumb	FOR BU  date/app. by  ping  date/ap	Foundation Slab  pp. by sulation	date/app. by  date/app. by e/app. by	ONLY  Monolithic _  Sheathing/	(footer/Slab)  date/app. by  Nailing
Under slab roug	gh-in plumb date/ap	FOR BU  date/app. by  ping  date/ap	Foundation Slab pp. by date	date/app. by  date/app. by  e/app. by  El	ONLY  Monolithic	(footer/Slab)  date/app. by  Nailing  date/app. by
Under slab roug	date/ap	date/app. by bing date/ap ling In	Foundation Slab pp. by sulation date	date/app. by  date/app. by  e/app. by  Elate/app. by	Monolithic Sheathing/	(footer/Slab)  date/app. by  Nailing
Under slab roug Framing Rough-in plumb	date/ap	date/app. by bing date/ap ling In	Foundation Slab pp. by date	date/app. by  date/app. by  e/app. by  Elate/app. by	ONLY  Monolithic _  Sheathing/	(footer/Slab)  date/app. by  Nailing  date/app. by
Under slab roug Framing Rough-in plumb	date/ap bing above s	date/app. by bing date/app pp. by slab and below wood i	Foundation Slab pp. by sulation date floor Peri. beam (Linte	date/app. by  date/app. by  e/app. by  Elate/app. by  date/app. by	Monolithic Sheathing/	(footer/Slab)  date/app. by  Nailing  date/app. by  date/app. by  date/app. by
Under slab roug Framing Rough-in plumb Heat & Air Duce Permanent power	date/ap bing above set der date/ap	date/app. by bing In bp. by slab and below wood fate/app. by ste/app. by	Foundation Slab  pp. by sulation date floor Peri. beam (Linte	date/app. by  date/app. by  e/app. by  Elate/app. by  date/app. by  late/app. by	Monolithic Sheathing/ ectrical rough-in Pool Culvert	(footer/Slab)  date/app. by  Nailing  date/app. by  date/app. by
Under slab roug Framing Rough-in plumb Heat & Air Duce Permanent power	date/ap bing above s	date/app. by bing In bp. by slab and below wood fate/app. by ute/app. by Utility Pole	Foundation Slab pp. by sulation date floor Peri. beam (Linte	date/app. by  date/app. by  e/app. by  Elate/app. by  date/app. by  late/app. by	Monolithic Sheathing/ ectrical rough-in Pool Culvert	(footer/Slab)  date/app. by  Nailing  date/app. by  date/app. by  date/app. by
Under slab roug Framing Rough-in plumb Heat & Air Duce Permanent power	date/ap bing above :  t  d  ate/app. by	date/app. by bing In pp. by slab and below wood f date/app. by te/app. by Utility Pole date/app.	Foundation Slab Dp. by sulation date floor Peri. beam (Linte C.O. Final M/H tie de	date/app. by  date/app. by  e/app. by  ate/app. by  date/app. by  late/app. by  date/app. by  owns, blocking, electricit	Monolithic Sheathing/ ectrical rough-in Pool Culvert	(footer/Slab)  date/app. by  Nailing  date/app. by  date/app. by  date/app. by  date/app. by  date/app. by
Under slab roug Framing Rough-in plumb Heat & Air Duc Permanent power Pump pole di Reconnection	date/ap bing above set  d  date/ap  date/ap	date/app. by bing In bp. by slab and below wood fate/app. by Utility Pole date/app. by Utility Pole date/app. by	Foundation  Slab  pp. by sulation  date floor  Peri. beam (Linte  C.O. Final  M/H tie de  te/app. by  RV	date/app. by  date/app. by  e/app. by  Elate/app. by  date/app. by  date/app. by  date/app. by  owns, blocking, electricit  date/app. by	Monolithic Sheathing/ ectrical rough-in Pool Culvert y and plumbing Re-roof	(footer/Slab)  date/app. by  Nailing  date/app. by  date/app. by  date/app. by  date/app. by  date/app. by  date/app. by
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Under slab roug Framing Rough-in plumb Heat & Air Duc Permanent power Pump pole Reconnection BUILDING PEI MISC. FEES \$	date/ap bing above set der da ate/app. by d RMIT FEE	date/app. by bing In pp. by slab and below wood is late/app. by tte/app. by Utility Pole da late/app. by Solution	Foundation  Slab  pp. by sulation  date floor  Peri. beam (Linte  C.O. Final  M/H tie de  te/app. by  RV  CERTIFICATION FEI  CERT. FEE \$ 50.00	date/app. by  date/app. by  e/app. by  ate/app. by  date/app. by  late/app. by  owns, blocking, electricit  date/app. by  FIRE FEE \$ 0.00	Monolithic Sheathing/ Sheathing/ ectrical rough-in Pool Culvert y and plumbing Re-roof SURCHARGE O WAST	(footer/Slab)  date/app. by  Nailing  date/app. by  date/app. by  date/app. by  date/app. by  date/app. by  EFEE \$ 0.00
Under slab roug Framing Rough-in plumb Heat & Air Duc Permanent power Pump pole Reconnection BUILDING PEI	date/ap bing above set der da ate/app. by d RMIT FEE	date/app. by bing In pp. by slab and below wood is late/app. by tte/app. by Utility Pole da late/app. by Solution	Foundation  Slab  Dp. by  sulation  date  floor  Peri. beam (Linte  C.O. Final  M/H tie de  te/app. by  RV  CERTIFICATION FEI	date/app. by  date/app. by  e/app. by  ate/app. by  date/app. by  late/app. by  owns, blocking, electricit  date/app. by  FIRE FEE \$ 0.00	Monolithic Sheathing/ Sheathing/ ectrical rough-in Pool Culvert y and plumbing Re-roof SURCHARGE O WAST	(footer/Slab)  date/app. by  Nailing  date/app. by  date/app. by  date/app. by  date/app. by  date/app. by  EFEE \$ 0.00

**PERMIT** 

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

# Applicable Codes, Regulations, and Standards 1. The 2007 Florida Building Code with 2009 Supplements, CONTRACTOR: Castagna Construction DESIGN CRITERIA:

# Aluminum, and Chapter 23 Wood. 2. AA ASM 35 and Specifications for Aluminum Structures, Part 1-A and 1-B of the Aluminum Design Manual prepared by The Aluminum Association, Inc. Washington, D.C., 2005 Edition specifically Chapter 16 Structural Design, Chapter 20

# 3. ASCE 7-05.

Wind Loads

1. Building Occupancy Category, Paragraph 1604.5 and Table 604.5: Category

2. Basic Wind Speed, Table 1609 State of Florida Debris Region & Basic Wind Speed, Paragraph 1609.3.1 and Table 1609.3.1 Equivalent Basic Wind Speed: 110 MPH

Exposure Category, Paragraph 1609.4.3: C

3. Building Category for Aluminum Structures, Paragraph 2002.6:

Foundation Design
Actual Maximum Beam Span 28'-0"
Footing Size Existing concrete slab. No additional concrete footing or slab is required to resist the loads imposed upon the existing slab by the proposed construction if the existing slab is a minimum of 4" thick and in sound condition, free from structural cracking, spalling,

or other deterioration.

Specifications
The following specifications are applicable to this project:

 Where concrete specifications are required, whether in the screen enclosure scope or not, by one or more regulatory agency, the following specifications are applicable: Portland Cement Type 1,- ASTM C 150 Concrete shall conform to ASTM C94 for the following

 b. Metal accessories shall conform to:
 i. Reinforcing Bars - ASTM A615, grade 60
 ii. Welded wire fabric - ASTM A185 ii. Aggregates - Large Aggregate ¾" max - ASTM C 33iii. Air entraining +/- 1% - ASTM C 260 iv.Water reducing agent - ASTM C 494 Other admixtures not permitted

d. Prepare and place concrete per American Concrete Moist cure or polyethylene curing permitted including hot weather recommendations. nstitute Manual of Standard Practice, Parts 1, 2, and 3 Water added after batching is not

Concrete slump at discharge chute not less than 3" or

more than 5".

e. Moist cure or polyeury views the entire subsurface area f. Prior to placing concrete, treat the entire subsurface area g. Concrete shall be placed over a polyethylene vapor for termites in compliance with the FBC

> 8'-0" 3'-0"

A-3

A-C

1X2

8'-0"

8'-0"

-8'-0"

8,-0"

9'-4"

A-2

2X2

2X3

2X5 SMB

SMB

SMB

2X5 SMB

2X2

2X3

1X2

2X3

2X3

Aluminum extrusions shall be 6005 T5 Alloy
 Fasteners are required to be SAE Grade 2 or better zinc plated.
 All Self Mating Beam Sections are to be stitched with #14

5. The minimum nominal thickness of protector panels (kickplates) shall be an industry standard of 0.024 inches. screws 6" from ends and 24" center to center.

6. Screened enclosures containing swimming pools shall comply with the applicable requirements of FBC R4101.17 Residential

Swimming Barrier requirements

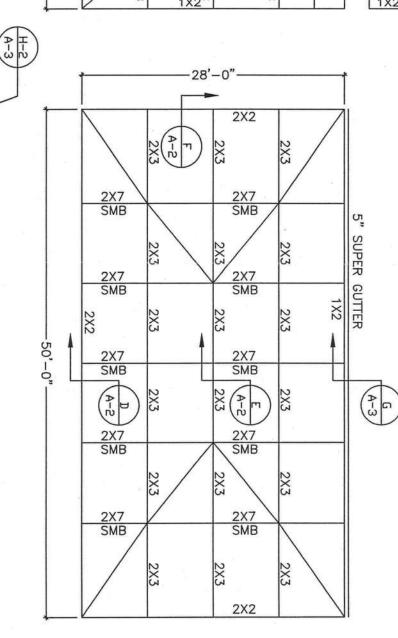
7. Screen material shall be 20/20 Better View or 18/14 screen. All

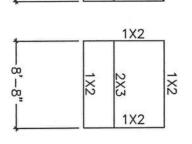
other material shall be approved by Suncoast Architecture &

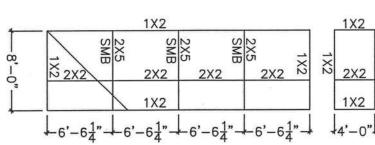
Door location shall be determined by contractor in the field. Roof bracing shall be a minimum 2"x2"x0.44". Connection shall be similar to C/A-2 w/ top strap.

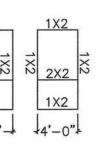
Roof Type: HIPPED

-6<del>1</del>' 1X2 1X2 2X2DJ -8'-0" 1X2 1X2 SMB SMB 1X2 1X2 1X2 SMB 2X5











PROJECT ADDRESS:

WARD 331 MISSION RIDGE CT LAKE CITY, FL 32055

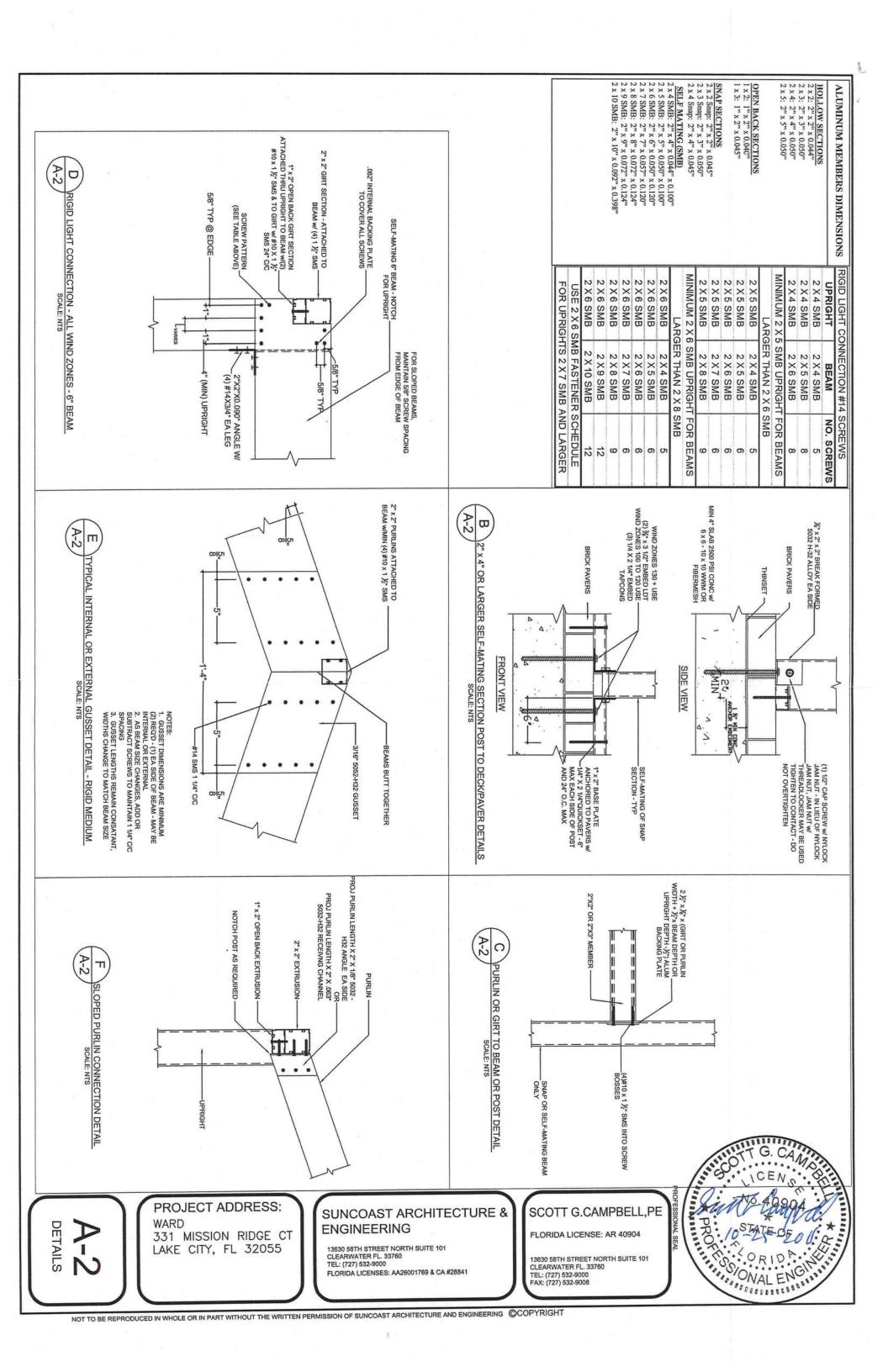
SUNCOAST ARCHITECTURE & **ENGINEERING** 

13630 58TH STREET NORTH SUITE 101 CLEARWATER FL. 33760 TEL: (727) 532-9000 FLORIDA LICENSES: AA26001769 & CA #28841 SCOTT G.CAMPBELL,PE

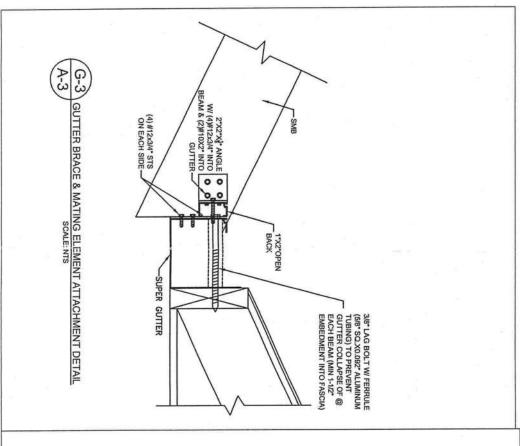
FLORIDA LICENSE: AR 40904

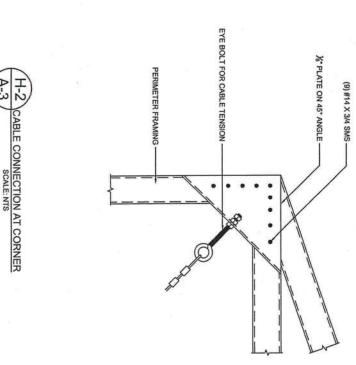
13630 58TH STREET NORTH SUITE 101 CLEARWATER FL. 33760 TEL: (727) 532-9000 FAX: (727) 532-9008



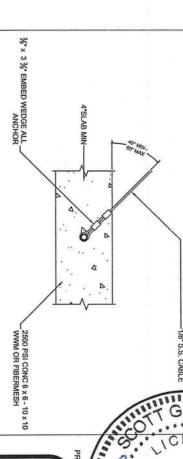












A-3

PROJECT ADDRESS: WARD 331 MISSION RIDGE CT LAKE CITY, FL 32055

SUNCOAST ARCHITECTURE & ENGINEERING

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