

Columbia County Building Permit Application

OK# 1004

CK# 1004

For Office Use Only Application # 0710-68 Date Received 10/31 By JW Permit # 1476/2642

Application Approved by - Zoning Official afs Date 11/8/07 Plans Examiner OK JH Date 11-7-0

Flood Zone 14.9. special family lot permit Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments 14.9. special family lot permit

☒ NOC ☒ E/H ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # 03397-201 ☐ Development P

Name AL... Person Signing Permit Melanie Roder Fax 386-752-2282

Address 387 SW Kemp Ct Lake City, FL 32024 Phone 386-623-7829

Owners Name Zac Cook Phone 386-697-6636

911 Address 203 SW Emorywood gln Lake City, FL 32024

Contractors Name Aaron Simque Homes Phone 386-867-0692

Address P.O. Box 2183 Lake City, FL 32056

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address Evan Beamsley / Mark Disosway

Mortgage Lenders Name & Address Campus USA Credit Union 2511 NW 41st St Gainesville, FL 32606

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive En

Property ID Number 01-55-16-03397-101 *Estimated Cost of Construction 220,000

Subdivision Name Cove at Rose Creek Lot 1B Block _____ Unit _____ Phase _____

Driving Directions 47 S TH on SW Walter ave. TH on SW Emorywood gln, lot is on corner of SW Walter ave and SW Emorywood gln.

Type of Construction SFD Number of Existing Dwellings on Property 0

Total Acreage 1.87 Lot Size _____ Do you need a Culvert Permit or Culvert Waiver or Have an Existing

Actual Distance of Structure from Property Lines - Front 50'-0" Side 25'-0" Side 72'-8" Rear 363'-10"

Total Building Height 29'-4" Number of Stories 2 Heated Floor Area 2367 Roof Pitch 10-12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

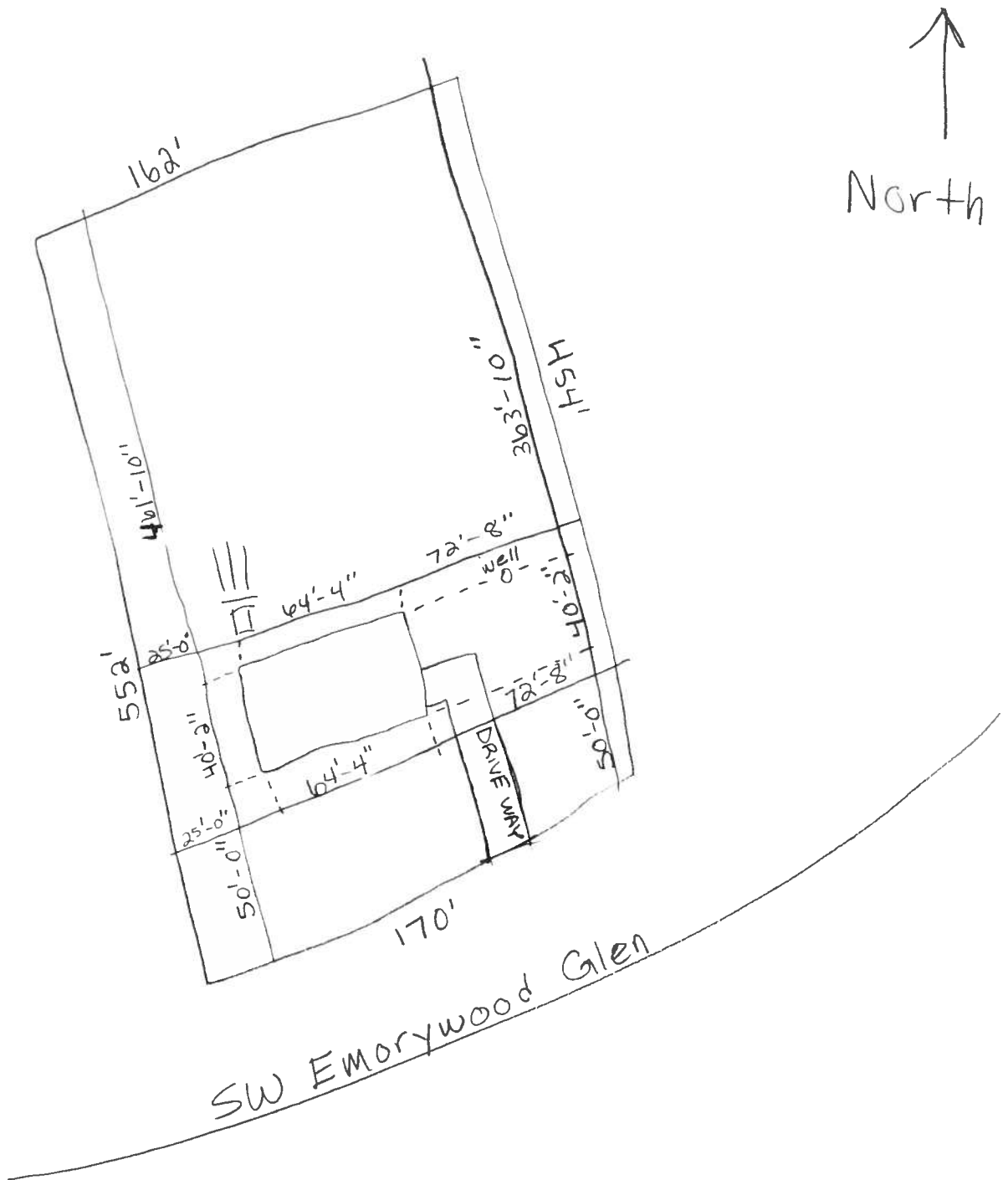
Owner Builder or Authorized Person by Notarized Letter Linda R. Roder
 Commission #DD303275
 Expires: Mar 24, 2008
 Bonded Thru Atlantic Bonding Co., Inc.

Contractor Signature _____
 Contractors License Number RB 29003130
 Competency Card Number _____
 NOTARY STAMP/SEAL

Sworn to (or affirmed) and subscribed before me
 this 30 day of Oct 2007
 Personally known _____ or Produced Identification _____

Linda R Roder
 Notary Signature

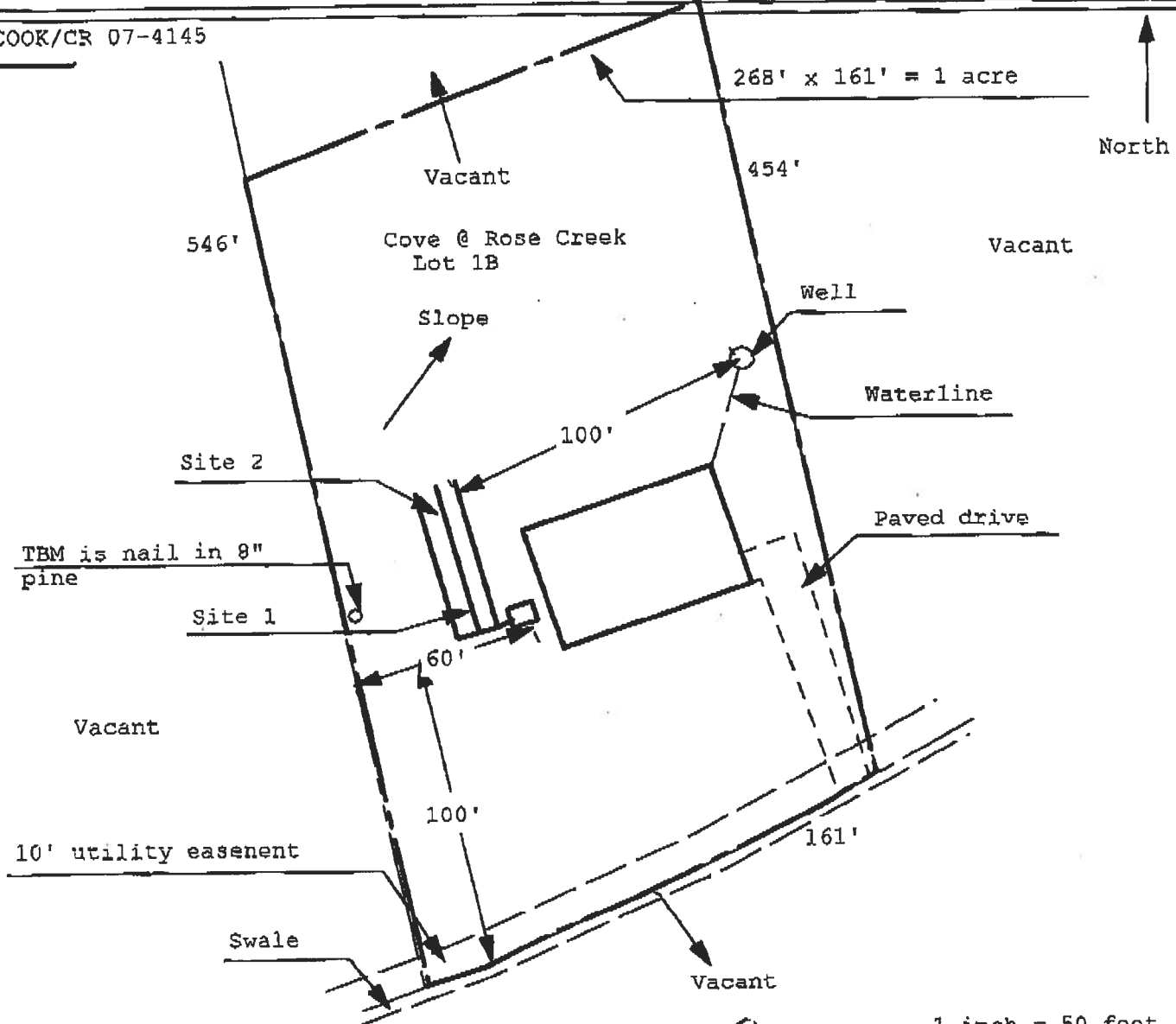
Lot 1B Cove@Rose Creek



**Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan**
Permit Application Number: 02-0850

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

COOK/CR 07-4145



1 inch = 50 feet

Site Plan Submitted By Paul Lloyd Date 11/13/07
Plan Approved ☒ Not Approved ☐ Date 11/13/07
By Mr. O. Lander Columbia CPHU

Notes: _____

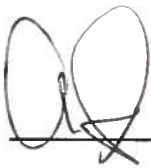
CL #1004

Notice of Authorization

I, Aaron Simque, do hereby authorize Melanie Roder,

To be my representative and act on my behalf in all aspects of applying for a

Building permit to be located in Columbia County.



Contractor's signature

10-31-07

Date

Sworn and subscribed before me this 30 day of October, 2007



Notary Public



Linda R. Roder
Commission #DD303275
Expires: Mar 24, 2008
Bonded Thru
Atlantic Bonding Co., Inc.

Personally known ☒

Produced ID (Type): _____

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787
PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: run_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 10/25/2007 DATE ISSUED: 10/29/2007

ENHANCED 9-1-1 ADDRESS:

203 SW EMORYWOOD GLN
LAKE CITY FL 32024

PROPERTY APPRAISER PARCEL NUMBER:

01-5S-16-03397-101

Remarks:

LOT 1 COVE AT ROSE CREEK

Address Issued By:


Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

Approved Address

OCT 29 2007

911Addressing/GIS Dept

1008

NOTICE OF COMMENCEMENT

STATE OF FLORIDA
COUNTY OF COLUMBIA

LOAN NO. 3050593

THE UNDERSIGNED HEREBY INFORMS ALL CONCERNED THAT IMPROVEMENTS WILL BE MADE TO CERTAIN REAL PROPERTY AND, IN ACCORDANCE WITH SECTION 713.13 OF THE FLORIDA STATUTES, THE FOLLOWING INFORMATION IS STATED IN THE NOTICE OF COMMENCEMENT. THIS NOTICE IS VOID AND OF NO FORCE AND EFFECT IF CONSTRUCTION IS NOT COMMENCED WITHIN (90) DAYS OF RECORDATION.

1. PROPERTY DESCRIPTION

A. Street Address or Location Description:

TBD SOUTHWEST REMORYWOOD GLEN
LAKE CITY, FLORIDA 32024

B. Legal Description:

A PART OF LOT 1, COVE AT ROSE CREEK, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 8, PAGE 107-109, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

2. GENERAL DESCRIPTION OF IMPROVEMENTS:

CONSTRUCTION OF SINGLE FAMILY DWELLING

3. A. OWNER INFORMATION NAME AND ADDRESS:

Name: ZACHARIAH P. COOK

Address: 263 SOUTHWEST BRIN GLEN
LAKE CITY, FLORIDA 32025

B. OWNER'S INTEREST IN THE SITE OF IMPROVEMENT IS: FEE SIMPLE

C. NAME AND ADDRESS OF FEE SIMPLE TITLEHOLDER (IF OTHER THAN OWNER)

Name:

Address:

4. NAME AND ADDRESS OF CONTRACTOR:

Name: AARON SIMQUE HOMES, INC.

Address: P.O. BOX 2183

LAKE CITY, FL 32056

Phone Number: 386-755-0841

Fax Number: 386-755-1025

5. SURETY (IF ANY):

Name:

Address:

Amount of Bond:

6. LENDER MAKING CONSTRUCTION LOAN:

Name: CAMPUS USA CREDIT UNION

Address: 2511 NORTHWEST 41ST STREET
GAINESVILLE, FLORIDA 32606

7. PERSON DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13 (1) (a) FLORIDA STATUTES:

Name:

Address:

Phone Number: _____



Fax Number: _____


Inst: 200712023730 Date: 10/23/2007 Time: 10:23 AM
DC, P. DeWitt Cason, Columbia County Page 1 of 2

8. OWNER DESIGNATES THE FOLLOWING PERSON IN ADDITION TO HIMSELF TO RECEIVE A COPY OF THE LIENORS NOTICE AS PROVIDED IN SECTION 713.13 (1) (b), FLORIDA STATUTES:

Name: CAMPUS USA CREDIT UNION
Address: 2511 NORTHWEST 41ST STREET
GAINESVILLE, FLORIDA 32606
Attn:

9. EXPIRATION DATE OF NOTICE OF COMMENCEMENT (THE EXPIRATION DATE IS 1 YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED.)


WITNESS MATTHEW D. ROCCO

WITNESS MELINDA WEAVER


OWNER ZACHARIAH P. COOK

OWNER _____

OWNER _____

OWNER _____

OWNER _____

OWNER _____

State of Florida

The following instrument was acknowledged before me this October 5, 2007 by
ZACHARIAH P. COOK

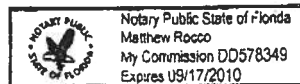
who is personally known to me or who has produced
who did _____ take an oath.

as identification and

NOTARY PUBLIC
(Seal)



MY COMMISSION EXPIRES: _____



FROM :

FAX NO. : 386-755-7022

Sep. 17 2002 01:52PM P1

HALL'S PUMP & WELL SERVICE, INC.

SPECIALIZING IN 4"-6" WELLS



DONALD AND MARY HALL
OWNERS

PHONE (804) 752-1234
FAX (804) 755-7022
JERKINCHON DRIVE, SUITE 101
LAKE CITY, FLORIDA 33505
904 NW Main Blvd.

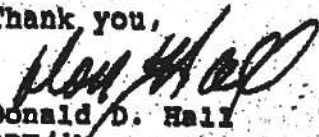
June 12, 2002

NOTICE TO ALL CONTRACTORS

Please be advised that due to the new building codes we will use a large capacity diaphragm tank on all new wells. This will insure a minimum of one (1) minute draw down or one (1) minute refill. If a smaller diaphragm tank is used then we will install a cycle stop valve which will produce the same results.

If you have any questions please feel free to call our office anytime.

Thank you,


Donald D. Hall
DDH/jk

Columbia County Building Department Culvert Permit

Culvert Permit No.
000001476

DATE 11/15/2007 PARCEL ID # 01-5S-16-03397-101
APPLICANT MELANIE RODER PHONE 386.623.7829
ADDRESS 387 SW KEMP COURT LAKE CITY FL 32024
OWNER ZACHARIAH COOK PHONE 386.697.6636
ADDRESS 203 SW EMORYWOOD GLN LAKE CITY FL 32024
CONTRACTOR AARON SIMQUE HOMES PHONE 386.867.0692
LOCATION OF PROPERTY 47-S TO WALTER.TL TO EMORYWOOD.TL AND THE LOT IS ON THE CORNER
WALTER & EMORYWOOD GLN.

SUBDIVISION/LOT/BLOCK/PHASE/UNIT COVE @ ROSE CREEK 1 B

SIGNATURE Melanie Roder

INSTALLATION REQUIREMENTS



Culvert size will be 18 inches in diameter with a total length of 32 feet, leaving 24 feet of driving surface. Both ends will be mitered 4 foot with a 4 : 1 slope and poured with a 4 inch thick reinforced concrete slab.

INSTALLATION NOTE: Turnouts will be required as follows:

- a) a majority of the current and existing driveway turnouts are paved, or;
 - b) the driveway to be served will be paved or formed with concrete.
- Turnouts shall be concrete or paved a minimum of 12 feet wide or the width of the concrete or paved driveway, whichever is greater. The width shall conform to the current and existing paved or concreted turnouts.



Culvert installation shall conform to the approved site plan standards.



Department of Transportation Permit installation approved standards.



Other _____

ALL PROPER SAFETY REQUIREMENTS SHOULD BE FOLLOWED
DURING THE INSTALATION OF THE CULVERT.

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

Amount Paid 25.00



Prepared by & Return to:
 Matthew D. Rocco
 Sierra Tide, LLC
 619 SW Baya Drive, Suite 102
 Lake City, Florida 32025

File Number: 07-0352

Inst: 200712023729 Date: 10/23/2007 Time: 10:23 AM
 Doc Stamp-Mort: 1090.25
 07 DC, P. DeWitt Cason, Columbia County Page 1 of 19

General Warranty Deed

Made this October 5, 2007 A.D., By **Mark A. Cook, a married man**, whose post office address is: PO Box 2695, Lake City, FL 32056, hereinafter called the grantor, to **Zachariah P. Cook, a single man**, whose post office address is: PO Box 778, Lake City, FL 32056, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

See Attached Schedule A

Said property is not the homestead of the Grantor under the laws and constitution of the State of Florida in that neither Grantor nor any members of the household of Grantor reside thereon.

Parcel ID Number:

N.B. The Grantee, Zachariah P. Cook is the brother of the Grantor, Mark A. Cook.

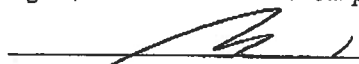
Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

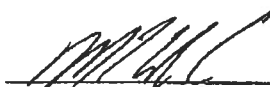
To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2006.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:


 Witness Printed Name **Matthew D. Rocco**


 Mark A. Cook (Seal)
 Address: PO Box 2695, Lake City, FL 32056


 Witness Printed Name **MELINDA WEAVER**

 Address: (Seal)

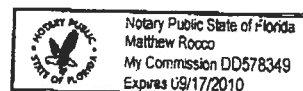
State of Florida
 County of Columbia

The foregoing instrument was acknowledged before me this 5th day of October, 2007, by **Mark A. Cook, a married man**, who is/are personally known to me or who has produced _____ as identification.


 Notary Public
 Print Name: _____

My Commission Expires: _____

DEED Individual Warranty Deed with Non-Homestead-Legal on Schedule A
 Closers' Choice



Prepared by & Return to:
Matthew D. Rocco
Sierra Title, LLC
619 SW Baya Drive, Suite 102
Lake City, Florida 32025

File Number: 07-0352

EXHIBIT A
LEGAL DESCRIPTION

BEGIN AT THE NORTHEAST CORNER OF LOT 1, COVE AT ROSE CREEK, A SUBDIVISION AS RECORDED IN PLAT BOOK 8, PAGES 107-109, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, AND RUN THENCE S 18°41'29" E ALONG THE EAST LINE OF SAID LOT 1, 454.76 FEET TO A POINT ON A CURVE ON THE NORTH RIGHT OF WAY OF SW EMORYWOOD GLEN; THENCE WESTERLY, ALONG SAID NORTH RIGHT OF WAY LINE, ALONG SAID CURVE CONCAVE TO THE NORTH, HAVING A RADIUS OF 470.00 FEET, A CENTRAL ANGLE OF 19°44'13", A CHORD BEARING AND DISTANCE OF S 54°14'29" W - 161.10 FEET, AN ARC DISTANCE OF 161.90 FEET; THENCE N 16°38'01" W, 546.22 FEET TO THE NORTH LINE OF AFORESAID LOT 1; THENCE N 89°22'22" E, ALONG SAID NORTH LINE 141.36 FEET TO THE POINT OF BEGINNING.

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name:	708211AaronSimque	Builder:	
Address:	Lot: , Sub: The Cove, Plat:	Permitting Office:	<i>COLUMBIA</i>
City, State:	, FL	Permit Number:	<i>26422</i>
Owner:	Cook, Zac Residence	Jurisdiction Number:	<i>221000</i>
Climate Zone:	North		

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 50.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 13.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	Yes	c. N/A	
6. Conditioned floor area (ft²)	2367 ft²		
7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default)		13. Heating systems	
a. U-factor:	Description Area	a. Electric Heat Pump	Cap: 50.0 kBtu/hr
(or Single or Double DEFAULT) 7a. (Dble Default) 463.0 ft²			HSPF: 7.90
b. SHGC:		b. N/A	
(or Clear or Tint DEFAULT) 7b. (Clear) 463.0 ft²		c. N/A	
8. Floor types		14. Hot water systems	
a. Slab-On-Grade Edge Insulation	R=0.0, 224.0(p) ft	a. Electric Resistance	Cap: 40.0 gallons
b. N/A			EF: 0.93
c. N/A		b. N/A	
9. Wall types		c. Conservation credits	
a. Frame, Wood, Exterior	R=13.0, 2560.0 ft²	(HR-Heat recovery, Solar	
b. Frame, Wood, Adjacent	R=13.0, 385.0 ft²	DHP-Dedicated heat pump)	
c. N/A		15. HVAC credits	
d. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
e. N/A		HF-Whole house fan,	
10. Ceiling types		PT-Programmable Thermostat,	
a. Under Attic	R=30.0, 1572.0 ft²	MZ-C-Multizone cooling,	
b. N/A		MZ-H-Multizone heating)	
c. N/A			
11. Ducts			
a. Sup: Unc. Ret: Unc. AH: Interior	Sup. R=6.0, 255.0 ft		
b. N/A			

Glass/Floor Area: 0.20

Total as-built points: 32100

Total base points: 34281

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: *[Signature]*

DATE: *10-31-07*

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: _____

DATE: _____



¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: , Sub: The Cove, Plat: , , FL,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X SPM X SOF = Points				
.18	2367.0	20.04	8538.2	Double, Clear	S	1.5	4.0	8.0	35.87	0.74	212.6
				Double, Clear	S	1.5	6.0	16.0	35.87	0.86	491.3
				Double, Clear	S	8.0	7.7	80.0	35.87	0.51	1475.9
				Double, Clear	E	99.0	6.0	16.7	42.06	0.36	250.6
				Double, Clear	S	1.5	0.0	37.5	35.87	0.43	580.9
				Double, Clear	S	1.5	5.0	8.8	35.87	0.81	254.7
				Double, Clear	S	1.5	5.5	12.0	35.87	0.83	358.2
				Double, Clear	N	1.5	0.0	30.0	19.20	0.59	341.6
				Double, Clear	N	1.5	6.5	30.0	19.20	0.95	545.7
				Double, Clear	E	1.5	3.0	16.0	42.06	0.73	488.3
				Double, Clear	S	8.0	5.5	60.0	35.87	0.48	1024.7
				Double, Clear	E	17.0	5.5	20.0	42.06	0.36	300.2
				Double, Clear	S	1.5	5.5	37.5	35.87	0.83	1119.3
				Double, Clear	W	1.5	4.2	21.0	38.52	0.83	670.3
				Double, Clear	N	1.5	0.0	8.0	19.20	0.59	91.1
				Double, Clear	N	1.5	0.0	30.0	19.20	0.59	341.6
				Double, Clear	N	1.5	0.0	31.5	19.20	0.59	358.7
				As-Built Total:		463.0			8905.7		
WALL TYPES				Area X BSPM = Points		Type		R-Value		Area X SPM = Points	
Adjacent	385.0	0.70	269.5	Frame, Wood, Exterior		13.0		2560.0		1.50 3840.0	
Exterior	2560.0	1.70	4352.0	Frame, Wood, Adjacent		13.0		385.0		0.60 231.0	
Base Total:		2945.0	4621.5	As-Built Total:		2945.0		4071.0			
DOOR TYPES				Area X BSPM = Points		Type		Area X SPM = Points			
Adjacent	20.0	1.60	32.0	Exterior Insulated		20.0		4.10		82.0	
Exterior	20.0	4.10	82.0	Adjacent Insulated		20.0		1.60		32.0	
Base Total:		40.0	114.0	As-Built Total:		40.0		114.0			
CEILING TYPES				Area X BSPM = Points		Type		R-Value		Area X SPM X SCM = Points	
Under Attic	1552.0	1.73	2685.0	Under Attic		30.0		1572.0		1.73 X 1.00 2719.6	
Base Total:		1552.0	2685.0	As-Built Total:		1572.0		2719.6			

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: , Sub: The Cove, Plat: , , FL,

PERMIT #:

BASE				AS-BUILT				
FLOOR TYPES Area X BSPM = Points				Type	R-Value	Area X SPM = Points		
Slab	224.0(p)	-37.0	-8288.0	Slab-On-Grade Edge Insulation	0.0	224.0(p)	-41.20	-9228.8
Raised	0.0	0.00	0.0					
Base Total:			-8288.0	As-Built Total:		224.0		-9228.8
INFILTRATION Area X BSPM = Points				Area X SPM = Points				
			2367.0	10.21	24167.1			
						2367.0	10.21	24167.1
Summer Base Points: 31837.8				Summer As-Built Points: 30748.6				
Total Summer Points	X System Multiplier	=	Cooling Points	Total Component (System - Points)	X Cap Ratio (DM x DSM x AHU)	X Duct Multiplier	X System Multiplier	X Credit Multiplier = Cooling Points
31837.8	0.4266		13582.0	(sys 1: Central Unit 50000 btuh ,SEER/EFF(13.0) Ducts:Unc(S),Unc(R),Int(AH),R6.0(INS) 30749	1.00 (1.09 x 1.147 x 0.91)	0.263	1.000	9184.4
				30748.6	1.00	1.138	0.263	1.000 9184.4

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: , Sub: The Cove, Plat: , , FL,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X WPM X WOF = Points				
.18	2367.0	12.74	5428.0	Double, Clear	S	1.5	4.0	8.0	13.30	1.34	142.8
				Double, Clear	S	1.5	6.0	16.0	13.30	1.12	237.8
				Double, Clear	S	8.0	7.7	80.0	13.30	2.80	2981.1
				Double, Clear	E	99.0	6.0	16.7	18.79	1.51	472.9
				Double, Clear	S	1.5	0.0	37.5	13.30	3.66	1825.1
				Double, Clear	S	1.5	5.0	8.8	13.30	1.20	140.1
				Double, Clear	S	1.5	5.5	12.0	13.30	1.15	183.0
				Double, Clear	N	1.5	0.0	30.0	24.58	1.03	757.5
				Double, Clear	N	1.5	6.5	30.0	24.58	1.00	738.8
				Double, Clear	E	1.5	3.0	16.0	18.79	1.12	336.7
				Double, Clear	S	8.0	5.5	60.0	13.30	3.24	2585.7
				Double, Clear	E	17.0	5.5	20.0	18.79	1.51	566.3
				Double, Clear	S	1.5	5.5	37.5	13.30	1.15	572.0
				Double, Clear	W	1.5	4.2	21.0	20.73	1.05	456.7
				Double, Clear	N	1.5	0.0	8.0	24.58	1.03	202.0
				Double, Clear	N	1.5	0.0	30.0	24.58	1.03	757.5
				Double, Clear	N	1.5	0.0	31.5	24.58	1.03	795.4
				As-Built Total:				463.0	13751.4		
WALL TYPES				Type		R-Value		Area X WPM = Points			
Adjacent	385.0	3.60	1386.0	Frame, Wood, Exterior		13.0		2560.0	3.40	8704.0	
Exterior	2560.0	3.70	9472.0	Frame, Wood, Adjacent		13.0		385.0	3.30	1270.5	
Base Total:				As-Built Total:				2945.0	9974.5		
DOOR TYPES				Type				Area X WPM = Points			
Adjacent	20.0	8.00	160.0	Exterior Insulated				20.0	8.40	168.0	
Exterior	20.0	8.40	168.0	Adjacent Insulated				20.0	8.00	160.0	
Base Total:				As-Built Total:				40.0	328.0		
CEILING TYPES				Type		R-Value		Area X WPM X WCM = Points			
Under Attic	1552.0	2.05	3181.6	Under Attic		30.0		1572.0	2.05 X 1.00	3222.6	
Base Total:				As-Built Total:				1572.0	3222.6		

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: , Sub: The Cove, Plat: , , FL,

PERMIT #:

BASE				AS-BUILT				
FLOOR TYPES Area X BWPM = Points				Type	R-Value	Area X WPM	=	Points
Slab	224.0(p)	8.9	1993.6	Slab-On-Grade Edge Insulation	0.0	224.0(p)	18.80	4211.2
Raised	0.0	0.00	0.0					
Base Total:			1993.6	As-Built Total:		224.0		4211.2
INFILTRATION Area X BWPM = Points				Area X WPM = Points				
			2367.0			2367.0	-0.59	-1396.5
Winter Base Points:			20392.7	Winter As-Built Points:			30091.2	
Total Winter Points	X System Multiplier	= Heating Points		Total Component (System - Points)	X Cap Ratio (DM x DSM x AHU)	X Duct Multiplier	X System Multiplier	X Credit Multiplier = Heating Points
20392.7	0.6274	12794.4		(sys 1: Electric Heat Pump 50000 btuh ,EFF(7.9) Ducts:Unc(S),Unc(R),Int(AH),R6.0 30091.2 1.000 (1.069 x 1.169 x 0.93) 0.432 1.000 15095.3				
20392.7	0.6274	12794.4		30091.2	1.00	1.162	0.432	1.000 15095.3

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: , Sub: The Cove, Plat: , , FL,

PERMIT #:

BASE				AS-BUILT						
WATER HEATING										
Number of Bedrooms	X	Multiplier	= Total	Tank Volume	EF	Number of Bedrooms	X	Tank X Ratio	Multiplier X Credit	= Total Multiplier
3		2635.00	7905.0	40.0	0.93	3		1.00	2606.67	1.00
				As-Built Total:						
				7820.0						

CODE COMPLIANCE STATUS										
BASE					AS-BUILT					
Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points	Cooling Points	+	Heating Points	=
13582		12794		7905		34281	9184		15095	
									7820	
										32100

PASS

Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: , Sub: The Cove, Plat: , , FL,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 612.1.ABC.3.2. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 84.3

The higher the score, the more efficient the home.

Cook, Zac Residence, Lot: , Sub: The Cove, Plat: , , FL,

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 50.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 13.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	Yes	c. N/A	
6. Conditioned floor area (ft ²)	2367 ft ²		
7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default)		13. Heating systems	
a. U-factor:	Description Area	a. Electric Heat Pump	Cap: 50.0 kBtu/hr
(or Single or Double DEFAULT)	7a. (Dble Default) 463.0 ft ²		HSPF: 7.90
b. SHGC:		b. N/A	
(or Clear or Tint DEFAULT)	7b. (Clear) 463.0 ft ²	c. N/A	
8. Floor types		14. Hot water systems	
a. Slab-On-Grade Edge Insulation	R=0.0, 224.0(p) ft	a. Electric Resistance	Cap: 40.0 gallons
b. N/A			EF: 0.93
c. N/A		b. N/A	
9. Wall types		c. Conservation credits	
a. Frame, Wood, Exterior	R=13.0, 2560.0 ft ²	(HR-Heat recovery, Solar	
b. Frame, Wood, Adjacent	R=13.0, 385.0 ft ²	DHP-Dedicated heat pump)	
c. N/A		15. HVAC credits	
d. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
e. N/A		HF-Whole house fan,	
10. Ceiling types		PT-Programmable Thermostat,	
a. Under Attic	R=30.0, 1572.0 ft ²	MZ-C-Multizone cooling,	
b. N/A		MZ-H-Multizone heating)	
c. N/A			
11. Ducts			
a. Sup: Unc. Ret: Unc. AH: Interior	Sup. R=6.0, 255.0 ft		
b. N/A			

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____

Date: _____

Address of New Home: _____

City/FL Zip: _____



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStarTM designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

1 Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.
EnergyGauge® (Version: FLR2PB v4.1)

NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

LOAN NO. 3050993

THE UNDERSIGNED HEREBY INFORMS ALL CONCERNED THAT IMPROVEMENTS WILL BE MADE TO CERTAIN REAL PROPERTY AND, IN ACCORDANCE WITH SECTION 713.13 OF THE FLORIDA STATUTES, THE FOLLOWING INFORMATION IS STATED IN THE NOTICE OF COMMENCEMENT. THIS NOTICE IS VOID AND OF NO FORCE AND EFFECT IF CONSTRUCTION IS NOT COMMENCED WITHIN (90) DAYS OF RECORDATION.

1. PROPERTY DESCRIPTION

A. Street Address or Location Description:

TED SOUTHWEST MEMORYWOOD GLEN
LAKE CITY, FLORIDA 32024

B. Legal Description:

A PART OF LOT 1, COVE AT ROSE CREEK, A SUBDIVISION ACCORDING TO THE
PLAN THEREOF RECORDED IN PLAT BOOK 8, PAGE 107-109, PUBLIC RECORDS OF
COLUMBIA COUNTY, FLORIDA.

2. GENERAL DESCRIPTION OF IMPROVEMENTS:

CONSTRUCTION OF SINGLE FAMILY DWELLING

3. A. OWNER INFORMATION NAME AND ADDRESS:

Name: LACHARLAE P. COOK

Address: 263 SOUTHWEST BRIN GLEN
LAKE CITY, FLORIDA 32025

B. OWNER'S INTEREST IN THE SITE OF IMPROVEMENT IS: FEE SIMPLE

C. NAME AND ADDRESS OF FEE SIMPLE TITLEHOLDER (IF OTHER THAN OWNER)

Name:

Address:

4. NAME AND ADDRESS OF CONTRACTOR:

Name: AARON SIMQUE-SOMES, INC.

Address: P.O. BOX 2183

LAKE CITY, FL 32056

Phone Number: 386-755-0861

Fax Number: 386-755-1025

5. SURETY (IF ANY):

Name:

Address:

Amount of Bond:

6. LENDER MAKING CONSTRUCTION LOAN:

Name: CAMPUS USA CREDIT UNION

Address: 2511 NORTHWEST 41ST STREET
GAINESVILLE, FLORIDA 326067. PERSON DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED
AS PROVIDED BY SECTION 713.13 (1) (a) FLORIDA STATUTES:

Name:

Address:

Phone Number: _____

Fax Number: _____

Inst: 200712029730 Date: 10/23/2007 Time: 10:23 AM
 39 DC, P. DeWitt Cason, Columbia County Page 1 of 2

21004-01
 (000001)

26422

FROM : COLUMBIA CO BUILDING + ZONING FAX NO. : 386-758-2160

Aug. 24 2007 03:20P1 P2

**AFFIDAVIT OF SUBDIVIDED REAL PROPERTY
FOR USE OF IMMEDIATE FAMILY MEMBERS
FOR PRIMARY RESIDENCE**

STATE OF FLORIDA
COUNTY OF COLUMBIA

BEFORE ME the undersigned Notary Public personally appeared.

Mark Cook, the Owner of the parent tract which has been subdivided for immediate family primary residence use, hereinafter the Owner, and Zac Cook, the family member of the Owner, who is the owner of the family parcel which is intended for immediate family primary residence use, hereafter the Family Member, and is related to the Owner as his brother, and both individuals being first duly sworn according to law, depose and say:

1. Both the Owner and the Family Member have personal knowledge of all matters set forth in this Affidavit.
2. The Owner holds fee simple title to certain real property situated in Columbia County, and more particularly described by reference to the Columbia county Property Appraiser Tax Parcel No. 01-55-16-03397-201.
3. The Owner has divided his parent parcel for use of immediate family members for their primary residence and the parcel divided and the remaining parent parcel are at least 1/4 acre in size. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child or grandchild.
4. The Family Member is a member of the Owner's immediate family, as set forth above, and holds fee simple title to certain real property divided from the Owner's parcel situated in Columbia County and more particularly described by reference to the Columbia County Property Appraiser Tax Parcel No. 01-55-16-03397-101.
5. No person or entity other than the Owner and Family Member claims or is presently entitled to the right of possession or is in possession of the property, and there are no tenancies, leases or other occupancies that affect the Property.
6. This Affidavit is made for the specific purpose of inducing Columbia County to recognize a family division for a family member on the parcel divided in accordance with Section 14.9 of the Columbia County Land Development Regulations.

FROM : COLUMBIA CO BUILDING + ZONING FAX NO. : 386-758-2160

Aug. 24 2007 03:22PM P1

7. This Affidavit is made and given by Affiants with full knowledge that the facts contained herein are accurate and complete, and with full knowledge that the penalties under Florida law for perjury include conviction of a felony of the third degree.

We Hereby Certify that the information contained in this Affidavit are true and correct.



Owner

Mark Cook

Typed or Printed Name

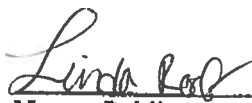


Family Member

Zac Cook

Typed or Printed Name

Subscribed and sworn to (or affirmed) before me this 31 day of Oct, 2007, by Mark Cook (Owner) who is personally known to me or has produced _____ as identification.



Notary Public



Linda R. Roder
Commission #DD303275
Expires: Mar 24, 2008

Subscribed and sworn to (or affirmed) before me this 31 day of Oct, 2007, by Zac Cook (Family Member) who is personally known to me or has produced _____ as identification.



Notary Public



Linda R. Roder
Commission #DD303275
Expires: Mar 24, 2008
Bonded Thru
Atlantic Bonding Co., Inc.

Prepared by & Return to:
Matthew D. Rocco
Sierra Title, LLC
619 SW Baya Drive, Suite 102
Lake City, Florida 32025

File Number: 07-0086

Inst:2007005776 Date:03/12/2007 Time:09:54
Doc Stamp-Deed : 1050.00
1.7 DC, P. Dewitt Cason, Columbia County B:1113 P:851

General Warranty Deed

Made this March 8, 2007 A.D. By Trevor W. Blank and his wife, Jayme L. Blank, whose address is: 806 SW Blaylock Court, Lake City, FL 32024, hereinafter called the grantor, to Dan M Magstadt and his wife, Emily Magstadt, whose post office address is: Post Office Box 3182, Lake City, Florida 32056, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

Lot 1, Cove at Rose Creek, a subdivision according to the plat thereof recorded in Plat Book 8, Pages 107-109, Public Records of Columbia County, Florida.

Parcel ID Number: 01-5S-16-03397-101

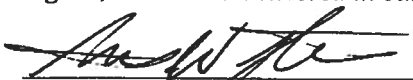
Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

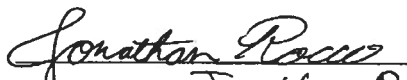
And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2006.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:


Witness Printed Name Andrew Tyler

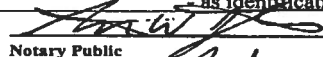

Trevor W. Blank (Seal)
Address: 806 SW Blaylock Court, Lake City, FL 32024


Witness Printed Name Jonathan Rocco

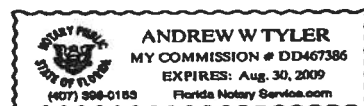

Jayme L. Blank (Seal)
Address:

State of Florida
County of Columbia

The foregoing instrument was acknowledged before me this 8th day of March, 2007, by Trevor W. Blank and his wife, Jayme L. Blank, who is/are personally known to me or who has produced _____ as identification.


Notary Public
Print Name: Andrew Tyler
My Commission Expires: 08-30-2009

DEED Individual Warranty Deed - Legal on Face
Closers' Choice



```

Map#                               Mnt 10/31/2007 THRESA
F1=Task  F2=ExTx  F3=Exit  F4=Prompt  F11=Docs  F10=GoTo  PgUp/PgDn  F24=More

```



```

House#      Street      MD      Dir      #
-          City
Subd      N/A      Condo      .00      N/A
Sect      1      Twn      5S      Rnge      16      Subd      Blk      Lot
Legals      BEG AT NE COR OF LOT 1 COVE AT      ROSE CREEK, RUN S 18 DG E
          454.76 FT TO PT ON A CURVE ON      N R/W EMORYWOOD GLEN, RUN W'LY      +
Map#      Mnt 10/31/2007 THRESA
F1=Task      F2=ExTx      F3=Exit      F4=Prompt      F11=Docs      F10=GoTo      PgUp/PgDn      F24=More

```

Warranty Deed

THIS WARRANTY DEED made the 29th day of March A.D., 2007

Dan M Magstadt and his wife, Emily Magstadt

hereinafter called the grantor, to

Andrew P. Rocco and his wife, Katie M. Rocco

whose post office address is: P.O. Box 795, Lake City, FL 32056

hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

See Exhibit "A" attached hereto and by this reference made a part hereof.

N.B. The Grantee, KATIE M. ROCCO, is the sister of the grantor, DAN M. MAGSTADT.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2006.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Gary A. Jernberg
Witness:
Nitin Chandra
Witness:

Dan M Magstadt
DAN M MAGSTADT
Emily Magstadt
EMILY MAGSTADT

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 29th day of March, 2007 by Dan M Magstadt and his wife, Emily Magstadt personally known to me or, if not personally known to me, who produced Driver's License for identification and who did not take an oath.



S. MICHELLE WILSON
MY COMMISSION # DD 629484
EXPIRES: January 16, 2011
Bonded Thru Budget Notary Services

S. Michelle Wilson
Notary Public

(Notary Seal)

Prepared by: Dan M Magstadt

Exhibit A:

Inst:2007010977 Date:05/17/2007 Time:10:13

Doc Stamp-Deed : 0.70

DC, P. Dewitt Cason, Columbia County B:1119 P:1297

DESCRIPTION:

A PART OF LOT 1 OF "COVE AT ROSE CREEK" AS PER PLAT THEREOF
RECORDED IN PLAT BOOK 8, PAGES 107, 108 & 109 OF THE PUBLIC RECORDS
OF COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS
FOLLOWS:

BEGIN AT THE NW CORNER OF SAID LOT 1 AND RUN N.89°22'22"E., ALONG
THE NORTH LINE THEREOF, 178.24 FEET; THENCE S.18°41'29"E., 552.27 FEET
TO THE NORTH RIGHT-OF-WAY OF SW EMORYWOOD GLEN BEING A POINT
ON A CURVE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 470.00 FEET
AN INCLUDED ANGLE OF 25°15'34" AND A CHORD BEARING AND DISTANCE
OF S.76°45'15"W., 205.53 FEET; THENCE SOUTHWESTERLY ALONG THE ARC
OF SAID CURVE FOR AN ARC DISTANCE OF 207.20 FEET; THENCE
S.89°22'22"W., STILL ALONG SAID RIGHT-OF-WAY, 148.68 FEET TO THE EAST
RIGHT-OF-WAY OF SW WALTER AVENUE; THENCE N.00°59'15"E., ALONG
SAID EAST RIGHT-OF-WAY 555.21 FEET TO THE POINT OF BEGINNING.
PARCEL CONTAINS 3.58 ACRES, MORE OR LESS.

Inst 200712021872 Date: 9/26/2007 Time: 2:28 PM
Doc Stamp-Deed: 0.70

7 DC, P DeWitt Cason, Columbia County Page 1 of 2

Warranty Deed

THIS WARRANTY DEED made the 23 day of August A.D., 2007

Andrew P. Rocco and his wife, Katie M. Rocco

hereinafter called the grantor, to

Dan M Magstadt and his wife, Emily Magstadt

whose post office address is: P.O. Box 3182, Lake City, FL 32056

hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

See Exhibit "A" attached hereto and by this reference made a part hereof.

N.B. The Grantee, DAN M. MAGSTADT, is the brother of the grantor, KATIE M. ROCCO.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2006.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Lisa Kraus

Witness:

Lisa Kraus

Jonathan Rocco

Witness:

Jonathan Rocco

Andrew P. Rocco

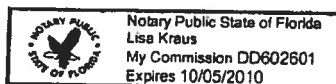
ANDREW P. ROCCO

Katie M. Rocco

KATIE M. ROCCO

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 25 day of September, 2007 by Andrew P. Rocco and his wife, Katie M. Rocco personally known to me or, if not personally known to me, who produced Driver's License for identification and who did not take an oath.



Lisa Kraus
Notary Public

(Notary Seal)

Prepared by: Dan M Magstadt

Exhibit A:

DESCRIPTION:

A PART OF LOT 1 OF "COVE AT ROSE CREEK" AS PER PLAT THEREOF
RECORDED IN PLAT BOOK 8, PAGES 107, 108 & 109 OF THE PUBLIC RECORDS
OF COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS
FOLLOWS:

BEGIN AT THE NW CORNER OF SAID LOT 1 AND RUN N.89°22'22"E., ALONG
THE NORTH LINE THEREOF, 178.24 FEET; THENCE S.18°41'29"E., 552.27 FEET
TO THE NORTH RIGHT-OF-WAY OF SW EMORYWOOD GLEN BEING A POINT
ON A CURVE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 470.00 FEET
AN INCLUDED ANGLE OF 25°15'34" AND A CHORD BEARING AND DISTANCE
OF S.76°45'15"W., 205.53 FEET; THENCE SOUTHWESTERLY ALONG THE ARC
OF SAID CURVE FOR AN ARC DISTANCE OF 207.20 FEET; THENCE
S.89°22'22"W., STILL ALONG SAID RIGHT-OF-WAY, 148.68 FEET TO THE EAST
RIGHT-OF-WAY OF SW WALTER AVENUE; THENCE N.00°59'15"E., ALONG
SAID EAST RIGHT-OF-WAY 555.21 FEET TO THE POINT OF BEGINNING.
PARCEL CONTAINS 3.58 ACRES, MORE OR LESS.

Prepared by & Return to:
 Matthew D. Rocco
 Sierra Title, LLC
 619 SW Baya Drive, Suite 102
 Lake City, Florida 32025

File Number: 07-0352

Inst: 200712023720 Date: 10/23/2007 Time: 10:23 AM
 Doc Stamp-Deed: 262.50

DC, P. DeWitt Cason, Columbia County Page 1 of 2

General Warranty Deed

Made this **October 5, 2007** A.D. By **Dan M. Magstadt and his wife, Emily Magstadt**, whose address is: PO Box 3182, Lake City, FL 32056, hereinafter called the grantor, to **Mark A. Cook, a married man**, whose post office address is: PO Box 2695, Lake City, FL 32056, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

ALL of LOT 1 OF 'COVE AT ROSE CREEK', according to the Plat thereof recorded in Plat Book 8, Pages 107, 108 & 109, of the Public Records of Columbia County, Florida.

Parcel ID Number:


Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining

To Have and to Hold, the same in fee simple forever.


And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2006.

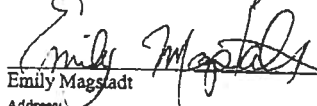
In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:


 Witness Printed Name Lisa Kraus

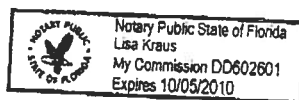

 Witness Printed Name Jonathan Rocco


 Dan M. Magstadt (Seal)
 Address:


 Emily Magstadt (Seal)
 Address:

State of Florida
 County of Columbia

The foregoing instrument was acknowledged before me this 5th day of October, 2007, by Dan M. Magstadt and his wife, Emily Magstadt, who is/are personally known to me or who has produced _____ as identification




 Notary Public
 Print Name: Lisa Kraus
 My Commission Expires: _____

Prepared by & Return to:
Matthew D. Rocco
Sierra Title, LLC
619 SW Baya Drive, Suite 102
Lake City, Florida 32025

File Number: 07-0352

Inst:200712023728 Date:10/23/2007 Time:10:23 AM
Doc Stamp-Deed:262.50
39 DC,P.DeWitt Cason,Columbia County Page 1 of 2

General Warranty Deed

Made this **October 5, 2007 A.D.**, By **Mark A. Cook, a married man**, whose post office address is: PO Box 2695, Lake City, FL 32056, hereinafter called the grantor, to **Zachariah P. Cook, a single man**, whose post office address is: PO Box 778, Lake City, FL 32056, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

See Attached Schedule A

Said property is not the homestead of the Grantor under the laws and constitution of the State of Florida in that neither Grantor nor any members of the household of Grantor reside thereon.

Parcel ID Number:

N.B. The Grantee, Zachariah P. Cook is the brother of the Grantor, Mark A. Cook.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2006.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Witness Printed Name

Matthew D. Rocco

Mark A. Cook

(Seal)

Address: PO Box 2695, Lake City, FL 32056

Witness Printed Name

MELINDA WEAVER

(Seal)

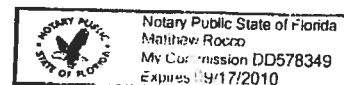
Address:

State of Florida
County of Columbia

The foregoing instrument was acknowledged before me this 5th day of October, 2007, by **Mark A. Cook, a married man**, who is/are personally known to me or who has produced _____ as identification.

Notary Public
Print Name:

My Commission Expires:



Prepared by & Return to:
Matthew D. Rocco
Sierra Title, LLC
619 SW Baya Drive, Suite 102
Lake City, Florida 32025

File Number: 07-0352

EXHIBIT A
LEGAL DESCRIPTION

BEGIN AT THE NORTHEAST CORNER OF LOT 1, COVE AT ROSE CREEK, A SUBDIVISION AS RECORDED IN PLAT BOOK 8, PAGES 107-109, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, AND RUN THENCE S 18°41'29" E ALONG THE EAST LINE OF SAID LOT 1, 454.76 FEET TO A POINT ON A CURVE ON THE NORTH RIGHT OF WAY OF SW EMORYWOOD GLEN; THENCE WESTERLY, ALONG SAID NORTH RIGHT OF WAY LINE, ALONG SAID CURVE CONCAVE TO THE NORTH, HAVING A RADIUS OF 470.00 FEET, A CENTRAL ANGLE OF 19°44'13", A CHORD BEARING AND DISTANCE OF S 54°14'29" W - 161.10 FEET, AN ARC DISTANCE OF 161.90 FEET; THENCE N 16°38'01" W, 546.22 FEET TO THE NORTH LINE OF AFORESAID LOT 1; THENCE N 89°22'22" E, ALONG SAID NORTH LINE 141.36 FEET TO THE POINT OF BEGINNING.



FLORIDA BUILDING CODE

Overview User Registration Organization Approval Status Search Authentication

Select the organization type, status, or name to find an organization

Organization Type: Product Manufacturer

Approval Status: (ALL)

Organization Name: General American Door - Product Manufacturer

Cancel

Search

Result List for Organizations

Displaying 1-1 of 1

Name	City	Contact	Phone	Type	Expire	Status
General American Door	Montgomery	James Campbell	6308597000	Product Manufacturer	01/01/2009	Approved
Org Code: FDM System ID: 3585 Site Link: www.gadco.com						

Displaying 1-1 of 1

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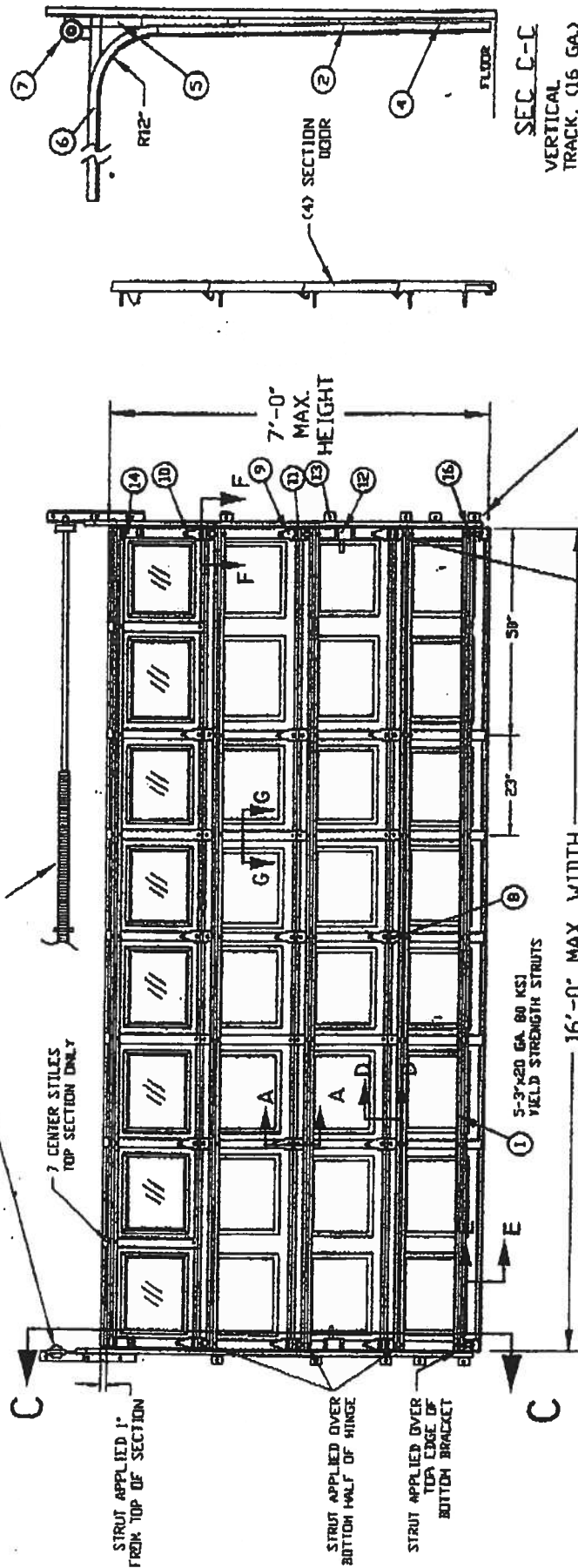


REV. DATE BY
A-11-10-00 JH SET (C.M. B)

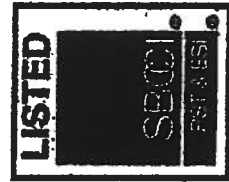
NOTES:

1. TESTED TO POSITIVE AND NEGATIVE 20 PSF DESIGN AND POSITIVE AND NEGATIVE 30 PSF TEST PRESSURES PER ASTM E-530
2. MAXIMUM SECTION HEIGHT: 21'
3. SECTION HEIGHTS OF 21'0" AND 19'0" ARE AVAILABLE AND MAY BE USED IN ANY COMBINATION TO ACHIEVE VARIOUS REAR HEIGHTS.
4. WINDOWS MAY BE INSTALLED IN THE TOP SECTION (AS TESTED WITH 1/8" BOB GLASS OR EQUIVALENT) OR IN THE SECTION IMMEDIATELY BELOW THE TOP SECTION.
5. MAXIMUM LENGTH OF ROLLER STEM IS 51/2" AS TESTED.
6. THE STRUT PLACEMENT ON DOOR MUST BE CONSISTENT WITH THE DOOR SHOW.
7. STRUTS SECURED AT ALL LOCATIONS WITH TEN SCREWS.
8. QUANTITY OF SIDE LOCKS CAN BE 01, OR 02 AS TESTED.
9. DROP IN TYPE OF INSULATION IS OPTIONAL.

NOT PART OF WIND LOAD SYSTEM
EXTENSION SPRING COUNTERBALANCE
TORSION SPRING COUNTERBALANCE



INSIDE ELEVATION



The seal on this drawing only certifies that the product(s) illustrated and described herein represent the configuration(s), dimensions and installation(s) of the door as tested.

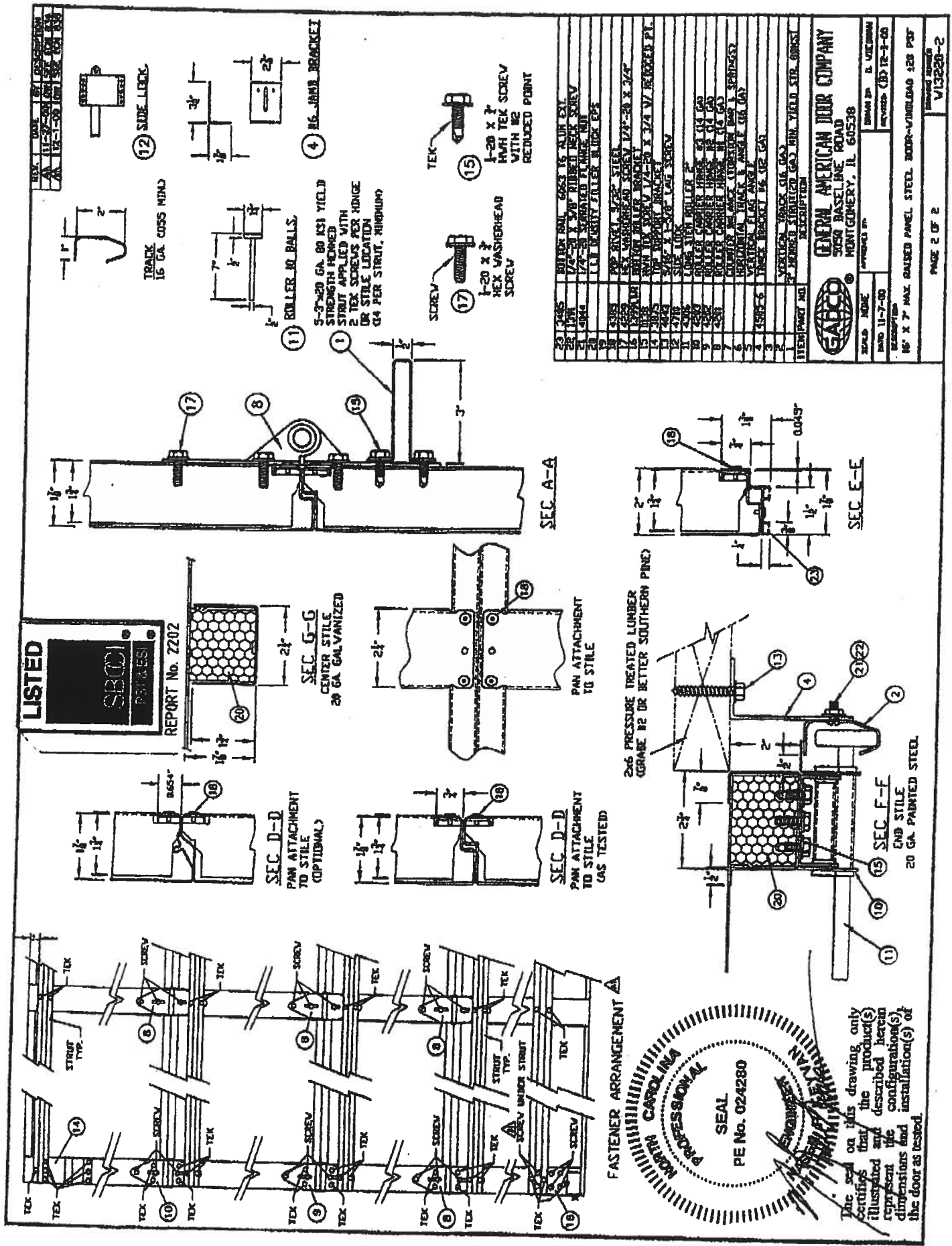
TEST REPORTS ON FILE VIBED 10/19/00 0002933

DESIGN LOAD +20.0 PSF & -20.0 PSF
TEST LOAD +30.0 PSF & -30.0 PSF

GENERAL AMERICAN DOOR COMPANY 5050 BASELINE ROAD MONTGOMERY, IL 60538	
SCALE: 1/2"	DATE: 10-20-80
APPROVED BY: [Signature]	REVISION: (A) 11-10-00
PROJECT: 16' X 7' MAX. RAISED PANEL STEEL DOOR - WINDLOAD 120 PSF	
PAGE 1 OF 2	

GALCO DOORS			
SERIES 7400, EXTERIOR STEEL = .017 MIN GAS TESTED			
SERIES 7825, EXTERIOR STEEL = .019" MIN A			
SERIES 7524, EXTERIOR STEEL = .024" MIN A			
(TESTED WITH WINDOWS)			
MAXIMUM DOOR WIDTH	MAXIMUM DOOR HEIGHT	TYPICAL CTR. STILE SPACING	VERTICAL TRACK
16'	7'	23"	5 2 IN.

REPORT No. 2202



FASTENER ARRANGEMENT A

SEAL
PE No. 024280
NORTH CAROLINA PROFESSIONAL

The seal on this drawing only certifies that the product(s) illustrated and described herein represent the configuration(s), dimensions and installation(s) of the door as tested.

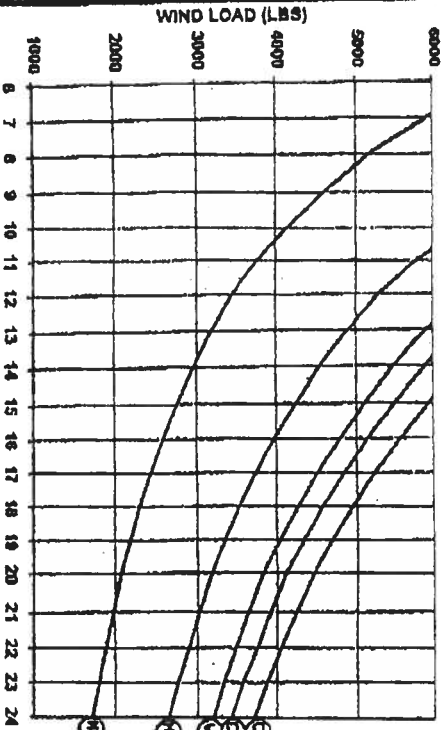
ITEM	DESCRIPTION
1	1-20 X 7 HMM TEK SCREW WITH W2 REDUCED POINT
2	1-20 X 7 HEX WASHERHEAD SCREW
3	1-20 X 7 HMM TEK SCREW WITH W2 REDUCED POINT
4	16 GA. JAMB BRACKET
5	5-3/4\"/>

GENERAL AMERICAN DOOR COMPANY
5050 BASELINE ROAD
MONTGOMERY, IL 60538

DATE: 11-7-80
BY: J. L. VICKMAN
REVISED: (02) 12-3-00

16\"/>

WIND LOAD VS ANCHOR SPACING



MAXIMUM ANCHOR SPACING (INCHES) PER EACH JAMB

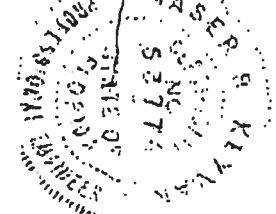
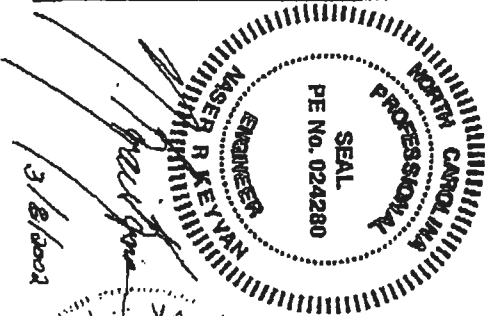
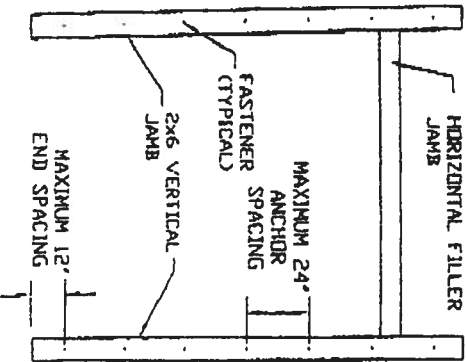
DESIGN (LBS) X GARAGE DOOR AREA (WIDTH-FT X HEIGHT-FT) = WIND LOAD (LBS)
LEAD FT

EXAMPLE

30 LBS X (16 FT WIDE X 8 FT HIGH) = 3840 LBS
FT²

- ① USE 22" SPACING
- ② USE 21" SPACING
- ③ USE 19" SPACING

SEE NOTE 11 FOR ADDITIONAL
REQUIRED 2X6 WOOD JAMB ANCHORS



2X6 JAMB TO SUPPORTING STRUCTURE ATTACHMENT

2X6 PRESSURE TREATED GRADE #2 OR BETTER SOUTHERN PINE WOOD JAMB SHALL BE ANCHORED TO BUILDING WOOD FRAME, GROUTED AND REINFORCED CONCRETE MASONRY UNIT (CMU) WALLS OR COLUMNS, OR REINFORCED CONCRETE COLUMNS.

NOTES:

- 1) ALL DOOR OPENING SURROUNDING STRUCTURE TO BE DESIGNED BY REGISTERED ENGINEER OR ARCHITECT WITH DUE CONSIDERATION GIVEN TO INSTALLATIONS USING CENTER "HURRICANE" POSTS.
- 2) ALL DOOR OPENING STRUCTURE AND FASTENERS TO COMPLY WITH ALL APPLICABLE CODES INCLUDING SBCI STANDARD FOR HURRICANE RESISTANT RESIDENTIAL CONSTRUCTION SSTB 10, CURRENT EDITION.
- 3) ALL FASTENERS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, INSTRUCTIONS AND RECOMMENDATIONS.
- 4) WOOD FRAME BUILDINGS: STUDS AT EACH SIDE OF DOOR OPENING SHALL BE PROPERLY DESIGNED, CONNECTED, ANCHORED AND SHALL CONSIST OF A MINIMUM GRADE OR BETTER WALL STUDS CONTINUOUS FROM FOOTING TO DOUBLE TOP PLATE.
- 5) REINFORCED CMU OR CONCRETE: 2X6 WOOD JAMB SHALL BE ANCHORED TO STUBBLE GROUTED AND REINFORCED CONCRETE MASONRY UNIT (CMU) WALLS OR COLUMNS, OR REINFORCED CONCRETE COLUMNS. ANCHOR SPACING AND EMBEDMENT IS BASED ON CONCRETE MASONRY UNITS COMPLYING WITH ASTM C90 WITH A MINIMUM NET AREA COMPRESSIVE STRENGTH OF 2150 PSI GROUT WITH A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI REINFORCED CONCRETE COLUMNS WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI.
- 6) EMBEDMENTS LISTED ARE THE MINIMUM ALLOWABLE EMBEDMENTS.
- 7) ANCHORS FOR CONCRETE AND CONCRETE MASONRY UNITS (CMU) SHALL HAVE A MINIMUM 3" EDGE DISTANCE FROM ALL EDGES OF CONCRETE OR CONCRETE MASONRY UNITS. ANCHORS FOR CONCRETE AND CMU SHALL HAVE A MINIMUM SPACING OF 3'-3/4".
- 8) LAG SCREWS SHALL BE CENTERED IN ONE OF THE 1-1/2" DIMENSION FACES OF THE TRIPLE 2X6 WALL STUDS.
- 9) WASHERS ARE REQUIRED ON ALL FASTENERS.
- 10) THE WIND LOAD VS. ANCHOR SPACING CHART IS FOR A MAXIMUM DOOR SIZE OF 16' X 8' AT A MAXIMUM 42 PSF DESIGN WIND LOAD.
- 11) FOR THE UPPER THREE INDIVIDUAL STEEL JAMB BRACKETS, BRACKETS SHALL BE CENTERED BETWEEN THE TWO CLOSEST 2X6 WOOD JAMB ANCHORS. IF THE STEEL JAMB BRACKET IS NOT CENTERED BETWEEN THE TWO CLOSEST 2X6 WOOD JAMB ANCHORS, ADD AN ADDITIONAL 2X6 WOOD JAMB ANCHOR NEAR THAT STEEL BRACKET TO INSURE THAT THE LOAD FROM THE STEEL BRACKET IS EQUALLY TRANSFERRED TO TWO WOOD JAMB ANCHORS.

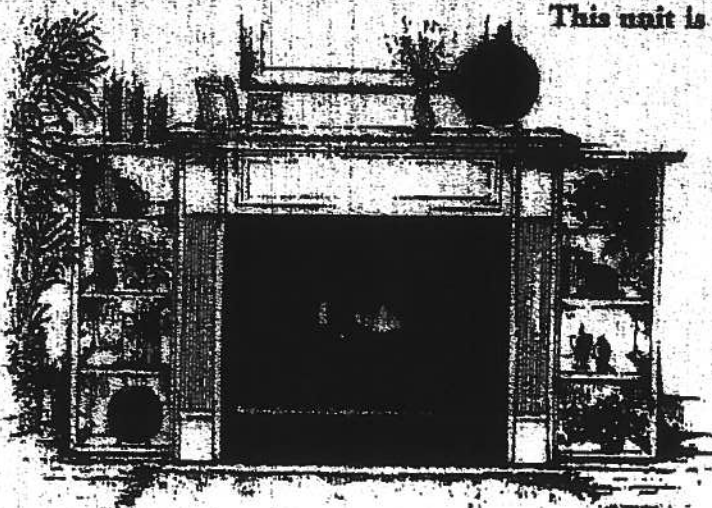
GENERAL AMERICAN DOOR COMPANY	
5000 BASELINE ROAD MONTGOMERY, IL 60538	
DATE: 3-8-02	REVISED BY: DIV
DESIGNED BY: DIV	REVIEWED BY: DIV
FOR WIND LOADED GARAGE DOORS	
WIND SPEED: 110 MPH	WIND DIRECTION: 0°

VENT-FREE

This unit is A.G.A. certified as a heater with 99% heat efficiency

No chimney or flue system required

Wide selection of factory installed options offered

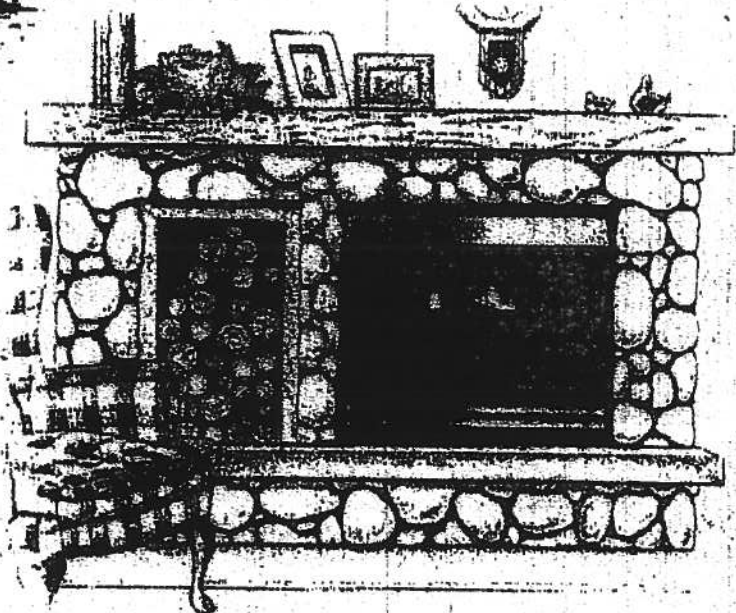


VF-4000

- 14,000 - 25,000 Btu/hr with manual control valve
- 19,500 - 25,000 Btu/hr with millivolt control valve
- Fully assembled and ready to install
- Attractive wood surrounds available
- 15" x 30" fixed or operable screen opening

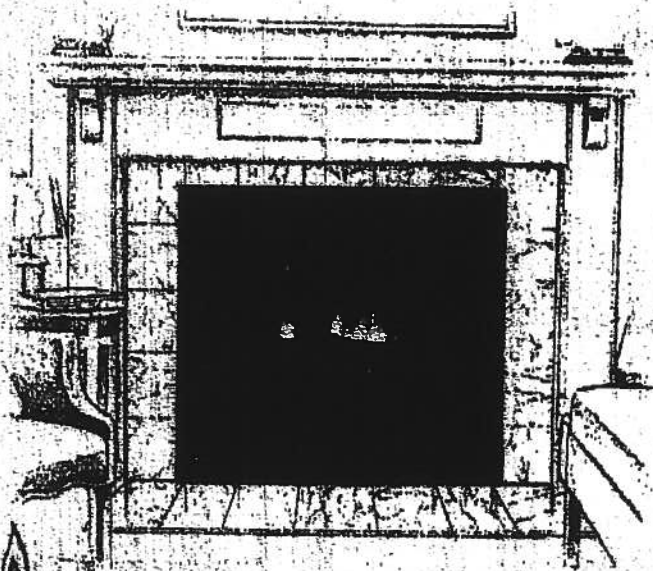
VF-5000

- 25,000 Btu/hr millivolt variable heat output
- 15" X 30" glass or screen viewing area
- Clean burning, safe and easy to install
- Realistic charred oak logs with glowing embers



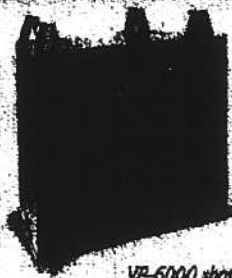
VF-6000

- 32,000 Btu/hr millivolt variable heat output
- Beautiful 20" X 34" glass or screen viewing area
- Will operate during a power failure
- Designed for large rooms



SUPERIOR

VF-4000/5000/6000



VF-6000 system

Controls hidden in access compartment.



Optional FAB-1100 Blower

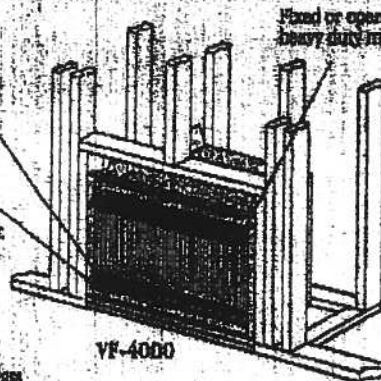
Optional brass hood, arch, glass panel and fire-rated screen.

Controls hidden in access compartment.

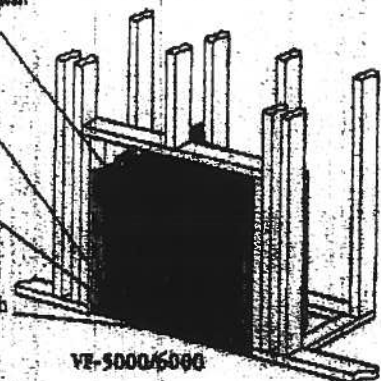


Optional FAB-1100 Blower

Millivolt controls and pilot ignition operate during a power failure.



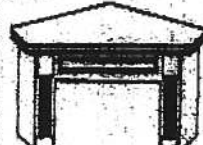
VF-4000



VF-5000/6000

SURROUNDS

The Charleston Poplar Surround is hand crafted using a combination of solid Poplar and Poplar veneer. Using the unique wood type of Poplar allows you the option to paint or stain this elegantly detailed surround. The surround is constructed using easy to assemble cam locks, and available in corner and wall units.



Distributed by:



Refractory pan brick panels



Gas Dux liner kit.



Square brass trim kit.



Brass Louver kit (For VF-4 only)



Screen panel kit (For VF-5 & VF-6 only)



Arch kit (For VF-5 & VF-6 only)



Glass door kit (For VF-5 & VF-6 only)



Brass hood (For VF-5 & VF-6 only)

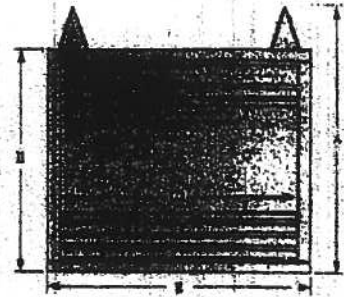


Wall switch or optional wireless remote available. (For VF-4M, VF-5 & VF-6)

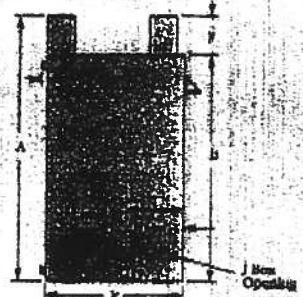


Wall thermostat (For VF-4M, VF-5 & VF-6)

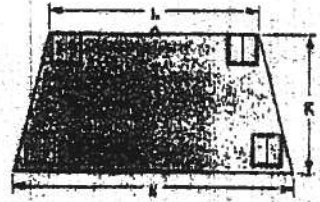
Front View



Left Side View



Top View



Vent-Free Product Dimensions

	VF-4000/5000C	VF-6000C
Height	42-1/8"	42-1/8"
B	31-1/2"	36-5/8"
D	20"	20"
E	20"	24"
F	2-1/2"	40"
G	5-1/2"	5-1/2"
H	3-3/4"	3-3/4"
I	6-1/2"	6-1/2"
J	3"	3"
K	19-1/8"	19-1/8"
L	27"	28-1/2"

Btu Chart

Model	Natural	Propane
VF-4000 - optional	14,000 - 25,000	14,000 - 25,000
VF-4000/5000 - millivolt	19,500 - 25,000	19,500 - 25,000
VF-6000	25,000 - 32,000	25,000 - 32,000

Framing Dimension

Model	Width	Height	Depth
VF-4000/5000	37"	37-1/4"	15-1/2"
VF-6000	41"	42-3/8"	19-1/2"

NOTE: Diagrams and illustrations are not to scale. Product designs, materials, dimensions, specifications, colors and prices subject to change or discontinuation without notice. Built to ANSI Z31.11.2 standard and approved by A.G.A. (Report # 12970017).

Consult your distributor for local fireplace code information.

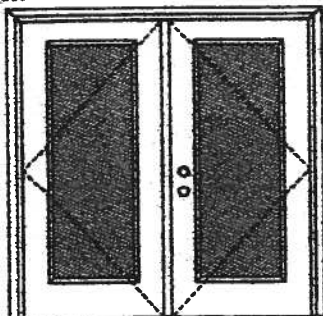


SUPERIOR

www.LennoxHearthProducts.com

WOOD-EDGE STEEL DOORS

APPROVED ARRANGEMENT:



Note:
Units of other sizes are covered by this report as long as the panels used do not exceed 3'0" x 6'8".

Double Door
Maximum unit size = 6'0" x 6'8"

Design Pressure
+40.5/-40.5
Unlisted water unless special threshold design is used.

Large Missile Impact Resistance
Hurricane protective system (shutters) is REQUIRED.

Actual design pressure and impact resistant requirements for a specific building design and geographic location is determined by ASCE 7-national, state or local building codes specify the edition required.

MINIMUM ASSEMBLY DETAIL:

Compliance requires that minimum assembly details have been followed – see MAD-WL-MA0012-02 and MAD-WL-MA0041-02.

MINIMUM INSTALLATION DETAIL:

Compliance requires that minimum installation details have been followed – see MID-WL-MA0002-02.

APPROVED DOOR STYLES:

1/4 GLASS:



100 Series



133, 135 Series



136 Series



680 Series



822 Series

1/2 GLASS:



106 Series*



106, 160 Series*



120 Series*



200 Series*



12 RL, 23 RL, 24 RL Series*



107 Series*



108 Series



304 Series

*This glass kit may also be used in the following door styles: 5-panel; 5-panel with scroll; Eyebrow 5-panel; Eyebrow 5-panel with scroll.

Johnson
EntrySystems

March 29, 2002
Our continuing program of product improvement; codes specifications, design and product detail subject to change without notice.

PREMDOR Collection
Premium Quality Doors

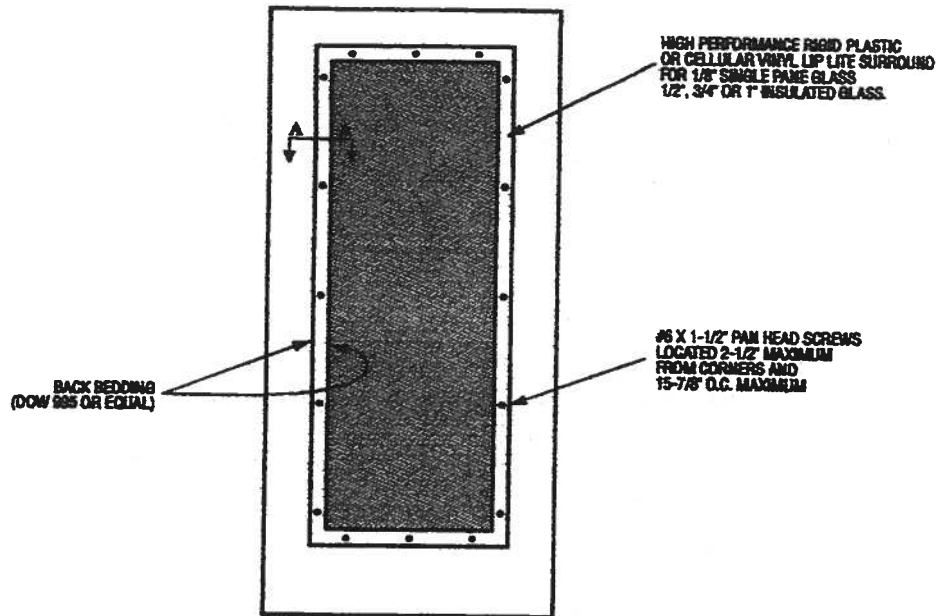


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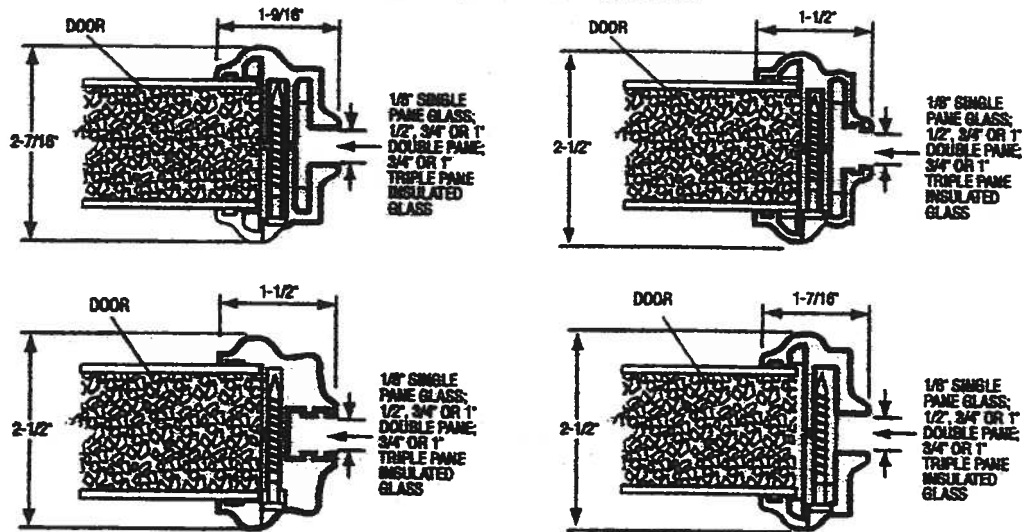
Masonite

Masonite International Corporation

GLASS INSERT IN DOOR OR SIDELITE PANEL



SECTION A-A TYPICAL RIGID PLASTIC LIP LITE SURROUND



XX

Glazed Outswing Unit

CCP-WL-JH4162-02

WOOD-EDGE STEEL DOORS

APPROVED DOOR STYLES:**3/4 GLASS:**

404 Series



418 Series



450 Series

FULL GLASS:

100 Series

114, 120, 122
Series

182 Series



149 Series



300 Series

CERTIFIED TEST REPORTS:

NCTL 210-1897-7, 8, 9, 10, 11, 12; NCTL 210-1864-5, 6, 7, 8; NCTL 210-2178-1, 2, 3

Certifying Engineer and License Number: Barry D. Portney, P.E. / 16258.

Unit Tested in Accordance with Miami-Dade BCCO PA202.

Evaluation report NCTL-210-2794-1

Door panels constructed from 26-gauge 0.017" thick steel skins. Both stiles constructed from wood. Top end rails constructed of 0.041" steel. Bottom end rails constructed of 0.021" steel. Interior cavity of slab filled with rigid polyurethane foam core. Slab glazed with insulated glass mounted in a rigid plastic lip lite surround.

Frame constructed of wood with an extruded aluminum bumper threshold.

PRODUCT COMPLIANCE LABELING:

TESTED IN
ACCORDANCE WITH
MIAMI-DADE BCCO PA202

COMPANY NAME
CITY, STATE

To the best of my knowledge and ability the above side-hinged exterior door unit conforms to the requirements of the 2001 Florida Building Code, Chapter 17 (Structural Tests and Inspections).

State of Florida, Professional Engineer
Kurt Balthazor, P.E. - License Number 56533

Johnson
EntrySystems

March 28, 2002

Our continuing program of product improvement makes specifications, design and product details subject to change without notice.

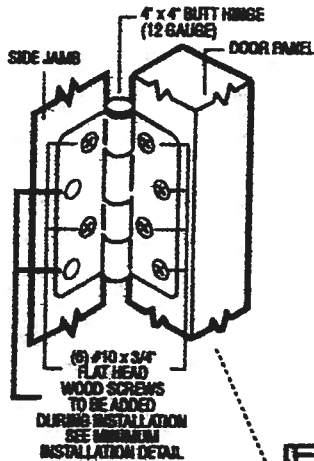


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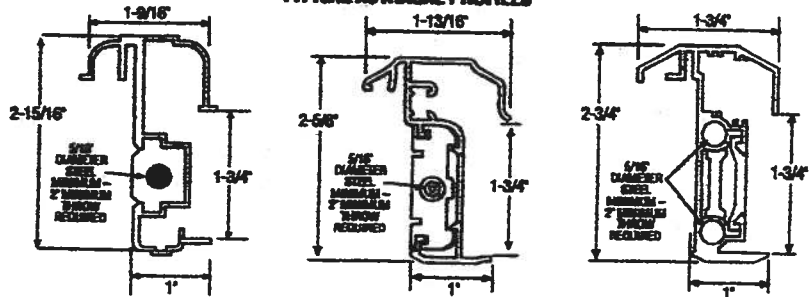
Masonite
Masonite International Corporation

OUTSWING UNITS WITH DOUBLE DOOR

TYPICAL HINGE ATTACHMENT

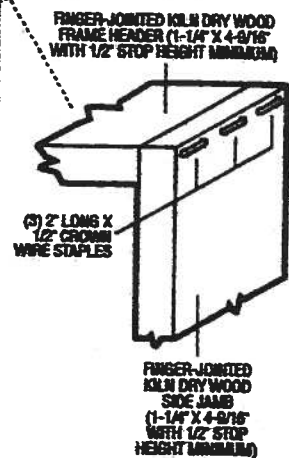


TYPICAL ASTRAGAL PROFILES



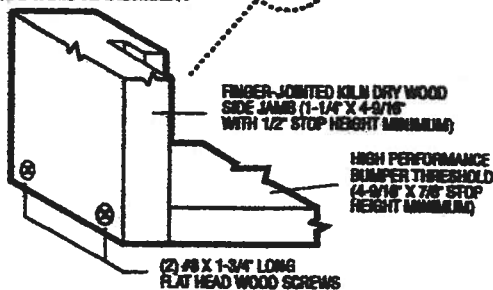
ALUMINUM EXTRUDED ASTRAGAL (0.06" MINIMUM WALL THICKNESS) WITH ADDED REINFORCEMENT INSERTS AT TOP EXTENSION BOLT, BOTTOM EXTENSION BOLT AND CYLINDRICAL DEADBOLT LATCHING LOCATIONS. ATTACH WITH #8 X 1" PAN HEAD SCREWS - LOCATE 1" FROM EACH END MINIMUM AND 22" O.C. MAXIMUM.

TYPICAL HEADER & SIDE JAMB ATTACHMENT



(3) FOR 7'0" HEIGHT OR SMALLER
(4) FOR HEIGHTS GREATER THAN 7'0"

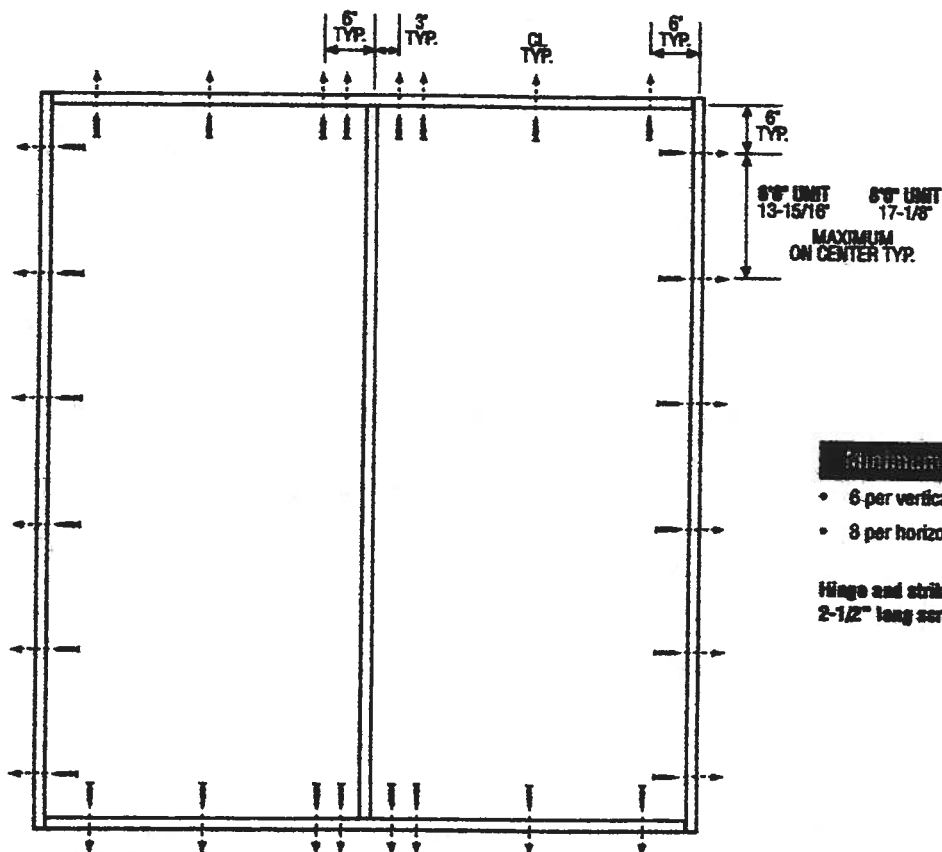
TYPICAL THRESHOLD & SIDE JAMB ATTACHMENT



XX
Unit

MID-WL-WA0002-02

DOUBLE DOOR



Minimum Fastener Count

- 6 per vertical framing member
- 8 per horizontal framing member

Hinge and strike plates require two 2-1/2" long screws per location.

Latching Hardware:

- Compliance requires that GRADE 2 or better (ANSI/BHMA A156.2) cylindrical and deadlock hardware be installed.

Notes:

1. Anchor calculations have been carried out with the lowest (least) fastener rating from the different fasteners being considered for use. Fasteners analyzed for this unit include #8 and #10 wood screws or 3/16" Tapcons.
2. The wood screw single shear design values come from Table 11.3A of ANSI/AF & PA NDS for southern pine lumber with a side member thickness of 1-1/4" and achievement of minimum embedment. The 3/16" Tapcon single shear design values come from the ITW and ELCO Dade County approvals respectively, each with minimum 1-1/4" embedment.
3. Wood bucks by others, must be anchored properly to transfer loads to the structure.

March 29, 2002

Our continuing program of product improvement makes specifications, design and product detail subject to change without notice.



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Masonite International Corporation

Shingle

FLORIDA DEPARTMENT OF Community Affairs



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- COMMUNITY PLANNING
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- EMERGENCY MANAGEMENT
- OFFICE OF THE SECRETARY

FL #
Application Type
Code Version
Application Status
Comments
Archived

FL1956-R1
Revision
2004
Approved

Product Manufacturer
Address/Phone/Email

TAMKO Building Products, Inc.
PO Box 1404
Joplin, MO 64802
(800) 641-4691 ext 2394
fred_oconnor@tamko.com

Authorized Signature

Frederick O'Connor
fred_oconnor@tamko.com

Technical Representative
Address/Phone/Email

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fred_oconnor@tamko.com



Quality Assurance Representative
Address/Phone/Email

Category
Subcategory

Roofing
Asphalt Shingles

Compliance Method

Certification Mark or Listing

Certification Agency

Underwriters Laboratories Inc.

Referenced Standard and Year (of
Standard)

Standard
ASTM D 3462

Year
2001

Equivalence of Product Standards
Certified By

Product Approval Method

Method 1 Option A

Date Submitted
Date Validated
Date Pending FBC Approval
Date Approved

06/09/2005
06/20/2005
06/25/2005
06/29/2005

Summary of Products

FL #	Model, Number or Name	Description

slopes of 2:12 or greater. Not approved for use in HVHZ.

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DCA Administration

**Department of Community Affairs
Florida Building Code Online
Codes and Standards**

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Tallahassee, Florida 32399-2100

(850) 487-1824, Suncom 277-1824, Fax (850) 414-8436

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Product Approval Accepts:





Northbrook Division
333 Franklin Road
Northbrook, IL 60062-2006 USA
NW111 0311
© 1997/2000

June 17, 2005

Tamko Roofing Products
Ms. Kerri Eden
P.O. Box 1404
220 W. 4th Street
Joplin, MO 64802-1404

(Our Reference: R2919)

This is to confirm that "Elite Glass-Seal AR", "Heritage 30 AR", "Heritage 50 AR", "Glass-Seal AR" manufactured at Tuscaloosa, AL and "Elite Glass-Seal AR", "Heritage 30 AR", "Heritage XL AR", "Heritage 50 AR" manufactured at Frederick, MD and "Heritage 30 AR", "Heritage XL AR", and "Heritage 50 AR" manufactured in Dallas, TX are UL Listed asphalt glass mat shingles and have been evaluated in accordance with ANSI/UL 790, Class A (ASTM E108), ASTM D3462, ASTM D3161 or UL 997 modified to 110 mph when secured with four nails.

Let me know if you have any further questions.

Very truly yours,

Alpesh Patel (Ext. 42522)
Engineer Project
Fire Protection Division

Randall K. Laymon (Ext. 42687)
Engineer Sr Staff
Fire Protection Division

Reviewed by:



THESE ARE THE MANUFACTURER'S APPLICATION INSTRUCTIONS FOR THE ROOFING CONDITIONS DESCRIBED. TAMKO BUILDING PRODUCTS, INC. ASSUMES NO RESPONSIBILITY FOR LEAKS OR OTHER ROOFING DEFECTS RESULTING FROM FAILURE TO FOLLOW THE MANUFACTURER'S INSTRUCTIONS.

THIS PRODUCT IS COVERED BY A LIMITED WARRANTY, THE TERMS OF WHICH ARE PRINTED ON THE WRAPPER.

IN COLD WEATHER (BELOW 40°F), CARE MUST BE TAKEN TO AVOID DAMAGE TO THE EDGES AND CORNERS OF THE SHINGLES. IMPORTANT: It is not necessary to remove the plastic strip from the back of the shingles.

1. ROOF DECK

These shingles are for application to roof decks capable of receiving and retaining fasteners, and to inclines of not less than 2 in. per foot. For roofs having pitches 2 in. per foot to less than 4 in. per foot, refer to special instructions titled "Low Slope Application". Shingles must be applied properly. TAMKO assumes no responsibility for leaks or defects resulting from improper application, or failure to properly prepare the surface to be roofed over.

NEW ROOF DECK CONSTRUCTION: Roof deck must be smooth, dry and free from warped surfaces. It is recommended that metal drip edges be installed at eaves and rakes.

PLYWOOD: All plywood shall be exterior grade as defined by the American Plywood Association. Plywood shall be a minimum of 3/8 in. thickness and applied in accordance with the recommendations of the American Plywood Association.

SHEATHING BOARDS: Boards shall be well-seasoned tongue-and-groove boards and not over 6 in. nominal width. Boards shall be a 1 in. nominal minimum thickness. Boards shall be properly spaced and nailed.

TAMKO does not recommend re-roofing over existing roof.

2. VENTILATION

Inadequate ventilation of attic spaces can cause accumulation of moisture in winter months and a build up of heat in the summer. These conditions can lead to:

1. Vapor Condensation
2. Buckling of shingles due to deck movement
3. Rotting of wood members.
4. Premature failure of roof.

To insure adequate ventilation and circulation of air, place louvers of sufficient size high in the gable ends and/or install continuous ridge and soffit vents. FHA minimum property standards require one square foot of net free ventilation area to each 150 square feet of space to be vented, or one square foot per 300 square feet if a vapor barrier is installed on the warm side of the ceiling or if at least one half of the ventilation is provided near the ridge. If the ventilation openings are screened, the total area should be doubled.

IT IS PARTICULARLY IMPORTANT TO PROVIDE ADEQUATE VENTILATION.

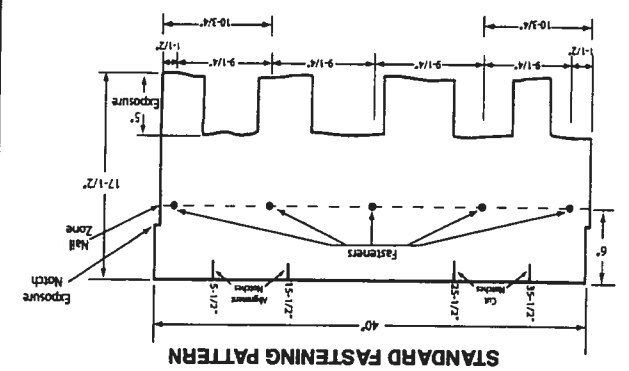
3. FASTENERS

WIND CAUTION: Extreme wind velocities can damage these shingles after application when proper sealing of the shingles does not occur. This can especially be a problem if the shingles are applied in cooler months or in areas on the roof that do not receive direct sunlight. These conditions may impede the sealing of the adhesive strips on the shingles. The inability to seal down may be compounded by prolonged cold weather conditions and/or blowing dust. In these situations, hand sealing of the shingles is recommended. Shingles must also be fastened according to the fastening instructions described below.

Correct placement of the fasteners is critical to the performance of the shingle. If the fasteners are not placed as shown in the diagram and described below, this will result in the termination of TAMKO's liabilities under the limited warranty. TAMKO will not be responsible for damage to shingles caused by winds in excess of the applicable miles per hour as stated in the limited warranty. See limited warranty for details.

FASTENING PATTERNS: Fasteners must be placed 6 in. from the top edge of the shingle located horizontally as follows:

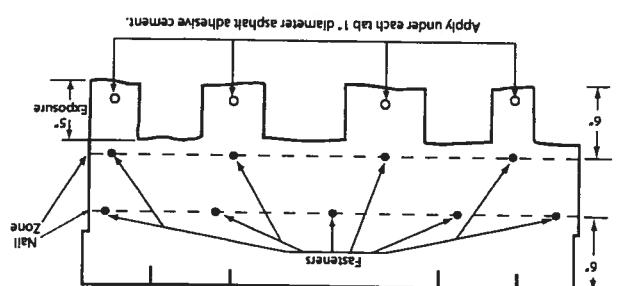
1) **Standard Fastening Pattern.** (For use on decks with slopes 2 in. per foot to 21 in. per foot.) One fastener 1-1/2 in. back from each end, one 10-3/4 in. back from each end and one 20 in. from one end of the shingle for a total of 5 fasteners. (See standard fastening pattern illustrated below).



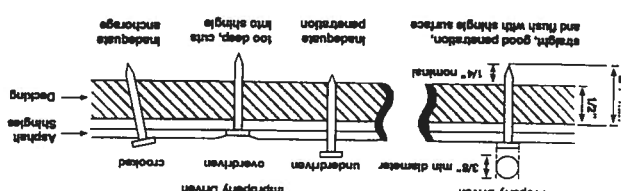
2) **Mansard or Steep Slope Fastening Pattern.** (For use on decks with slopes greater than 21 in. per foot.) Use standard nailing instructions with four additional nails placed 6 in. from the butt edge of the shingle making certain nails are covered by the next (successive) course of shingles.

Each shingle tab must be sealed underneath with quick setting asphalt adhesive cement immediately upon installation. Spots of cement must be equivalent in size to a \$.25 piece and applied to shingles with a 5 in. exposure, use 9 fasteners per shingle.

MANSARD FASTENING PATTERN



NAILS: TAMKO recommends the use of nails as the preferred method of application. Standard type roofing nails should be used. Nail shanks should be made of minimum 12 gauge wire, and a minimum head diameter of 3/8 in. Nails should be long enough to penetrate 3/4 in. into the roof deck. Where the deck is less than 3/4 in. thick, the nails should be long enough to penetrate completely through plywood decking and extend at least 1/8 in. through the roof deck. Drive nail head flush with the shingle surface.



4. UNDERLAYMENT

An underlayment consisting of asphalt saturated felt must be applied over the entire deck before the installation of TAMKO shingles. Failure to add underlayment can cause premature failure of the shingles and leaks which are not covered by TAMKO's limited warranty. Apply the felt when the deck is dry. On roof decks 4 in. per foot and greater apply the felt parallel to the eaves lapping each course of the felt over the lower course at least 2 in. Where ends join, lap the felt 4 in. If left exposed, the underlayment felt may be adversely affected by moisture and weathering. Laying of the underlayment and the shingle application must be done together.

Products which are acceptable for use as underlayment are:

- TAMKO No. 15 Asphalt Saturated Organic Felt
- A non-perforated asphalt saturated organic felt
- Any TAMKO non-perforated asphalt saturated organic felt
- TAMKO TW Metal and Tile Underlayment, which meets ASTM: D226, Type I or ASTM D4869, Type I
- TAMKO TW Moisture Guard Plus® (additional ventilation may be required. Contact TAMKO's technical services department for more information)

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220 West 4th St., Joplin, MO 64801
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2300 35th St., Tuscaloosa, AL 35401
7910 S. Central Exp., Dallas, TX 75216
5300 East 43rd Ave., Denver, CO 80216

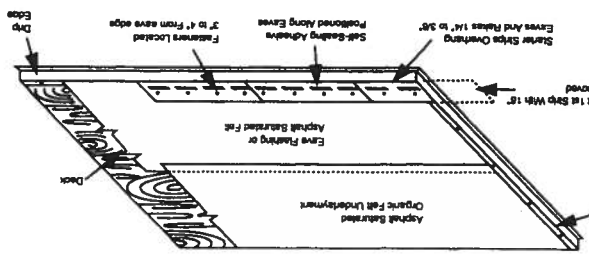
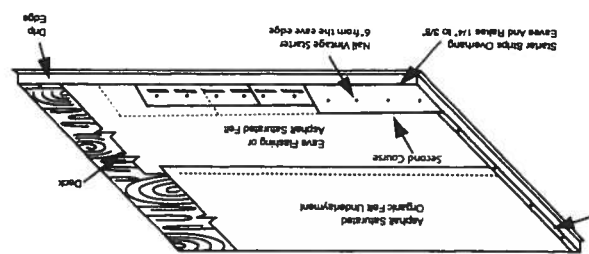
800-641-4691
800-368-2055
800-228-2656
800-443-1834
800-530-8868

05.06

(Continued)

HERITAGE VINAGE STARTER AR
12 1/2" x 36" 20 PIECES PER BUNDLE
60 LINEAL FT. PER BUNDLE

Note: Do not allow Vintage Starter AR joints to be visible between shingle tabs. Cutting of the starter may be required.



5. APPLICATION INSTRUCTIONS

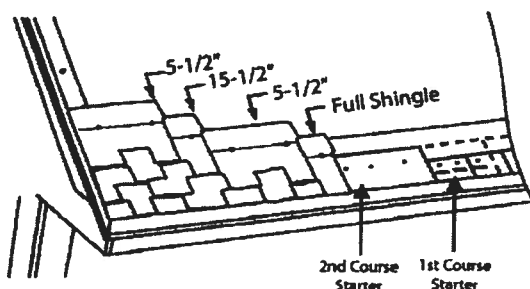
STARTER COURSE: Two starter course layers must be applied prior to application of Heritage Vinage AR Shingles. The first starter course may consist of TAMKO Shingle Starter, three tab self-sealing shingles or a 9 inch wide strip of mineral surface roll roofing. If three tab self-sealing shingles are used, remove the exposed tab portion and install with the factory applied adhesive adjacent to the eaves. If using three tab self-sealing shingles or shingle starter, remove 18 in. from first shingle to offset the end joints of the Vintage Starter. Attach the first starter course with approved fasteners along a line parallel to and 3 in. to 4 in. above the eave edge. The starter course should overhang both the eave and rake edge 1/4 in. to 3/8 in. Over the first starter course, install Heritage Vinage Starter AR and begin at the left rake edge with a full size shingle and continue across the roof nailing the Heritage Vinage Starter AR along a line parallel to and 6 in. from the eave edge.

shingle underlayment.

TAMKO does not recommend the use of any substitute products as TAMKO's Technical Services Department for more information. chimneys, skylights or dormers to help prevent water damage. Contact ing product) may be applied to eaves, rakes, ridges, valleys, around frozen or clogged gutters is a potential problem. TAMKO's Moisture Guard Plus® waterproofing underlayment (or any specialty eaves flash- areas where ice builds up along the eaves or a back-up of water from

• **HERITAGE® VINTAGE™ AR** – Phillipsburg, KS
LAMINATED ASPHALT SHINGLES

SHINGLE APPLICATION: Start the first course at the left rake edge with a full size shingle and overhang the rake edge 1/4 in. to 3/8 in.. To begin the second course, align the right side of the shingle with the 5-1/2 in. alignment notch on the first course shingle making sure to align the exposure notch. (See shingle illustration on next page) Cut the appropriate amount from the rake edge so the overhang is 1/4" to 3/8". For the third course, align the shingle with the 15-1/2 in. alignment notch at the top of the second course shingle, again being sure to align the exposure notch. Cut the appropriate amount from the rake edge. To begin the fourth course, align the shingle with the 5-1/2 in. alignment notch from the third course shingle while aligning the exposure notch. Cut the appropriate amount from the rake edge. Continue up the rake in as many rows as necessary using the same formula as outlined above. Cut pieces may be used to complete courses at the right side. As you work across the roof, install full size shingles taking care to align the exposure notches. Shingle joints should be no closer than 4 in.



6. LOW SLOPE APPLICATION

On pitches 2 in. per foot to 4 in. per foot cover the deck with two layers of underlayment. Begin by applying the underlayment in a 19 in. wide strip along the eaves and overhanging the drip edge by 1/4 to 3/4 in. Place a full 36 in. wide sheet over the 19 in. wide starter piece, completely overlapping it. All succeeding courses will be positioned to overlap the preceding course by 19 in. If winter temperatures average 25°F or less, thoroughly cement the laps of the entire underlayment to each other with plastic cement from eaves and rakes to a point of a least 24 in. inside the interior wall line of the building. As an alternative, TAMKO's Moisture Guard Plus self-adhering waterproofing underlayment may be used in lieu of the cemented felts.

7. VALLEY APPLICATION

TAMKO recommends an open valley construction with Heritage Vintage AR shingles.

To begin, center a sheet of TAMKO Moisture Guard Plus, TW Underlayment or TW Metal & Tile Underlayment in the valley.

After the underlayment has been secured, install the recommended corrosion resistant metal (26 gauge galvanized metal or an equivalent) in the valley. Secure the valley metal to the roof deck. Overlaps should be 12" and cemented.

Following valley metal application; a 9" to 12" wide strip of TAMKO Moisture Guard Plus, TW Underlayment or TW Metal & Tile Underlayment should be applied along the edges of the metal valley flashing (max. 6" onto metal valley flashing) and on top of the valley underlayment. The valley will be completed with shingle application.

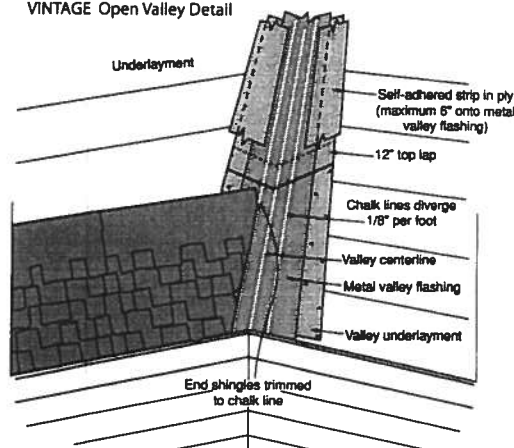
SHINGLE APPLICATION INSTRUCTIONS (OPEN VALLEY)

- Snap two chalk lines, one on each side of the valley centerline over the full length of the valley flashing. Locate the upper ends of the chalk lines 3" to either side of the valley centerline.
- The lower end should diverge from each other by 1/8" per foot. Thus, for an 8' long valley, the chalk lines should be 7" either side of the centerline at the eaves and for a 16' valley 8".

As shingles are applied toward the valley, trim the last shingle in each course to fit on the chalk line. Never use a shingle trimmed to less than 12" in length to finish a course running into a valley. If necessary, trim the adjacent shingle in the course to allow a longer portion to be used.

- Clip 1" from the upper corner of each shingle on a 45° angle to direct water into the valley and prevent it from penetrating between the courses.
- Form a tight seal by cementing the shingle to the valley lining with a 3" width of asphalt plastic cement (conforming to ASTM D 4586).

VINTAGE Open Valley Detail



• CAUTION:

Adhesive must be applied in smooth, thin, even layers.

Excessive use of adhesive will cause blistering to this product.

TAMKO assumes no responsibility for blistering.

(Continued)



(CONTINUED from Pg. 3)

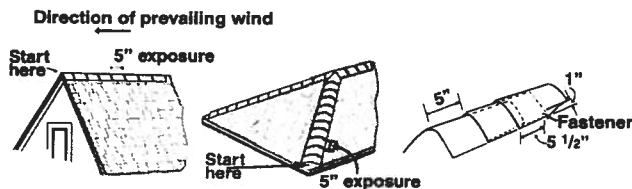
• HERITAGE® VINTAGE™ AR – Phillipsburg, KS LAMINATED ASPHALT SHINGLES

8. HIP AND RIDGE FASTENING DETAIL

Apply the shingles with a 5 in. exposure beginning at the bottom of the hip or from the end of the ridge opposite the direction of the prevailing winds. Secure each shingle with one fastener on each side, 5-1/2 in. back from the exposed end and 1 in. up from the edge. TAMKO recommends the use of TAMKO Heritage Vintage Hip & Ridge shingle products.

Fasteners should be 1/4 in. longer than the ones used for shingles.

IMPORTANT: PRIOR TO INSTALLATION, CARE NEEDS TO BE TAKEN TO PREVENT DAMAGE WHICH CAN OCCUR WHILE BENDING SHINGLE IN COLD WEATHER.



THESE ARE THE MANUFACTURER'S APPLICATION INSTRUCTIONS FOR THE ROOFING CONDITIONS DESCRIBED. TAMKO BUILDING PRODUCTS, INC. ASSUMES NO RESPONSIBILITY FOR LEAKS OR OTHER ROOFING DEFECTS RESULTING FROM FAILURE TO FOLLOW THE MANUFACTURER'S INSTRUCTIONS.

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2300 35th St., Tuscaloosa, AL 35401
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05/06

FLORIDA DEPARTMENT OF Community Affairs



Product Approval
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- ▶ COMMUNITY PLANNING
- ▶ HOUSING & COMMUNITY DEVELOPMENT
- ▶ EMERGENCY MANAGEMENT
- ▶ OFFICE OF THE SECRETARY

FL # FL5108
Application Type New
Code Version 2004
Application Status Approved
Comments
Archived

Product Manufacturer
Address/Phone/Email

MI Windows and Doors
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(717) 365-3300 ext 2101
surich@miwd.com

Authorized Signature

Steven Ulrich
surich@miwd.com

Technical Representative
Address/Phone/Email

Quality Assurance Representative
Address/Phone/Email

U)indow

(Validator / Operations Administrator)

A.L.I.

AAMA
CERTIFICATION PROGRAM

AUTHORIZATION FOR PRODUCT CERTIFICATION

M/I Windows & Doors, Inc.
P.O. Box 370
Gratz, PA 17030-0370
Attn: Bill Emley

The product described below is hereby approved for listing in the next issue of the AAMA Certified Products Directory. The approval is based on successful completion of tests, and the reporting to the Administrator of the results of tests, accompanied by related drawings, by an AAMA Accredited Laboratory.

1. The listing below will be added to the next published AAMA Certified Products Directory.

SPECIFICATION		RECORD OF PRODUCT TESTED				LABEL ORDER NO.
AAMA/ANMA 101/15, 2-97 H-R55-36x62		MAXIMUM SIZE TESTED				
COMPANY AND PLANT LOCATION		CODE NO.	SERIES MODEL & PRODUCT DESCRIPTION	MAXIMUM SIZE TESTED		By Request
M/I Windows & Doors, Inc. (Olathe, MO) M/I Windows & Doors, Inc. (Smyrna, TN)		MTL-8 MTL-9	165/3165 SH (FM) (AL)(10)(10G) (ASTM)	FRAME 30" x 52"	SASH 210" x 27"	

2. This Certification will expire May 14, 2008, and requires validation until then by continued listing in the current AAMA Certified Products Directory.

3. Product Tested and Reported by: Architectural Testing, Inc.

Report No.: 01-50360.02

Date of Report: June 14, 2004

NOTE: PLEASE REVIEW,
AND ADVISE ALL IMMEDIATELY
IF DATA, AS SHOWN, NEEDS
CORRECTION.

Date: August 1, 2005

cc: AAMA

JGS/dt

ACP-04 (Rev. 5/03)

American Architectural Manufacturers Association

Authorized for Certification:

[Signature]

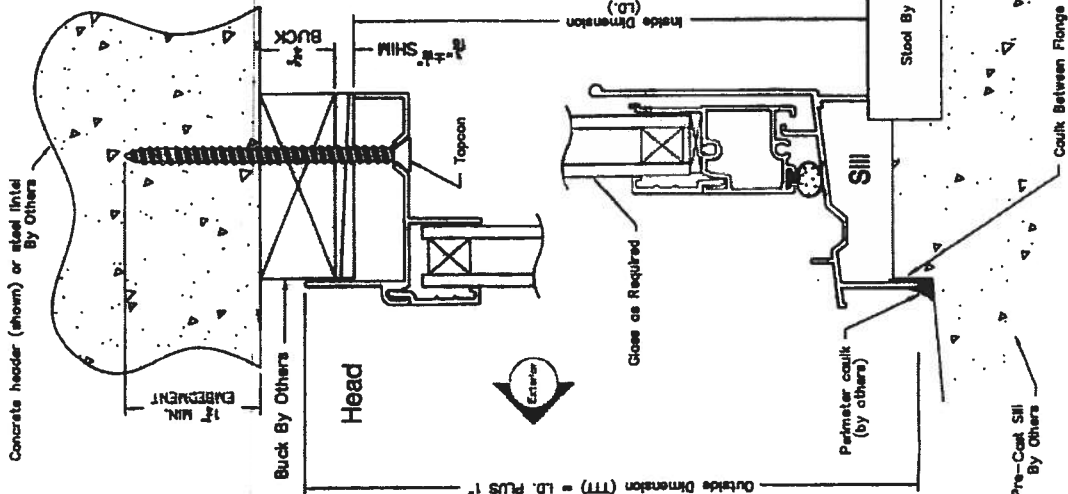
Associated Laboratories, Inc.

Validated for Certification:

[Signature]

"ONE BY" (3/4") BUCKS (SHOWN)

1. Before installation, caulk back of flange, or face of buck.
2. 3/16" dia. masonry Tapcon must be of a length to have 1 1/4" embedment into masonry or concrete.
3. Shim as required with load bearing shims at each installation anchor as shown.
4. All factory applied holes not designated for Tapcon anchor should be filled with #10 screws of sufficient length to provide min. 5/8" embedment into wood buck.
5. Letter designations on the Tapcon location chart indicate where anchors are to be installed using the elevation as a key.
6. If exact window size is not given, use anchor quantity for next larger window in chart.
7. For continuous head and sill twins & triples, use the same fastener schedule for each unit in the main frame except ignore the intermediate jamb.



"TWO BY" (1 1/2") BUCKS

"TWO BY" bucks are engineered and fastened to the masonry opening BY OTHERS.

Follow the same instructions and fastener requirements for "one by" bucks except use #10 screws of sufficient length for 1 1/4" minimum embedment into buck.

* TAPCON LOCATION CHART			FASTENER LOCATIONS	
CODE	WINDOW ID SIZE	UP TO DP35	DP35.1 TO DP65	DP65.1 TO DP69.3
12	18 1/8 x 25	A D E E	A D E E	A D E E
13	18 1/8 x 37 3/8	A D E E	A D E E	A D E E
14	18 1/8 x 49 5/8	A D E E	A D E E	A D E E
15	18 1/8 x 62	A D E E	A D E E	A D E E
16	18 1/8 x 71	A D E E	A D E E	A D E E
17	18 1/8 x 83	A D E E	A D E E	A D E E
1 1/2 12	25 1/2 x 25	A D E E	A D E E	A D E E
1 1/2 13	25 1/2 x 37 3/8	A D E E	A D E E	A D E E
1 1/2 14	25 1/2 x 49 5/8	A D E E	A D E E	A D E E
1 1/2 15	25 1/2 x 62	A D E E	A D E E	A D E E
1 1/2 16	25 1/2 x 71	A D E E	A D E E	A D E E
1 1/2 17	25 1/2 x 83	A D E E	A D E E	A D E E
22	36 x 25	A D E E	A D E E	A D E E
23	36 x 37 3/8	A D E E	A D E E	A D E E
24	36 x 49 5/8	A D E E	A D E E	A D E E
25	36 x 62	A D E E	A D E E	A D E E
26	36 x 71	A D E E	A D E E	A D E E
27	36 x 83	A D E E	A D E E	A D E E
32	52 1/8 x 25	A D E E	A D E E	A D E E
33	52 1/8 x 37 3/8	A D E E	A D E E	A D E E
34	52 1/8 x 49 5/8	A D E E	A D E E	A D E E
35	52 1/8 x 62	A D E E	A D E E	A D E E
36	52 1/8 x 71	A D E E	A D E E	A D E E
37	52 1/8 x 83	A D E E	A D E E	A D E E
2040	23 3/8 x 47 5/8	A D E E	A D E E	A D E E
2050	23 3/8 x 59 5/8	A D E E	A D E E	A D E E
2060	23 3/8 x 71 5/8	A D E E	A D E E	A D E E
2070	23 3/8 x 83 5/8	A D E E	A D E E	A D E E
3040	35 3/8 x 47 5/8	A D E E	A D E E	A D E E
3050	35 3/8 x 59 5/8	A D E E	A D E E	A D E E
3060	35 3/8 x 71 5/8	A D E E	A D E E	A D E E
3070	35 3/8 x 83 5/8	A D E E	A D E E	A D E E
4040	47 3/8 x 47 5/8	A D E E	A D E E	A D E E
4050	47 3/8 x 59 5/8	A D E E	A D E E	A D E E
4060	47 3/8 x 71 5/8	A D E E	A D E E	A D E E
4070	47 3/8 x 83 5/8	A D E E	A D E E	A D E E
4450	51 3/8 x 47 5/8	A D E E	A D E E	A D E E
4460	51 3/8 x 59 5/8	A D E E	A D E E	A D E E
4470	51 3/8 x 71 5/8	A D E E	A D E E	A D E E
4480	51 3/8 x 83 5/8	A D E E	A D E E	A D E E

MI HOME PRODUCTS
GRATZ, PA

185/3185 SINGLE HUNG FLANGE FRAME
INSTALLATION DETAILS & FASTENER SCHEDULE



DATE: 08/15/04
DRAWN BY: N.T.S.
CHECKED BY: MHP0059
SCALE: 1/4\"/>



REVISION
DATE: 07/22/03
BY: [Signature]

*TAPCON® TYPE HARDENED MASONRY SCREWS INCLUDE TAPCON, RAWL, & SIMPSON

Residential System Sizing Calculation

Summary

Cook, Zac Residence

Project Title:
708211AaronSimque

Class 3 Rating
Registration No. 0
Climate: North

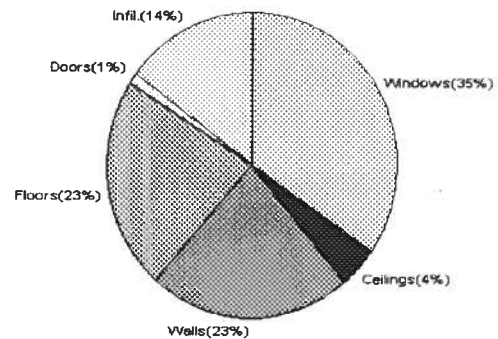
10/31/2007

Location for weather data: Gainesville - Defaults: Latitude(29) Altitude(152 ft.) Temp Range(M)			
Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(54gr.)			
Winter design temperature	33 F	Summer design temperature	92 F
Winter setpoint	70 F	Summer setpoint	75 F
Winter temperature difference	37 F	Summer temperature difference	17 F
Total heating load calculation	42949 Btuh	Total cooling load calculation	38926 Btuh
Submitted heating capacity	% of calc Btuh	Submitted cooling capacity	% of calc Btuh
Total (Electric Heat Pump)	116.4 50000	Sensible (SHR = 0.75)	107.7 37500
Heat Pump + Auxiliary(0.0kW)	116.4 50000	Latent	305.4 12500
		Total (Electric Heat Pump)	128.4 50000

WINTER CALCULATIONS

Winter Heating Load (for 2367 sqft)

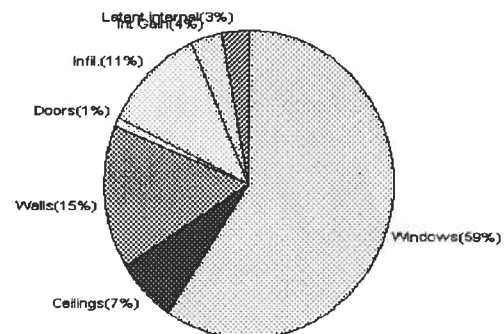
Load component			Load	
Window total	463 sqft		14904	Btuh
Wall total	2945 sqft		9672	Btuh
Door total	40 sqft		518	Btuh
Ceiling total	1572 sqft		1852	Btuh
Floor total	224 sqft		9780	Btuh
Infiltration	154 cfm		6224	Btuh
Duct loss			0	Btuh
Subtotal			42949	Btuh
Ventilation	0 cfm		0	Btuh
TOTAL HEAT LOSS			42949	Btuh



SUMMER CALCULATIONS

Summer Cooling Load (for 2367 sqft)

Load component			Load	
Window total	463 sqft		23064	Btuh
Wall total	2945 sqft		5921	Btuh
Door total	40 sqft		392	Btuh
Ceiling total	1572 sqft		2603	Btuh
Floor total			0	Btuh
Infiltration	79 cfm		1473	Btuh
Internal gain			1380	Btuh
Duct gain			0	Btuh
Sens. Ventilation	0 cfm		0	Btuh
Total sensible gain			34833	Btuh
Latent gain(ducts)			0	Btuh
Latent gain(infiltration)			2893	Btuh
Latent gain(ventilation)			0	Btuh
Latent gain(internal/occupants/other)			1200	Btuh
Total latent gain			4093	Btuh
TOTAL HEAT GAIN			38926	Btuh



For Florida residences only

EnergyGauge® System Sizing

PREPARED BY: *Zac Cook*

DATE: *10-31-07*

System Sizing Calculations - Winter

Residential Load - Whole House Component Details

Cook, Zac Residence

Project Title:
708211AaronSimque

Class 3 Rating
Registration No. 0
Climate: North

, FL

Reference City: Gainesville (Defaults) Winter Temperature Difference: 37.0 F

10/31/2007

This calculation is for Worst Case. The house has been rotated 315 degrees.

Component Loads for Whole House

Window	Panes/SHGC/Frame/U	Orientation	Area(sqft)	X	HTM=	Load
1	2, Clear, Metal, 0.87	NW	8.0		32.2	258 Btuh
2	2, Clear, Metal, 0.87	NW	16.0		32.2	515 Btuh
3	2, Clear, Metal, 0.87	NW	80.0		32.2	2575 Btuh
4	2, Clear, Metal, 0.87	SW	16.7		32.2	538 Btuh
5	2, Clear, Metal, 0.87	NW	37.5		32.2	1207 Btuh
6	2, Clear, Metal, 0.87	NW	8.8		32.2	283 Btuh
7	2, Clear, Metal, 0.87	NW	12.0		32.2	386 Btuh
8	2, Clear, Metal, 0.87	SE	30.0		32.2	966 Btuh
9	2, Clear, Metal, 0.87	SE	30.0		32.2	966 Btuh
10	2, Clear, Metal, 0.87	SW	16.0		32.2	515 Btuh
11	2, Clear, Metal, 0.87	NW	60.0		32.2	1931 Btuh
12	2, Clear, Metal, 0.87	SW	20.0		32.2	644 Btuh
13	2, Clear, Metal, 0.87	NW	37.5		32.2	1207 Btuh
14	2, Clear, Metal, 0.87	NE	21.0		32.2	676 Btuh
15	2, Clear, Metal, 0.87	SE	8.0		32.2	258 Btuh
16	2, Clear, Metal, 0.87	SE	30.0		32.2	966 Btuh
17	2, Clear, Metal, 0.87	SE	31.5		32.2	1014 Btuh
Window Total			463(sqft)			14904 Btuh
Walls	Type	R-Value	Area	X	HTM=	Load
1	Frame - Wood - Ext(0.09)	13.0	2560		3.3	8407 Btuh
2	Frame - Wood - Adj(0.09)	13.0	385		3.3	1264 Btuh
Wall Total			2945			9672 Btuh
Doors	Type		Area	X	HTM=	Load
1	Insulated - Adjacent		20		12.9	259 Btuh
2	Insulated - Exterior		20		12.9	259 Btuh
Door Total			40			518Btuh
Ceilings	Type/Color/Surface	R-Value	Area	X	HTM=	Load
1	Vented Attic/D/Shin)	30.0	1572		1.2	1852 Btuh
Ceiling Total			1572			1852Btuh
Floors	Type	R-Value	Size	X	HTM=	Load
1	Slab On Grade	0	224.0 ft(p)		43.7	9780 Btuh
Floor Total			224			9780 Btuh
Zone Envelope Subtotal:						36726 Btuh
Infiltration	Type	ACH X	Zone Volume		CFM=	
	Natural	0.66	13968		153.6	6224 Btuh
Ductload	Average sealed, R6.0, Supply(Attic), Return(Attic) (DLM of 0.00)					0 Btuh
Zone #1	Sensible Zone Subtotal					42949 Btuh

Manual J Winter Calculations

Residential Load - Component Details (continued)

Cook, Zac Residence

Project Title:
708211AaronSimque

Class 3 Rating
Registration No. 0
Climate: North

10/31/2007

WHOLE HOUSE TOTALS

	Subtotal Sensible	42949 Btuh
	Ventilation Sensible	0 Btuh
	Total Btuh Loss	42949 Btuh

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)
(Frame types - metal, wood or insulated metal)
(U - Window U-Factor or 'DEF' for default)
(HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types)



For Florida residences only

System Sizing Calculations - Winter

Residential Load - Room by Room Component Details

Cook, Zac Residence
 , FL

Project Title:
 708211AaronSimque

Class 3 Rating
 Registration No. 0
 Climate: North

Reference City: Gainesville (Defaults) Winter Temperature Difference: 37.0 F
 This calculation is for Worst Case. The house has been rotated 315 degrees.

10/31/2007

Component Loads for Zone #1: Main

Window	Panes/SHGC/Frame/U	Orientation	Area(sqft)	X	HTM=	Load
1	2, Clear, Metal, 0.87	NW	8.0		32.2	258 Btuh
2	2, Clear, Metal, 0.87	NW	16.0		32.2	515 Btuh
3	2, Clear, Metal, 0.87	NW	80.0		32.2	2575 Btuh
4	2, Clear, Metal, 0.87	SW	16.7		32.2	538 Btuh
5	2, Clear, Metal, 0.87	NW	37.5		32.2	1207 Btuh
6	2, Clear, Metal, 0.87	NW	8.8		32.2	283 Btuh
7	2, Clear, Metal, 0.87	NW	12.0		32.2	386 Btuh
8	2, Clear, Metal, 0.87	SE	30.0		32.2	966 Btuh
9	2, Clear, Metal, 0.87	SE	30.0		32.2	966 Btuh
10	2, Clear, Metal, 0.87	SW	16.0		32.2	515 Btuh
11	2, Clear, Metal, 0.87	NW	60.0		32.2	1931 Btuh
12	2, Clear, Metal, 0.87	SW	20.0		32.2	644 Btuh
13	2, Clear, Metal, 0.87	NW	37.5		32.2	1207 Btuh
14	2, Clear, Metal, 0.87	NE	21.0		32.2	676 Btuh
15	2, Clear, Metal, 0.87	SE	8.0		32.2	258 Btuh
16	2, Clear, Metal, 0.87	SE	30.0		32.2	966 Btuh
17	2, Clear, Metal, 0.87	SE	31.5		32.2	1014 Btuh
Window Total			463(sqft)			14904 Btuh
Walls	Type	R-Value	Area	X	HTM=	Load
1	Frame - Wood - Ext(0.09)	13.0	2560		3.3	8407 Btuh
2	Frame - Wood - Adj(0.09)	13.0	385		3.3	1264 Btuh
Wall Total			2945			9672 Btuh
Doors	Type		Area	X	HTM=	Load
1	Insulated - Adjacent		20		12.9	259 Btuh
2	Insulated - Exterior		20		12.9	259 Btuh
Door Total			40			518Btuh
Ceilings	Type/Color/Surface	R-Value	Area	X	HTM=	Load
1	Vented Attic(D/Shin)	30.0	1572		1.2	1852 Btuh
Ceiling Total			1572			1852Btuh
Floors	Type	R-Value	Size	X	HTM=	Load
1	Slab On Grade	0	224.0	ft(p)	43.7	9780 Btuh
Floor Total			224			9780 Btuh
Zone Envelope Subtotal:						36726 Btuh
Infiltration	Type	ACH	Zone Volume		CFM=	Load
	Natural	0.66	13968		153.6	6224 Btuh
Ductload	Average sealed, R6.0, Supply(Attic), Return(Attic) (DLM of 0.00)					0 Btuh
Zone #1	Sensible Zone Subtotal					42949 Btuh

Manual J Winter Calculations

Residential Load - Component Details (continued)

Cook, Zac Residence
, FL

Project Title:
708211AaronSimque

Class 3 Rating
Registration No. 0
Climate: North

10/31/2007

WHOLE HOUSE TOTALS

	Subtotal Sensible	42949 Btuh
	Ventilation Sensible	0 Btuh
	Total Btuh Loss	42949 Btuh

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)
(Frame types - metal, wood or insulated metal)
(U - Window U-Factor or 'DEF' for default)
(HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types)



For Florida residences only

System Sizing Calculations - Summer

Residential Load - Whole House Component Details

Cook, Zac Residence

Project Title:
708211AaronSimque

Class 3 Rating
Registration No. 0
Climate: North

, FL

Reference City: Gainesville (Defaults) Summer Temperature Difference: 17.0 F

10/31/2007

This calculation is for Worst Case. The house has been rotated 315 degrees.

Component Loads for Whole House

Window	Type*		Overhang		Window Area(sqft)			HTM		Load		
	Pn/SHGC/U/InSh/ExSh/IS	Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded			
1	2, Clear, 0.87, None,N,N	NW	1.5ft.	4ft.	8.0	0.0	8.0	29	60	480	Btuh	
2	2, Clear, 0.87, None,N,N	NW	1.5ft.	6ft.	16.0	0.0	16.0	29	60	961	Btuh	
3	2, Clear, 0.87, None,N,N	NW	8ft.	7.66	80.0	0.0	80.0	29	60	4803	Btuh	
4	2, Clear, 0.87, None,N,N	SW	99ft.	6ft.	16.7	16.7	0.0	29	63	484	Btuh	
5	2, Clear, 0.87, None,N,N	NW	1.5ft.	0ft.	37.5	0.0	37.5	29	60	2251	Btuh	
6	2, Clear, 0.87, None,N,N	NW	1.5ft.	5ft.	8.8	0.0	8.8	29	60	528	Btuh	
7	2, Clear, 0.87, None,N,N	NW	1.5ft.	5.5ft.	12.0	0.0	12.0	29	60	720	Btuh	
8	2, Clear, 0.87, None,N,N	SE	1.5ft.	0ft.	30.0	30.0	0.0	29	63	869	Btuh	
9	2, Clear, 0.87, None,N,N	SE	1.5ft.	6.5ft.	30.0	6.1	23.9	29	63	1670	Btuh	
10	2, Clear, 0.87, None,N,N	SW	1.5ft.	3ft.	16.0	12.2	3.8	29	63	591	Btuh	
11	2, Clear, 0.87, None,N,N	NW	8ft.	5.5ft.	60.0	0.0	60.0	29	60	3602	Btuh	
12	2, Clear, 0.87, None,N,N	SW	17ft.	5.5ft.	20.0	20.0	0.0	29	63	579	Btuh	
13	2, Clear, 0.87, None,N,N	NW	1.5ft.	5.5ft.	37.5	0.0	37.5	29	60	2251	Btuh	
14	2, Clear, 0.87, None,N,N	NE	1.5ft.	4.16	21.0	0.0	21.0	29	60	1261	Btuh	
15	2, Clear, 0.87, None,N,N	SE	1.5ft.	0ft.	8.0	8.0	0.0	29	63	232	Btuh	
16	2, Clear, 0.87, None,N,N	SE	1.5ft.	0ft.	30.0	30.0	0.0	29	63	869	Btuh	
17	2, Clear, 0.87, None,N,N	SE	1.5ft.	0ft.	31.5	31.5	0.0	29	63	912	Btuh	
Window Total						463 (sqft)					23064 Btuh	
Walls	Type	R-Value/U-Value			Area(sqft)			HTM		Load		
1	Frame - Wood - Ext	13.0/0.09			2560.0			2.1		5340 Btuh		
2	Frame - Wood - Adj	13.0/0.09			385.0			1.5		581 Btuh		
Wall Total						2945 (sqft)					5921 Btuh	
Doors	Type				Area (sqft)			HTM		Load		
1	Insulated - Adjacent				20.0			9.8		196 Btuh		
2	Insulated - Exterior				20.0			9.8		196 Btuh		
Door Total						40 (sqft)					392 Btuh	
Ceilings	Type/Color/Surface	R-Value			Area(sqft)			HTM		Load		
1	Vented Attic/DarkShingle	30.0			1572.0			1.7		2603 Btuh		
Ceiling Total						1572 (sqft)					2603 Btuh	
Floors	Type	R-Value			Size			HTM		Load		
1	Slab On Grade	0.0			224 (ft(p))			0.0		0 Btuh		
Floor Total						224.0 (sqft)					0 Btuh	
Zone Envelope Subtotal:										31980 Btuh		
Infiltration	Type	ACH			Volume(cuft)			CFM=		Load		
SensibleNatural		0.34			13968			79.2		1473 Btuh		
Internal gain	Occupants			Btuh/occupant			Appliance		Load			
		6			X 230 +			0		1380 Btuh		
Duct load	Average sealed, R6.0, Supply(Attic), Return(Attic)								DGM = 0.00		0.0 Btuh	
Sensible Zone Load										34833 Btuh		

Manual J Summer Calculations

Residential Load - Component Details (continued)

Cook, Zac Residence

Project Title:
708211AaronSimque

Class 3 Rating
Registration No. 0
Climate: North

, FL

10/31/2007

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	Sensible Envelope Load All Zones	34833 Btuh
	Sensible Duct Load	0 Btuh
	Total Sensible Zone Loads	34833 Btuh
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	34833 Btuh
	Latent infiltration gain (for 54 gr. humidity difference)	2893 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	0 Btuh
	Latent occupant gain (6 people @ 200 Btuh per person)	1200 Btuh
	Latent other gain	0 Btuh
	Latent total gain	4093 Btuh
	TOTAL GAIN	38926 Btuh

*Key: Window types (Pn - Number of panes of glass)

(SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)

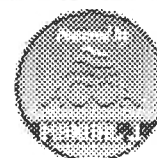
(U - Window U-Factor or 'DEF' for default)

(InSh - Interior shading device: none(N), Blinds(B), Draperies(D) or Roller Shades(R))

(ExSh - Exterior shading device: none(N) or numerical value)

(BS - Insect screen: none(N), Full(F) or Half(H))

(Ornt - compass orientation)



For Florida residences only

System Sizing Calculations - Summer

Residential Load - Room by Room Component Details

Cook, Zac Residence

Project Title:
708211AaronSimque

Class 3 Rating
Registration No. 0
Climate: North

, FL

Reference City: Gainesville (Defaults) Summer Temperature Difference: 17.0 F
This calculation is for Worst Case. The house has been rotated 315 degrees.

10/31/2007

Component Loads for Zone #1: Main

Window	Type*		Overhang		Window Area(sqft)			HTM		Load	
	Pn/SHGC/U/InSh/ExSh/IS	Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded		
1	2, Clear, 0.87, None,N,N	NW	1.5ft.	4ft.	8.0	0.0	8.0	29	60	480	Btuh
2	2, Clear, 0.87, None,N,N	NW	1.5ft.	6ft.	16.0	0.0	16.0	29	60	961	Btuh
3	2, Clear, 0.87, None,N,N	NW	8ft.	7.66	80.0	0.0	80.0	29	60	4803	Btuh
4	2, Clear, 0.87, None,N,N	SW	99ft.	6ft.	16.7	16.7	0.0	29	63	484	Btuh
5	2, Clear, 0.87, None,N,N	NW	1.5ft.	0ft.	37.5	0.0	37.5	29	60	2251	Btuh
6	2, Clear, 0.87, None,N,N	NW	1.5ft.	5ft.	8.8	0.0	8.8	29	60	528	Btuh
7	2, Clear, 0.87, None,N,N	NW	1.5ft.	5.5ft.	12.0	0.0	12.0	29	60	720	Btuh
8	2, Clear, 0.87, None,N,N	SE	1.5ft.	0ft.	30.0	30.0	0.0	29	63	869	Btuh
9	2, Clear, 0.87, None,N,N	SE	1.5ft.	6.5ft.	30.0	6.1	23.9	29	63	1670	Btuh
10	2, Clear, 0.87, None,N,N	SW	1.5ft.	3ft.	16.0	12.2	3.8	29	63	591	Btuh
11	2, Clear, 0.87, None,N,N	NW	8ft.	5.5ft.	60.0	0.0	60.0	29	60	3602	Btuh
12	2, Clear, 0.87, None,N,N	SW	17ft.	5.5ft.	20.0	20.0	0.0	29	63	579	Btuh
13	2, Clear, 0.87, None,N,N	NW	1.5ft.	5.5ft.	37.5	0.0	37.5	29	60	2251	Btuh
14	2, Clear, 0.87, None,N,N	NE	1.5ft.	4.16	21.0	0.0	21.0	29	60	1261	Btuh
15	2, Clear, 0.87, None,N,N	SE	1.5ft.	0ft.	8.0	8.0	0.0	29	63	232	Btuh
16	2, Clear, 0.87, None,N,N	SE	1.5ft.	0ft.	30.0	30.0	0.0	29	63	869	Btuh
17	2, Clear, 0.87, None,N,N	SE	1.5ft.	0ft.	31.5	31.5	0.0	29	63	912	Btuh
Window Total					463 (sqft)					23064 Btuh	
Walls	Type	R-Value/U-Value			Area(sqft)			HTM		Load	
1	Frame - Wood - Ext	13.0/0.09			2560.0			2.1		5340 Btuh	
2	Frame - Wood - Adj	13.0/0.09			385.0			1.5		581 Btuh	
Wall Total						2945 (sqft)					5921 Btuh
Doors	Type				Area (sqft)			HTM		Load	
1	Insulated - Adjacent				20.0			9.8		196 Btuh	
2	Insulated - Exterior				20.0			9.8		196 Btuh	
Door Total						40 (sqft)					392 Btuh
Ceilings	Type/Color/Surface	R-Value			Area(sqft)			HTM		Load	
1	Vented Attic/DarkShingle	30.0			1572.0			1.7		2603 Btuh	
Ceiling Total						1572 (sqft)					2603 Btuh
Floors	Type	R-Value			Size			HTM		Load	
1	Slab On Grade	0.0			224 (ft(p))			0.0		0 Btuh	
Floor Total						224.0 (sqft)					0 Btuh
Zone Envelope Subtotal:										31980 Btuh	
Infiltration	Type	ACH			Volume(cuft)			CFM=		Load	
	SensibleNatural	0.34			13968			79.2		1473 Btuh	
Internal gain	Occupants			Btuh/occupant			Appliance		Load		
	6			X 230 +			0		1380 Btuh		
Duct load	Average sealed, R6.0, Supply(Attic), Return(Attic)							DGM = 0.00		0.0 Btuh	
Sensible Zone Load										34833 Btuh	

Manual J Summer Calculations

Residential Load - Component Details (continued)

Cook, Zac Residence

Project Title:
708211AaronSimque

Class 3 Rating
Registration No. 0
Climate: North

, FL

10/31/2007

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	Sensible Envelope Load All Zones	34833 Btuh
	Sensible Duct Load	0 Btuh
	Total Sensible Zone Loads	34833 Btuh
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	34833 Btuh
	Latent infiltration gain (for 54 gr. humidity difference)	2893 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	0 Btuh
	Latent occupant gain (6 people @ 200 Btuh per person)	1200 Btuh
	Latent other gain	0 Btuh
	Latent total gain	4093 Btuh
	TOTAL GAIN	38926 Btuh

*Key: Window types (Pn - Number of panes of glass)

(SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)

(U - Window U-Factor or 'DEF' for default)

(InSh - Interior shading device: none(N), Blinds(B), Draperies(D) or Roller Shades(R))

(ExSh - Exterior shading device: none(N) or numerical value)

(BS - Insect screen: none(N), Full(F) or Half(H))

(Ornt - compass orientation)



For Florida residences only

Residential Window Diversity

MidSummer

Cook, Zac Residence

Project Title:
708211AaronSimque

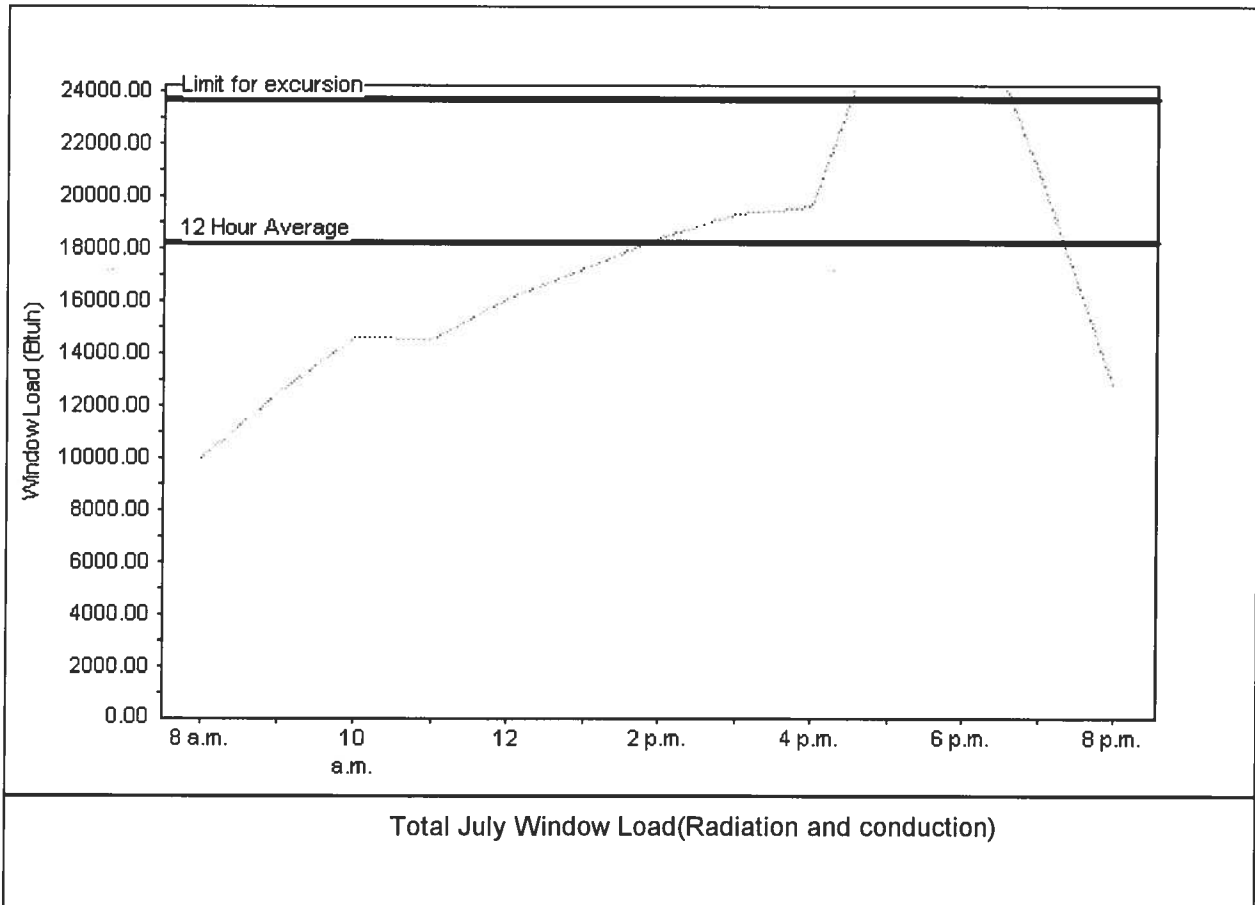
Class 3 Rating
Registration No. 0
Climate: North

10/31/2007

Weather data for: Gainesville - Defaults

Summer design temperature	92 F	Average window load for July	18228 Btu
Summer setpoint	75 F	Peak window load for July	27946 Btu
Summer temperature difference	17 F	Excursion limit(130% of Ave.)	23697 Btu
Latitude	29 North	Window excursion (July)	4249 Btuh

WINDOW Average and Peak Loads



This application has glass areas that produce large heat gains for part of the day. Variable air volume devices are required to overcome spikes in solar gain for one or more rooms. Install a zoned system or provide zone control for problem rooms. Single speed equipment may not be suitable for the application.

EnergyGauge® System Sizing for Florida residences only

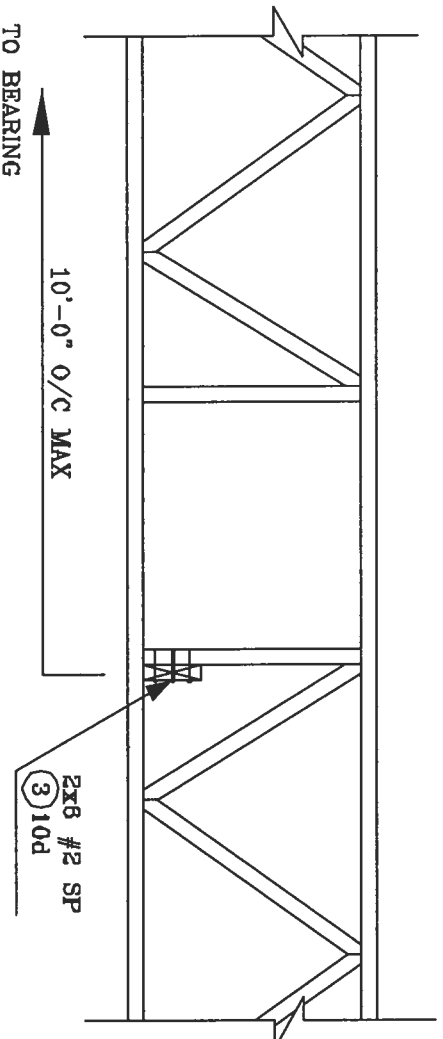
PREPARED BY: *[Signature]*

DATE: *10-31-07*

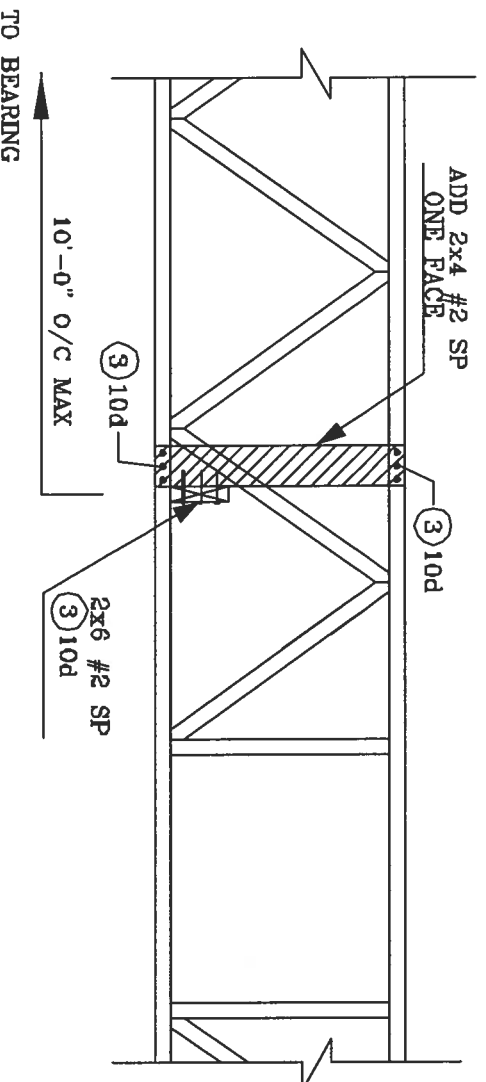
EnergyGauge® FLR2PB v4.1



STRONG BACK DETAIL SYSTEM-42 OR FLAT TRUSS



ALTERNATE DETAIL FOR STRONG BACK WITH VERTICAL NOT LINING UP



JULIUS LEE'S
CONS. ENGINEERS P.A.
1455 SW 4th AVENUE
DIANEY BLDG., FL 3044-261

No. 34869
STATE OF FLORIDA



BAILEY BISHOP & LANE, INC.

Engineers

Surveyors

Planners

July 10, 2008

26422

Aaron Simque
486 SW Commerce Drive
Suite 130
Lake City, FL 32025

RE: Zac Cook Foundation Letter

Dear Aaron Simque:

We have performed a vertical survey on the residence located at Parcel 1C of Lot 1, Cove at Rose Creek (being parcel #03397-101), Columbia County, Florida and have determined the following:

- The Subdivision plat requires the minimum finish floor elevation to be 76.0'.
- The finish floor elevation is 78.7', being 2.7' above the required elevation.

Sincerely,

Scott Daniel, PSM
Director of Surveying
Bailey Bishop & Lane, Inc.

P. O. Box 3717	Lake City, FL 32056-3717	Ph. (386) 752-5640	FAX (386) 755-7771
P. O. Box 814	Port St. Joe, FL 32457	Ph. (850) 227-9449	FAX (850) 227-9650
1835 Fiddler Court	Tallahassee, FL 32308	Ph. (850) 894-1200	FAX (850) 894-0200

Culvert Waiver No.
000001476

Columbia County Building Department Culvert Waiver

Culvert Waiver No.
000001476

DATE: 07/09/2008 BUILDING PERMIT NO. 26422

[illegible]

ADDRESS 387 SW KEMP COURT LAKE CITY FL 32024

OWNER ZACHARIAH COOK PHONE 386.697.6636

ADDRESS 203 SW EMORYWOOD GLN LAKE CITY FL 32024

CONTRACTOR AARON SIMQUE HOMES PHONE 386.867.0692

LOCATION OF PROPERTY 47-S TO WALTER, TL TO EMORYWOOD, TL AND THE LOT IS ON THE CORNER
WALTER & EMORYWOOD GLN.

SUBDIVISION/LOT/BLOCK/PHASE/UNIT COVE @ ROSE CREEK 1 B

PARCEL ID # 01-5S-16-03397-101

I HEREBY CERTIFY THAT I UNDERSTAND AND WILL FULLY COMPLY WITH THE DECISION OF THE COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT IN CONNECTION WITH THE HEREIN PROPOSED APPLICATION.

SIGNATURE: X

**A SEPARATE CHECK IS REQUIRED
MAKE CHECKS PAYABLE TO BCC**

Amount Paid 50.00

PUBLIC WORKS DEPARTMENT USE ONLY

I HEREBY CERTIFY THAT I HAVE EXAMINED THIS APPLICATION AND DETERMINED THAT THE CULVERT WAIVER IS:

✓ APPROVED _____ NOT APPROVED - NEEDS A CULVERT PERMIT

COMMENTS: _____

SIGNED: William M. H. [Signature] DATE: 7-11-08

ANY QUESTIONS PLEASE CONTACT THE PUBLIC WORKS DEPARTMENT AT 386-752-5955.

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160



**COLUMBIA COUNTY
OFFICE
OF
CIVIL
ENGINEERING**

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 01-5S-16-03397-101

Building permit No. 000026422

Use Classification SFD/UTILITY

Fire: 19.26

Permit Holder AARON SIMQUE

Waste: 50.25

Owner of Building ZACHARIAH COOK

Total: 69.51

Location: 203 SW EMORYWOOD GLEN, LAKE CITY, FL

Date: 07/23/2008

Wayne M. Lane

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)