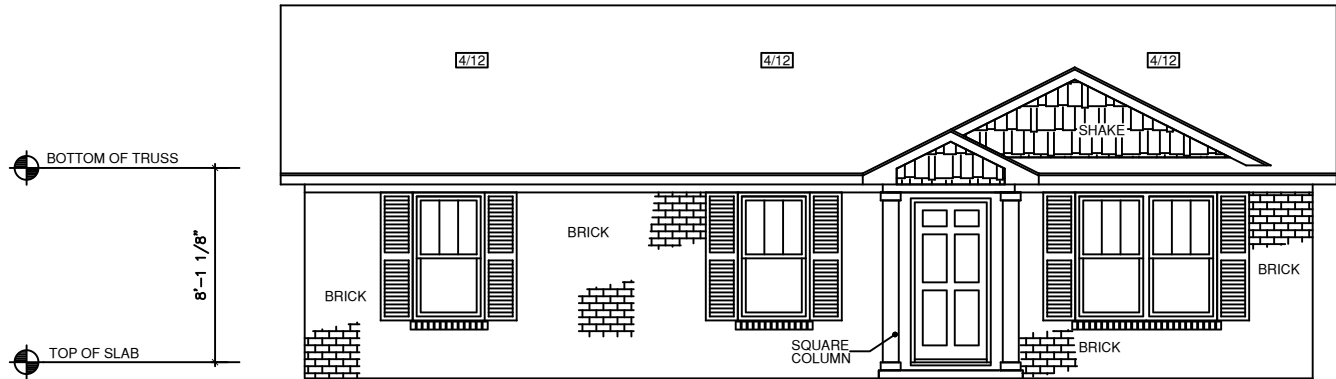


- OFF RIDGE VENTS -



FRONT ELEVATION
SCALE 1/8" = 1'-0"



Frank J
Sapienza Jr

Digitally signed by
Frank J Sapienza Jr
Date: 2022.10.05
11:16:13 -04'00'

Wind Load Analysis and Certification

Jefferson Residence by Red Door Homes

2020 Florida Building Code section 1609 according to ASCE 7-16

Ultimate Design Wind Speed (Vult) = 130 MPH (3 second gust)

Nominal Design Wind Speed (Vasd)) = 101 MPH

Risk Category = II

Exposure Category = B, Enclosed Building

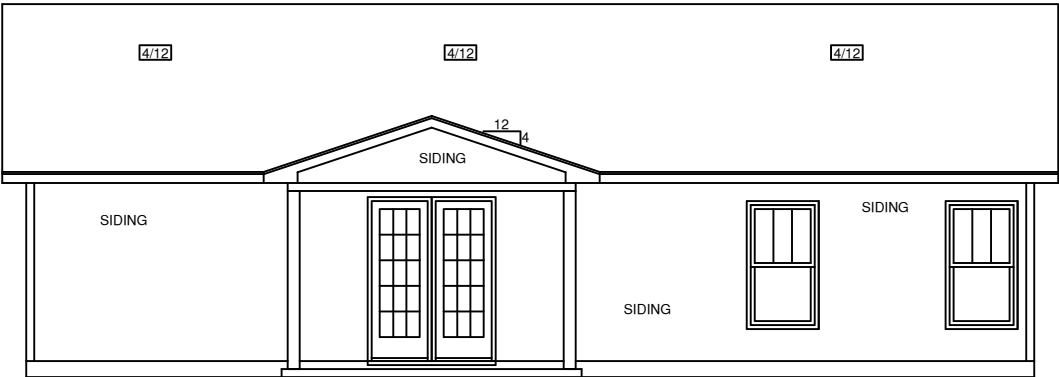
Applicable Internal Pressure Coefficient = .18

Design Wind Pressure for use of External Components (Components and Cladding)= +32.1psf, -43.3psf

Overhead Garage Door: +15.2psf, -16.9psf

This item has been digitally signed and sealed by FRANK J SAPIENZA JR PE using Digital Signature.
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Signature/Seal on any sheet is valid only for the structural design, or to indicate conformance with the structural design.



REAR ELEVATION
SCALE 1/8" = 1'-0"



GENERAL NOTES

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RED DOOR
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SQUARE FOOTAGE CHART

MAIN FLOOR AREA TO FRAMING:	1176
FRONT PORCH AREA:	24
REAR PORCH AREA:	144
TOTAL UNDER BEAM AREA	1344

SUBDIVISION NAME:
XXXXXXXXXX

CITY:
XXXXXXXXXX

PHASE:
XXXXXXXXXX

BLOCK:
XXXXXXXXXX

LOT:
XXXXXXXXXX

DRAFTING DATES:

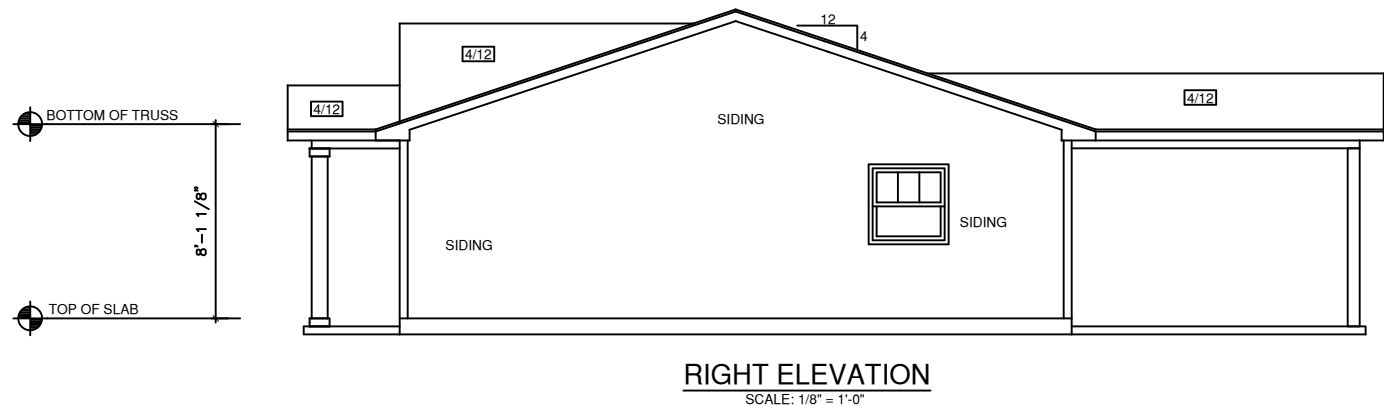
PRELIMINARY: 05/11/2022 PJM
PERM:
FINAL:

Front & Rear Elevations

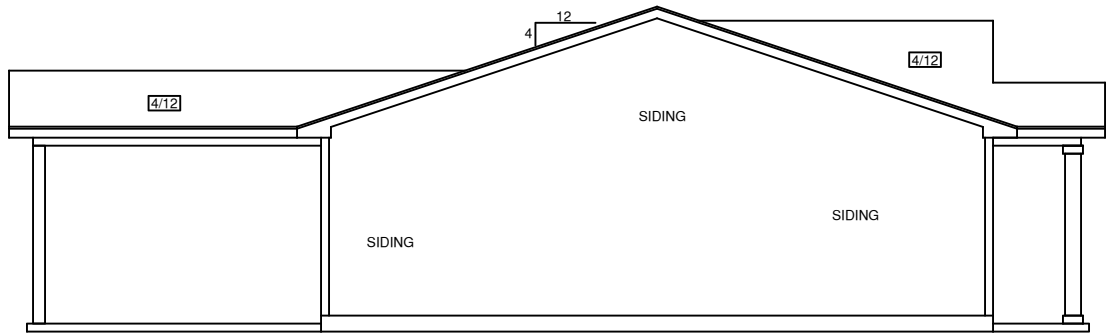
ASPEN
"Brick"

4344 SE CR 245
Lake City, FL 32025

JEFFERSON



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

- OFF RIDGE VENTS -

JEFFERSON

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SQUARE FOOTAGE CHART

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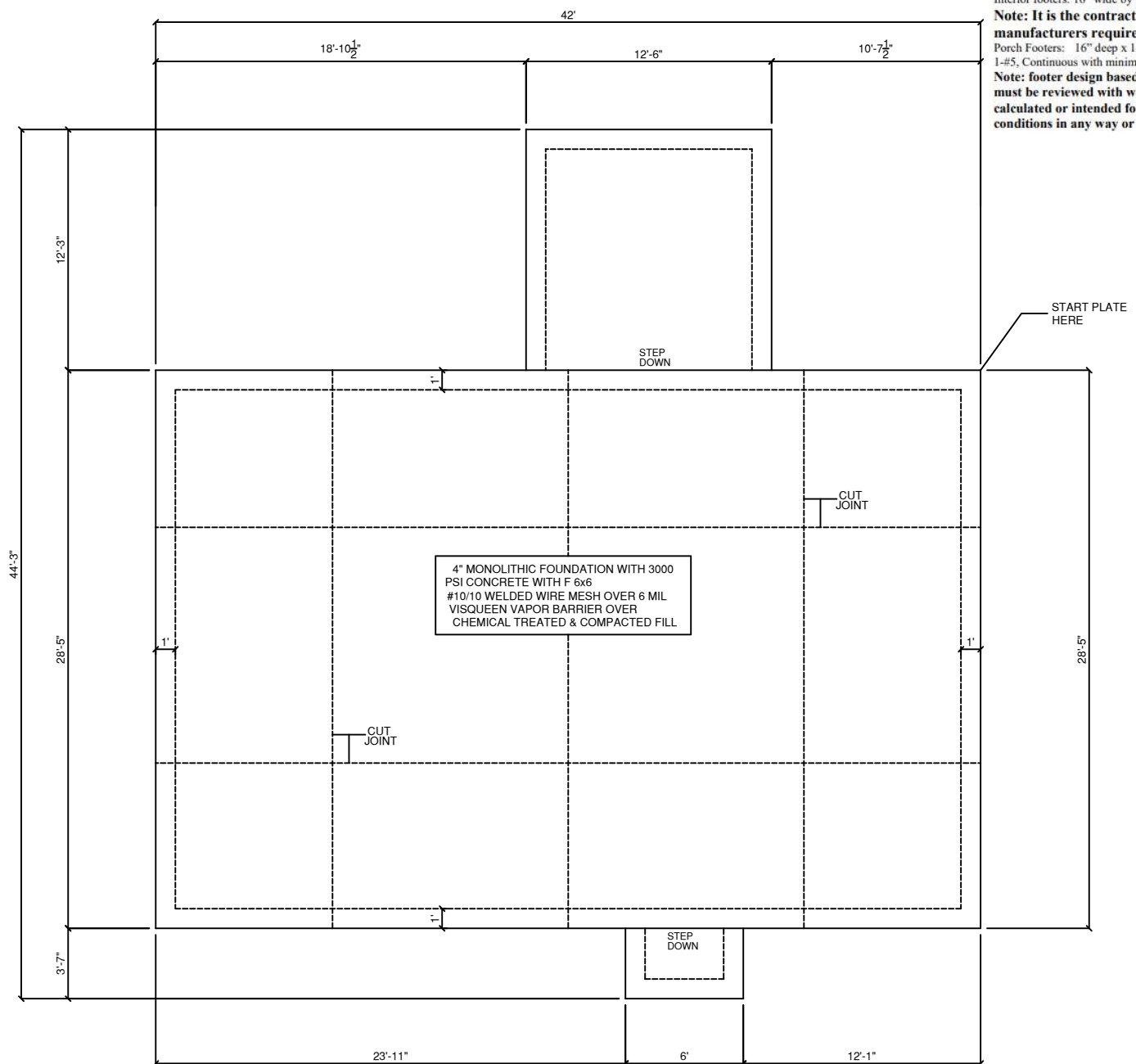
LOT:
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DRAFTING DATES:

PRELIMINARY: 05/11/2022 PJM
PERM:
FINAL:

Right & Left Elevations

ASPEN
"Brick"



MONOLITHIC FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

Footings and Foundations (Based on Truss Engineering)
20" deep x 14" wide monolithic with 2-#5's, Continuous, 3000 psi Concrete
Garage Mono: depth of garage mono footer shall be a min of 18" below the garage slab and any curb shall be a min of 6" wide and a maximum of 6" deep or 8" wide and 8" deep. Any curb deeper than this requires special engineering design.
or: 20" Wide x 10" Deep 3000 psi Concrete Strip Footing with 2-#5's, Continuous
8"x8"x16" Concrete Masonry Stenwall, Minimum 2 Courses, Maximum 4 Courses, Fully Grouted, except sections over 3 courses need only cells with rebar to be grouted. 1-#5 Vertical Dowel at Corners and **6'-0" O.C.** (10" hook top and bottom) (min 25" lap all #5 rebar) Max distance between top of garage floor and top of stenwall = 18" **(1) #5 continuous top course. All 4" slabs requires 6x6 WWM**
Interior footers: 16" wide by 10" deep (including 4" slab) with 2-#5's, Continuous,
Note: It is the contractors responsibility to install all necessary interior footers per truss manufacturers requirements based on the attached truss layouts.
Porch Footers: 16" deep x 14" wide monolithic with 2-#5's, Continuous or see above or: 8" wide by 8" deep bell footing with 1-#5, Continuous with minimum of 30"x30" x 15" pad under each post (w/ 3- #5 each way)
Note: footer design based on continuous bearing. Footers for any concentrated loads greater than 10,000 lbs must be reviewed with windload engineer. Movement – The information presented in this document is not calculated or intended for the use or purpose of mitigating or addressing unsuitable soils or subsurface conditions in any way or manner, whatsoever.

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SQUARE FOOTAGE CHART	
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TOTAL UNDER BEAM AREA	1344

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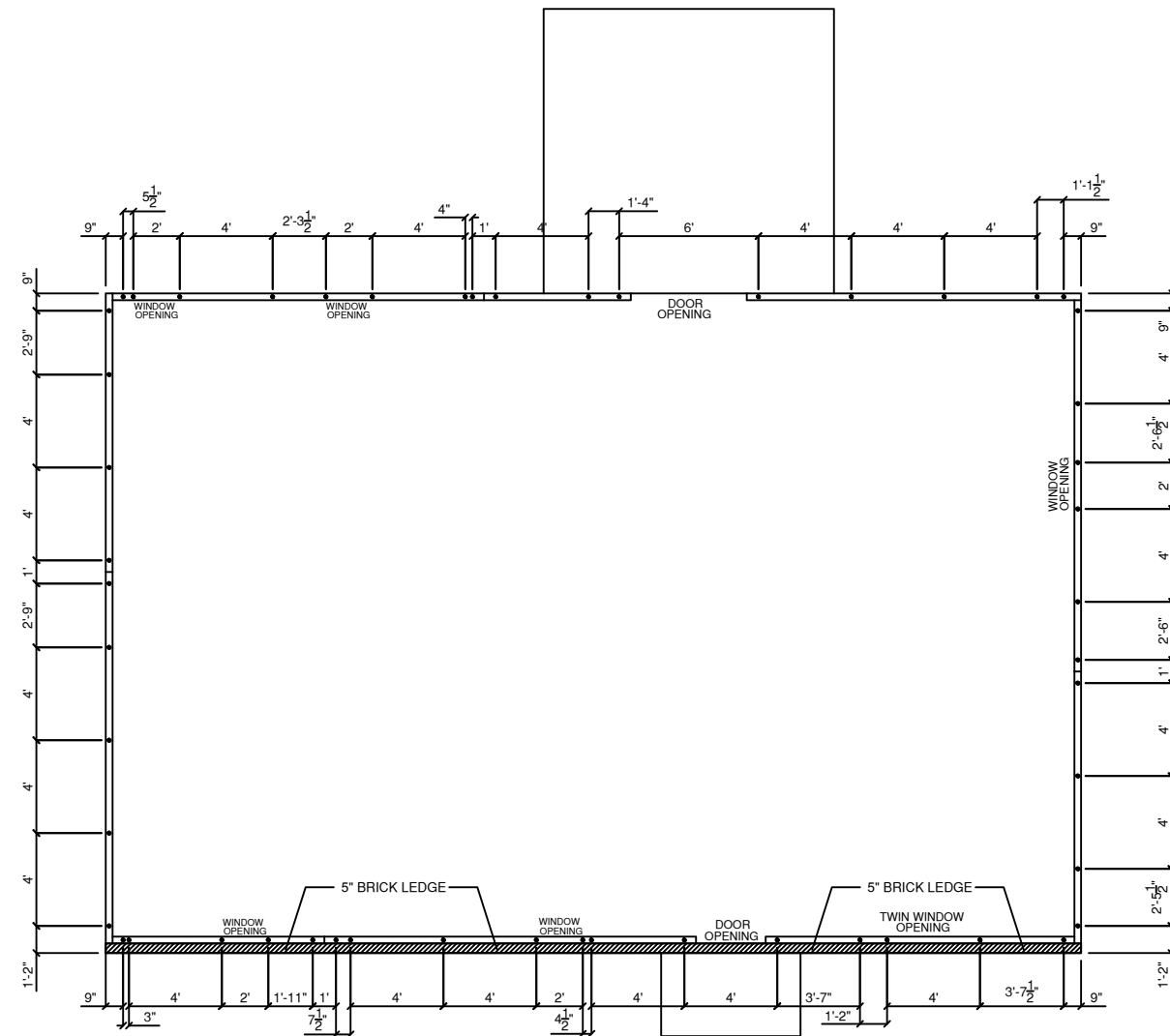
DRAFTING DATES:

PRELIMINARY: 05/11/2022 PJM
PERM:
FINAL:

Monolithic Foundation Plan

ASPEN
"Brick"

JEFFERSON



J-BOLT LOCATION PLAN
SCALE 1/4" = 1'-0"

JEFFERSON

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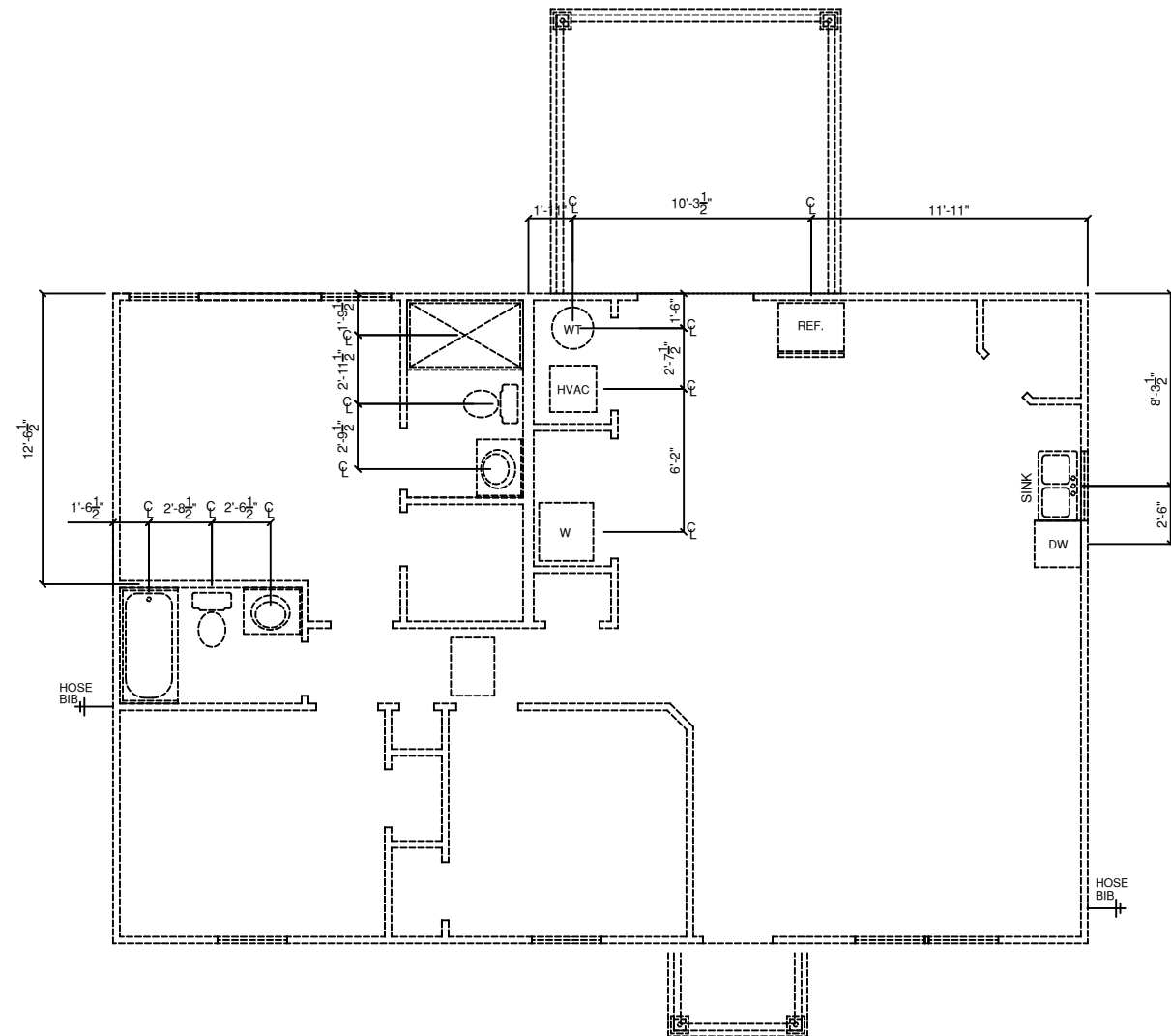


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LOT:	XXXXXXXXXX
DRAFTING DATES:	
PRELIMINARY:	05/11/2022 PJM
PERM:	
FINAL:	

"J" - BOLT PLAN

ASPEN
"Brick"



PLUMBING PLAN
SCALE: 1/8" = 1'-0"

JEFFERSON

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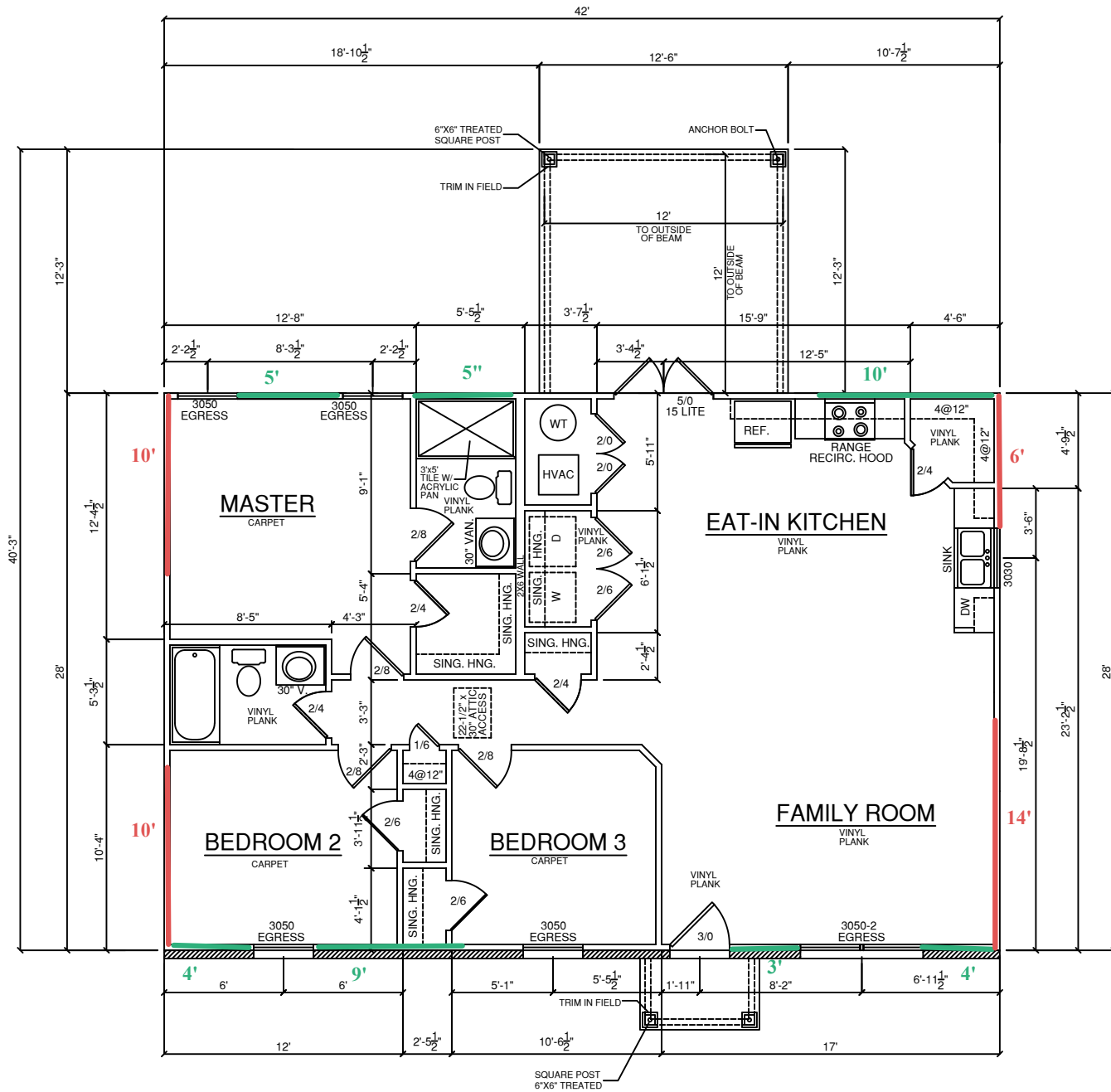
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PERM:	
FINAL:	

Plumbing Plan

ASPEN
"Brick"



FLOOR PLAN
SCALE 1/8" = 1'-0"

Trans. S. W. = 40'
Long. S. W. = 40'

JEFFERSON

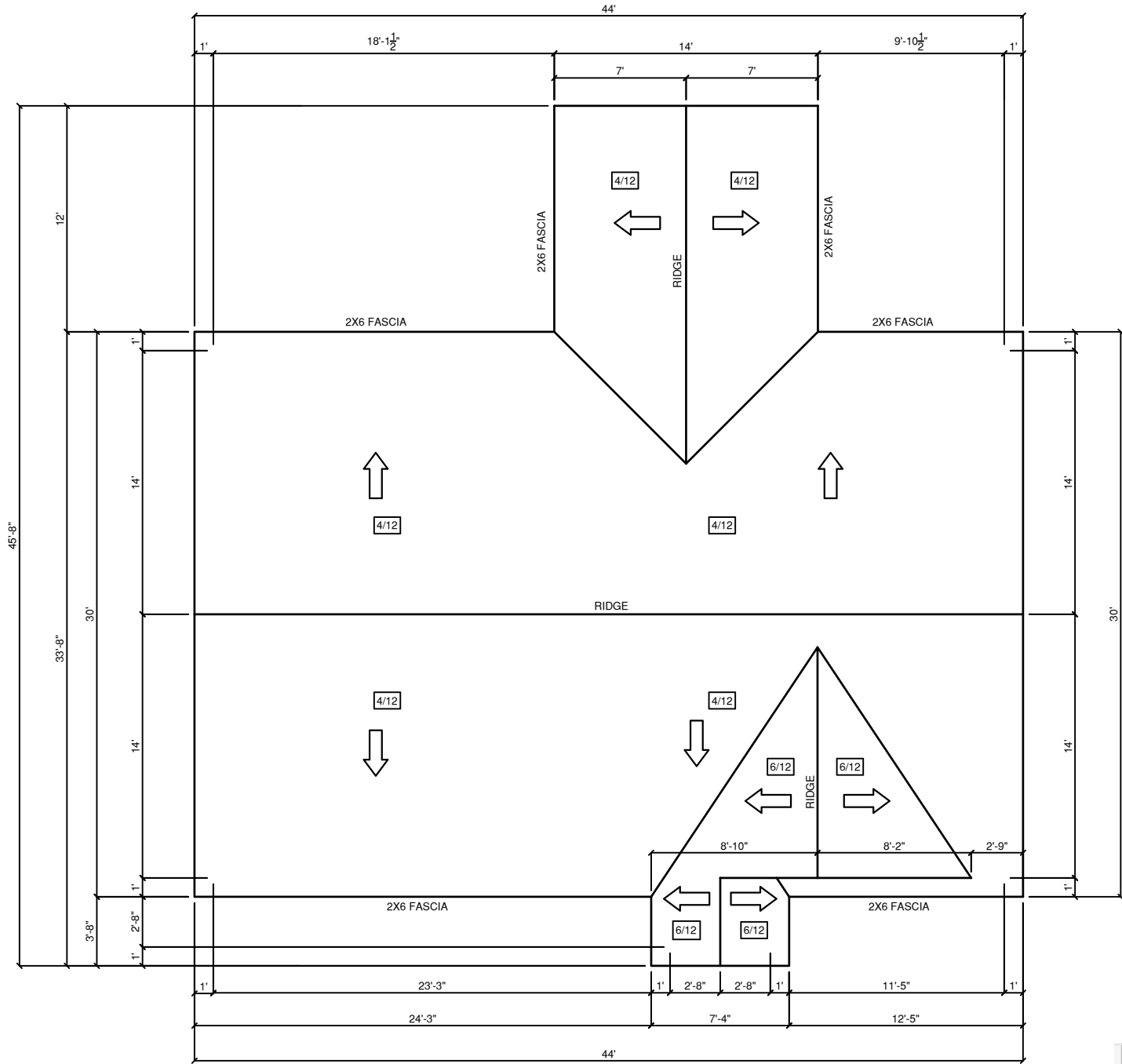
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RED DOOR
homes

SQUARE FOOTAGE CHART	
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LOT: XXXXXXXXXX	
DRAFTING DATES:	
PRELIMINARY: 05/11/2022 PJM PERM: FINAL:	
Floor Plan	
ASPEN "Brick"	



ROOF PLAN
SCALE 1/8" = 1'-0"

- OFF RIDGE VENTS -

Attic Vent Calculation					
Attic Area	1344 ÷	300	=		4.48
Vent Area Required	4.48 ÷	2	=		2.24
Locate in upper 1/2	2.24 ÷	0.72	=		3.11111
4 ft off Ridge vents	3				

JEFFERSON

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XXXXXXXXXX

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PERM:

FINAL:

Roof Plan

ASPEN
"Brick"

ELECTRICAL SYMBOLS

	RECEPTACLE, PHONE
	RECEPTACLE, CABLE
	DOOR BELL CHIMES
	SMOKE/CARBON DETECTOR (S.D.)
	DUPLEX OUTLET
	220 VOLT RECEOTICAL
	GROUND FAULT INTER. OUTLET
	WATER PROOF OUTLET
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	LIGHT, SURFACE MOUNTED
	LIGHT, WALL MOUNTED
	LIGHT, FLUORESCENT BOX
	LIGHT, TRACK LIGHTING
	FAN, EXHAUST
	FAN, CEILING FAN W/LIGHT

ELECTRICAL NOTES

1. ALL ELECTRICAL TO MEET N.E.C.

2. PROVIDE 200 AMP SINGLE PHASE SERVICE.

3. PROVIDE ALL COPPER WIRING.

4. CONTRACTOR TO CONNECT ALL FIXTURES AND APPLIANCES.

5. CONTRACTOR TO HAVE VALID LICENSE TO DO ELECTRICAL WORK

6. PROVIDE #5 REBAR ELECTRICAL GROUND TO FOUNDATION STEEL

7. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQ. BY NATIONAL FIRE PROTECTION ASSOC. (NFPA) AND MEETING THE REQUIRMENTS OF ALL GOVERNING CODES.

8. PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQ. BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIRMENTS OF ALL GOVERNING CODES.

9. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTICALS AT THE FOLLOWING HEIGHTS A. F. F.:

SWITCHES 42"

OUTLETS 14"

TELEPHONE 14"

TELEVISION 14"

ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

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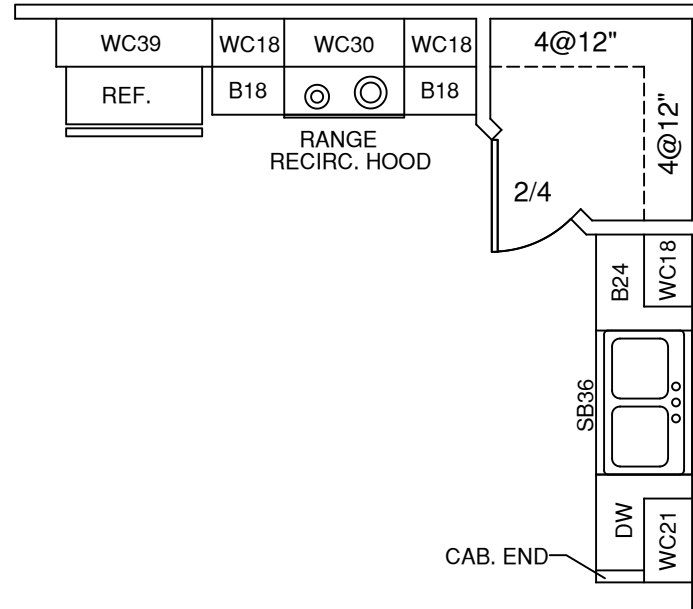
Electrical Plan

ASPEN
"Brick"

JEFFERSON

WC: WALL CABINET
B: BASE CABINET
SB: SINK BASE
CB: CORNER BASE

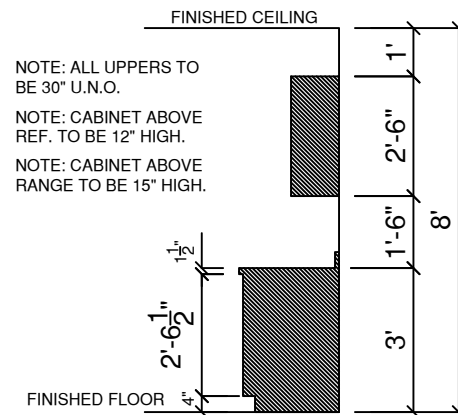
WC: WALL CABINET
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STD. KITCHEN PLAN

STD. KITCHEN PLAN

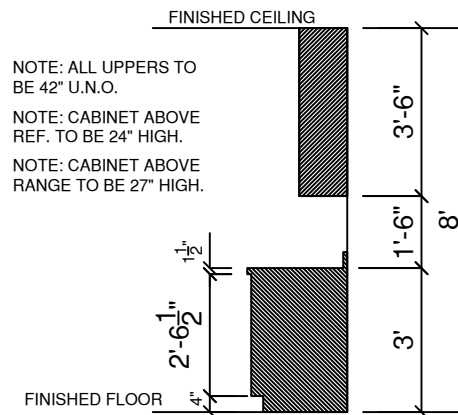
SCALE 1/4" = 1'-0"



STANDARD 30" WALL CABS.

STANDARD 30" WALL CABS.
SCALE: = 1/4" = 1'-0"

- ☐ OPTIONAL SCRIBE TRIM MLD'G.
- ☐ OPTIONAL CROWN MLD'G.



OPTIONAL 42" WALL CABS.

OPTIONAL 42" WALL CABS.
SCALE: = 1/4" = 1'-0"

- ☐ OPTIONAL SCRIBE TRIM MLD'G.
- ☐ OPTIONAL CROWN MLD'G.

GENERAL NOTES

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- 1.) MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE.
- 4.) ALL ANGLES TO BE DRAWN AT 45° OR 90° UNLESS NOTED OTHERWISE.
- 5.) WINDOW HEADER HEIGHT TO BE SET @ 6'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED & VERIFIED BY FRAMER, BUILDER, TRUSS SHOP OR BY A LICENSED ENGINEER.
- 6.) SIZE, LOCATION AND MATERIALS OF BEAMS, TRUSSES, GIRDERS AND HEADERS TO BE DETERMINED & VERIFIED BY BUILDER, FRAMER TRUSS SHOP OR LICENSED ENGINEER.
- 7.) FOOTER SIZE, MATERIAL & LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR OR LICENSED ENGINEER.
- 8.) ROOF VENTILLATION TO BE DETERMINED & VERIFIED BUILDER, ROOFING CONTRACTOR OR LICENSED ENGINEER.
- 9.) ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED & VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR AND OR LICENSED ENGINEER.
- 10.) BUILDER RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE & NATIONAL CODES.
- 11.) LOCAL, STATE AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS.
- 12.) BUILDER TO VERIFY ALL DIMENSIONS.

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NORTH CENTRAL FLORIDA



SQUARE FOOTAGE CHART

MAIN FLOOR AREA TO FRAMING:	1176
FRONT PORCH AREA:	24
REAR PORCH AREA:	144
TOTAL UNDER BEAM AREA	1344

SUBDIVISION NAME:

SUBDIVISION NAME:

CITY: _____

PHASE: _____

PHASE:	XXXXXXXXXX
--------	------------

BLOCK:	XXXXXXXXXX
--------	------------

LOT:	XXXXXXXXXX
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DRAFTING DATES:

PRELIMINARY: 05/11/2022 PJM

PRELIMINARY: 05/11/2022 PJM
 PERM:

PRELIMINARY: 05/11/2022 PJM
 PERM:
 FINAL:

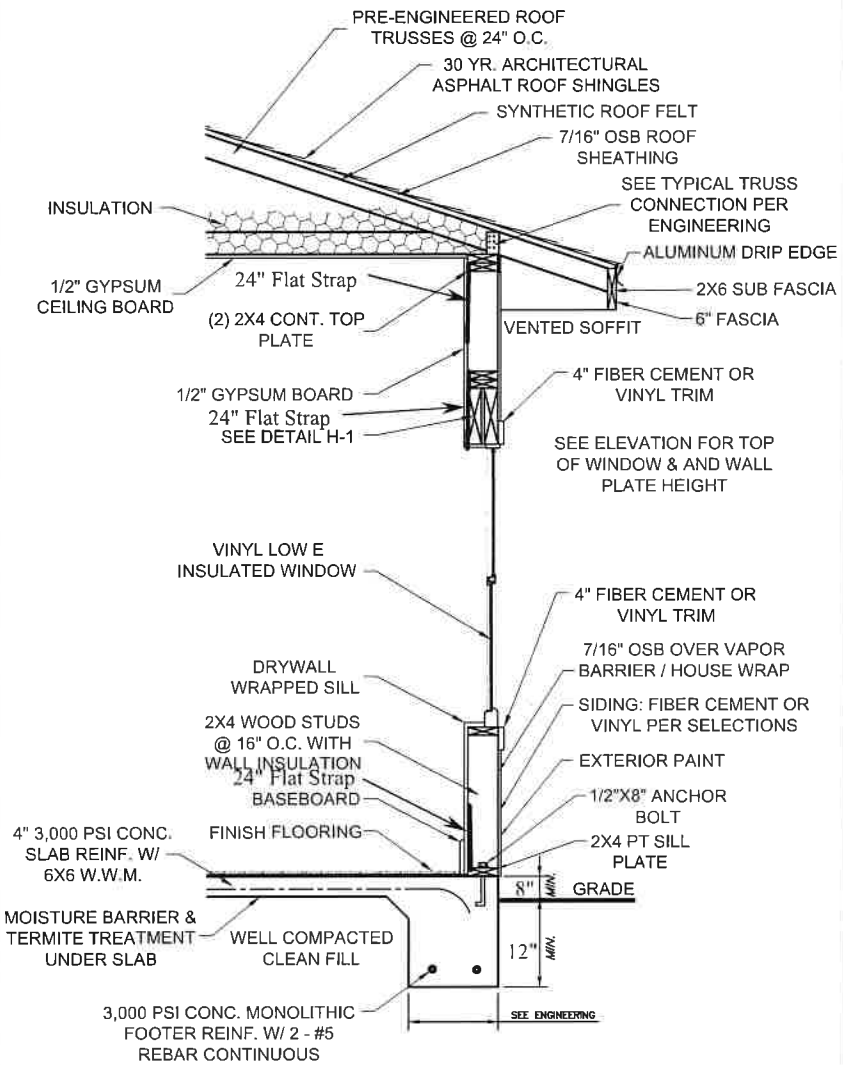
Cabinet Plan

ASPEN
"Brick"

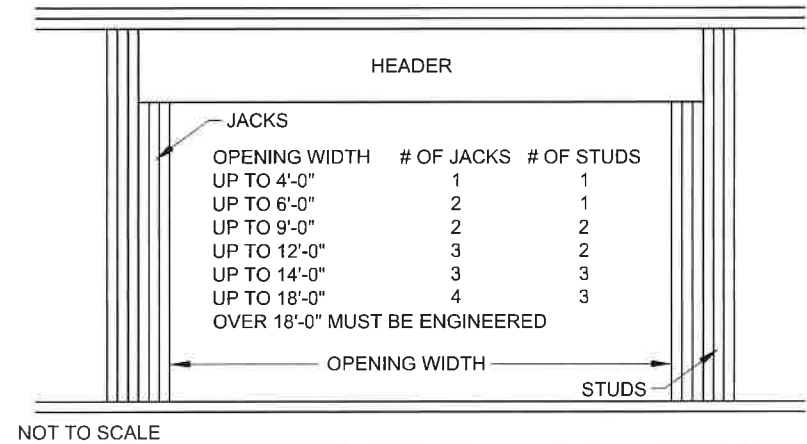
JEFFERSON

TWS-1

TYPICAL WALL SECTION



NUMBER OF JACK AND STUD REQUIREMENTS PER OPENING WIDTH
2X4 OR 2X6 SPF #1&2 CONSTRUCTION - MAX WALL HEIGHT = 12'-0"
BASED ON 16" O.C. STUD SPACING



HOLD-DOWN TABLE

WOOD SECTIONS	UPLIFT FORCE LBS	TOP CONNECTOR SIMPSON**	RATING LBS	BOTTOM CONNECTOR SIMPSON**	RATING LBS
HEADERS					
	UP TO 455 LBS	LSTA9	775	H3	455
	UP TO 910 LBS	LSTA12	970	2-H3	910
	UP TO 1235 LBS	LSTA18	1235	LTT19	1350
	UP TO 1750 LBS	2-LSTA12	1940	LTT20	1750
	UP TO 2470 LBS	2-LSTA18	2470	HD2A-2.5	2565
	UP TO 2775 LBS	3-LSTA18	3705	HD2A-3.5	2775
	UP TO 3705 LBS	3-LSTA18	3705	HD5A-3	3705

TO DETERMINE UPLIFT FORCE ON HEADER AT EACH END, TOTAL THE UPLIFTS FOR EACH TRUSS RESTING ON THE HEADER AND DIVIDE BY 2 (ASSUMES UNIFORM LOAD) NOTE: MUST USE PROPER BOLT ANCHORS SUFFICIENT TO SUPPORT REQUIRED LOAD.

TRUSSES/GIRDERS - UPLIFT

UP TO 600 LBS - USE H2.5A TOP, NO SPECIAL DEVICE REQUIRED AT BOTTOM
600 LBS TO 990 LBS USE H10 TOP, NO SPECIAL DEVICE REQUIRED AT BOTTOM
UP TO 1215 LBS USE TS22 OR EQUIVALENT AT TOP AND LTT19 AT BOTTOM
UP TO 1750 LBS USE 2-TS22 OR EQUIVALENT AT TOP AND LTT20 AT BOTTOM
UP TO 2430 LBS USE 2-TS22 OR EQUIVALENT AT TOP AND HD2A AT BOTTOM
UP TO 3645 LBS USE 3-TS22 OR EQUIVALENT AT TOP AND HD5A AT BOTTOM

NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO USE PROPER ANCHOR BOLTS AND PROVIDE A CONTINUOUS LOAD PATH FROM TRUSS/RAFTER/RIDGE BEAM TO FOUNDATION

STRAP RAFTERS TO TRUSS OR AT EACH END WITH MIN UPLIFT RESISTANCE OF 450 LBS EACH END. STRAP RIDGE BEAM AT EACH END WITH MIN UPLIFT RESISTANCE OF 1800 LBS

NOTE: FOUR (4) 12d COMMON TOENAILS (2 ON EACH SIDE) REQUIRED PER TRUSS/RAFTER PER BEARING POINT INTO PLATE TO RESIST BOTH LATERAL LOADS (WALL TO TRUSS) AND TRANSVERSE LOADS (MAX PLATE HEIGHT = 12", NOT INCLUDING GABLE)

HORIZONTAL RESISTANCE (FROM TRUSS LOADS) - NOTE: THESE DEVICES ARE IN ADDITION TO REQUIRED TOENAILS

UP TO 110 LBS - USE H2.5A
UP TO 525 LBS USE H10
UP TO 1090 LBS USE H10 PLUS A23

NOTE: HARDWARE TO BE USED MUST SATISFY BOTH UPLIFT AND HORIZONTAL RESISTANCE. COMBINATION OF DEVICES IS ACCEPTABLE.

BEAM SEATS POSTS	TOP LSTA18* 2-LSTA18	1235 2400	BOTTOM LTT19* ABU44* OR ABU66*	1350 2200
	* OR PER TRUSS ENGINEERING		* MUST USE PROPER ANCHOR BOLTS	

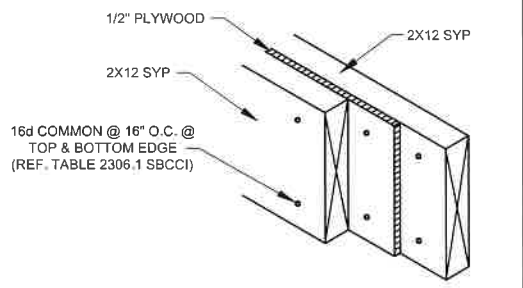
STUDS

WALL SHEATHING NAILING ADEQUATE EXTERIOR WALLS BOTTOM (8d NAILS @ 3" O.C.)
WALL SHEATHING NAILING ADEQUATE EXTERIOR WALLS TOP (8d NAILS @ 3" O.C.) AS LONG AS SHEATHING COVERS TOP PLATE, OTHERWISE USE SP2 @ 32" O.C. IN ADDITION TO SHEATHING NAILING.
USE SP2 TOP AND SP1 BOTTOM EACH STUD AND ANCHOR BOLTS @ 32" O.C. FOR ALL INTERIOR LOAD BEARING WALLS THAT HAVE UPLIFT. INTERIOR ANCHOR BOLTS TO BE 1/2"x8" A307 OR 1/2"x6" WEDGE ANCHORS WITH 2" WASHERS

NOTE: ALL BEAMS MUST BE SHEATHED OR STRAPPED TO DOUBLE TOP PLATE (IF APPLICABLE) AN EQUIVALENT DEVICE OF SAME OR OTHER MANUFACTURERS CAN BE SUBSTITUTED FOR ANY OF THE DEVICES SPECIFIED ON THIS PAGE AS LONG AS IT MEETS THE REQUIRED LOAD CAPACITIES.
NOTE: FOR NAILING INTO SPF MEMBERS, MULTIPLY TABLE VALUES BY .86

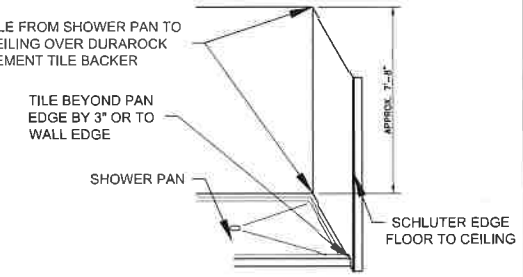
H-1

TYPICAL 2X4 WALL HEADER DETAIL



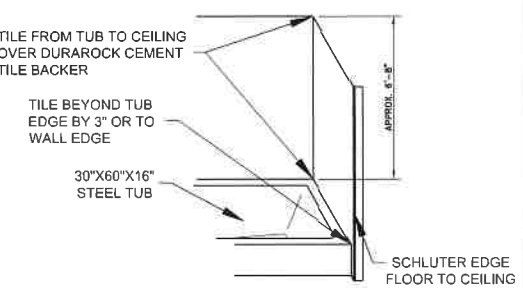
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TYPICAL SHOWER PAN TILE DETAIL



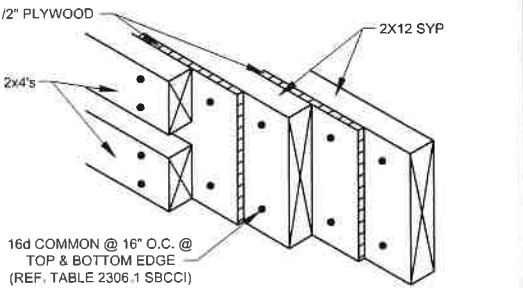
BT-1

TYPICAL BATH TUB TILE DETAIL



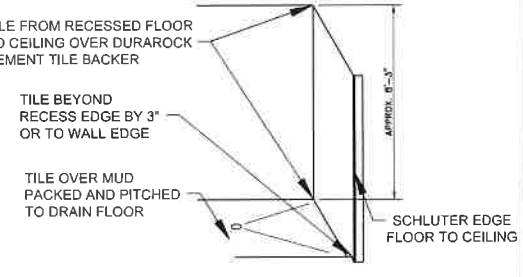
H-3

TYPICAL 2X6 WALL HEADER DETAIL



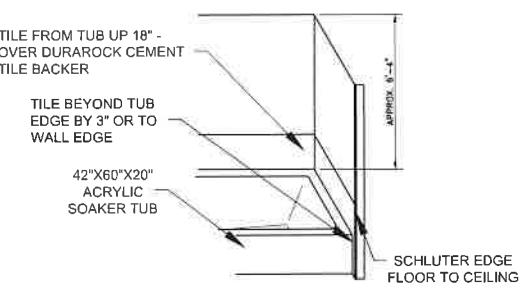
RS-1

TYPICAL RECESSED SHOWER TILE DETAIL



LT-1

TYPICAL LUXURY BATH TUB TILE DETAIL

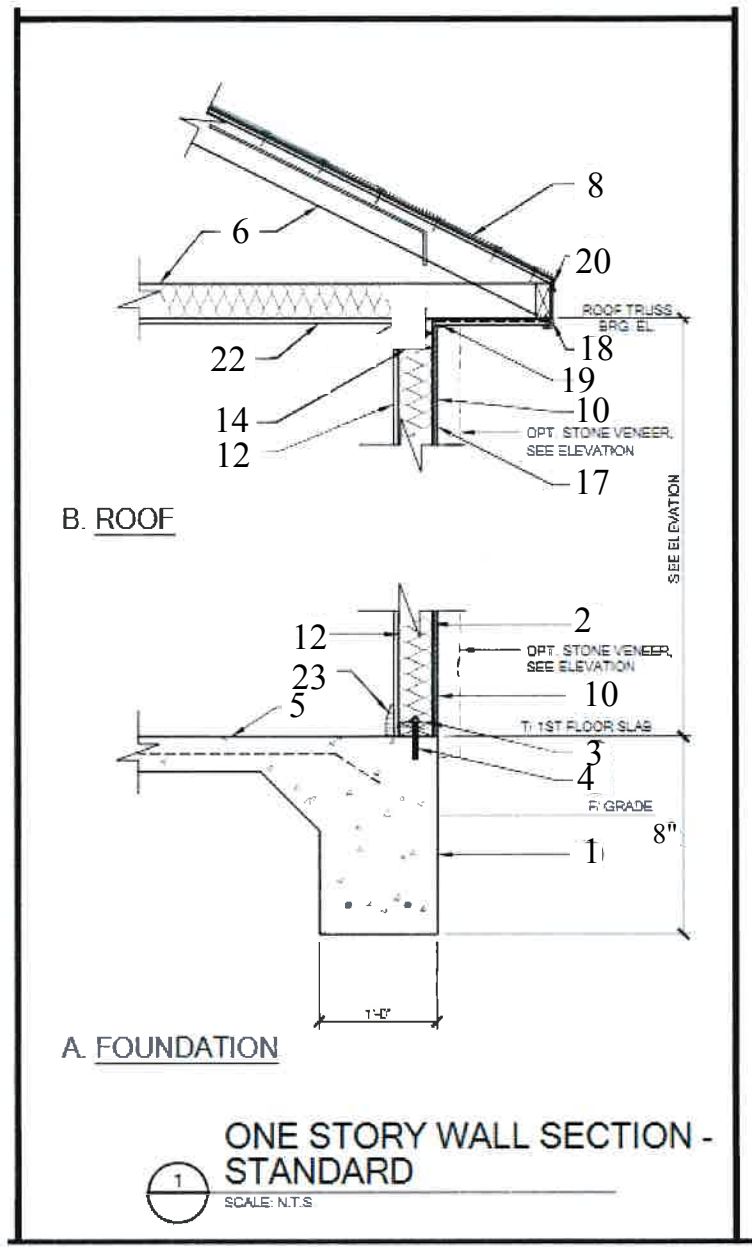
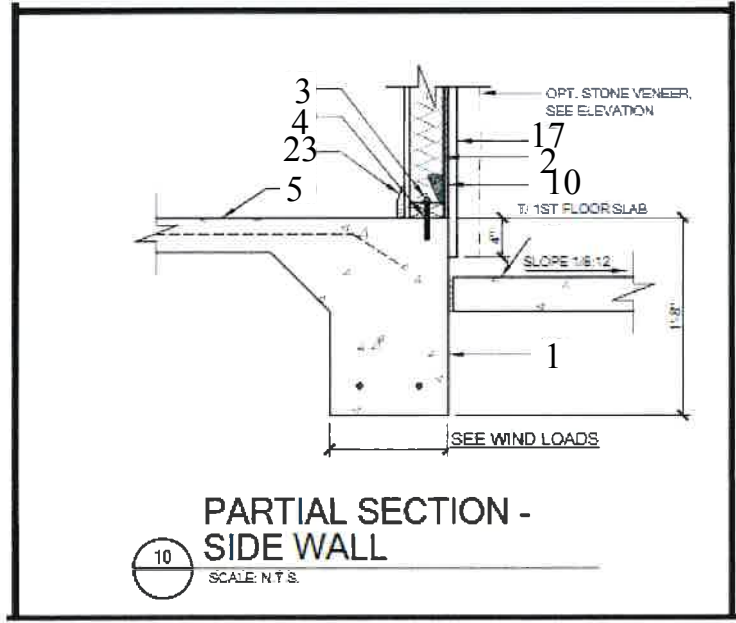
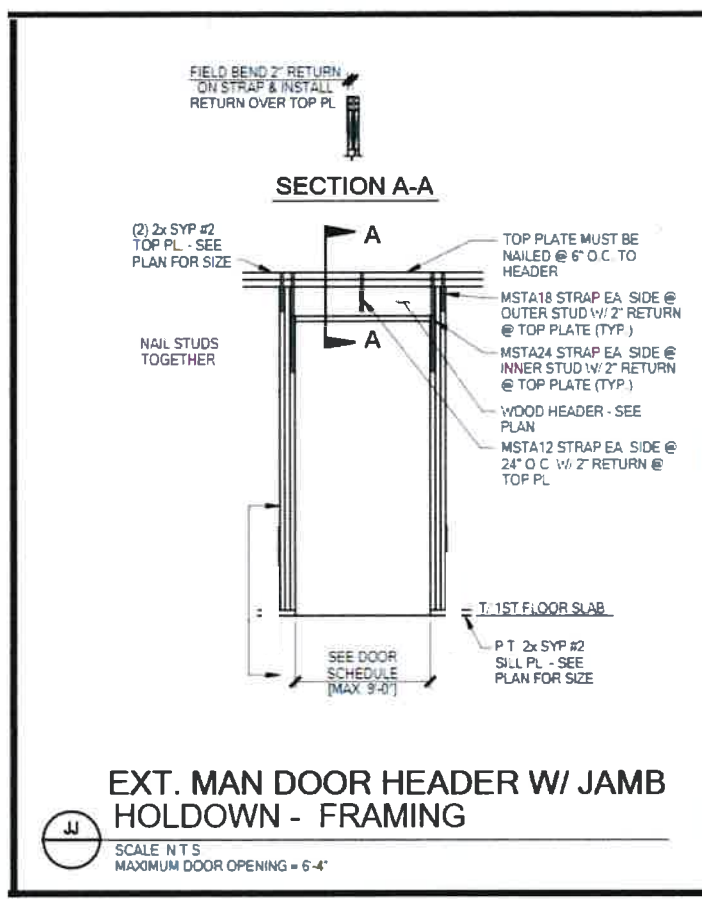
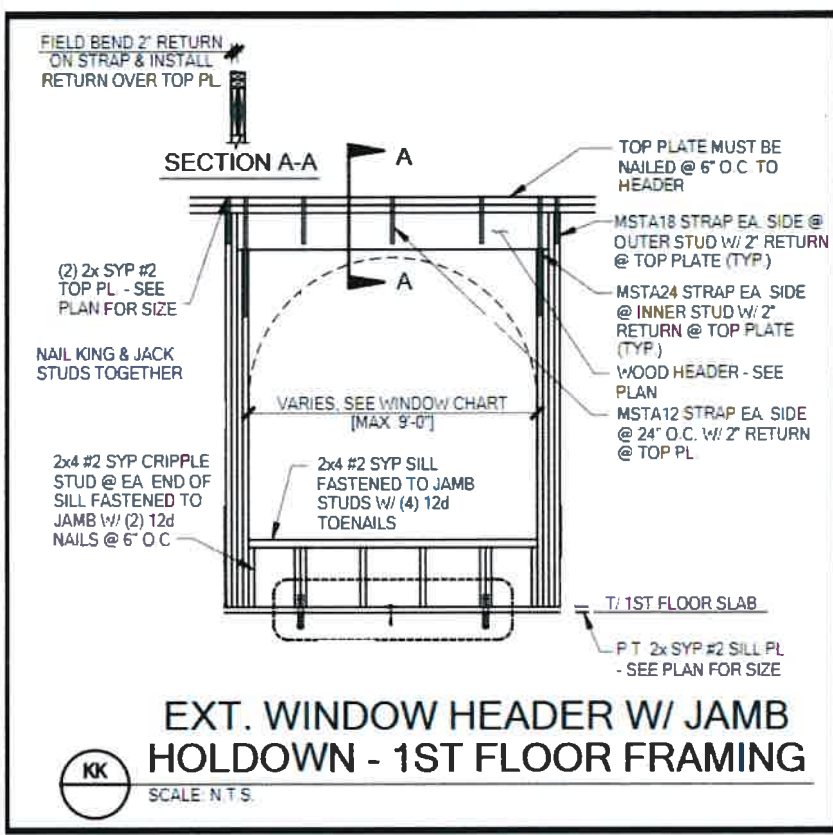


RED DOOR HOMES
7420 W NEWBERRY RD, SUITE B
GAINESVILLE, FL 32605
(352) 559-3050
#CB1262184



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DETAIL PAGE
SCALE (TYPICAL)
1/4" = 1'-0"
DRAWN BY
J.S.



- WALL SECTION KEY NOTES**
1. MONOLITHIC CONCRETE FOUNDATION. SEE FOUNDATION PAGE.
 2. 2X4 SYP #2 WOOD WALL OR COLUMN. SEE PLAN FOR SIZE. SPACING & CONNECTORS.
 3. (1) p.l. #2 SYP 2X4 SILL PLATE (UNLESS NOTED).
 4. SEE WIND LOADS FOR TYPICAL SILL PLATE FASTENING - ANCHORS OR HOLD-DOWNS SHALL BE INSTALLED IN EVERY SEPARATE PIECE OF SILL PL.
 5. CONCRETE SLAB (SEE PLAN)
 6. PRE-ENGINEERED ROOF TRUSSES @ 24" O.C., MAX. INSULATION w/ OPEN BAFFLE @ A/C SPACE LOCATIONS
 7. CONT. 2x4 SYP #2 PLATE FASTENED TO TOP PL. w/ 12d TOENAILS @ 6" O.C.
 8. ROOF ASSEMBLY:
UNDERLAYMENT SHALL CONFORM WITH ASTM D 226 TYPE II, FIBERGLASS SHINGLES. ASTM D 225, ASTM D 3462, ASTM D 3161 MODEL #20YR. CLASSIC AR. ATTACH w/ (6) 1 1/4" 11-12GA. w/ 3/8" HEAD ROOFING NAIL PER STRIP OR (2) PER INDIVIDUAL SHINGLE, ASPHALT SHINGLES MANUFACTURED BY OWENS CORNERING.
26GA. GALV. STEEL 4x4 L FLASHING
UNDERLYING SHALL BE PER FBC R905.1 OVER SHEATHING. SEE MANUFACTURE INSTALLATION INSTRUCTIONS.
7/16" OSB SHTG w/ 8d RING/ SCREW SHANK NAIL (AS PER R803.2.3.1)
4" O.C. EDGES AND 6" O.C. FIELD (3" O.C. @ GABLE END TRUSSES) w/ CLIPS ON TRUSSES.
 9. FLAT 7/16" OSB SOFFIT ON UNDERSIDE OF ROOF TRUSSES. ATTACH OSB TO TRUSSES w/ 8d NAILS @ 4" O.C. EDGES AND 4" O.C. FIELD OR 8d SCREW SHANK @ 4" O.C. EDGES AND 4" O.C. FIELD.
 10. 7/16" STRUCTURAL I OSB WALL SHEATHING ON EXT. WALLS w/ ALL EDGES BLOCKED & ATTACH w/ 8d NAILS @ 3" O.C. EDGES AND 6" O.C. FIELD OR 16GA. x 1 3/4" STAPLE @ 2" O.C. EDGES AND 4" O.C. FIELD.
 11. 2x4 #2 SYP BOTTOM PLATE, NAILED w/ 10d NAIL @ 6" O.C. TO 2x RIBBON OR INSIDE PLY OF DOUBLE PLY RIM BOARD
 12. 1/2" DRYWALL AND R-13 INSULATION.
 13. 2X WOOD HEADER OR BEAM @ OPENING, SEE SECOND FLOOR PLAN FOR SIZE & CONNECTORS.
 14. (2) 2x4 #2 SYP TOP PLATES
 15. SOLID BLOCKING BETWEEN FLOOR TRUSSES.
 16. 2x8 #1 SYP STUDS @ 16" O.C. OR 2x8 #2 SYP STUDS @ 12" O.C. @ AREAS OPEN FROM FIRST FLOOR TO 2ND FLOOR CEILING. STUDS SHALL BE CONT. FROM P.T. 2x8 SILL PL. TO (2) 2x8 TOP PL. ATTACHED STUDS TO TOP PL. & SILL PL. w/ (1) USP MP7 FRAMING ANGLE EA. END w/ (10) 10d x 1 1/2" NAILS.
 17. VINYL SIDING OR HARDI PANEL (STONE VENEER DASHED) - SEE ARCH. DWG'S. FOR REQUIREMENTS & INSTALL ALL COVERINGS PER MANUFACTURER RECOMMENDATIONS.
 18. ALUM. FASCIA ON 2x4 OR 2x6 SUB-FASCIA, 1 1/4" SS TRIM NAIL THRU FASCIA, SOFFIT AND INTO SUB-FASCIA @ 48" O.C.
 19. VENTED SOFFIT AND J-CHANNEL. STAPLE SOFFIT TO SUB-FASCIA @ 8" O.C. ATTACH J-CHANNEL w/ 3/8" X 5/8" STAPLE @ 16" O.C. INTO ROOF TRUSS OR SUB-FASCIA. INSTALL INTERMEDIATE 2x NAILERS AS REQ'D. USE CORROSION-RESISTANT FASTENERS FOR ALL SOFFITS & J-CHANNEL ATTACHMENTS
 20. METAL DRIP EDGE.
 21. VALLEY FLASHING. AS REQUIRED
 22. 1/2" CEILING BOARD w/ INSULATION AS REQUIRED.
 23. WOOD BASE (SEE ARCH. DWG'S.)
 24. PIER BASE AND CAP TRIM. SEE EXTERIOR ELEVATIONS.
 25. FASTEN 2ND FLOOR COL. TO RIM BOARD w/ (2) MSTA18'S & FASTEN RIM BOARD TO 1ST FLOOR COL. w/ (2) MSTA18'S