

Columbia County Building Permit Application

For Office Use Only Application # 0901-20 Date Received 1/15 By JW Permit # 27594
 Zoning Official BLK Date 23.01.09 Flood Zone X Land Use A-3 Zoning A-3
 FEMA Map # N/A Elevation N/A MFE 12.1 River N/A Plans Examiner WD Date 1-16-09
 Comments _____
☒ NOC/REH ☐ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
 IMPACT FEES: EMS \$29.88 Fire \$78.63 Corr \$409.76 Road/Code \$1,146.00 / 210
 School \$1,500.00 = TOTAL \$3,063.67

Septic Permit No. 09-0028-N Fax 352-622-3953

Name Authorized Person Signing Permit KEN LAKE Phone 352-620-8889

Address P.O. Box 684 SPARR, FL. 32192

Owners Name STERLING RIVERS Phone 386-454-5160

911 Address 21885 S US Hwy 441 High SPRINGS, FL. 32643

Contractors Name CHARLES P ROGERS Phone 813-752-1368

Address 605 S. FRONTAGE Rd PLANT City, FL. 33563

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address N/A

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 15-75-17-09991-000 Estimated Cost of Construction 181,700⁰⁰

Subdivision Name LEGAL ATTACHED Lot _____ Block _____ Unit _____ Phase _____

Driving Directions 441 south past O'LENO STATE PARK JUST PAST 778
ON LEFT ADDRESS 21885

Number of Existing Dwellings on Property NONE

Construction of 40X76 PALM HARBOR MODULAR Total Acreage 6.45 Lot Size 239' X 127'

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 14'

Actual Distance of Structure from Property Lines - Front 983 Side 60 Side 103 Rear 250

Number of Stories 1 Heated Floor Area 2920 Total Floor Area 2920 Roof Pitch 4-1

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment. even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.



Owners Signature

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.



Contractor's Signature (Permittee)

Contractor's License Number LBC 1253434
Columbia County
Competency Card Number _____

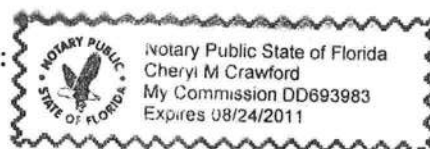
Affirmed under penalty of perjury to by the Contractor and subscribed before me this 14 day of JAN 2009.

Personally known ☒ or Produced Identification _____



State of Florida Notary Signature (For the Contractor)

SEAL:



DIRECT MOBILE CONNECTIONS, Inc.

PAGE 2 CUSTOMER STERLING RIVERS DATE 1-8-09

STANDARD PACKAGE CONSISTING OF FOLLOWING ITEMS:

4" DIAMETER, BLACK STEEL CASED WELL DRILLED UP TO 100'
¾ HP. 16 GPM SUBMERSIBLE PUMP WITH 42 GAL. EQUIVALENT PRE-CHARGED TANK WITH CONTROL VALVE.
900 GALLON CONCRETE SEPTIC TANK - BELOW GRADE SYSTEM
STANDARD DRAINFIELD FOR MOBILE HOME SIZE/BEDROOMS BASED ON 1.20 SOIL TEST
200 AMP 8 CIRCUIT SERVICE WITH MAIN ☒ Overhead ☐ Underground (wood - concrete)
4 WIRE CIRCUIT TO MOBILE HOME UP TO 75 FEET
20 AMP 230 VOLT CIRCUIT TO PUMP UP TO 100 FEET
SEWER DRAIN TO SEPTIC SYSTEM WITHIN 15 FEET OF MOBILE HOME
¾ INCH PVC PR-160 WATER LINE UP TO 100 FEET WITH ¾" GATE VALVE AND ONE HOSE BIB
PERMITS FOR PLACEMENT, PLUMBING, ELECTRICAL, SEPTIC AND WELL

PRICE FOR ABOVE PACKAGE \$ 7950.00

UPGRADES AND ADDITIONAL WORK

UPGRADES

UPGRADE PUMP AND TANK TO _____ HP WITH _____ TANK..... \$ _____
UPGRADE SEPTIC SYSTEM TO 1050 WITH STANDARD DRAINFIELD..... \$ 550.00
UPGRADE WATERLINE TO _____ SCH..... \$ _____
UPGRADE PUMP CIRCUIT TO # _____ AWG WIRE FOR VOLTAGE DROP..... \$ _____
OTHER..... \$ _____
\$ _____
\$ _____

PRICE FOR PACKAGE, UPGRADES AND ADDITIONAL WORK (LESS EXTRA'S)..... \$ 8500.00

NOTES*

- * EXTRA WELL DEPTH WILL BE BILLED AT \$ 16.00 PER FOOT
- * EXTRA DRAINFIELD WILL BE BILLED AT \$ 5.00 PER SQUARE FOOT
- * EXTRA M/H CIRCUIT OVER 75' WILL BE BILLED AT \$ _____ PER FOOT.
- * EXTRA PUMP CIRCUIT OVER 100' WILL BE BILLED AT \$ _____ PER FOOT.
- * EXTRA WATER LINE OVER 100' WILL BE BILLED AT \$ _____ PER FOOT.
- * MOUND TYPE SYSTEM WILL BE PRICED UPON OBTAINING SPECIFICATIONS FROM THE HEALTH DEPARTMENT

SPECIAL INSTRUCTIONS _____

PAYMENTS

WE PROPOSE TO FURNISH MATERIAL AND LABOR AS STATED ABOVE FOR THE SUM OF \$ 8500.00
PLUS COUNTY IMPACT FEE OF \$ 3800.00 WITH PAYMENTS AS FOLLOWS:
DEPOSIT TO BE PAID BY OWNER \$ _____ BALANCE DUE ON COMPLETION \$ 8500.00

TERMS AND CONDITIONS

Site plan is based on information supplied by customer, therefore customer assumes sole responsibility for location of mobile home, set backs, site improvements and zoning requirements. Location of all improvements on site plan are general locations and subject to change at the time of installation due to unusual or unanticipated conditions. Customer understands and agrees to have their electrical service location verified by their power company or will assume responsibility for their chosen location. Additional requirements for flood- prone, environmental sensitive or delineated areas are not included in this package. Direct Mobile Connections, Inc. (DMC) can not guarantee the quantity or quality of any water obtained nor the depth of the well. Customer agrees to hold DMC harmless for damage to driveways, walks, trees, plants, land (including ruts and sinkholes) and buildings caused by moving and using heavy equipment on job site. Customer will be responsible for re-inspection fees caused by rejected items not included in this proposal and failure to have home unlocked for inspector. Charges for additional or extra work are due and payable when they occur. Utility companies deposits, hookup fees and primary service lateral (if needed) are not included and must be paid separately. Contract balance due on completion of the items indicated on this proposal, after 10 days, unpaid balance will be assessed 1.5% per month carrying charge. If it becomes necessary to enforce this contract, customer agrees to pay all cost for collection including a reasonable attorney's fee whether or not suit is filed. In any legal proceeding arising out of this contract, customer agrees that venue shall lie in Marion County, Florida. Customer understands he or she is contracting directly with DMC and is responsible for any unpaid balance until paid in full. All work includes one (1) year parts and labor warranty. All agreements and understandings are contained herein and there are no verbal agreement or representation not herein contained. By signing below, the customer accepts the above prices, specifications and conditions.

Customer [Signature]
Salesman _____

Date _____
Date _____

Prepared By:
THOMAS M. EGAN, Chartered
2107 SE 3rd Avenue
Ocala, FL 34471

Inst: 2004005814 Date: 03/16/2004 Time: 09:09
Doc Stamp-Deed: 2275.00
JACK DC, P. DeWitt Cason, Columbia County B:1009 P:2133

Parcel ID #:
Grantee SS#:

WARRANTY DEED

THIS INDENTURE, made this March 15, 2004, Between GREGORY MONTGOMERY, unmarried widower of Jennifer Montgomery, Grantor, and PENNY GENE RIVERS AND STERLING PAGE RIVERS, her husband, and MICHAEL TAYLOR RIVERS, whose Post Office Address is 21835 S. Hwy 441, High Springs, Florida 32643 Grantees.

WITNESSETH:

That said Grantor, for and in consideration of the sum of Ten and No/100 Dollars, and other good and valuable consideration to said Grantor in hand paid by said Grantee, receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, and Grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:


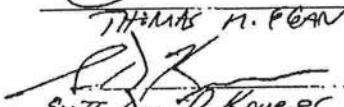
See Attached Exhibit A.

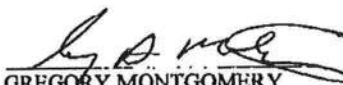
Subject to taxes for 2004 and subsequent years, and easements and restrictions of record.

AND SAID GRANTOR does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

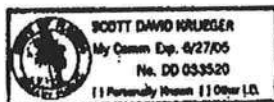
Signed, sealed and
delivered in our presence:


THOMAS M. EGAN

Scott David Krueger


GREGORY MONTGOMERY
Address: 14776 N. Magnolia Ave.
Citra FL 32113

STATE OF FLORIDA
COUNTY OF MARION

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgements, personally appeared GREGORY MONTGOMERY, who produced Florida MS 221-56 for identification, and is the person described in and who executed the foregoing instrument and he acknowledged before me that he executed the same this March 15, 2004.




Notary Public
My commission expires:

Exhibit A

Inst:2004005814 Date:03/16/2004 Time:09:09


Doc Stamp-Deed : 2275.00

DC, P. DeWitt Cason, Columbia County B: 1009 P: 2134

Parcel 1:

PID#15-7S-17-09991-000

A Parcel of land in Section 15, Township 7 South, Range 17 East, COLUMBIA County, Florida, being more particularly described as follows:

 Begin at the Southwest corner of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$ and run Northerly along the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$, 3.625 chains for a Point of Beginning; thence run Easterly 19.3 chains parallel to the Southern boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$; thence Northerly 3.625 chains; thence Westerly 19.3 chains to the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$; thence Southerly along the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$ 3.625 chains to the Point of Beginning.

Parcel 2:

PID#15-7S-17-09991-001

Begin at the Southwest corner of the North $\frac{1}{4}$ of Northwest $\frac{1}{4}$; Section 15, Township 7 South, Range 17 East, COLUMBIA County, Florida and run Northerly along the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$, 10.875 chains (717.75 feet) for a Point of Beginning; and thence run Easterly 19.3 chains (1273.80 feet) parallel to the Southern boundary line of North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$; thence Northerly 3.625 chains (239.25 feet); thence Westerly 19.3 chains (1273.80 feet) to the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$; thence Southerly along the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$, 3.625 chains (239.25 feet) to the Point of Beginning. The West 100.00 feet thereof subject to right of way for State Road No. 25 (U.S. Highway No. 41).

Parcel 3:

PID#15-7S-17-09991-002

Section 15, Township 7 South, Range 17 East, and being more particularly described as follows:

Begin at the Southwest corner of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$ and run Northerly along the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$, 7.25 chains (473.50 feet) for a Point of Beginning; and run thence Easterly 19.3 chains (1273.80 feet), parallel to the Southern boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$; thence Northerly 3.625 chains (236.25 feet), thence Westerly 19.3 chains (1273.80 feet) to the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$; thence Southerly along the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$, 3.625 chains (239.25 feet) to the Point of Beginning. The West 100 feet thereof being subject to right of way for State Road No. 25 (U.S Hwy No. 41).

Palm Harbor Construction



605 S Frontage Road
Plant City, FL 33563
Phone: 813-752-1368
Fax: 813-659-1224
CBC1253434
IH0000607

POWER OF ATTORNEY

January 6, 2009

Columbia County
Customer: Rivers

To Whom It May Concern:

I, Charles P. Rogers, do hereby give my permission to Ken Lake to apply for, sign for and pick up a permit on my behalf for the property at 21835 S. Hwy 441 High Springs, Fl.

Thank You,

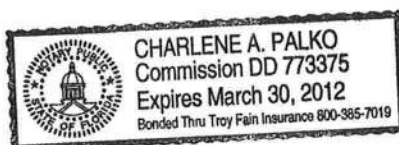
Charles P. Rogers
CBC1253434

State of Florida
County of Hillsborough

Subscribed and sworn to before me this 6th day of January, 2009, by Charles P. Rogers., who is personally known to me.

Notary Public:

Notary Seal:



Columbia County Property Appraiser

DB Last Updated: 1/12/2009

2008 Tax Year

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 15-7S-17-09991-000

Owner & Property Info

Search Result: 1 of 1

Owner's Name	RIVERS PENNY GENE &		
Site Address			
Mailing Address	STERLING PAGE RIVERS & MICHAEL TAYLOR RIVERS 21835 S HWY 441 HIGH SPRINGS, FL 32643		
Use Desc. (code)	VACANT (000000)		
Neighborhood	15717.00	Tax District	3
UD Codes	MKTA02	Market Area	02
Total Land Area	6.450 ACRES		
Description	COMM SW COR OF NW1/4 OF NW1/4, RUN N 239.25 FT FOR POB, RUN E 1273.8 FT, N 239.25 FT, W 1273.8 FT, S 239.25 FT TO POB, EX RD R/W. ORB 403-470, 692-05, WD 948-2333, DC MELAINE JENNIFER MONTGOMERY 1009-2132, WD 1009-2133.		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$42,463.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$42,463.00

Just Value	\$42,463.00
Class Value	\$0.00
Assessed Value	\$42,463.00
Exempt Value	\$0.00
Total Taxable Value	\$42,463.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
3/15/2004	1009/2133	WD	I	U	01	\$325,000.00
3/8/2002	948/2333	WD	V	Q		\$27,000.00
7/5/1989	692/5	WD	V	Q		\$15,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	6.450 AC	1.00/1.00/1.00/1.00	\$6,583.50	\$42,463.00

**FAX
MEMORANDUM****MEMORANDUM****FLORIDA DEPARTMENT OF TRANSPORTATION**

To: Mr. John Kerce, Dept. Director
Columbia Co. Building & Zoning Dept.
Fax No: 386-758-2160

From: Dale L. Cray, FDOT Permits Insp.
Date: 1-20-2009 **Fax No.** 386-961-7183
Attention: Col Co. Building Zoning Dept.

☐ Sign and return. ☐ For your files. ☐ Please call me. ☒ FYI ☐ For Review

REF: Existing Res. D/W / Inspected On: 1-20-2009

PROJECT: Mr. Sterling P. Rivers & Michael T. Rivers

PARCEL ID No: 15-7s-17-09991-000 **Permit No :** N/A **Sec No :** 29030

MILE POST: N/A

APP. NO : N/A

Mr. Kerce:

Please accept this as our legal notice of final passing inspection for (Mr. Sterling & Michael Rivers) for an Existing Res. Driveway. The project is located, 21835 S Hwy 441 High Springs, Fl. 32643.

The existing Access has been inspected and (Approved) and, meets FDOT Standard Requirements.

If further information is required on this project please do not hesitate to contact this office for additional access permitting information details. My office number is 961-7193 or 961-7146.

Sincerely,



Dale L. Cray

Access Permits Inspector

0901-20

Columbia County Property Appraiser

DB Last Updated: 1/12/2009

2008 Tax Year

[Tax Record](#)
[Property Card](#)
[Interactive GIS Map](#)
[Print](#)

Parcel: 15-7S-17-09991-000

Search Result: 1 of 1

Owner & Property Info

Owner's Name	RIVERS PENNY GENE &		
Site Address			
Mailing Address	STERLING PAGE RIVERS & MICHAEL TAYLOR RIVERS 21835 S HWY 441 HIGH SPRINGS, FL 32643		
Use Desc. (code)	VACANT (000000)		
Neighborhood	15717.00	Tax District	3
UD Codes	MKTA02	Market Area	02
Total Land Area	6.450 ACRES		
Description	COMM SW COR OF NW1/4 OF NW1/4, RUN N 239.25 FT FOR POB, RUN E 1273.8 FT, N 239.25 FT, W 1273.8 FT, S 239.25 FT TO POB, EX RD R/W. ORB 403-470, 692-05, WD 948-2333, DC MELAINE JENNIFER MONTGOMERY 1009-2132, WD 1009-2133.		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$42,463.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$42,463.00

Just Value	\$42,463.00
Class Value	\$0.00
Assessed Value	\$42,463.00
Exempt Value	\$0.00
Total Taxable Value	\$42,463.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
3/15/2004	1009/2133	WD	I	U	01	\$325,000.00
3/8/2002	948/2333	WD	V	Q		\$27,000.00
7/5/1989	692/5	WD	V	Q		\$15,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dim	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	6.450 AC	1.00/1.00/1.00/1.00	\$6,583.50	\$42,463.00

Exhibit A


Inst:2004005814 Date:03/16/2004 Time:09:09

Doc Stamp-Deed : 2275.00

DC, P. Dewitt Cason, Columbia County B: 1009 P: 2134

Parcel 1:
PID#15-7S-17-09991-000

A Parcel of land in Section 15, Township 7 South, Range 17 East, COLUMBIA County, Florida, being more particularly described as follows:



Begin at the Southwest corner of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$ and run Northerly along the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$, 3.625 chains for a Point of Beginning; thence run Easterly 19.3 chains parallel to the Southern boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$; thence Northerly 3.625 chains; thence Westerly 19.3 chains to the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$; thence Southerly along the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$ 3.625 chains to the Point of Beginning.

Parcel 2:
PID#15-7S-17-09991-001

Begin at the Southwest corner of the North $\frac{1}{4}$ of Northwest $\frac{1}{4}$; Section 15, Township 7 South, Range 17 East, COLUMBIA County, Florida and run Northerly along the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$, 10.875 chains (717.75 feet) for a Point of Beginning; and thence run Easterly 19.3 chains (1273.80 feet) parallel to the Southern boundary line of North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$; thence Northerly 3.625 chains (239.25 feet); thence Westerly 19.3 chains (1273.80 feet) to the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$; thence Southerly along the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$, 3.625 chains (239.25 feet) to the Point of Beginning. The West 100.00 feet thereof subject to right of way for State Road No. 25 (U.S. Highway No. 41).

Parcel 3:
PID#15-7S-17-09991-002

Section 15, Township 7 South, Range 17 East, and being more particularly described as follows:

Begin at the Southwest corner of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$ and run Northerly along the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$, 7.25 chains (473.50 feet) for a Point of Beginning; and run thence Easterly 19.3 chains (1273.80 feet), parallel to the Southern boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$; thence Northerly 3.625 chains (236.25 feet), thence Westerly 19.3 chains (1273.80 feet) to the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$; thence Southerly along the Western boundary line of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$, 3.625 chains (239.25 feet) to the Point of Beginning. The West 100 feet thereof being subject to right of way for State Road No. 25 (U.S Hwy No. 41).

Return to:

Direct Mobile Connections, Inc.
PO Box 684
Sparr, FL 32192-0684

NOTICE OF COMMENCEMENT

Inst: 200912001108 Date: 1/26/2009 Time: 10:13 AM
DC, P DeWitt Cason, Columbia County Page 1 of 2 B:1165 P:2519

Permit No. \$ _____

Tax Folio/Parcel ID: 15-75-17-09981-000 State: FL County: Columbia

The undersigned hereby gives notice that improvement will be made to certain real property. In accordance with Chapter 713, Florida Statutes, the following information is provided in the Notice of Commencement:

1. Description of property (legal description, lot, block, and street address if available): 21895 S Hwy 441

HIGH SPRINGS, FL 32643 LEGAL ATTACHED
PARCEL 1

2. General description of improvement: RESIDENCE

3a. Owner name/address: STERLING RIVERS 21895 S HWY 441
HIGH SPRINGS, FL 32643

3b. Interest in property: OWNER

3c. Name and address of fee simple title holder (if other than owner): N/A

4. Contractor - Qualifier Name and Address: CHARLES P ROBERS 605 S FRONTAGE RD
PLANT CITY FL 33563

5. Surety - Name and Address: N/A

Amount of bond: \$ _____

6. Lender - Name and Address: N/A

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a) 7, Florida Statutes: N/A

8. In addition to him/herself, Owner designates the following person(s) to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes (Provide Name/Mailing Address):
N/A

9. NOC expiration date (one full year from the date of recording unless different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Verification pursuant to Section 92.825, Florida Statutes: Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Penny Rivers
Signature of Owner/A Natural Person
(or Owner's Authorized Officer/Director/Partner/Manager)

STATE OF FLORIDA

County of Marion

Date



TERESA A. STUMP

MY COMMISSION # DD 563266

EXPIRES: June 27, 2010

1-2-09

FL Notary Discount Assoc. Co.

The foregoing instrument was acknowledged before me this 2nd day of Jan, 2009 by

Penny Rivers (print name of person) as _____ (type of
authority, e.g. officer, trustee, attorney in fact) for _____ (name of party on
behalf of whom instrument was executed).

Teresa A. Stump
Notary Public



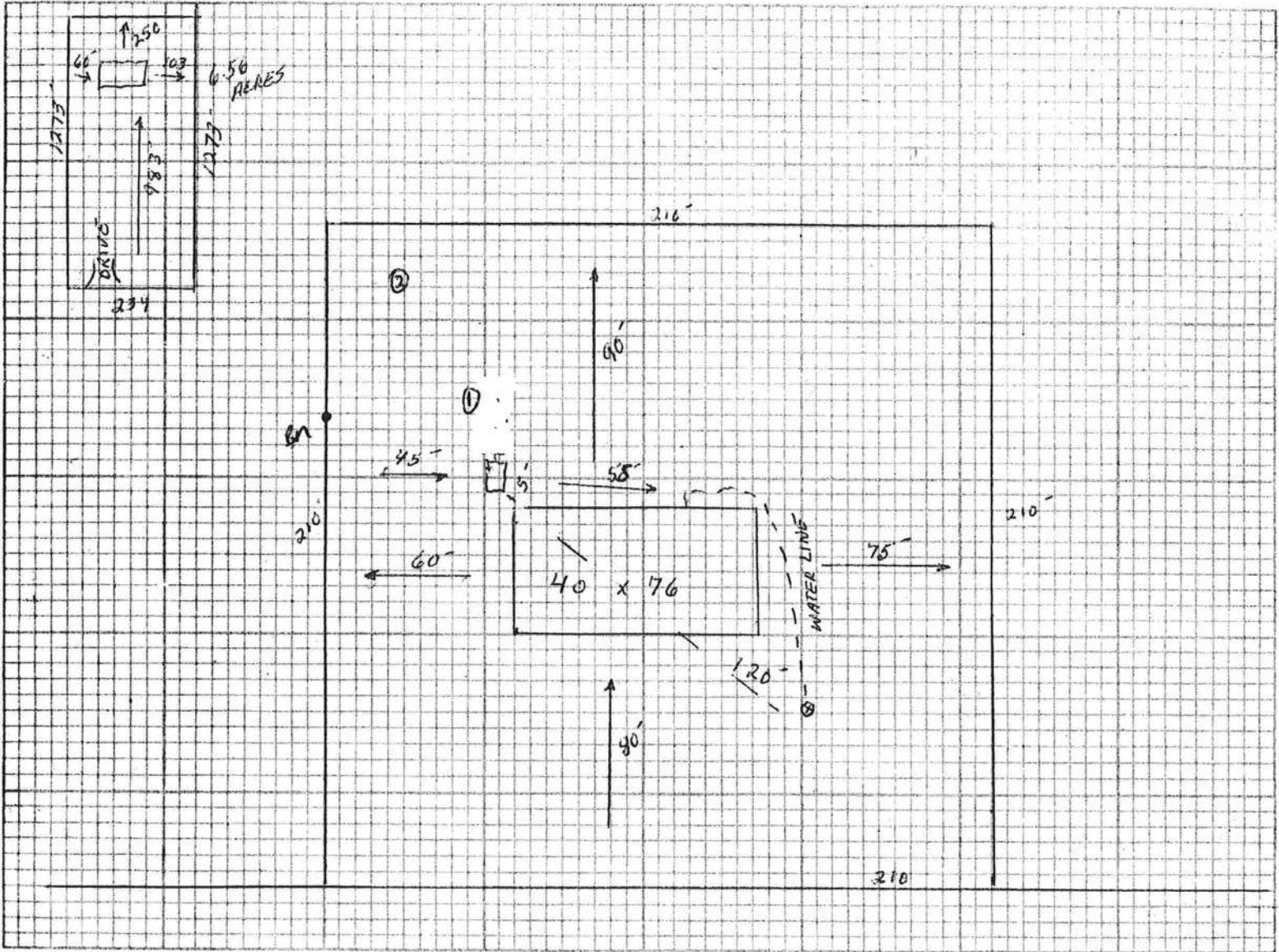
STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 09-0028-1

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: 1" = 50'

Site Plan submitted by: Ken Lake Signature
Plan Approved ☒ **APPROVED** Not Approved
By [Signature] Date 1-13-09
Columbia CHD County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

S/S/O
013906829

09-0028-N

PERMIT NO. AP 907649
DATE PAID: 1/13/09
FEE PAID: 425.00
RECEIPT #: 12-PLD-109232

FW

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: STERLING RIVERS

AGENT: KEN LAKE (DIRECT MOBILE) TELEPHONE: 352-620-8889

MAILING ADDRESS: P.O. Box 684 SPARR, FL. 32192 352-543-0566

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: _____ BLOCK: _____ SUBDIVISION: M-1 B LEGAL PLATTED: _____

PROPERTY ID #: 15-75-17-09991-000 ZONING: AG I/M OR EQUIVALENT: [Y / N]

PROPERTY SIZE: 6.56 ACRES WATER SUPPLY: [☒ PRIVATE PUBLIC []] <=2000GPD [] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [Y (N)] DISTANCE TO SEWER: 8 FT

PROPERTY ADDRESS: 21865 S. Hwy 441 High Springs, FL. 32643

DIRECTIONS TO PROPERTY: 441 S. Past Clearing 778 Just Past Address 21835 ON LEFT : Just Before Coleman

BUILDING INFORMATION

[☒ RESIDENTIAL [] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>Modular</u>	<u>4</u>	<u>2920</u>	
2	<u>1-15-09 - site not ready</u>			
3				
4				

☒ Floor/Equipment Drains [] Other (Specify) _____

SIGNATURE: Ken Lake DATE: 1-13-09

ENTERED

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: 2102-0744F FMX4766D	Builder: PHH
Address:	Permitting Office: COLUMBIA
City, State: ,	Permit Number:
Owner:	Jurisdiction Number: 221000
Climate Zone: South	

1. New construction or existing New <input type="checkbox"/>	12. Cooling systems
2. Single family or multi-family Single family <input type="checkbox"/>	a. Central Unit Cap: 56.5 kBtu/hr SEER: 13.00 <input type="checkbox"/>
3. Number of units, if multi-family 1 <input type="checkbox"/>	b. N/A <input type="checkbox"/>
4. Number of Bedrooms 4 <input type="checkbox"/>	c. N/A <input type="checkbox"/>
5. Is this a worst case? No <input type="checkbox"/>	13. Heating systems
6. Conditioned floor area (ft²) 2920 ft² <input type="checkbox"/>	a. Electric Heat Pump Cap: 58.7 kBtu/hr HSPF: 7.70 <input type="checkbox"/>
7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default)	b. N/A <input type="checkbox"/>
a. U-factor: Description Area	c. N/A <input type="checkbox"/>
(or Single or Double DEFAULT) 7a. (Dble, U=0.3) 290.0 ft² <input type="checkbox"/>	14. Hot water systems
b. SHGC:	a. Electric Resistance Cap: 50.0 gallons EF: 0.90 <input type="checkbox"/>
(or Clear or Tint DEFAULT) 7b. (Clear) 290.0 ft² <input type="checkbox"/>	b. N/A <input type="checkbox"/>
8. Floor types	c. N/A <input type="checkbox"/>
a. Raised Wood, Stem Wall R=11.0, 2920.0ft² <input type="checkbox"/>	15. HVAC credits PT, <input type="checkbox"/>
b. N/A <input type="checkbox"/>	(CF-Ceiling fan, CV-Cross ventilation,
c. N/A <input type="checkbox"/>	HF-Whole house fan,
9. Wall types	PT-Programmable Thermostat,
a. Frame, Wood, Exterior R=11.0, 1889.0 ft² <input type="checkbox"/>	MZ-C-Multizone cooling,
b. N/A <input type="checkbox"/>	MZ-H-Multizone heating)
c. N/A <input type="checkbox"/>	
d. N/A <input type="checkbox"/>	
e. N/A <input type="checkbox"/>	
10. Ceiling types	
a. Under Attic R=30.0, 2940.0 ft² <input type="checkbox"/>	
b. N/A <input type="checkbox"/>	
c. N/A <input type="checkbox"/>	
11. Ducts(Leak Free)	
a. Sup: Unc. Ret: Con. AH: Interior Sup. R=6.0, 290.0 ft <input type="checkbox"/>	
b. N/A <input type="checkbox"/>	

Glass/Floor Area: 0.10

Total as-built points: 29056

Total base points: 35825

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature]DATE: APPROVED AUG 05 2008

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: [Signature] Date: _____ Plan No. _____
Approved By **SCOTT S. FRANCIS**

DATE: _____

¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: 2102-0744F FMX4766D	Builder: PHH
Address:	Permitting Office: COLUMBIA
City, State: ,	Permit Number:
Owner:	Jurisdiction Number: 221000
Climate Zone: North	

1. New construction or existing New <input type="checkbox"/>	12. Cooling systems
2. Single family or multi-family Single family <input type="checkbox"/>	a. Central Unit Cap: 56.5 kBtu/hr <input type="checkbox"/>
3. Number of units, if multi-family 1 <input type="checkbox"/>	SEER: 13.00 <input type="checkbox"/>
4. Number of Bedrooms 4 <input type="checkbox"/>	b. N/A <input type="checkbox"/>
5. Is this a worst case? No <input type="checkbox"/>	c. N/A <input type="checkbox"/>
6. Conditioned floor area (ft²) 2920 ft² <input type="checkbox"/>	13. Heating systems
7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default)	a. Electric Heat Pump Cap: 58.7 kBtu/hr <input type="checkbox"/>
a. U-factor: Description Area	HSPF: 7.70 <input type="checkbox"/>
(or Single or Double DEFAULT) 7a. (Dble, U=0.3) 290.0 ft² <input type="checkbox"/>	b. N/A <input type="checkbox"/>
b. SHGC:	c. N/A <input type="checkbox"/>
(or Clear or Tint DEFAULT) 7b. (Clear) 290.0 ft² <input type="checkbox"/>	14. Hot water systems
8. Floor types	a. Electric Resistance Cap: 50.0 gallons <input type="checkbox"/>
a. Raised Wood, Stem Wall R=11.0, 2920.0ft² <input type="checkbox"/>	EF: 0.90 <input type="checkbox"/>
b. N/A <input type="checkbox"/>	b. N/A <input type="checkbox"/>
c. N/A <input type="checkbox"/>	c. Conservation credits <input type="checkbox"/>
9. Wall types	(HR-Heat recovery, Solar
a. Frame, Wood, Exterior R=11.0, 1889.0 ft² <input type="checkbox"/>	DHP-Dedicated heat pump)
b. N/A <input type="checkbox"/>	15. HVAC credits PT, <input type="checkbox"/>
c. N/A <input type="checkbox"/>	(CF-Ceiling fan, CV-Cross ventilation,
d. N/A <input type="checkbox"/>	HF-Whole house fan,
e. N/A <input type="checkbox"/>	PT-Programmable Thermostat,
10. Ceiling types	MZ-C-Multizone cooling,
a. Under Attic R=30.0, 2940.0 ft² <input type="checkbox"/>	MZ-H-Multizone heating)
b. N/A <input type="checkbox"/>	
c. N/A <input type="checkbox"/>	
11. Ducts(Leak Free)	
a. Sup: Unc. Ret: Con. AH: Interior Sup. R=6.0, 290.0 ft <input type="checkbox"/>	
b. N/A <input type="checkbox"/>	

Glass/Floor Area: 0.10

Total as-built points: 27402

Total base points: 36344

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature]
DATE: APPROVED AUG 05 2008

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____
DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: Approved By SCOTT S. FRANCIS
DATE: _____

¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: 2102-0744F FMX4766D	Builder: PHH
Address:	Permitting Office:
City, State: ,	Permit Number:
Owner:	Jurisdiction Number:
Climate Zone: Central	

1. New construction or existing New <input type="checkbox"/>	12. Cooling systems
2. Single family or multi-family Single family <input type="checkbox"/>	a. Central Unit Cap: 56.5 kBtu/hr <input type="checkbox"/>
3. Number of units, if multi-family 1 <input type="checkbox"/>	SEER: 13.00 <input type="checkbox"/>
4. Number of Bedrooms 4 <input type="checkbox"/>	b. N/A <input type="checkbox"/>
5. Is this a worst case? No <input type="checkbox"/>	c. N/A <input type="checkbox"/>
6. Conditioned floor area (ft²) 2920 ft² <input type="checkbox"/>	13. Heating systems
7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default)	a. Electric Heat Pump Cap: 58.7 kBtu/hr <input type="checkbox"/>
a. U-factor: Description Area	HSPF: 7.70 <input type="checkbox"/>
(or Single or Double DEFAULT) 7a. (Dble, U=0.3) 290.0 ft² <input type="checkbox"/>	b. N/A <input type="checkbox"/>
b. SHGC:	c. N/A <input type="checkbox"/>
(or Clear or Tint DEFAULT) 7b. (Clear) 290.0 ft² <input type="checkbox"/>	14. Hot water systems
8. Floor types	a. Electric Resistance Cap: 50.0 gallons <input type="checkbox"/>
a. Raised Wood, Stem Wall R=11.0, 2920.0ft² <input type="checkbox"/>	EF: 0.90 <input type="checkbox"/>
b. N/A <input type="checkbox"/>	b. N/A <input type="checkbox"/>
c. N/A <input type="checkbox"/>	c. N/A <input type="checkbox"/>
9. Wall types	15. HVAC credits PT, <input type="checkbox"/>
a. Frame, Wood, Exterior R=11.0, 1889.0 ft² <input type="checkbox"/>	a. Electric Resistance Cap: 50.0 gallons <input type="checkbox"/>
b. N/A <input type="checkbox"/>	EF: 0.90 <input type="checkbox"/>
c. N/A <input type="checkbox"/>	b. N/A <input type="checkbox"/>
d. N/A <input type="checkbox"/>	c. Conservation credits <input type="checkbox"/>
e. N/A <input type="checkbox"/>	(HR-Heat recovery, Solar
10. Ceiling types	DHP-Dedicated heat pump)
a. Under Attic R=30.0, 2940.0 ft² <input type="checkbox"/>	15. HVAC credits PT, <input type="checkbox"/>
b. N/A <input type="checkbox"/>	(CF-Ceiling fan, CV-Cross ventilation,
c. N/A <input type="checkbox"/>	HF-Whole house fan,
11. Ducts(Leak Free)	PT-Programmable Thermostat,
a. Sup: Unc. Ret: Con. AH: Interior Sup. R=6.0, 290.0 ft <input type="checkbox"/>	MZ-C-Multizone cooling,
b. N/A <input type="checkbox"/>	MZ-H-Multizone heating)

Glass/Floor Area: 0.10

Total as-built points: 26433

Total base points: 32706

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature]DATE: APPROVED AUG 05 2008

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: [Signature]DATE: [Signature]

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: Approved By SCOTT S. FRANCIS

DATE: [Signature]

¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

COLUMBIA COUNTY FLORIDA DEPARTMENT OF BUILDING AND ZONING

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 15-7S-17-09991-000

Building permit No. 000027594

Use Classification MODULAR/UTILITY

Fire: 12.22

Permit Holder CHARLES P. ROGERS

Waste: 16.75

Owner of Building STERLING RIVERS

Total: 28.97

Location: 21885 S US HIGHWAY 441, LAKE CITY, FL

Date: 09/01/2009



[Signature]
Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

Palm Harbor Construction



605 S Frontage Road
Plant City, FL 33563
Phone: 813-752-1368
Fax: 813-659-1224
CBC1253434
IH0000607

Letter of Authorization

September 1, 2009

Columbia County
Customer: Rivers

To Whom It May Concern:

I, Charles P. Rogers, do hereby give my permission to Robert Kolanowski to pick up Certificate of Occupancy on my behalf for the property at 21885 South US Hwy 441 High Springs, FL .

Thank You,

A handwritten signature in black ink, appearing to read 'Charles P. Rogers', with a long, sweeping horizontal stroke at the end.

Charles P. Rogers
CBC1253434

FLORIDA
STRUCTURAL LOAD LIMITATIONS:

1. FLOOR LIVE LOAD 40 PSF
2. ROOF LIVE LOAD 20 PSF
3. WIND LOAD:
150 mph WIND SPEED (3 sec gusts)(Refer to FloorPlan)
Iw = 1.0 WIND IMPORTANCE FACTOR
BUILDING CATEGORY II, ENCLOSED.
5. WIND EXPOSURE CATEGORY "C"
GCp1 = 0.18 INTERNAL PRESSURE COEFFICIENT(ENCLOSED)
7. D.W.P FOR C/C PSF
- Pr-Roof C/C load (EA=50)
- | Wind speed | 130 | 130E | 140 | 140E | 150 | 150E |
|---|--------|--------|--------|--------|--------|--------|
| Zone 1 | 33.5 | -36.4 | -35.0 | -42.3 | -44.6 | -48.4 |
| Zone 2 | 59.5 | -64.5 | -63.0 | -74.9 | -79.2 | -86.0 |
| Zone 3 | 59.5 | -64.5 | -63.0 | -74.9 | -79.2 | -86.0 |
| Roof Overhang (EA=10) | | | | | | |
| Zone 2 | -73.2 | -79.4 | -84.8 | -92.1 | -97.4 | -105.7 |
| Zone 3 | -123.1 | -133.6 | -142.7 | -154.9 | -163.8 | -177.8 |
| Pw= Wall C/C load Walls & Doors (EA=10) | | | | | | |
| Zone 4 | 42.6 | -46.2 | -49.3 | -53.5 | -56.6 | -61.5 |
| Zone 5 | 52.5 | -57.0 | -60.9 | -66.1 | -69.9 | -75.9 |
- Design pressures (GP) apply only for wind speeds > 109 mph.
Window and Door Jp ratings must meet or exceed those listed above for Zone 5 (within 76ft of ea corner) and Zone 4 (interior), for desired wind speed.
8. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT
9. FLOOD LOAD:
THIS BUILDING MAY BE LOCATED IN A FLOOD HAZARD AREA PROVIDED NO MODULAR PORTION OF THE BUILDING IS LOCATED BELOW A BASE FLOOD ELEVATION.
- NOTE:
NON-ELEVATED SET - 20 FT. M.R.H. MAX.
ELEVATED SET - 30 FT. M.R.H. MAX

CODE SUMMARY

FLORIDA	
STATE:	
<u>RESIDENTIAL:</u> 2004 FBC RESIDENTIAL W/05, 06, 07 SUPL.	<u>FIRE PREVENTION:</u> 2004 FL. FIRE PREVENTION
<u>ELECTRICAL:</u> 2005 N.E.C.	<u>LIFE SAFETY:</u> 2003 NFPA 101 LIFE SAFETY CODE
<u>MECHANICAL:</u> 2004 FBC RESIDENTIAL W/05, 06, 07 SUPL.	<u>FUEL:</u> 2004 FBC RESIDENTIAL W/05, 06, 07 SUPL.
<u>PLUMBING:</u> 2004 FBC RESIDENTIAL W/05, 06, 07 SUPL.	<u>ACCESSIBILITY:</u> 2004 FBC CHAPTER 11 2004 FL. ACCESSIBILITY CODE W/05, 06, 07 SUPL.
<u>ENERGY:</u> 2004 FL. ENERGY EFFICIENCY CODE W/05, 06, 07 SUPL.	

FLORIDA

Plumbing Systems - 2004 FBC, Residential; 2005, 2006, 2007 supplements.

1. All system shall be constructed with the materials listed in FBC, Residential - Plumbing with materials listed in chapters 25 through 32.
 2. DWV systems may be ABS OR PVC piping.
 3. Tub access provided under home, unless otherwise noted.
 4. Building drain and clean-outs, when designed and site installed by others, are subject to local jurisdiction approval.
 5. Water heater shall have a safety pan with 1 inch minimum drain to the exterior.
 6. Water heater T & P relief valve to drain to exterior.
 7. Thermal Expansion device, if required by water heater installation instructions, and if NOT shown on the approved plumbing plan, shall be designed and installed on-site, by others and is subject to local approval.
 8. All plumbing fixtures to have separate shutoff valves.
 9. Shutoff valve to be installed within three feet of the fresh water inlet to the home (site installed, by others).
 10. Water supply pipes installed in an wall exposed to the exterior shall be located on the heated side of the wall insulation. Water lines located in unconditioned spaces to be insulated with minimum R-6.5 insulation.
 11. Water supply lines shall be PEX, polybutylene, CPVC or copper.
 12. ALL supply 'crossover' piping to be connected on-site by others.
 13. Shower stalls shall be covered with a nonabsorbent material to a height of 72 inches above finished floor (may be on-site).
 14. Showers shall be controlled by an approved mixing valve with a maximum outlet temperature of 120° F (48.8° C).
 15. ALL on-site plumbing shall be installed by a licensed plumbing contractor. ALL on-site plumbing is subject to inspection and approval by the local authority having jurisdiction.
 16. Water hammer arrestors are required with quick closing valves.
- Site Installed Items:**
- (This list contains examples and shall not be considered all inclusive)
1. The complete foundation and tie-down systems.
 2. Ramps, stairs and general access to the building.
 3. Building drains, clean-outs and hookup to the plumbing system.
 4. Any portable fire extinguisher(s) that may be required.
 5. Electrical service hookup (including feeders) to the building.
 6. The main electrical panel and sub-feeders (multi-section units).
 7. Structural and aesthetic interconnections between modules (multi-section units).
 8. Exterior siding and/or roofing may be installed in the factory or left off to be installed on-site, by others.
 9. Exterior wall finish and soffit materials.
 10. Window protection, storm shutters.
 11. Bottom of floor wind protection (when required).
 12. Crossover duct and connections (HVAC).
 13. HVAC disconnect.
 14. Fireplace chimney.
 15. Gable wall framing, chimney.
 16. HVAC equipment.
17. Combustion Gas Venting, Combustion Air Intake.
- Some of these items may be installed in the factory at the discretion of plant management. If the items are not installed and inspected at the production facility, then local approval is not required.
- and shall not be copied or otherwise reproduced and/or distributed to others for any purposes other than intended by PHD.

INDEX of Drawing Package

DESCRIPTION	PAGE(s)
Cover Sheet	CS-1
Exterior Elevations	FP-1
Exterior Elevations	FP-1.1
Floor Plan	FP-2
Floor Plan Notes	FP-2.1
Floor Plan Notes	FP-2.2
Electrical Plan	FP-3
Drain/Waste/Vent System	FP-4
Water Supply Hot	FP-5
Water Supply Cold	FP-5.1
Roof Plan - And Duct Layout	FP-6
Typ. Foundation Layout	FP-7 to 7.3
Gas Line Layout	FP-8

Date 8-5-08 Part No. 2162-0744F
Approved By SCOTT S. FRANCIS

Modular Building Plans Examiner
Florida License No. 5147-62

ATTACHMENTS:

- ## HVAC Load Calculations

Approximate Square Footage of Building:

3040 Square Feet

Palm Harbor Homes
605 South Frontage Road
Plant City, FL 33563

© COPYRIGHT 2007

The 1st letter of the model number designates the State. The 2nd is a series designation and can change without reapproval.

130 Wind Speed
see page p. 7.3

These details and plans are confidential and proprietary materials. These materials are provided to the recipient for specific purposes and shall not be copied or otherwise reproduced and/or distributed to others for any purpose other than intended by Palm Harbor, PC. Buildings may be marketed under both the "Palm Harbor Homes" and "Discovery Custom Homes" brand names.



**Palm
Harbor
Homes**

**COPYRIGHT © 2006
Palm Harbor Homes, Inc
All Rights Reserved**

Plant Location: **PLANT CITY**

Plant Number: 06/0

By: DWH

07/07/08

IMBERLAND

Number: F-104-1000

Number:	
Designation:	

Designation:

GRAND CANYON

Rev. By: —
Revision: —

Approvals

Robert E. Gregg
R.A.
630 Chestnut Street
Clearwater, FL. 33756
FL. Lic. No. 9927
Phone 727-796-8774

3rd Party:

Hilborn, Werner, Carter
and Associates(HWC)
11627 South Myrtle Ave
Clearwater, FL. 33756

Plan Number:
2102-0744F

State

APPROVED AUG 05 2008

COA # 1025



COPYRIGHT © 2006
Palm Harbor Homes, Inc.
All Rights Reserved

Plant Location:	PLANT CITY
Plant Number:	06/09
Drawn By:	DWH
Date:	07/07/08
Series:	TIMBERLAND
Model Number:	FMX4766D
Page Number:	FP-1.1
Designation:	
Left & Right Elevations	
Rev. By: -	
Revision: -	

Approvals
P.E. Robert E. Gregg
R.A.
630 Chestnut Street
Clearwater, FL. 33756
FL. Lic. No. 9927
Phone 727-796-8774

3rd Party:
Hilborn, Werner, Carter
and Associates(HWC)
1627 South Myrtle Ave
Clearwater, FL. 33756

Plan Number:
2102-0744F

State:
APPROVED AUG 05 2008

LISTING
AGENCY
APPROVAL

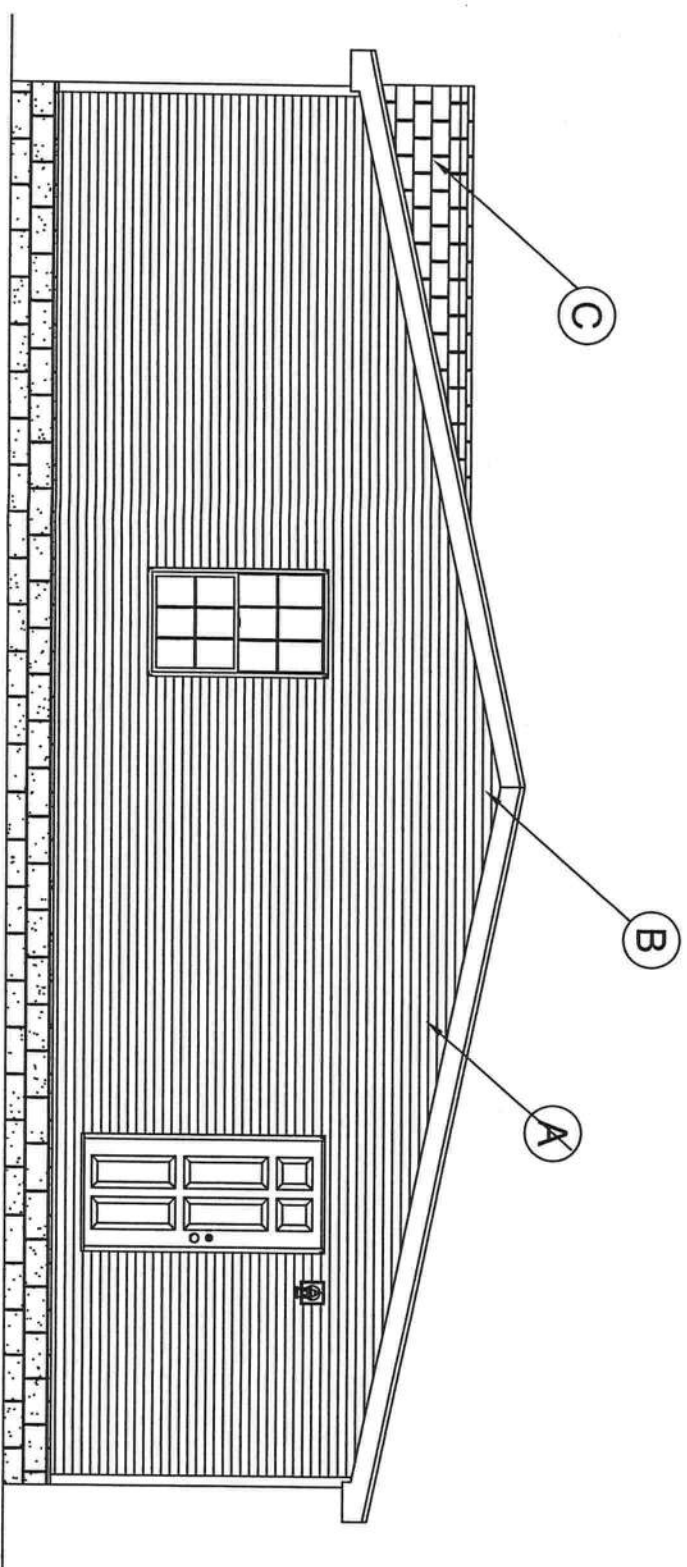
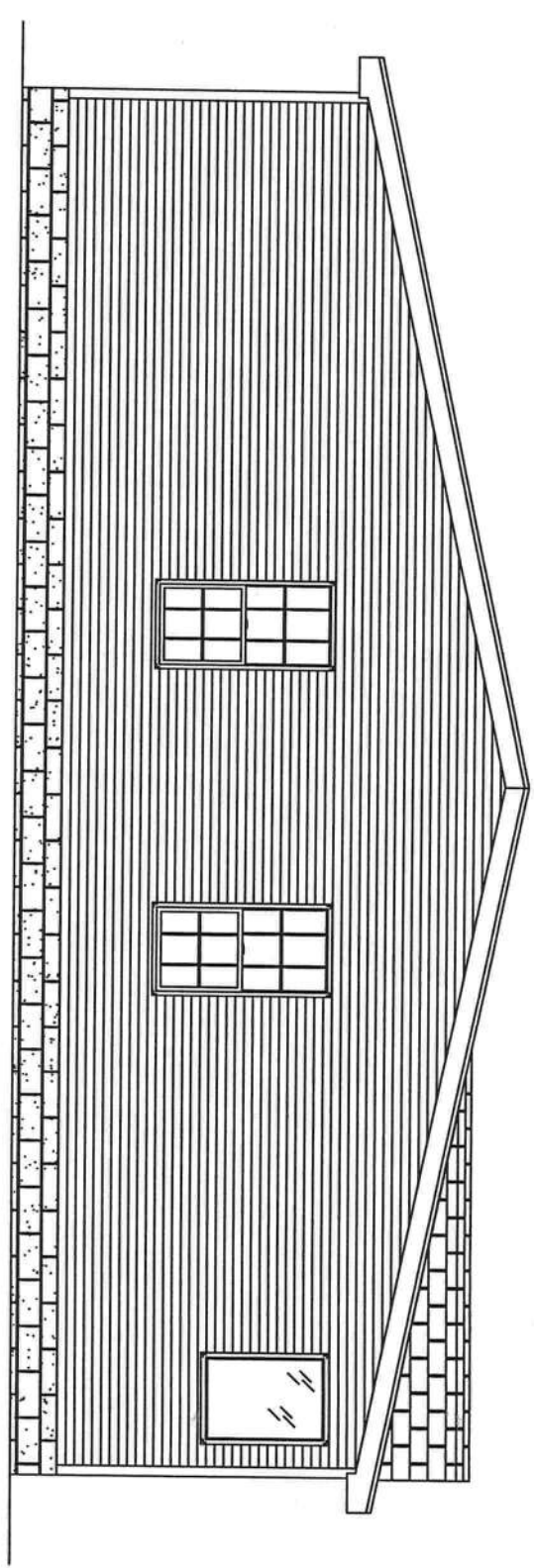
These prints comply with the Florida
Manufactured Building Act of 1979 Construction
Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	150 (3 sec.)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0744F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	8.5.08
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO



COA # 1025

- Notes:**
1. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or all of these methods may also be used separately or in combination to provide the minimum required roof ventilation of 1/150.
 2. Roof overhang (eave) sizes may vary. Roof overhangs are typically a nominal 12" eave or approximately 1 1/4" wide.
 3. Bath exhaust fans (ventilated air) shall exhaust directly to the exterior of the home and shall not exhaust into the roof and/or other concealed cavity or area.
 4. The elevations shown above are typical and may vary due to optional and/or custom features or specific customer requests.
 5. This building may be mirrored about the length of it's axis without any re-approval
(may be "flipped" from side-to-side and/or front-to-rear).

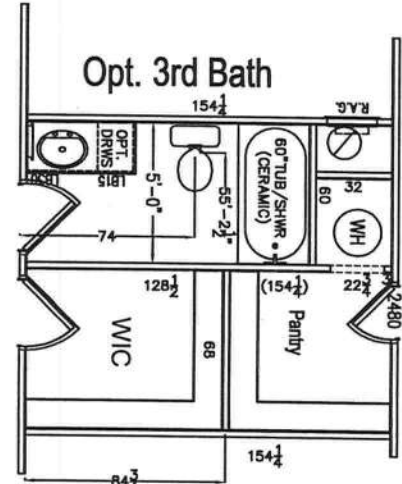


- Notes: Site Installation Details**
- (A) Gable End Close Up - See RF 3.1 and 3.2
 - (B) Close Up at Peak - See RF 1.3
 - (C) Dormer Details- See RF-4.1
- 96" Sidewall
STEEL EXTERIOR DOORS
FIBERGLASS SHINGLES "CLASS A"
LOW-E INSULATED WINDOWS

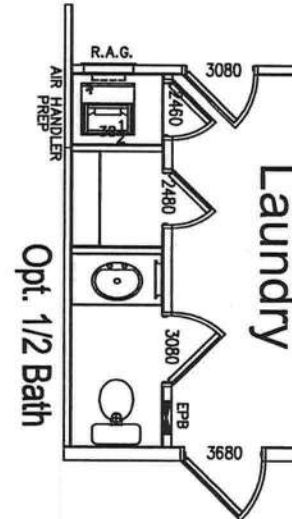
General Notes:

1. Design criteria is based on 24" o.c. roof trusses for up to (and including) 130 mph and 16" o.c. roof trusses for up to (and including) 150 mph.
2. The building may be constructed in an exact mirror image about it's axis without any re-approval of the plans (Building may be "flipped" side to side and/or front to rear).
3. Optional horizon windows may be added at any location without re-approval. The Florida Energy Calculations shall be revised to include the added horizon windows (minimum shearwall requirements shall be maintained).
4. All designs and calculations are based on Exposure 'C'.
5. This structure is not designed to exceed the mean roof height of 25 feet for 130 mph applications and 30 feet for 150 mph applications.
6. Minimum corridor width is 36".
7. All glazing within a 24 inch arc of doors, whose bottom edge is less than 60 inches above the floor, and all glazing in doors shall be tempered OR acrylic plastic sheet.
8. Windows, glass and doors shall comply with AAMA / NWVDA 101 / I.S.2-97
9. This building is designed for a permanent foundation and is NOT a HUD building.
10. Shearwalls are based on worst case condition (108" sidewall height and a 6/12 roof pitch). Lower sidewall heights and/or lower roof pitches may be installed .
11. Please refer to the cover sheet of this package for additional notes and requirements.
12. This building is NOT designed and constructed to be installed in any High Velocity Hurricane Region (Dade or Broward Counties).

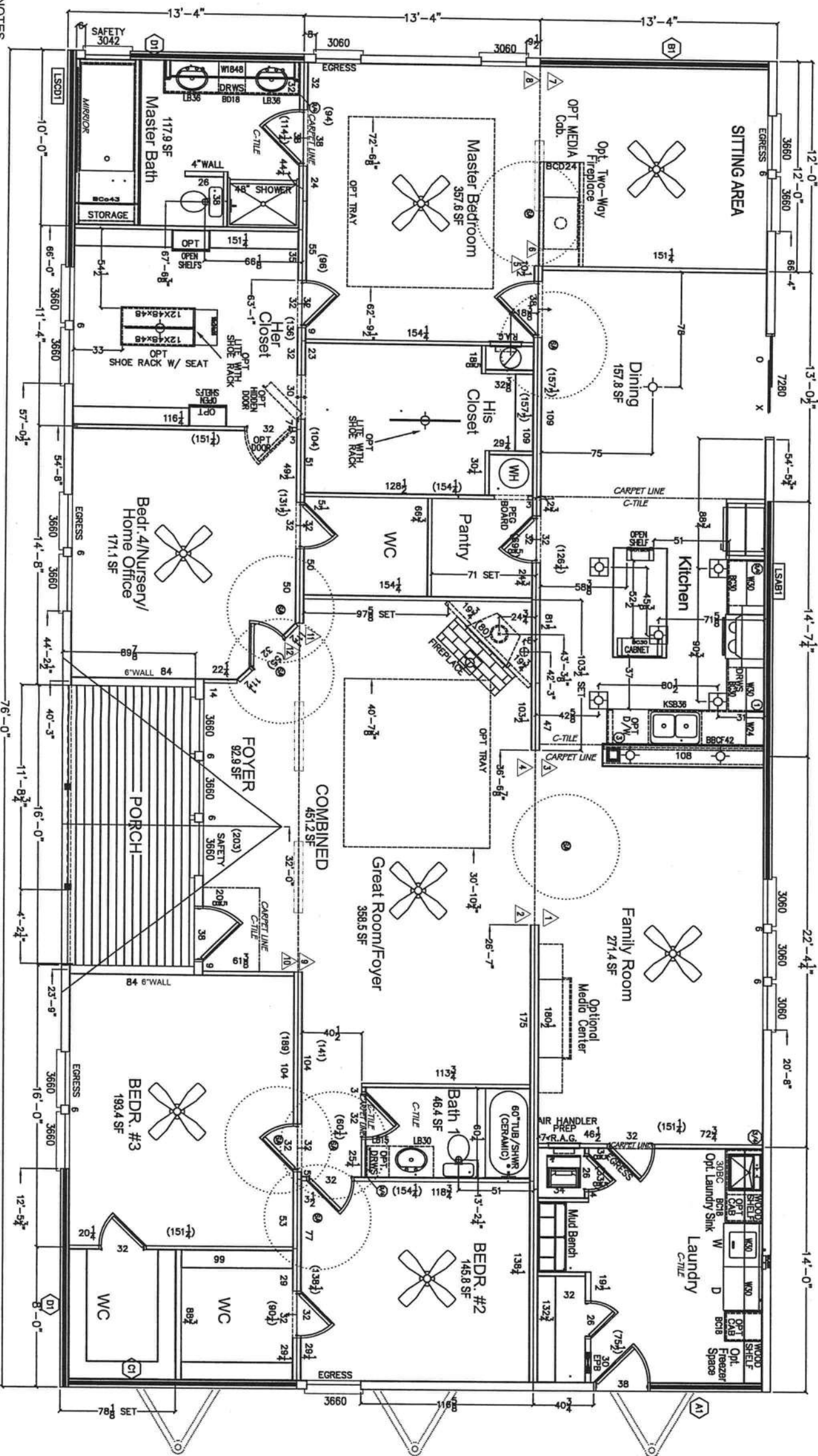
LISTING AGENCY APPROVAL	
These prints comply with the Florida Manufactured Building Act of 1978 Construction Code and adhere to the following criteria:	
CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	150 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0744F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	8.5.08
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO



WINDOW/DOOR CHART	
SIZE	LIGHT AND VENT
36x60	12.2 S.F. LIGHT 6.14 S.F. VENT
36x12	2.17 S.F. LIGHT 0.00 S.F. VENT
30x60	9.95 S.F. LIGHT 5.03 S.F. VENT
30x36	5.55 S.F. LIGHT 2.76 S.F. VENT
30x12	1.75 S.F. LIGHT 0.00 S.F. VENT
14x36	2.48 S.F. LIGHT 1.30 S.F. VENT
30x42	6.55 S.F. LIGHT 0.00 S.F. VENT
S.G.D.	32.18 S.F. LIGHT 16.33 S.F. VENT
36x80	4.9 S.F. LIGHT 0.00 S.F. VENT



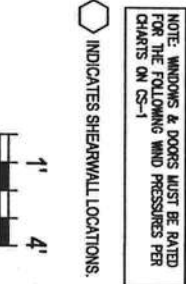
See Page FP-2.2 For Shear wall Tables



NOTE: 16" FULL 4/LAYER RIDGEBEAMS ON ALL SECTIONS

- NOTES
- 1.) SEE SHEAR WALL SUMMARY FOR SHEAR WALL CONSTRUCTION REQUIREMENTS.
- 2.) EXTERIOR WALLS ARE 9'-0" MAX.
- 3.) OVER ALL WIDTH INCLUDES 1 1/2" TO ALLOW FOR MATING WALL SHEATHING & GAP FOR CABLING OR STRAPPING WHEN CRANE SET.
- 4.) SIDEWALLS ARE 2X6".
- 5.) TRUSSES SPACED 24" O.C. FOR 130 MPH INTERIOR ZONE, 16" O.C. FOR 130 MPH END ZONE & 140 MPH END & INTERIOR, 150 MPH INTERIOR & 16" O.C. FOR 150 MPH END ZONE.

total 3040 SF



© Copyright 2007
Palm Harbor Homes, Inc.
All Rights Reserved
R30-11-11



COPYRIGHT © 2006
Palm Harbor Homes, Inc.
All Rights Reserved

Plant Location:	PLANT CITY
Plant Number:	06/09
Drawn By:	DWH
Date:	07/07/08
Series:	TIMBERLAND
Model Number:	FMX4766D
Page Number:	FP-2
Designation:	

Floor Plan

Rev. By: -
Revision: -

Approvals

P.E. Robert E. Gregg
R.A.
630 Chestnut Street
Clearwater, FL. 33756
FL. Lic. No. 9927
Phone 727-796-8774

3rd Party:
Hilborn, Werner, Carter
and Associates(HWC)
1627 South Myrtle Ave
Clearwater, FL. 33756

Plan Number:
2102-0744F

State:

APPROVED AUG 0 5 2008

Shear Wall Table Notes:

Numbers shown in table column headings ((1) through (9) for one story, (1) through (11) for 2 story), correspond with note numbers.Refer to floor plan(s) for shear wall locations corresponding to alpha-numeric designation in 1st column of table.

- 1. Design Shear Values are based on the WFCM - 2001 Edition. All values for DSV and fastening is based on S-P-F lumber, unless otherwise specified.
 - 2. Indicates whether sheathing is required one side only with interior covering, or required both sides of wall with interior covering over sheathing.
 - 3. Nails may either be 6d Common (0.113x1 5/8) or 8d Common (0.131x 1 3/4). 8d nails yield better DSV's.
 - 4. Edge / Field spacing. Edge fastening is into each framing member. When sheathing overlap onto rim joist is not used and 2/12 shearwall sheathing fastening is required, it also requires double top and bottom plates.
 - 5. Number and minimum length of each shear wall section within each end wall.
 - 6. indicates number of framing members required each end of each shear section. Minimum framing as indicated in table header.
 - 7. indicates the number of rows of nails spaced @ 2" o.c., through the sheathing overlap onto the floor framing.
 - 8. Alternatively, screws may be used at x/y, where x=number of rows and y=number of screws per foot for each row. Connection is through the bottom plate into floor joists with minimum 2-1/2" penetration. When double plates are required per Note (6), make sure to increase fastener length.
 - 9. Top plate to rafter or ceiling joist is the spacing (inches o/c) with #8 screws or 0.131" diameter nails with 1-3/8" minimum penetration into receiving member.
 - 10. For 2 story only: The 2x , factory installed bearing plate at each end at the very top of the lower story must be fastened to the ceiling framing with #10 x 3" screws spaced (inches on center) per table. Factory installed. Note: column 10 is not displayed for one story or cape applications.
 - 11. For 2 stories, on-site connection is required between the upper and lower story using #10x3" screws (toed), installed through the upper storyend joist into the lower story, factory installed 2x bearing plate of the lower story, spaced per column 11.
- Special Note: With hinged roof, the truss above the end wall (shear wall) must be sheathed after erection. In the case of a porch, the truss above the end wall at the main roof to porch transition, must be sheathed for a minimum of 48" length, anywhere along the truss and fastened to truss chords with 8d common nails spaced per column "Porch Truss" . Sheathing in spaces between the chords greater than 24" must be stiffened with a 2x3 vertical member, fastened to sheathing with the same nails at 2" o.c.

Shear Wall General Notes:

- 1. LSAB1 and 2 represent longitudinal shear sections for unit with A and B end shearwalls.LSCD1 and 2 represent longitudinal shear sections for unit with C and D end shearwalls, respectively. The table notes above (except (6)) apply.
- 2. How to read Roof Diaphragm Connection Table: Check "Dbl Fast'g" column. If "N/A" is displayed, no special fastening required in End Zone.Use the required spacing column for at least the distance tabulated in the first non-zero column, then the spacing in that column is required to the distance in the next column to the right and so forth or the Req'd Spacing can be used throughout.If double fastening is required for any of the shear wall conditions (A,B,C or D), the fastening must be maintained to the first truss at or beyond the distance shown in the first column (A) of the single fastener spacing table, for the respective shear wall, or, when that column is zero, to the first non-zero distance of any of the other columns (B to E) to a distance of any of the other tabulated fastening requirements (Columns B to E).
- 3. When Roof Diaphragm construction requires special fastening within the end zone(s), the fastening displayed is doubled, ie: 2 fasteners @ each location.Example: Dbl@6/6 means 2 fasteners each at 6" o.c. field and 2 each at 6" o.c. perimeter. The fastening is required within distance from the roof end as displayed (ft) or next truss. 'N/A' means the end zone fastening is the same as normal.

See Pages FP-2.2 For Shear wall Tables



Palm Harbor Homes

COPYRIGHT © 2006
Palm Harbor Homes, Inc.
All Rights Reserved

LISTING
AGENCY
APPROVAL

These prints comply with the Florida
Manufactured Building Act of 1979 Construction
Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	150 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0744F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	8.5.08
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO



COA # 1025

Plant Location:	PLANT CITY
Plant Number:	06/09
Drawn By:	DWH
Date:	07/07/08
Series:	TIMBERLAND
Model Number:	FMX4766D
Page Number:	FP-2.1
Designation:	
Rev. By: -	
Revision: -	
Approvals	
P.E. Robert E. Gregg R.A. 630 Chestnut Street Clearwater, FL. 33756 FL. Lic. No. 9927 Phone 727-796-8774	
3rd Party:	
Hilborn, Werner, Carter and Associates(HWC) 1627 South Myrtle Ave Clearwater, FL. 33756	
Plan Number: 2102-0744F	
State:	
APPROVED AUG 0 5 2008	

Shear Wall Requirements

A & B									
Wind Speed: 150	Side Wall HT: 108	Exposure: C	Max Elev: 120	Framing: 2x6					
Shear Wall	Min. Ply Sides #	Sheathed Nails Spacing	SW Sections Stud #	End Nails in #	Rows of #10	Screws/Ft	Top Plate	Porch Truss	
A1	(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)
A1	746	1	8d	3/12	75.375	2	5	or 2/5	2 1/8
B1	365	1	8d	6/12	154.125	1	2	or 1/2	4 3/8
LSAB1	217	1	8d	6/12	260	N/A	1	or 1/1	7 1/4
C1	365	1	8d	6/12	154.125	1	2	or 1/2	4 3/8
D1	478	1	8d	4/12	117.625	2	2	or 1/4	3 1/4
LSOD1	360	1	8d	6/12	148.5	N/A	2	or 1/2	4 1/8

Truss Spacing: 16
Minimum Roof Diaphragm Connections using: 8d BOX

Diaphragm Connections									
Shear Wall	Min. Ply Sides #	Sheathed Nails Spacing	SW Sections Stud #	End Nails in #	Rows of #10	Screws/Ft	Top Plate	Porch Truss	
A1	(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)
A1	650	1	8d	3/12	75.375	2	4	or 1/8	2 3/8
B1	318	1	8d	6/12	154.125	1	1	or 1/2	5
LSAB1	189	1	8d	6/12	260	N/A	1	or 1/1	8 3/8
C1	318	1	8d	6/12	154.125	1	1	or 1/2	5
D1	416	1	8d	6/12	117.625	1	2	or 1/3	3 3/4
LSOD1	331	1	8d	6/12	148.5	N/A	1	or 1/1	4 3/4

Shear Wall Requirements

A & B									
Wind Speed: 140	Side Wall HT: 108	Exposure: C	Max Elev: 120	Framing: 2x6					
Shear Wall	Min. Ply Sides #	Sheathed Nails Spacing	SW Sections Stud #	End Nails in #	Rows of #10	Screws/Ft	Top Plate	Porch Truss	
A1	(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)
A1	650	1	8d	3/12	75.375	2	4	or 1/8	2 3/8
B1	318	1	8d	6/12	154.125	1	1	or 1/2	5
LSAB1	189	1	8d	6/12	260	N/A	1	or 1/1	8 3/8
C1	318	1	8d	6/12	154.125	1	1	or 1/2	5
D1	416	1	8d	6/12	117.625	1	2	or 1/3	3 3/4
LSOD1	331	1	8d	6/12	148.5	N/A	1	or 1/1	4 3/4

Truss Spacing: 16
Minimum Roof Diaphragm Connections using: 8d BOX

Diaphragm Connections									
Shear Wall	Min. Ply Sides #	Sheathed Nails Spacing	SW Sections Stud #	End Nails in #	Rows of #10	Screws/Ft	Top Plate	Porch Truss	
A1	(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)
A1	650	1	8d	3/12	75.375	2	4	or 1/8	2 3/8
B1	318	1	8d	6/12	154.125	1	1	or 1/2	5
LSAB1	189	1	8d	6/12	260	N/A	1	or 1/1	8 3/8
C1	318	1	8d	6/12	154.125	1	1	or 1/2	5
D1	416	1	8d	6/12	117.625	1	2	or 1/3	3 3/4
LSOD1	331	1	8d	6/12	148.5	N/A	1	or 1/1	4 3/4

Shear Wall Requirements

A & B									
Wind Speed: 130	Side Wall HT: 108	Exposure: C	Max Elev: 120	Framing: 2x6					
Shear Wall	Min. Ply Sides #	Sheathed Nails Spacing	SW Sections Stud #	End Nails in #	Rows of #10	Screws/Ft	Top Plate	Porch Truss	
A1	(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)
A1	560	1	8d	4/12	75.375	2	4	or 1/7	2 3/4
B1	274	1	8d	6/12	154.125	1	1	or 1/2	5 3/4
LSAB1	163	1	8d	6/12	260	N/A	1	or 1/1	9 5/8
C1	274	1	8d	6/12	154.125	1	1	or 1/2	5 3/4
D1	359	1	8d	6/12	117.625	1	2	or 1/3	4 3/8
LSOD1	285	1	8d	6/12	148.5	N/A	1	or 1/1	5 1/2

Truss Spacing: 16
Minimum Roof Diaphragm Connections using: 8d BOX

Diaphragm Connections									
Shear Wall	Min. Ply Sides #	Sheathed Nails Spacing	SW Sections Stud #	End Nails in #	Rows of #10	Screws/Ft	Top Plate	Porch Truss	
A1	(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)
A1	560	1	8d	4/12	75.375	2	4	or 1/7	2 3/4
B1	274	1	8d	6/12	154.125	1	1	or 1/2	5 3/4
LSAB1	163	1	8d	6/12	260	N/A	1	or 1/1	9 5/8
C1	274	1	8d	6/12	154.125	1	1	or 1/2	5 3/4
D1	359	1	8d	6/12	117.625	1	2	or 1/3	4 3/8
LSOD1	285	1	8d	6/12	148.5	N/A	1	or 1/1	5 1/2

Shear Wall Requirements

A & B									
Wind Speed: 150	Side Wall HT: 108	Exposure: C	Max Elev: 24	Framing: 2x6					
Shear Wall	Min. Ply Sides #	Sheathed Nails Spacing	SW Sections Stud #	End Nails in #	Rows of #10	Screws/Ft	Top Plate	Porch Truss	
A1	(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)
A1	869	1	8d	3/12	75.375	2	4	or 1/8	2 3/8
B1	327	1	8d	6/12	154.125	1	1	or 1/2	4 7/8
LSAB1	194	1	8d	6/12	260	N/A	1	or 1/1	8 1/8
C1	327	1	8d	6/12	154.125	1	1	or 1/2	4 7/8
D1	429	1	8d	6/12	117.625	1	2	or 1/3	3 5/8
LSOD1	340	1	8d	6/12	148.5	N/A	1	or 1/1	4 5/8

Truss Spacing: 16
Minimum Roof Diaphragm Connections using: 8d BOX

Diaphragm Connections									
Shear Wall	Min. Ply Sides #	Sheathed Nails Spacing	SW Sections Stud #	End Nails in #	Rows of #10	Screws/Ft	Top Plate	Porch Truss	
A1	(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)
A1	869	1	8d	3/12	75.375	2	4	or 1/8	2 3/8
B1	327	1	8d	6/12	154.125	1	1	or 1/2	4 7/8
LSAB1	194	1	8d	6/12	260	N/A	1	or 1/1	8 1/8
C1	327	1	8d	6/12	154.125	1	1	or 1/2	4 7/8
D1	429	1	8d	6/12	117.625	1	2	or 1/3	3 5/8
LSOD1	340	1	8d	6/12	148.5	N/A	1	or 1/1	4 5/8

Shear Wall Requirements

A & B									
Wind Speed: 140	Side Wall HT: 108	Exposure: C	Max Elev: 24	Framing: 2x6					
Shear Wall	Min. Ply Sides #	Sheathed Nails Spacing	SW Sections Stud #	End Nails in #	Rows of #10	Screws/Ft	Top Plate	Porch Truss	
A1	(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)
A1	583	1	8d	4/12	75.375	2	4	or 1/7	2 3/4
B1	285	1	8d	6/12	154.125	1	1	or 1/2	5 1/2
LSAB1	169	1	8d	6/12	260	N/A	1	or 1/1	9 1/4
C1	285	1	8d	6/12	154.125	1	1	or 1/2	5 1/2
D1	373	1	8d	6/12	117.625	1	2	or 1/3	4 1/4
LSOD1	297	1	8d	6/12	148.5	N/A	1	or 1/1	5 1/4

Truss Spacing: 16
Minimum Roof Diaphragm Connections using: 8d BOX

Diaphragm Connections									
Shear Wall	Min. Ply Sides #	Sheathed Nails Spacing	SW Sections Stud #	End Nails in #	Rows of #10	Screws/Ft	Top Plate	Porch Truss	
A1	(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)
A1	583	1	8d	4/12	75.375	2	4	or 1/7	2 3/4
B1	285	1	8d	6/12	154.125	1	1	or 1/2	5 1/2
LSAB1	169	1	8d	6/12	260	N/A	1	or 1/1	9 1/4
C1	285	1	8d	6/12	154.125	1	1	or 1/2	5 1/2
D1	373	1	8d	6/12	117.625	1	2	or 1/3	4 1/4
LSOD1	297	1	8d	6/12	148.5	N/A	1	or 1/1	5 1/4

Shear Wall Requirements

A & B									
Wind Speed: 130	Side Wall HT: 108	Exposure: C	Max Elev: 24	Framing: 2x6					
Shear Wall	Min. Ply Sides #	Sheathed Nails Spacing	SW Sections Stud #	End Nails in #	Rows of #10	Screws/Ft	Top Plate	Porch Truss	
A1	(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)
A1	502	1	8d	4/12	75.375	2	3	or 1/6	3 1/8
B1	246	1	8d	6/12	154.125	1	1	or 1/2	6 3/8
LSAB1	146	1	8d	6/12	260	N/A	1	or 1/1	10 3/4
C1	246	1	8d	6/12	154.125	1	1	or 1/2	6 3/8
D1	322	1	8d	6/12	117.625	1	2	or 1/3	4 7/8
LSOD1	256	1	8d	6/12	148.5	N/A	1	or 1/1	6 1/8

Truss Spacing: 16
Minimum Roof Diaphragm Connections using: 8d BOX

Diaphragm Connections									
Shear Wall	Min. Ply Sides #	Sheathed Nails Spacing	SW Sections Stud #	End Nails in #	Rows of #10	Screws/Ft	Top Plate	Porch Truss	
A1	(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)
A1	502	1	8d	4/12	75.375	2	3	or 1/6	3 1/8
B1	246	1	8d	6/12	154.125	1	1	or 1/2	6 3/8
LSAB1	146	1	8d	6/12	260	N/A	1	or 1/1	10 3/4
C1	246	1	8d	6/12	154.125	1	1	or 1/2	6 3/8
D1	322	1	8d	6/12	117.625	1	2	or 1/3	4 7/8
LSOD1	256	1	8d	6/12	148.5	N/A	1	or 1/1	6 1/8

LISTING
AGENCY
APPROVAL

These prints comply with the Florida
Manufactured Building Act of 1979 Construction
Code and adhere to the following criteria:

CONST. TYPE: V-B
OCCUPANCY: R-3
ALLOWABLE NO. OF FLOORS: 1
WIND VELOCITY: 150 (3 sec)
FIRE RATING OF EXT. WALLS: 0
PLAN NO.: 2102-0744F
APPROVAL DATE: 4-5-08
MANUFACTURER: PHH
HIGH VELOCITY HURRICANE ZONE: NO



COA # 1025

COLUMNS RANCH STORY					
NO.	26 GA STRAP TYPE	NUM	LENGTH	SIZE	BLK WIDTH
1	2	1	2	105	2x3 N
2	2	1	2	105	2x3 N
3	2	1	2	105	2x3 N
4	2	1	2	105	2x3 N
5	2	1	2	105	2x3 N
6	2	1	2	105	2x3 N
7	2	1	2	105	2x3 N
8	2	1	2	105	2x3 N
9	4	1	4	105	2x3 N
10	4	1	4	105	2x3 N
11	4	1	4	105	2x3 N
12	4	1	4	105	2x3 N

COLUMNS RANCH STORY					
NO.	26 GA STRAP TYPE	NUM	LENGTH	SIZE	BLK WIDTH
1	2	1	2	105	2x3 N
2	2	1	2	105	2x3 N
3	2	1	2	105	2x3 N
4	2	1	2	105	2x3 N
5	2	1	2	105	2x3 N

Electrical Notes:

1. ALL circuits and equipment shall be installed and grounded in accordance with the appropriate articles of the National Electrical Code (NEC) that is adopted by the State of Florida, at the time of construction of the building.
2. When light fixtures are installed in closets, they shall be surface mounted or recessed. Incandescent fixtures shall have completely enclosed lamps. Surface mounted incandescent fixtures shall have a minimum clearance of 12 inches and all other fixtures shall have a minimum clearance of 6 inches from any "storage area" as defined by NEC 410-8 (a).
3. When water heaters are installed, they shall be provided with readily accessible disconnects adjacent to the water heaters served. The branch circuit switch OR circuit breaker shall be permitted to be as the disconnecting means only where the switch OR circuit breaker is within sight of the water heater OR is capable of being locked in the open position. When water heaters are not installed at the factory, the means of disconnect shall be designed and installed on-site, by others.
4. HVAC shall be provided with readily accessible disconnects (installed on-site, by others) adjacent to the equipment being served. A unit switch with a marked "OFF" position that is part of the HVAC equipment and disconnects ALL ungrounded conductors shall be permitted to be as the disconnecting means where other disconnecting means are also provided by a readily accessible circuit breaker.
5. When the main electrical service panel is not installed at the factory, the main electrical panel and feeders are to be designed by others, site installed and subject to local jurisdiction approval.
6. ALL circuits crossing over module marriage line(s), shall be site connected with approved accessible junction boxes OR cable connectors.
7. ALL outlets located within 6 feet of a sink OR basin shall be equipped with GFI protection. ALL receptacle outlets, serving countertops, located in the kitchen shall be equipped with GFI protection.
8. Smoke alarms shall be interconnected so that the activation of any one alarm will cause simultaneous activation of ALL other smoke alarms. All smoke alarms are equipped with a "Hush Button" feature.
9. ALL receptacles installed in wet locations (exterior) shall have a weather proof (wp) enclosure (cover), the integrity of which is not effected when an attachment plug cap is inserted or removed.
10. ALL branch circuits supplying 15 and 20-ampere outlets in sleeping areas shall be protected by an Arc-Fault circuit interrupter in accordance with Section 210.12 of the NEC.
11. ALL wiring is NM-Cable unless otherwise specified.
12. Additional outlets may be added (in addition to those shown on the approved details) without re-approval.
13. Ceiling fans shall be 80 inches minimum, from the bottom of the blades to the finished floor.
14. ALL electrical components shall be U.L. Listed and installed in accordance with that listing.
15. Receptacles intended to service bathroom lavatories shall not be located more than 36" away from said lavatory.
16. Breakers and wire sizing may be changed if optional or custom appliances or devices are installed in the building, ALL breakers and wiring shall be sized in accordance with applicable sections of the N.E.C.
17. Switches, receptacles, and other fixtures or devices may be relocated from the locations shown on the approved details due to construction restraints. ALL locations shall comply with applicable sections of the N.E.C.
18. Refer to the cover sheet for additional electrical notes.



LISTING AGENCY APPROVAL

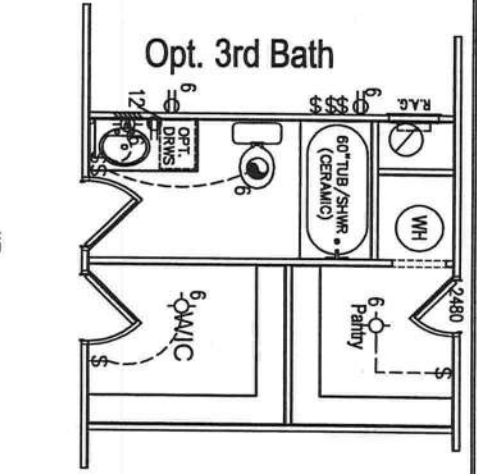
Three prints comply with the Florida Manufactured Building Act of 1975. Construction Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	150 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0744F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	6/5/08
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

200 AMP PANEL

DESCRIPTION	KVA
FLOOR AREA (2928 SF x 3 VA) / 1000 =	9.12 KVA
(3) SMALL APPLIANCES AT 1500 VA. / 1000 =	4.5 KVA
RANGE AT 8.0 KW. =	8.0 KVA
WATER HEATER AT 5.5 KW. =	5.5 KVA
DISHWASHER AT 1.4 KW. = Opt	1.4 KVA
WASHER AT 1500 VA. / 1000 =	1.5 KVA
DRYER AT 5.0 KW. =	5.0 KVA
CARBIDE DISPOSAL AT 1.4 KW. =	1.4 KVA
MALL OVEN AT 8.0 K.W. =	8.0 KVA
MICROWAVE AT 1500 VA. / 1000 =	1.5 KVA
OPT FREEZER AT 1500 VA. / 1000 =	1.5 KVA
OPT JACUZZI AT 1500 VA. / 1000 =	1.5 KVA
TOTAL LOAD	37.9 KVA
FIRST 10 KVA AT 100K	10.0 KVA
REMAINER AT 40K	10.2 KVA
HVAC AT 100K ASSUMED	15.8 KVA
TOTAL	37.9 KVA

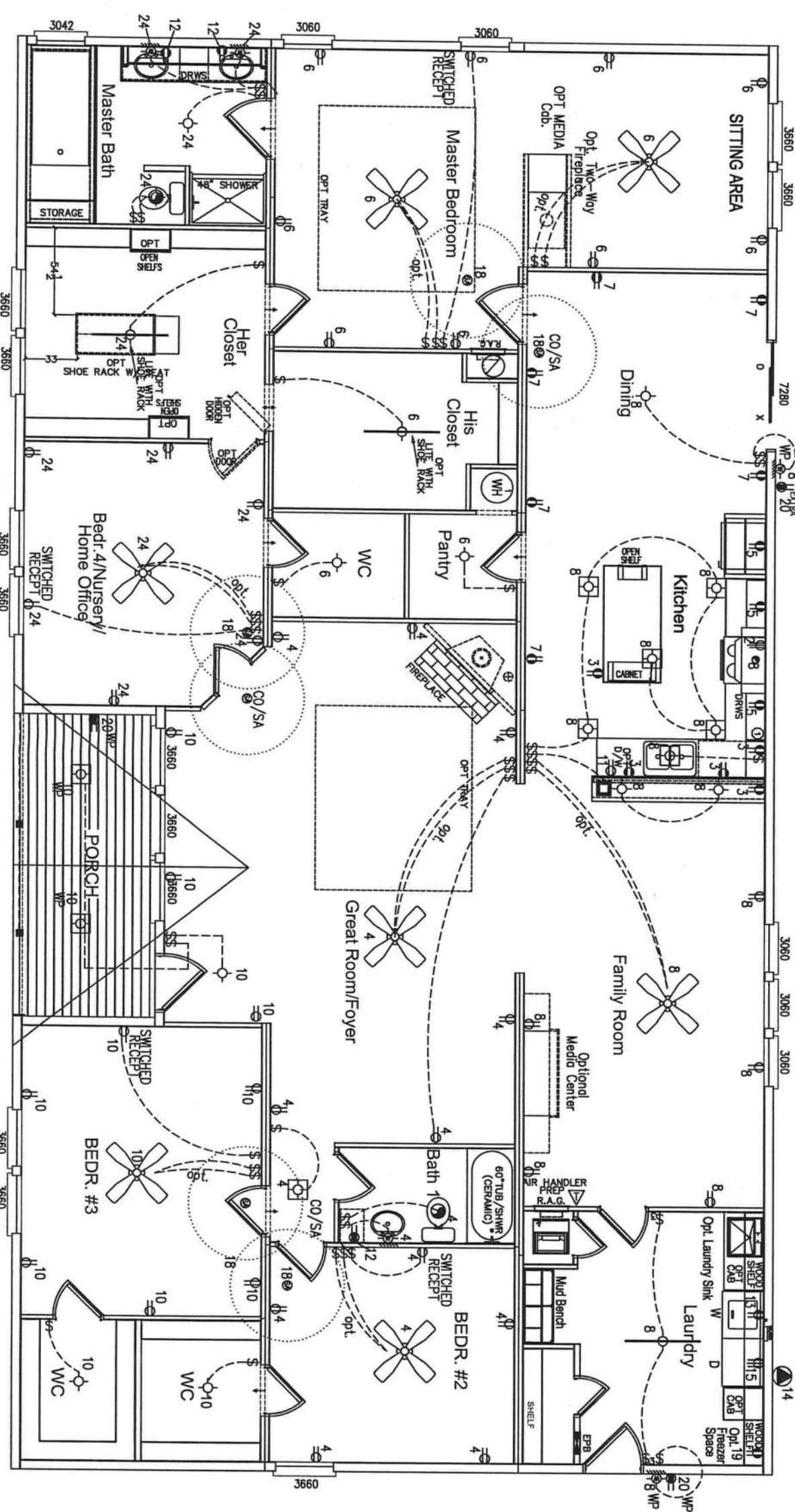
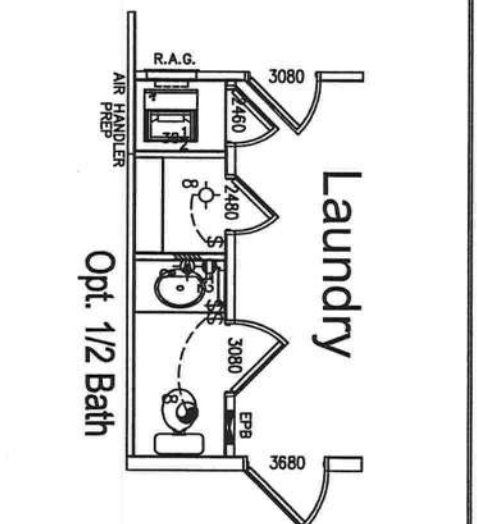
NOTE: LOCAL SITE ELECTRIC/HVAC CONTRACTOR x 1000 = 155.7 TO VERIFY ADEQUACY OF HVAC ELECT. AMP PANEL 200 MIN LOAD IN PANEL CALCULATIONS



NEC - 2005 MAIN BREAKER 200 AMP

AMP WIRE SIZE	DESCRIPTION	CIR. NO.	PANEL SPACE	CIR. NO.	DESCRIPTION	AMP WIRE SIZE
PER FERG	WATER HEATER (4500W/240V)	1	*	2	RANGE OR OVEN	PER FERG
20 12-2	APPLIANCE	3	*	4A	GEN. LIGHTING	15 14-2
20 12-2	APPLIANCE	5	*	6A	GEN. LIGHTING	15 14-2
20 12-2	APPLIANCE	7	*	8	GEN. LIGHTING	15 14-2
20 12-2	APPLIANCE	9	*	10A	GEN. LIGHTING	15 14-2
15 14-2	OPT. D.W.	11	*	12	BATH G.F.I.	20 12-2
20 12-2	LAUNDRY	13	*	14	OPT. ELECTRIC HEAT-VA	PER MFG
20 10-3	CLOTHES DRYER	15	*			
15 14-2	OPT. DISPOSAL	17	*			
20 12-2	OPT. FREEZER	19	*	18A	SMOKE DETECTOR	15 14-3
20 12-2	OPT. MICROWAVE	23	*	20	EXTERIOR GFI	20 12-2
20 12-2			*	24A	GEN. LIGHTING	15 14-2

AF - ARC FAULT



CO/SA=CARBON MONOXIDE DETECTORS / SMOKE ALARM

NOTE: SMOKE ALARMS ARE INTERCONNECTED FOR SIMULTANEOUS ACTIVATION WITH BATTERY BACK-UP.

ALL SMOKE ALARMS ARE HUSH BUTTON TYPE.

☐	GENERAL LIGHTING	☐	MAIN PANEL BOX	\$	SWITCH	☐	EXHAUST-CEIL'G FAN
☐	SMALL APPLIANCE	\$3	3-WAY SWITCH			☐	HEAT TAPE RECEPT
☐	GFI PROTECTED		RECESSED FLUORESCENT			☐	LIGHTED EXHAUST-CEIL'G FAN
☐	240V APPLIANCE		SURFACE FLUORESCENT			☐	OPT CEILING FAN PREP.
☐	SMOKE ALARM						
☐	RECESSED LIGHT						



COPYRIGHT © 2006
Palm Harbor Homes, Inc.
All Rights Reserved

Plant: PLANT CITY
Location: 06/09
Number: DWH
By: 07/07/08

Series: TIMBERLAND
Model Number: FMX4766D
Page Number: FP-3
Designation: ELECTRICAL

Rev. By: -
Revision: -

Approvals

P.E. Robert E. Gregg
R.A.
630 Chestnut Street
Clearwater, FL. 33756
FL. Lic. No. 9927
Phone 727-796-8774

3rd Party:
Hilborn, Werner, Carter
and Associates(HWC)
1627 South Myrtle Ave
Clearwater, FL. 33756

Plan Number:
2102-0744F

State:

APPROVED AUG 05 2008



COPYRIGHT © 2006
Palm Harbor Homes, Inc.
All Rights Reserved

Plant	PLANT CITY
Location	06/09
Plant Number	DWH
Drawn By	5/5/08
Date	
Series	TIMBERLAND
Model Number	FMX766D
Page Number	FP-4
Designation	

DRAIN SYSTEM

Rev. By: -
Revision: -

Approvals

Robert E. Gregg
R.A.
630 Chestnut Street
Clearwater, FL 33756
FL Lic. No. 9927
Phone 727-796-8774

3rd Party:
Hilborn, Werner, Carter
and Associates(HWC)
1627 South Myrtle Ave
Clearwater, FL 33756

Plan Number:
2102-0744F

=SHIPLOOSE

SHIP LOOSE LIST	
1 - 3ST	
1 - 3X3X2 LTTY	
3 - 3" XLTL	
3 - 3" LTTY	
4 - 3" W/CO	
3 - 3" COUP.	
2 - 3X2BUSH	
1 - 3X1 1/2 BUSH	
1 - 2" XLTL	
1 - 2X1 1/2 X1 1/2 LTTY	
1 - 2X1 1/2 BUSH	
4 - 1 1/2" XLTL	
4 - 1 1/2" LTTY	
4 - 1 1/2" W/CO	
1 - 1 1/2" 45-ELL	
1 - 50' - 1 1/2" PIPE	
10' - 2" PIPE	
90' - 3" PIPE	

NOTE:

1. ALL FITTINGS ARE SAME SIZE AS THE PIPE THAT THEY CONNECT.
2. * =SHIPLOOSE

© Copyright 2007
Palm Harbor Homes, Inc.
All Rights Reserved

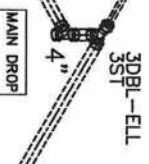
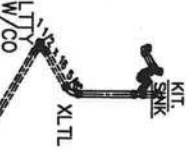
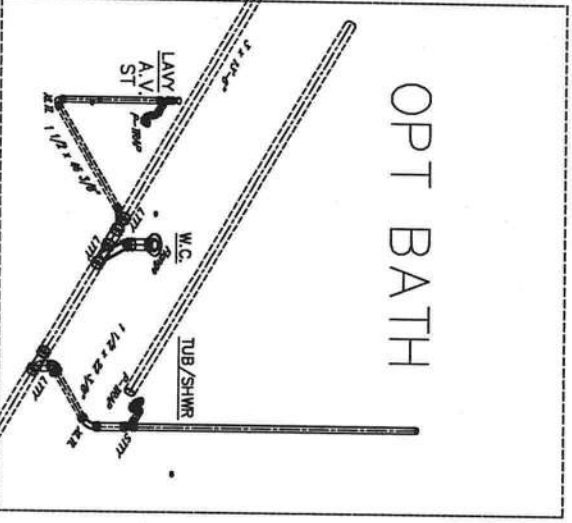
LISTING
AGENCY
APPROVAL

These prints comply with the Florida
Manufactured Building Act of 1979 Construction
Code and adhere to the following criteria:

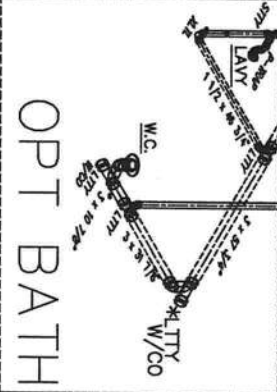
CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	150 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0744F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	5/5/08
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO



COA # 1025



TYPICAL
FIXTURE
DETAILS



NOTES:

- 1.) DRAIN, WASTE & VENT PIPING SHALL BE ABS OR PVC SCHEDULE 40.
- 2.) DRAIN PIPE SIZING SHALL BE SIZED IN ACCORDANCE WITH TABLE 3005.4.1.
- 3.) INTERCONNECTION OF VENTS ABOVE CEILINGS SHALL BE MADE IN THE FACTORY WHERE PRACTICAL.
- 4.) BELOW FLOOR PLUMBING SHALL BE PROVIDED AND INSTALLED BY OTHERS AT SITE TO STATE AND LOCAL CODES.
- 5.) CHANGE IN DIRECTION IN DRAINAGE PIPING SHALL BE MADE THROUGH THE APPROPRIATE USE OF SANITARY TEES, WYES, SWEEPS, BENDS OR BY A COMBINATION OF THESE FITTINGS.
- 6.) DRAIN PIPING RAN HORIZONTALLY SHALL BE SUPPORTED A MIN. OF 4'-0" O.C.

APPROVED AUG 05 2008



**COPYRIGHT © 2006
Palm Harbor Homes, Inc.,
All Rights Reserved**

Plant	PLANT CITY
Location:	

Plant Number: 06/09

Drawn: DWH
By:

Date: 07/07/08

Series: **TIMBERLAND**

Model	FMX4766D
Number:	

Page Number:

Designation:

HOT WATER LINES

Rev. By: —
Revision: —

Revision: —

Approvals

P.E.
Robert E. Gregg
R.A.
630 Chestnut Street
Clearwater, FL 33756
FL Lic. No. 9927
Phone 727-796-8774

3rd Party:

Hilborn, Werner, Carter
and Associates(HWC)
1627 South Myrtle Ave
Clearwater, FL. 33756

Plan Number:
2102-0744F

State:

APPROVED AUG 05 2008

**LISTING
AGENCY
APPROVAL**

These prices comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

CONST. TYPE VB

INST. TYPE VB
OCCUPANCY R-3
OWNABLE NO. _____

ALLOWABLE NO. OF FLOORS	<u>1</u>
WIND VELOCITY	<u>150 (3 sec)</u>

WIND VELOCITY	<u>150 (3 sec)</u>
FIRE RATING OF EXT. WALLS	<u>0</u>

EXT. WALLS	0
PLAN NO.	<u>2102-0744F</u>
ALLOW. FLOOR LOAD	40

ALLOW. FLOOR
LOAD 40

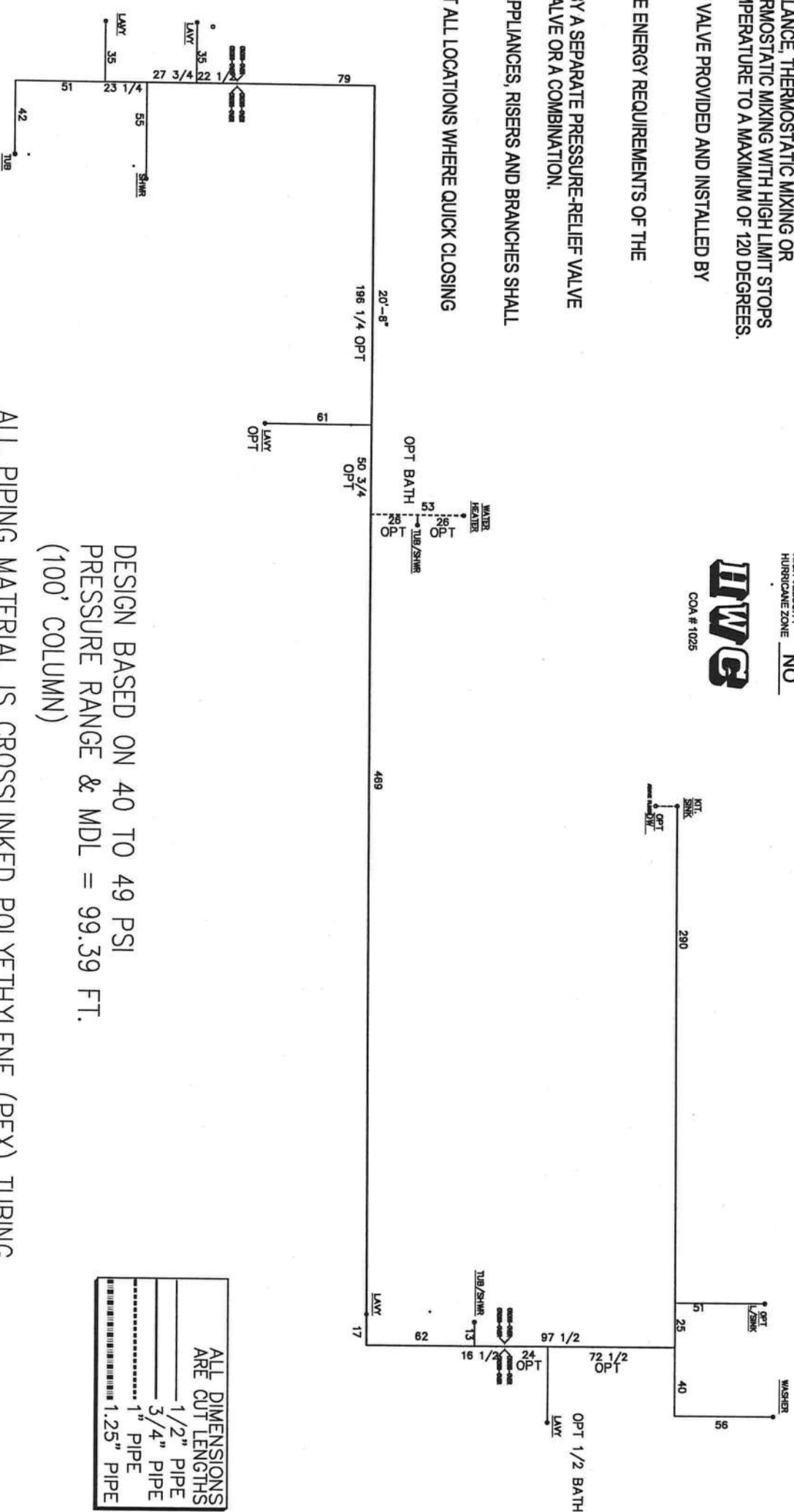
APPROVAL DATE 8/5/08

APPROVAL DATE 8/21/08
MANUFACTURER PHH
HIGH VELOCITY NO

HIGH VELOCITY
HURRICANE ZONE NO

IWG
COA # 1025

COA # 1025



DESIGN BASED ON 40 TO 49 PSI
PRESSURE RANGE & MDL = 99.39 FT.
(100' COLUMN)

ALL PIPING MATERIAL IS CROSSLINKED POLYETHYLENE (PEX) TUBING

ALL WATER LINES ARE TO
BE SECURED 32" O.C.

32 ARE O.C.

DESIGN BASED ON 40 TO 49 PSI
PRESSURE RANGE & MDL = 124.0FT.
(150' COLUMN)

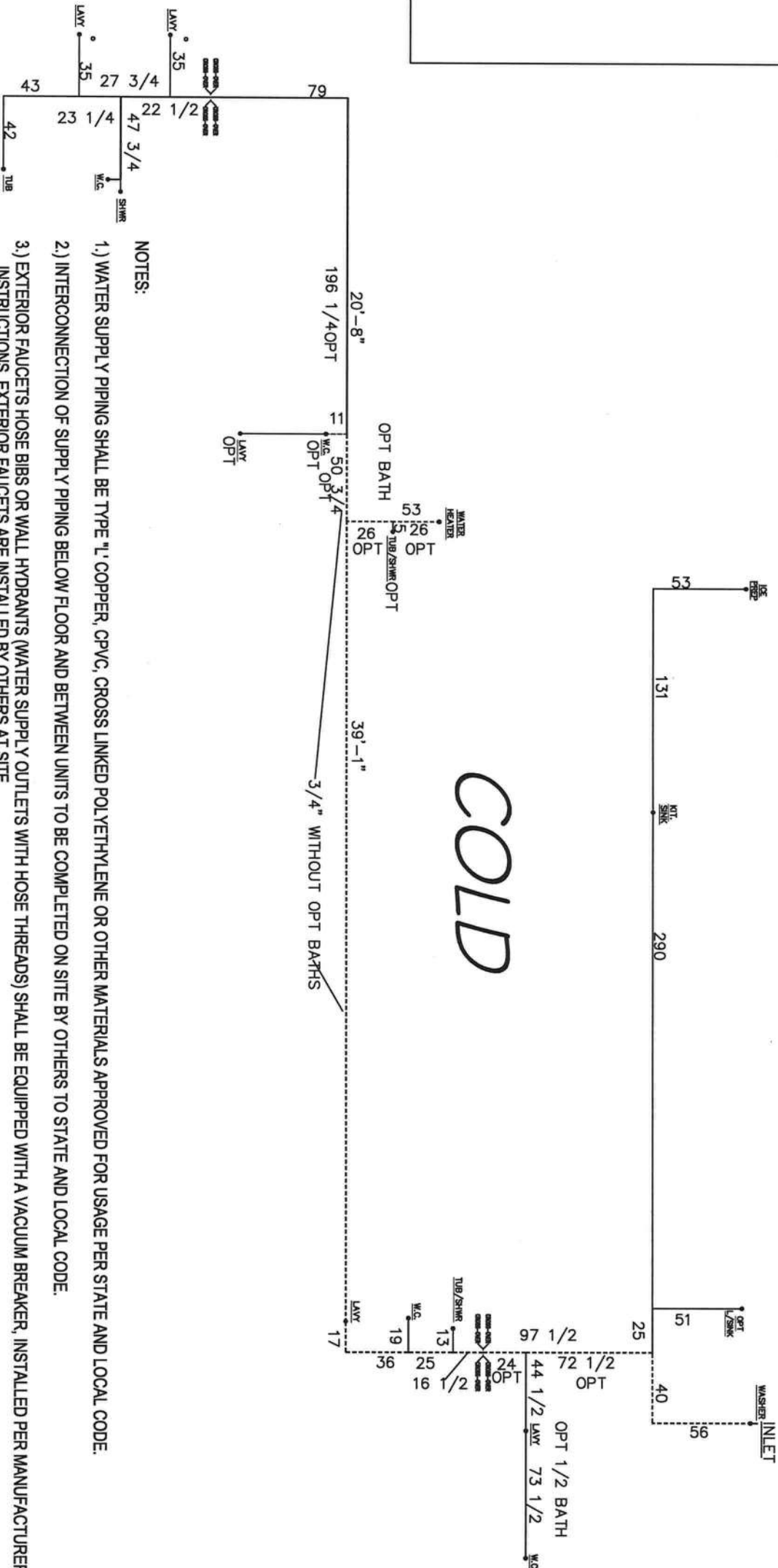
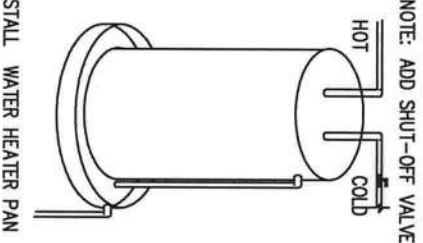
ALL PIPING MATERIAL IS CROSSLINKED POLYETHYLENE (PEX) TUBING

ALL DIMENSIONS
ARE CUT LENGTHS

— 1/2" PIPE

■ 3/4" PIPE

■ 1" PIPE



NOTES:

- 1.) WATER SUPPLY PIPING SHALL BE TYPE "L" COPPER, CPVC, CROSS LINKED POLYETHYLENE OR OTHER MATERIALS APPROVED FOR USAGE PER STATE AND LOCAL CODE.
- 2.) INTERCONNECTION OF SUPPLY PIPING BELOW FLOOR AND BETWEEN UNITS TO BE COMPLETED ON SITE BY OTHERS TO STATE AND LOCAL CODE.
- 3.) EXTERIOR FAUCETS HOSE BIBS OR WALL HYDRANTS (WATER SUPPLY OUTLETS WITH HOSE THREADS) SHALL BE EQUIPPED WITH A VACUUM BREAKER, INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. EXTERIOR FAUCETS ARE INSTALLED BY OTHERS AT SITE.
- 4.) SHOWERS, BATH TUBS AND TUB/SHOWERS COMBINATIONS SHALL BE EQUIPPED WITH CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC MIXING OR COMBINATION PRESSURE BALANCE/ THERMOSTATIC MIXING WITH HIGH LIMIT STOPS THAT SHALL BE SET TO LIMIT WATER TEMPERATURE TO A MAXIMUM OF 120 DEGREES.
- 5.) MAIN SHUT OFF VALVE TO BE A FULL WAY VALVE PROVIDED AND INSTALLED BY OTHERS AT SITE.
- 6.) WATER HEATERS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE APPLICABLE CODE.
- 7.) WATER HEATERS SHALL BE PROTECTED BY A SEPARATE PRESSURE-RELIEF VALVE AND SEPARATE TEMPERATURE-RELIEF VALVE OR A COMBINATION.
- 8.) VALVES SERVING INDIVIDUAL FIXTURES, APPLANCES, RISERS AND BRANCHES SHALL BE INSTALLED PER P2903.9.3
- 9.) INSTALL WATER HAMMER ARRESTORS AT ALL LOCATIONS WHERE QUICK CLOSING VALVES ARE UTILIZED.

These prints comply with the Florida
Manufacturing Building Code of 1973 Construction
Codes and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	150 (3 mps)
FIRE RATING OF EXT. WALLS	0
ALLOW. FLOOR LOAD	2102-0714AF
MANUFACTURER	PHH

HIGH VELOCITY
HURRICANE ZONE

NO

HWG
COA # 1025

COA # 1025



**COPYRIGHT © 2006
Palm Harbor Homes, Inc.
All Rights Reserved**

Plant
Location: **PLANT CITY**

Plant	06/09
Number:	

By: DWH

Date: 07/07/08

Series: **TIMBERLAND**

Model
Number: **FMX4766D**

Page
Number: FP-5.1

Designation:

COLD WATER LINES

Rev. By: --
Revision: --

— on:

Approvals

P.E.
Robert E. Gregg
R.A.
630 Chestnut Street
Clearwater, FL. 33756
FL. Lic. No. 9927
Phone 727-796-8774

3rd Party:

Hilborn, Werner, Carte
and Associates(HWC
1627 South Myrtle Av
Clearwater, FL. 33756

Plan Number:
2102-0744F

State

APPROVED AUG 06 2008

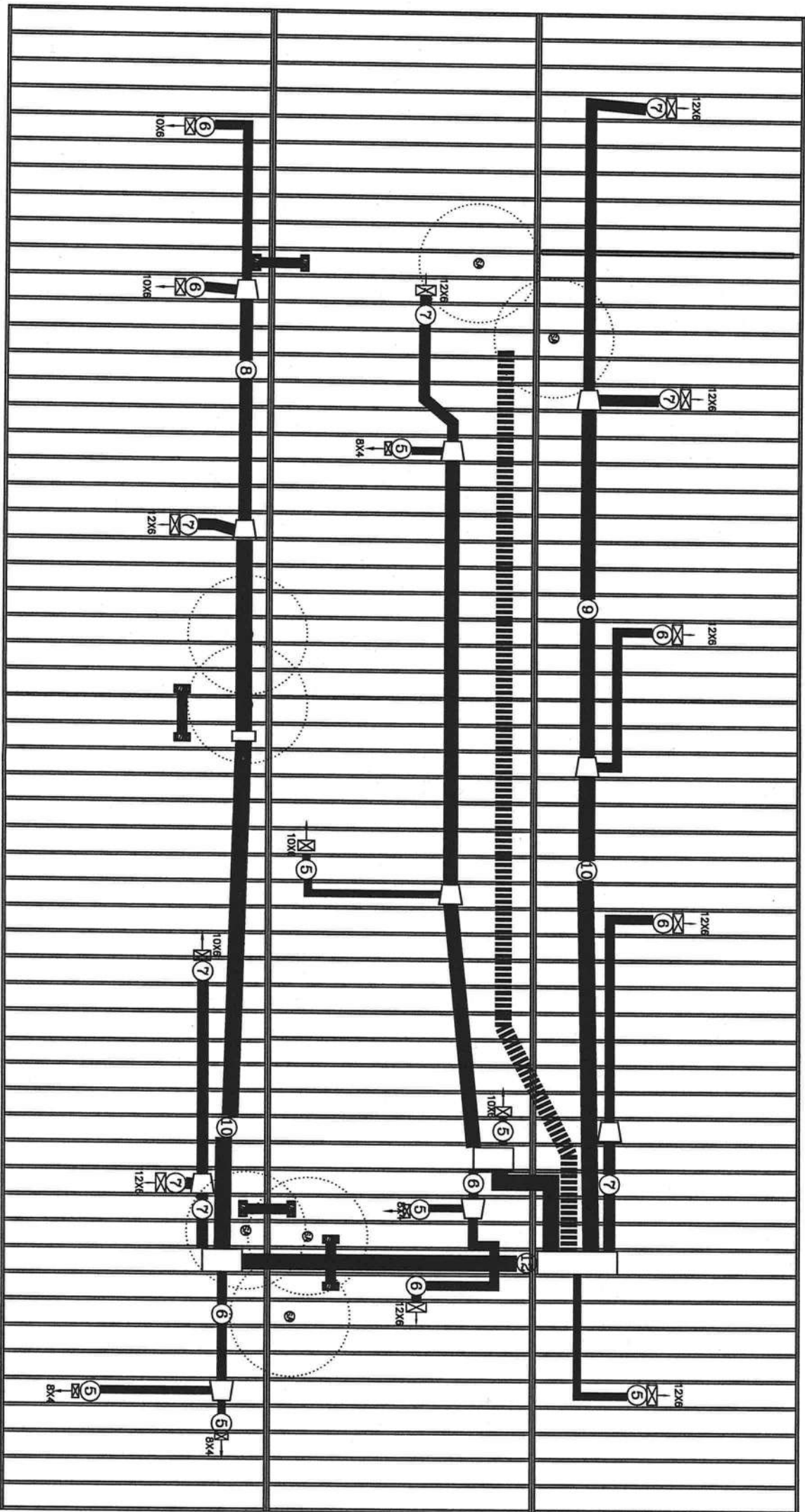
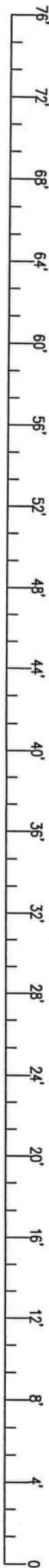
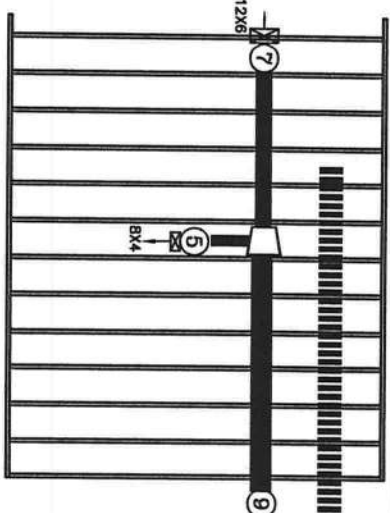
LISTING
AGENCY
APPROVAL

These plans comply with the Florida
Manufactured Building Act of 1979 Construction
Codes and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY 150.0 and EXT. WALLS	0
FIRE RATING OF PLAN NO.	2102-0744F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	8.5.08
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO



COA # 1025



RETURN AIR BALANCE IS ACHIEVED BY IN-CEILING
AIR (JUMP DUCTS). RETURNING CFMS EQUAL OR
GREATER THEN THE CFMS DELIVERED INTO THE
SPACE. REFERENCE HVAC CALC'S & SUBSECTION
2 OF THE BUILDING MANUALS HVAC SECTION.

TRUSS NUMBERS
TRUSS # C142002

(CHECK TRUSS PRINT FOR SPACING REQUIREMENTS)



150 MPH Maximum Wind Loads with Trusses at 16" o.c.
RIDGE BEAM:
3 LAYER OF 15/32" x 24" HIGH (3 LAYER /3 PLY)
PLYWOOD ALL PLYS GROUP I (32/16 INDEX)

GABLE ENDWALL TRUSS W/DIAGONAL BRACING
WHEN HINGED TRUSS IS APPLICABLE SEE PAGE RF-1.3



COPYRIGHT © 2006
Palm Harbor Homes, Inc.
All Rights Reserved

Plant Location: PLANT CITY
Plant Number: 06/09
Drawn: DWH
By: DWH
Date: 07/07/08

Series: TIMBERLAND
Model Number: FMX4766D
Page Number: FP-6
Designation:

ROOF LAYOUT

Rev. By: -
Revision: -

Approvals

P.E. Robert E. Gregg
R.A. 630 Chestnut Street
Clearwater, FL. 33756
FL. Lic. No. 9927
Phone 727-796-8774

3rd Party:

Hilborn, Werner, Carter
and Associates(HWC)
1627 South Myrtle Ave
Clearwater, FL. 33756

Plan Number:
2102-0744F

State:

APPROVED AUG 05 2008

- NOTES:
- 1) CRAWL SPACE ACCESS OPENING MUST BE 24" WIDE X 18" HIGH OR AS MANDATED BY LOCAL CODES. ACCESS MAY BE LOCATED ANYWHERE EXCEPT UNDER DOORS, PORCHES AND SHEAR WALLS.
 - 2) CRAWL SPACE VENTILATION OPENINGS REQUIRED WITHIN 36" OF EACH CORNER OR AS MANDATED BY LOCAL CODE.
 - 3) RESERVED.
 - 4) MINIMUM CONCRETE COMPRESSIVE STRENGTH (fc) IS 2000 PSI AFTER 28 DAYS.
 - 5) MINIMUM CLEARANCE IN CRAWL SPACE IS 18" BETWEEN GROUND AND WOOD FRAMING.
 - 6) FOUNDATION WALLS ARE POURED CONCRETE OR FULLY MORTARED CONCRETE BLOCK (CMU).
 - 7) DESIGN BASED ON 20 PSF ROOF LIVE LOAD & 40 PSF FLOOR LIVE LOAD.
 - 8) LOCAL SITE CONDITIONS WHICH VARY SUBSTANTIALLY FROM ASSUMPTIONS NOTED ON THIS DRAWING, MAY AT THE DISCRETION OF THE LOCAL BUILDING OFFICIAL, REQUIRE A FOUNDATION DESIGNED BY A PROFESSIONAL ENGINEER WHO IS FAMILIAR WITH THE SPECIFIC SITE CONDITIONS.

SEE FP-7.1 - 7.3 FOR DETAILS, NOTES, AND TABLES.

IMPORTANT:
OVER ALL FOUNDATION WIDTH INCLUDES 2" TO ALLOW FOR MATING WALL SHEATHING GAP FOR CABLING OR STRAPPING WHEN CRANE SET.

○ INDICATES THE SHEARWALL LOCATIONS
SEE SHEAR WALL SUMMARY FOR ANCHORAGE AND FOUNDATION REQUIREMENTS AT SHEAR WALL LOCATIONS SHOWN.



Palm Harbor Homes

COPYRIGHT © 2006
Palm Harbor Homes, Inc.
All Rights Reserved

Plant Location:	PLANT CITY
Plant Number:	06/09
Drawn By:	DWH
Date:	07/07/08
Series:	TIMBERLAND
Model Number:	FMX4766D
Page Number:	FP-7
Designation:	FOUNDATION

Rev. By: -
Revision: -

Approvals

P.E. Robert E. Gregg
R.A.
630 Chestnut Street
Clearwater, FL. 33756
FL. Lic. No. 9927
Phone 727-796-8774

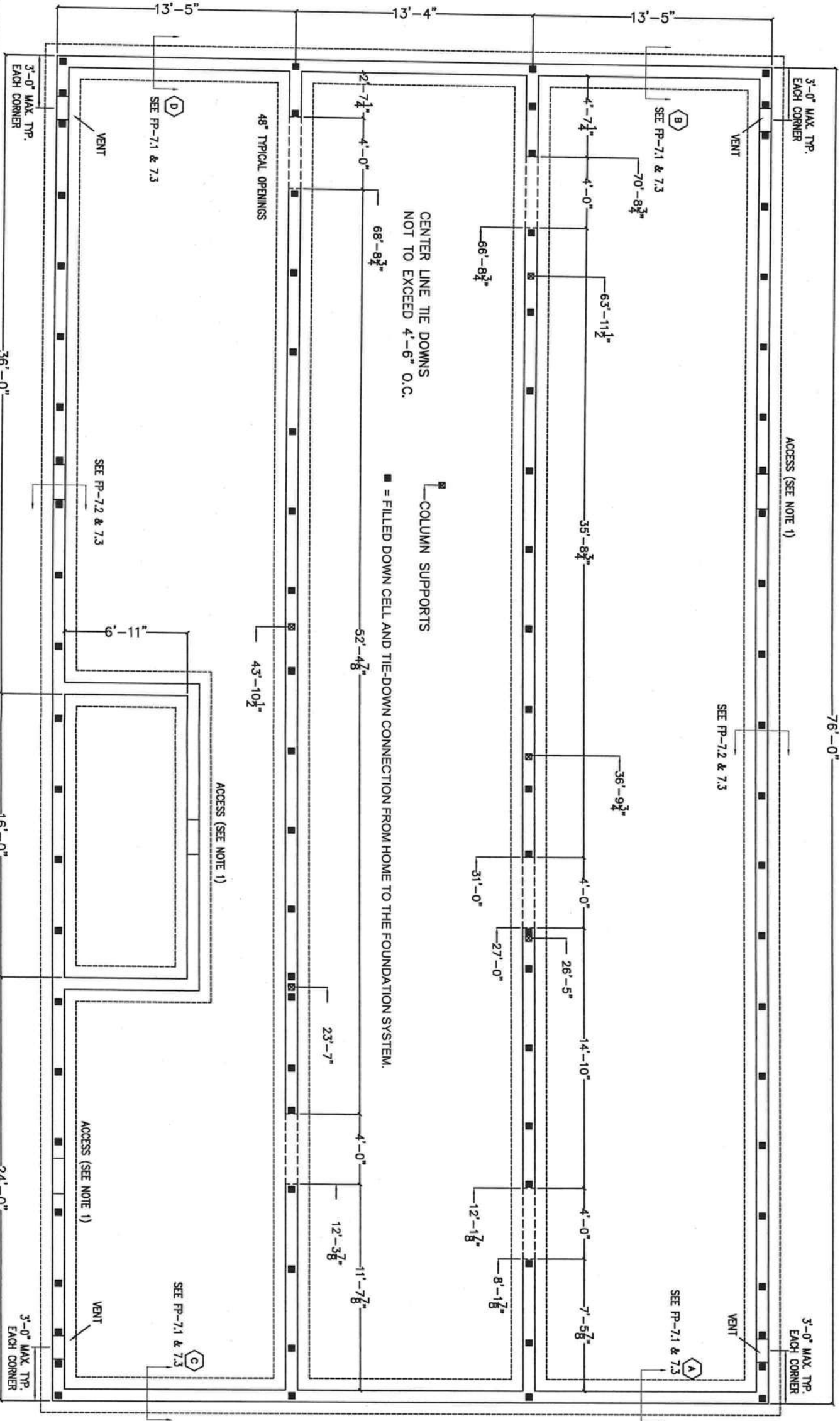
3rd Party:

Hilborn, Werner, Carter
and Associates(HWC)
1627 South Myrtle Ave
Clearwater, FL. 33756

Plan Number:
2102-0744F

State:

APPROVED AUG 0 5 2008



CONCRETE CURING TIME:
IN ACCORDANCE WITH ACI-308, MAINTAIN CURING MEASURES BEFORE CONSTRUCTION ON CONCRETE FOUNDATION COMPONENTS BEGINS, UNTIL A MINIMUM OF 70% OF THE SPECIFIED 28-DAY COMPRESSIVE STRENGTH HAS BEEN ACHIEVED. THE RECOMMENDED TIME TO ATTAIN THIS LEVEL OF STRENGTH IS 7 DAYS FOR ASTM C150 TYPE I MIXTURES AND 10 DAYS FOR TYPE II MIXTURES. "IN SERVICE" LOADING (FULL DESIGN LIVE & DEAD LOADS) MAY NOT BE APPLIED UNTIL THE 28 DAY DURATION HAS ELAPSED FOR ACHIEVING FULL STRENGTH.
STANDARD FASTENING OF HOUSE TO FOUNDATION - ALL SEISMIC ZONES TO ENAIL PERIMETER JOIST TO SILL PLATE WITH 16d NAILS PER CHARTS ON PAGES FP-7.2 & 7.3. FOR SEISMIC ZONES D0 AND ABOVE - ADD 4" STRIP OF SHEATHING (MIN.) & FASTEN WITH .099 NAILS @ 4" O.C. INTO PERIMETER JOIST AND SILL PLATE.

NOTE TO CONTRACTORS

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LENGTH, WIDTH, AND OTHER STANDARD OR OPTIONAL FEATURES SUCH AS BAYS, OFFSETS, PORCHES, ETC., AGAINST THE FACTORY SERIALIZED PRINT. CONTACT YOUR FACTORY REPRESENTATIVE FOR A SERIALIZED COPY OF YOUR PROJECT.

Foundation Shear Wall General Notes:

- 1. Connection requirements shown in Columns A through H apply to shear walls in end walls only.
- 2. Side wall connections are shown above the header of each table.

Rim to Sill Plate: Toe-nail the floor rim along the side walls to the sill plate with 0.131x3" nails at spacing shown in the appropriate table.

Anchor spacing along Side Walls: Anchorage at the foundation walls along each side wall consists of securing the pressure treated sill

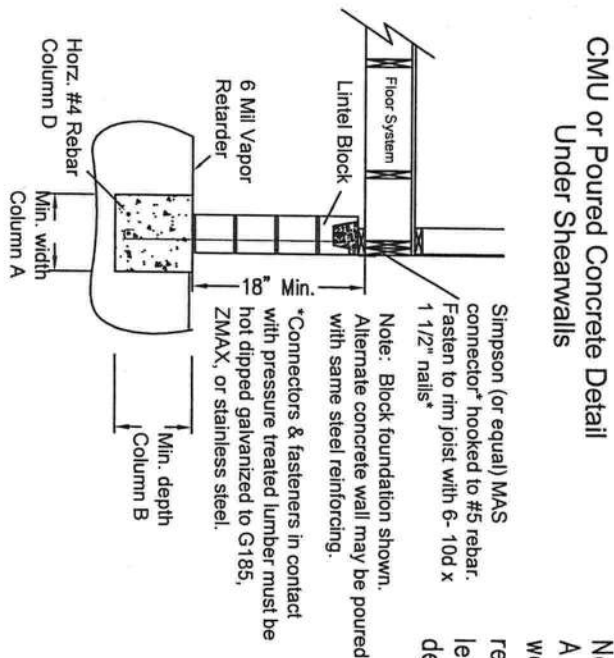
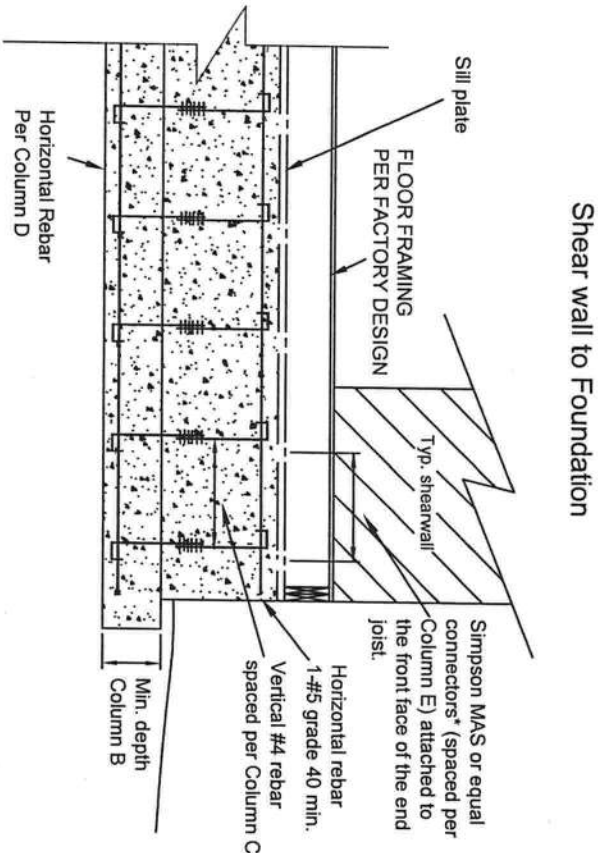
plate (S. Pine or better) to the foundation wall with 1/2" diameter Simpson or equal Wedge-All anchor bolts with 2 1/4" minimum embedment spaced as indicated in the appropriate table header.

- 3. Use stainless steel fasteners with stainless steel connectors for all steel in contact with pressure treated lumber, or use hot-dipped galvanized fasteners (ASTM A153) with galvanized connectors (ASTM A653).

Foundation Shear Wall Table Notes:

Letters in the table column headings (A through H) correspond with notes below. Refer to the typical foundation print for shear wall locations corresponding to alpha-numeric designations shown in first table column.

- A. Minimum footer width for the full width of the unit endwall the shear section(s) is/are in. See column D for the number of horizontal bars required in this footer. See details below.
- B. Minimum footer depth for the full width of the unit end wall the shear section(s) is/are in.
- C. Required spacing and size of the vertical rebar continuous from the lintel horizontal bar to the footing horizontal rebar. See details below.
- D. Required number and size of the horizontal rebar in the footing to be placed on chairs per code. Rebar is continuous (lapped) for the full length of footer. See details below.
- E. Required spacing of anchors from end joist of the module to the lintel horizontal rebar in the case of Simpson MAS connectors. When MAS or equal connectors are NOT used and another connector is not specified in this column, the connection must be designed by a local registered engineer. See details below.
- F. This column applies only when a Simpson MAS or equal connector is not used. In this case, a 4" sheathing strip is fastened with 0.099 x 1 1/2" nails into the sill plate and the end joist, at the maximum spacing indicated in column F.
- G. Moment shown is in ft-lbs and is provided for a designer's use in case this foundation design is not practical or desired and an alternate foundation design is to be engineered. For elevated (still) sets this moment must be used to determine the required anchorage and foundation design.



Note: Footer width and thickness as shown in Columns A & B, are required only under the respective end shear wall, and extends the full width of the end wall, regardless of the shear segment(s) location or combined length(s). For side wall footer dimensions refer to other details.

See FP-7.3
For Foundation
Shear Wall Tables



COPYRIGHT © 2006
Palm Harbor Homes, Inc.
All Rights Reserved

Plant: PLANT CITY
Location: 06/09
Plant Number:
Drawn: DWH
By:
Date: 07/07/08

Series: TIMBERLAND
Model Number: FMX4766D
Page Number: FP-7.1
Designation:

SHEARWALL NOTES

Rev. By: -
Revision: -

Approvals

P.E. Robert E. Gregg
R.A. 630 Chestnut Street
Clearwater, FL. 33756
FL. Lic. No. 9927
Phone 727-796-8774

3rd Party:

Hilborn, Werner, Carter
and Associates(HWC)
1627 South Myrtle Ave
Clearwater, FL. 33756

Plan Number:
2102-0744F

State:

APPROVED AUG 0 5 2008



COPYRIGHT © 2006
Palm Harbor Homes, Inc.
All Rights Reserved

Plant Location:	PLANT CITY
Plant Number:	06/09
Drawn	DWH
By:	
Date:	07/07/08
Series:	TIMBERLAND
Model Number:	FMX4766D
Page Number:	FP-7.3
Designation:	

SHEARWALL TABLES

Rev. By: -
Revision: -

Approvals

P.E. Robert E. Gregg
R.A.
630 Chestnut Street
Clearwater, FL. 33756
FL. Lic. No. 9927
Phone 727-796-8774

3rd Party:

Hilborn, Werner, Carter
and Associates(HWC)
1627 South Myrtle Ave
Clearwater, FL. 33756

Plan Number:
2102-0744F

State:

APPROVED AUG 05/2008

SHEAR WALLS

Wind Speed:150 Exposure:C Side Wall HT(In.):108 Max Elev(In.):120 Framing:2x6 Elevated Still Foundation – Designed by Others						
A	B	C	D	E	F	G
Shear Wall	Min. Footer Width(In)	Min. Footer Depth(In)	#4 Vertical Rebar Spacing(In o.c.)	No of #4 Horizontal Rebars	Simpson MAS Conn (In o.c.)	Sheathing Strip to Sill and Roll Moment at Bottom of Unit Floor
A	N/A	N/A	N/A	N/A	N/A	N/A
B	N/A	N/A	N/A	N/A	N/A	N/A
C	N/A	N/A	N/A	N/A	N/A	N/A
D	N/A	N/A	N/A	N/A	N/A	N/A

SIDE WALLS

Location	Minimum Footer Size	Number of Horizontal Rebar	Vertical Rebar Spacing
6 FT. End Zone =	12 Wide x 36.5 Deep	5	23.3 inches o/c
Interior Zone =	12 Wide x 36.5 Deep	5	31.7 inches o/c
Rim to Sill Plate: 7.38 inches o/c. Anchor Spacing Along Side Walls: 40.99 inches o/c.			

SHEAR WALLS

Wind Speed:150 Exposure:C Side Wall HT(In.):108 Max Elev(In.):24 Framing:2x6						
A	B	C	D	E	F	G
Shear Wall	Min. Footer Width(In)	Min. Footer Depth(In)	#4 Vertical Rebar Spacing(In o.c.)	No of #4 Horizontal Rebars	Simpson MAS Conn (In o.c.)	Sheathing Strip to Sill and Roll Moment at Bottom of Unit Floor
A	36	18	48	7	13	N/A
B	36	18	48	7	13	N/A
C	36	18	48	7	13	N/A
D	36	18	48	7	13	N/A

SIDE WALLS

Location	Minimum Footer Size	Number of Horizontal Rebar	Vertical Rebar Spacing
6 FT. End Zone =	12 Wide x 26.2 Deep	4	Error 2015
Interior Zone =	12 Wide x 26.2 Deep	4	Error 2015
Rim to Sill Plate: 8.81 inches o/c. Anchor Spacing Along Side Walls: 48.92 inches o/c.			

SHEAR WALLS

Wind Speed:130 Exposure:C Side Wall HT(In.):108 Max Elev(In.):120 Framing:2x6 Elevated Still Foundation – Designed by Others						
A	B	C	D	E	F	G
Shear Wall	Min. Footer Width(In)	Min. Footer Depth(In)	#4 Vertical Rebar Spacing(In o.c.)	No of #4 Horizontal Rebars	Simpson MAS Conn (In o.c.)	Sheathing Strip to Sill and Roll Moment at Bottom of Unit Floor
A	N/A	N/A	N/A	N/A	N/A	N/A
B	N/A	N/A	N/A	N/A	N/A	N/A
C	N/A	N/A	N/A	N/A	N/A	N/A
D	N/A	N/A	N/A	N/A	N/A	N/A

SHEAR WALLS

Wind Speed:140 Exposure:C Side Wall HT(In.):108 Max Elev(In.):120 Framing:2x6 Elevated Still Foundation – Designed by Others						
A	B	C	D	E	F	G
Shear Wall	Min. Footer Width(In)	Min. Footer Depth(In)	#4 Vertical Rebar Spacing(In o.c.)	No of #4 Horizontal Rebars	Simpson MAS Conn (In o.c.)	Sheathing Strip to Sill and Roll Moment at Bottom of Unit Floor
A	N/A	N/A	N/A	N/A	N/A	N/A
B	N/A	N/A	N/A	N/A	N/A	N/A
C	N/A	N/A	N/A	N/A	N/A	N/A
D	N/A	N/A	N/A	N/A	N/A	N/A

SIDE WALLS

Location	Minimum Footer Size	Number of Horizontal Rebar	Vertical Rebar Spacing
6 FT. End Zone =	12 Wide x 28.7 Deep	4	27.4 inches o/c
Interior Zone =	12 Wide x 28.7 Deep	4	37.6 inches o/c
Rim to Sill Plate: 8.48 inches o/c. Anchor Spacing Along Side Walls: 47.06 inches o/c.			

SHEAR WALLS

Wind Speed:140 Exposure:C Side Wall HT(In.):108 Max Elev(In.):24 Framing:2x6						
A	B	C	D	E	F	G
Shear Wall	Min. Footer Width(In)	Min. Footer Depth(In)	#4 Vertical Rebar Spacing(In o.c.)	No of #4 Horizontal Rebars	Simpson MAS Conn (In o.c.)	Sheathing Strip to Sill and Roll Moment at Bottom of Unit Floor
A	34	16	54	6	15	N/A
B	34	16	54	6	15	N/A
C	34	16	54	6	15	N/A
D	34	16	54	6	15	N/A

SIDE WALLS

Location	Minimum Footer Size	Number of Horizontal Rebar	Vertical Rebar Spacing
6 FT. End Zone =	12 Wide x 21.4 Deep	3	32.8 inches o/c
Interior Zone =	12 Wide x 21.4 Deep	3	45.5 inches o/c
Rim to Sill Plate: 9.83 inches o/c. Anchor Spacing Along Side Walls: 54.58 inches o/c.			

SHEAR WALLS

Wind Speed:130 Exposure:C Side Wall HT(In.):108 Max Elev(In.):24 Framing:2x6						
A	B	C	D	E	F	G
Shear Wall	Min. Footer Width(In)	Min. Footer Depth(In)	#4 Vertical Rebar Spacing(In o.c.)	No of #4 Horizontal Rebars	Simpson MAS Conn (In o.c.)	Sheathing Strip to Sill and Roll Moment at Bottom of Unit Floor
A	32	14	61	5	17	N/A
B	32	14	61	5	17	N/A
C	32	14	61	5	17	N/A
D	32	14	61	5	17	N/A



COPYRIGHT © 2006
Palm Harbor Homes, Inc.
All Rights Reserved

Plant Location:	PLANT CITY
Plant Number:	06/09
Drawn By:	DWH
Date:	07/07/08
Series:	TIMBERLAND
Model Number:	FMX4766D
Page Number:	FP-8
Designation:	

GAS LINES

Rev. By: -
Revision: -

Approvals

P.E. Robert E. Gregg
R.A.
630 Chestnut Street
Clearwater, FL. 33756
FL. Lic. No. 9927
Phone 727-796-8774

3rd Party:

Hilborn, Werner, Carter
and Associates(HWC)
1627 South Myrtle Ave
Clearwater, FL. 33756

Plan Number:
2102-0744F

State:

APPROVED AUG 05 2008

COMBUSTION AIR INTAKE,
COMBUSTION GAS VENTING,
PER MANUFACTURERS INSRUCTIONS

LISTED EXTERIOR
FLEX QUICK DISCONNECT
DEVICE AT CROSSOVER

37'-10"

1'-0 1/8" 3/4" INLET

22,000 BTU'S
DRYER

37'-10"

37'-10"

These prints comply with the Florida
Manufactured Building Act of 1979 Construction
Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	150 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0744F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	8-5-08
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

LISTED FLEX
CONNECTOR AT
EACH APPLIANCE

THIS DETAIL IS
FOR ALL APPLIANCE
INSTALLATIONS
IN THIS MODEL

TYPICAL LISTED
SHUT OFF VALVE
AT EACH APPLIANCE

TYP.
FITTER
RISER

MAIN PIPE RUN

MAXIMUM OVERALL
DEVELOPED LENGTH
38'-10"

TOTAL BTU'S
82,000

IRON PIPING
1 1/2" PIPE
3/4" PIPE

● = TYPICAL 1 1/2" PIPE
RISER @ EACH APPLIANCE



COA # 1025