

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

DECAL #

For Office Use Only (Revised 7-1-15) Zoning Official [Signature] Building Official Tm 11/30/17
 AP# 171181 Date Received 11/28 By JW Permit # 36055
 Flood Zone X Development Permit _____ Zoning A-3 Land Use Plan Map Category A
 Comments _____

FEMA Map# _____ Elevation _____ Finished Floor 1' above River In Floodway _____
☒ Recorded Deed or ☒ Property Appraiser PO ☒ Site Plan VEH # 17-0746-E CITY WATER Well letter OR
☒ Existing well ☐ Land Owner Affidavit ☒ Installer Authorization ☐ FW Comp. letter ☒ App Fee Paid
☐ DOT Approval ☐ Parent Parcel # _____ ☐ STUP-MH _____ ☒ 911 App 211 updates
☐ Ellisville Water Sys ☐ Assessment _____ ☐ Out County ☒ In County ☒ Sub VF Form A/C

Property ID # 21-35-16-02240-025 Subdivision _____ Lot# _____

- New Mobile Home _____ Used Mobile Home ☒ MH Size _____ Year _____
- Applicant Sherry Davis Phone # 386-965-2123
- Address 228 NW Lamar Place LAKE CITY, FL 32055
- Name of Property Owner Eddie F & Sherry Davis Phone# 965-2123
- 911 Address 228 NW Lamar Place LAKE CITY, FL 32055
- Circle the correct power company - FL Power & Light - Clay Electric
 (Circle One) - Suwannee Valley Electric - Duke Energy
- Name of Owner of Mobile Home Eddie / Sherry Davis Phone # 965 2123
 Address SAME AS ABOVE
- Relationship to Property Owner SELF / OWNER
- Current Number of Dwellings on Property 0
- Lot Size 0.674 Acre Total Acreage 0.674 Acre
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
 (Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home Yes Bill for Tax office 12.4.17 (Lisa)
- Driving Directions to the Property 90 West Turner Ave right Lamar Pl, FL
4MM on left

▪ Name of Licensed Dealer/Installer Jesse Cooper Phone # 386-292-3778
 ▪ Installers Address 155 NW Robinson Dr Lake city FL 32055
 ▪ License Number 11103758 Installation Decal # 45919

The spoke for Sherry 12.4.17

SCANNED

Mobile Home Permit Worksheet

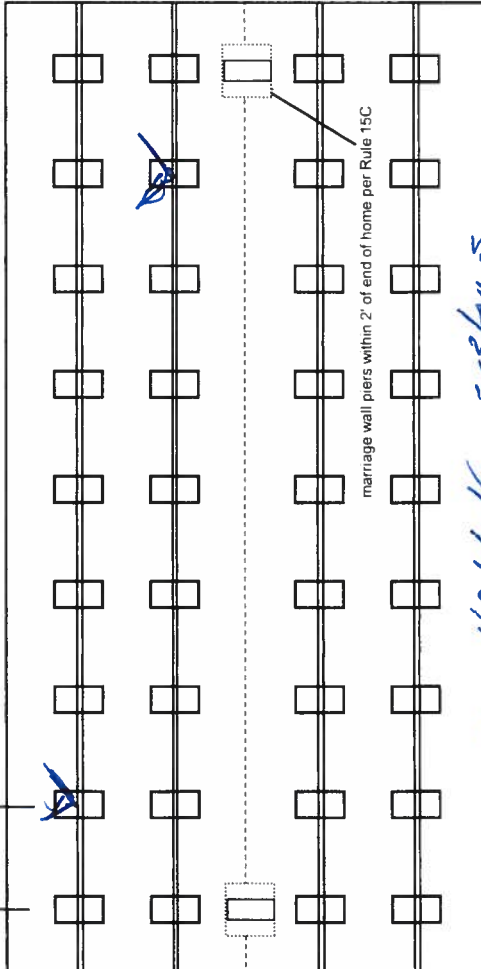
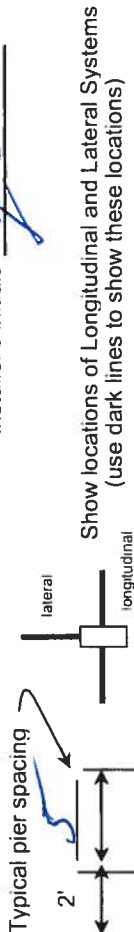
Application Number: _____

Date: _____

Installer: Jesse Cooper License # 1103758
 Address of home being installed: 228 NW LAMAR
Lake City, FL 32055
 Manufacturer: Skylar Length x width: 14' x 56'

NOTE: if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials: JK



New Home ☐ Used Home ☒

Home installed to the Manufacturer's Installation Manual Home is installed in accordance with Rule 15-C

Single wide ☒ Wind Zone II ☒ Wind Zone III ☐

Double wide ☐ Installation Decal # 45919

Triple/Quad ☐ Serial # 0361-1453-F

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	3'	4'	5'	6'	7'	8'
1500 psf	4' 6"	4' 6"	6'	7'	8'	8'	8'
2000 psf	6'	6'	8'	8'	8'	8'	8'
2500 psf	7' 6"	7' 6"	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17x25

Perimeter pier pad size 16x16

Other pier pad sizes (required by the mfg.) NA

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening _____ Pier pad size _____

4 ft

5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer Oliver Tech

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer Oliver Tech

OTHER TIES

Number

Sidewall 20

Longitudinal 20

Marriage wall 20

Shearwall 20

Mobile Home Permit Worksheet

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf or check here to declare 1000 lb. soil ☒ without testing.

X 1000 X 1000 X 1000

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1000 X 1000 X 1000

TORQUE PROBE TEST

The results of the torque probe test is _____ inch pounds or check here if you are declaring 5' anchors without testing ☒. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Date Tested

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. NA

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. NA

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. NA

Application Number:

Date:

Site Preparation

Debris and organic material removed ☒
Water drainage: Natural ☒ Swale ☐ Pad ☐ Other ☐

Fastening multi wide units

Floor: Type Fastener: _____ Length: _____ Spacing: _____
Walls: Type Fastener: NA Length: _____ Spacing: _____
Roof: Type Fastener: _____ Length: _____ Spacing: _____
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket

Installed:

Between Floors Yes ☒
Between Walls Yes ☒
Bottom of ridgebeam Yes ☒

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☒ Pg. _____
Siding on units is installed to manufacturer's specifications. Yes ☒
Fireplace chimney installed so as not to allow intrusion of rain water. Yes NA

Miscellaneous

Skirting to be installed. Yes ☒ No ☒
Dryer vent installed outside of skirting. Yes ☒ N/A ☒
Range downflow vent installed outside of skirting. Yes ☒ N/A ☒
Drain lines supported at 4 foot intervals. Yes ☒
Electrical crossovers protected. Yes ☒
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

Date

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 171481 CONTRACTOR Jesse Lopez PHONE 306.292.3928

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name <u>Edgie Davis</u> Signature <u>Edgie Davis</u> License #: _____ Phone #: <u>758-9343</u> Qualifier Form Attached ☐
MECHANICAL/ A/C <u>1948</u>	Print Name <u>All commercial Refrigeration Serv</u> Signature <u>[Signature]</u> License #: <u>CAC1815493</u> Phone #: <u>352-213-5214</u> Qualifier Form Attached ☐

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Columbia County Property Appraiser

Jeff Hampton

2017 Tax Roll Year

updated: 10/27/2017

Parcel: << **21-3S-16-02240-025** >>**Owner & Property Info**

Result: 1 of 1

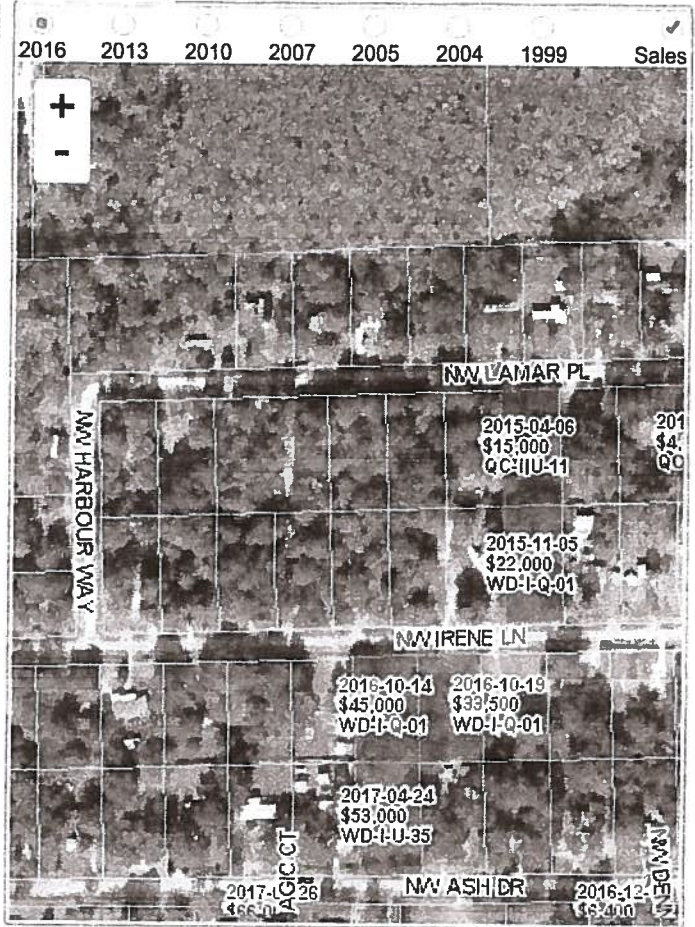
Owner	DAVIS EDDIE F & SHERRY 228 NW LAMAR PLACE LAKE CITY, FL 32055		
Site	228 LAMAR PL, LAKE CITY		
Description *	LOT 25 PINE RIDGE S/D. WD 1113-143		
Area	0.674 AC	S/T/R	21-3S-16
Use Code *	MOBILE HOM (000200)	Tax District	2

* The Description above is not to be used as the Legal Description for this parcel in any legal transaction. The Use Code is a FL Dept. of Revenue (DOR) code. Please contact the Columbia County Planning & Development office for specific zoning information.

Property & Assessment Values

2017 Certified Values		2018 Working Values	
Mkt Land (2)	\$12,750	Mkt Land (2)	\$13,750
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (1)	\$2,949	Building (1)	\$3,180
XFOB (1)	\$50	XFOB (1)	\$50
Just	\$15,749	Just	\$16,980
Class	\$0	Class	\$0
Appraised	\$15,749	Appraised	\$16,980
Exempt	HX H3 \$10,415	Exempt	HX H3 \$10,727
Assessed	\$10,415	Assessed	\$10,727
Total Taxable	county:\$0 city:\$0 other:\$0 school:\$0	Total Taxable	county:\$0 city:\$0 other:\$0 school:\$0

Aerial Viewer Pictometry Google Maps

**Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
2/15/2007	\$11,000	1113/0143	WD	V	U	03

Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	MOBILE HME (000800)	1969	720	720	\$3,180

Extra Features & Out Buildings - (Show Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0296	SHED METAL	2014	\$50.00	1.000	0 x 0 x 0	(000.00)

Land Breakdown

Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
000200	MBL HM (MKT)	1.000 LT - (0.674 AC)	1.00/1.00 1.00/1.00	\$13,000	\$13,000
009947	SEPTIC (MKT)	1.000 UT - (0.000 AC)	1.00/1.00 1.00/1.00	\$750	\$750

Search Result: 1 of 1

© Columbia County Property Appraiser | Jeff Hampton | Lake City, Florida | 386-758-1083

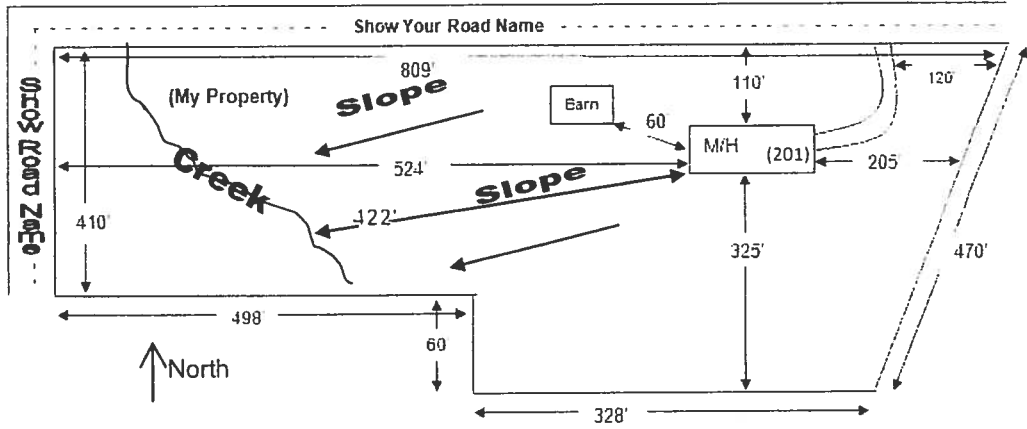
by: GrizzlyLogic.com

SITE PLAN CHECKLIST

- ___ 1) Property Dimensions
- ___ 2) Footprint of proposed and existing structures (including decks), label these with existing addresses
- ___ 3) Distance from structures to all property lines
- ___ 4) Location and size of easements
- ___ 5) Driveway path and distance at the entrance to the nearest property line
- ___ 6) Location and distance from any waters; sink holes; wetlands; and etc.
- ___ 7) Show slopes and or drainage paths
- ___ 8) Arrow showing North direction

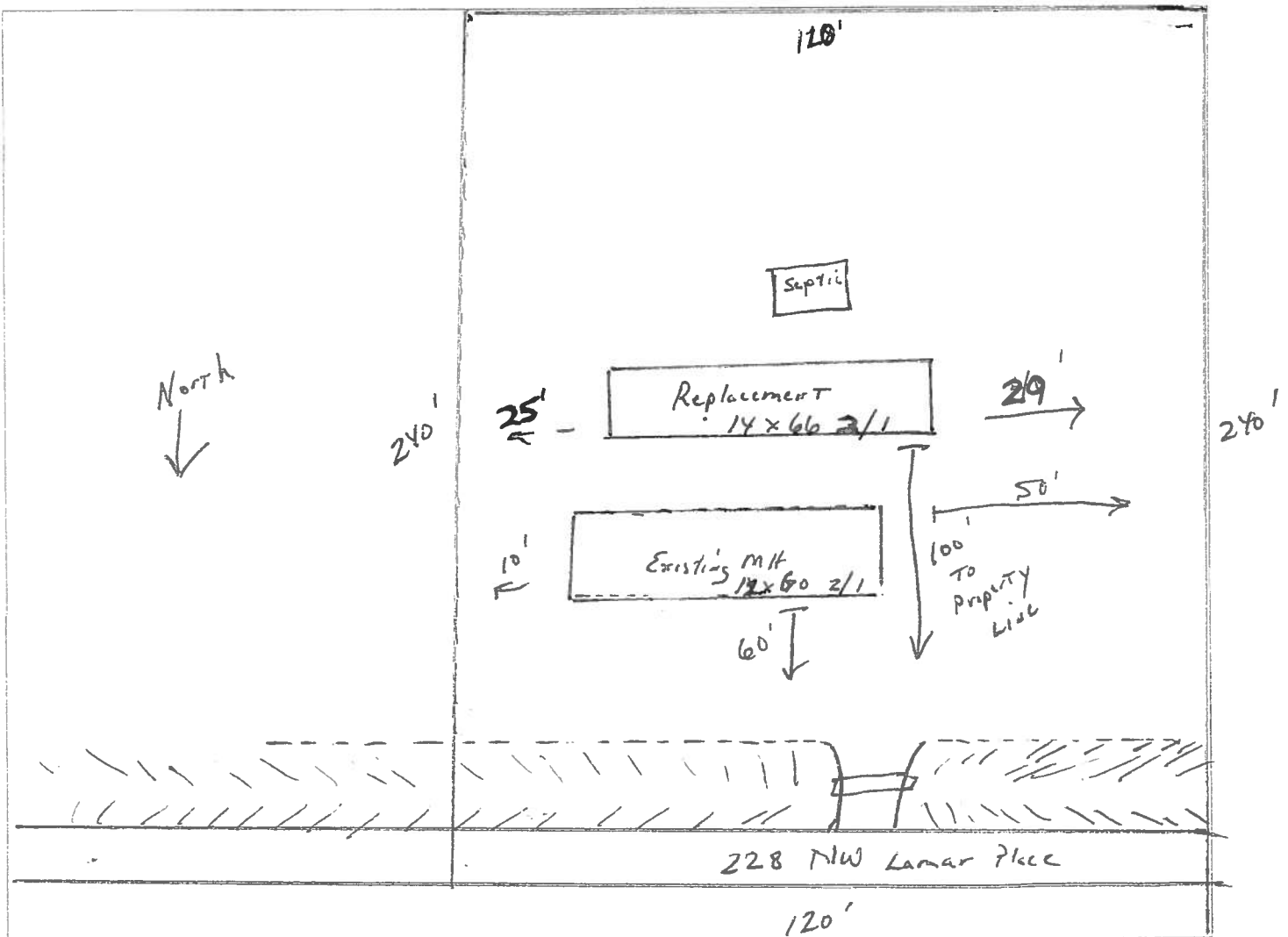
SITE PLAN EXAMPLE

Revised 7/1/15

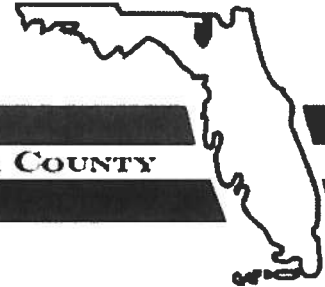


NOTE:

This site plan can be copied and used with the 911 Addressing Dept. application forms.



District No. 1 - Ronald Williams
District No. 2 - Rusty DePratter
District No. 3 - Bucky Nash
District No. 4 - Everett Phillips
District No. 5 - Tim Murphy



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued: **11/21/2017 2:54:55 PM**

Address: **228 NW LAMAR PI**

City: **LAKE CITY**

State: **FL**

Zip Code **32055**

Parcel ID **02240-025**

REMARKS: Address Verification.

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

**COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT**

**263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125
Email: gis@columbiacountyfla.com**



Jesse

COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

MOBILE HOME INSTALLERS LETTER OF AUTHORIZATION

I, Jesse Cooper, give this authority for the job address show below
Installer License Holder Name
only, 228 NW LAMAR PL, and I do certify that
Job Address

the below referenced person(s) listed on this form is/are under my direct supervision and control
and is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Authorized Person	Signature of Authorized Person	Authorized Person is... (Check one)
Sherry Davis	Sherry Davis	☒ Agent ☐ Officer ☒ Property Owner
		☐ Agent ☐ Officer ☐ Property Owner
		☐ Agent ☐ Officer ☐ Property Owner

I, the license holder, realize that I am responsible for all permits purchased, and all work done
under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and
Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license
holder for violations committed by him/her or by his/her authorized person(s) through this
document and that I have full responsibility for compliance granted by issuance of such permits.

Jesse Cooper License Holders Signature (Notarized) 1103758 License Number 11-15-17 Date

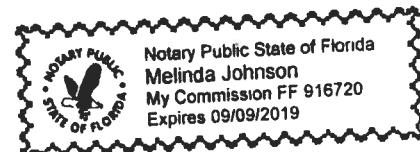
NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Columbia

The above license holder, whose name is Jesse Cooper,
personally appeared before me and is known by me or has produced identification
(type of I.D.) Florida Drivers License on this 27th day of November, 2017.

Melinda Johnson
NOTARY'S SIGNATURE

(Seal/Stamp)



N. of
Winfield
on R.

CODE ENFORCEMENT
PRELIMINARY MOBILE HOME INSPECTION REPORT

112817
171181

DATE RECEIVED 11/28 BY Joe IS THE M/H ON THE PROPERTY WHERE THE PERMIT WILL BE ISSUED? No

OWNERS NAME Eddie & Sherri Davis PHONE 758-9343 CELL 965-2123

ADDRESS 226 NW Lamar Place Lake City FL 32055

MOBILE HOME PARK _____ SUBDIVISION _____

DRIVING DIRECTIONS TO MOBILE HOME 41 North to Cutting at NW Langford Court
(Cutting N Ranch/Buddy/Steve Nail) turn Right follow road to very end
457 NW Langford Court

MOBILE HOME INSTALLER Jessie Cooper PHONE 386-292-3778 CELL _____

MOBILE HOME INFORMATION

MAKE Skyline YEAR 1993 SIZE 14' X 56' COLOR Brown/white

SERIAL No. 03611453F Tilt # 65051013

WIND ZONE II Must be wind zone II or higher NO WIND ZONE I ALLOWED

INSPECTION STANDARDS

INTERIOR:

(P or F) - P= PASS F= FAILED

F SMOKE DETECTOR () OPERATIONAL () MISSING ☒
P FLOORS () SOLID () WEAK () HOLES DAMAGED LOCATION _____
P DOORS () OPERABLE () DAMAGED
P WALLS () SOLID () STRUCTURALLY UNSOUND
P WINDOWS () OPERABLE () INOPERABLE
P PLUMBING FIXTURES () OPERABLE () INOPERABLE () MISSING
P CEILING () SOLID () HOLES () LEAKS APPARENT
P ELECTRICAL (FIXTURES/OUTLETS) () OPERABLE () EXPOSED WIRING () OUTLET COVERS MISSING () LIGHT
FIXTURES MISSING

* FRONT DOOR
WILL BE OPEN
PER OWNER

EXTERIOR:

P WALLS / SIDING () LOOSE SIDING () STRUCTURALLY UNSOUND () NOT WEATHERTIGHT () NEEDS CLEANING
P WINDOWS () CRACKED / BROKEN GLASS () SCREENS MISSING () WEATHERTIGHT
P ROOF () APPEARS SOLID () DAMAGED

STATUS

APPROVED ☒ WITH CONDITIONS: Replace S.D.

NOT APPROVED _____ NEED RE-INSPECTION FOR FOLLOWING CONDITIONS _____

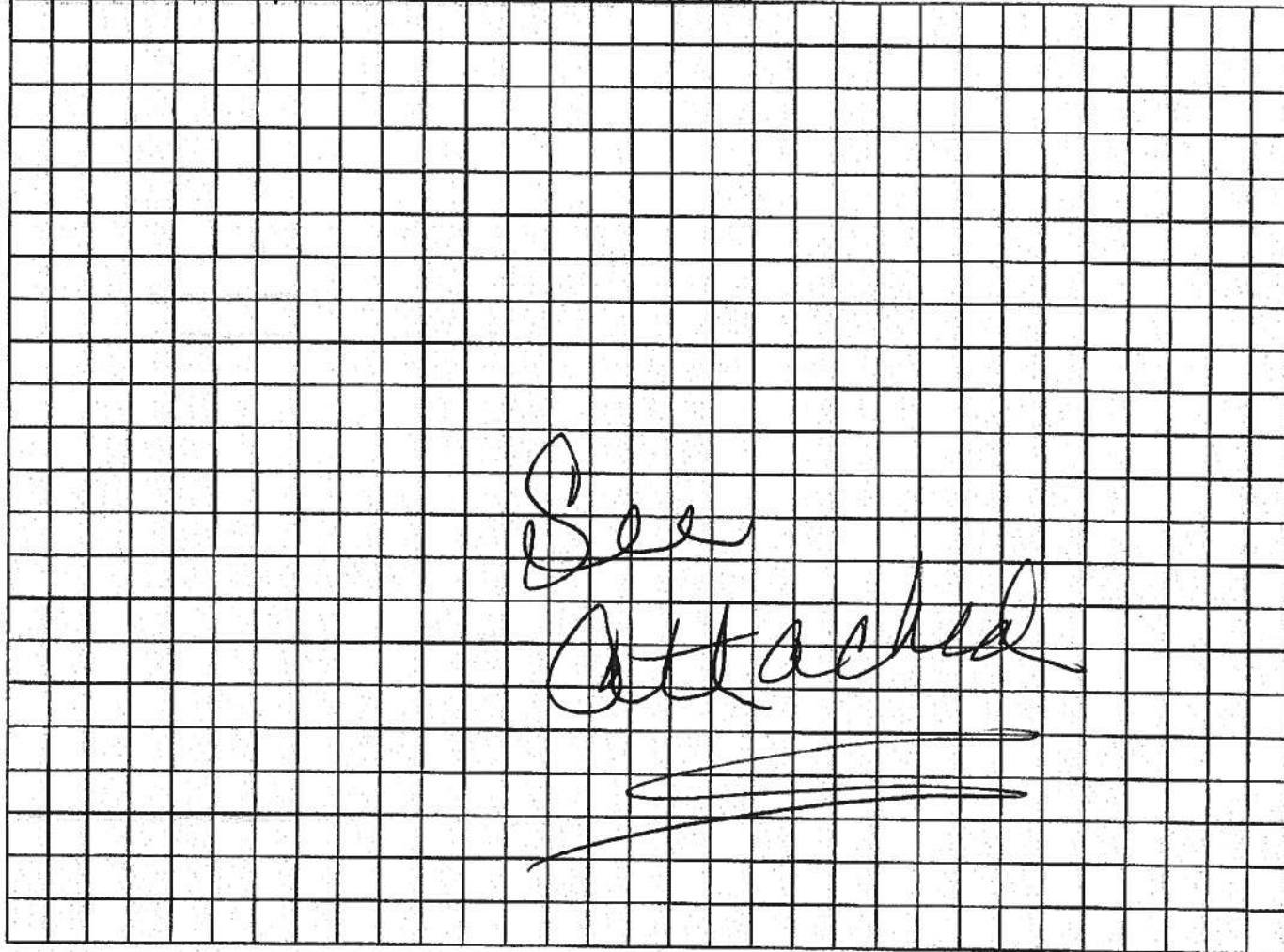
SIGNATURE Joe ID NUMBER 306 DATE 11-29-17

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 17-0746E

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes: _____

City Water

* Site Plan submitted by: Sherry Davis owner

Plan Approved [Signature]

Not Approved _____

Date _____

By _____

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

SITE PLAN CHECKLIST

LT-0746E

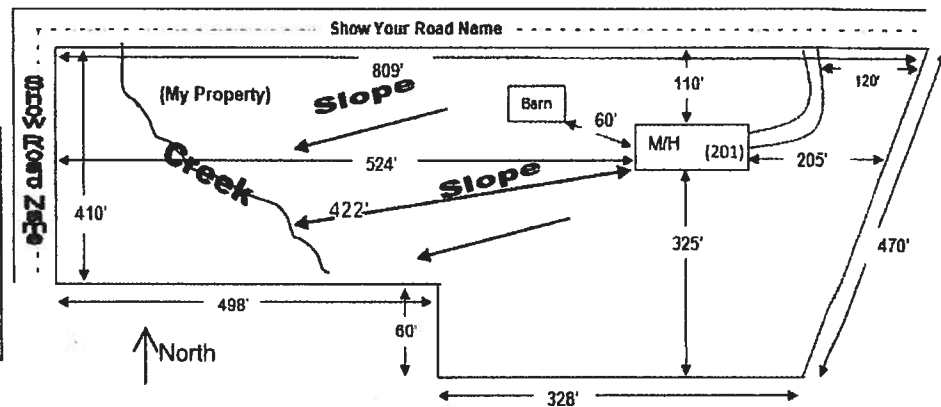
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SITE PLAN EXAMPLE

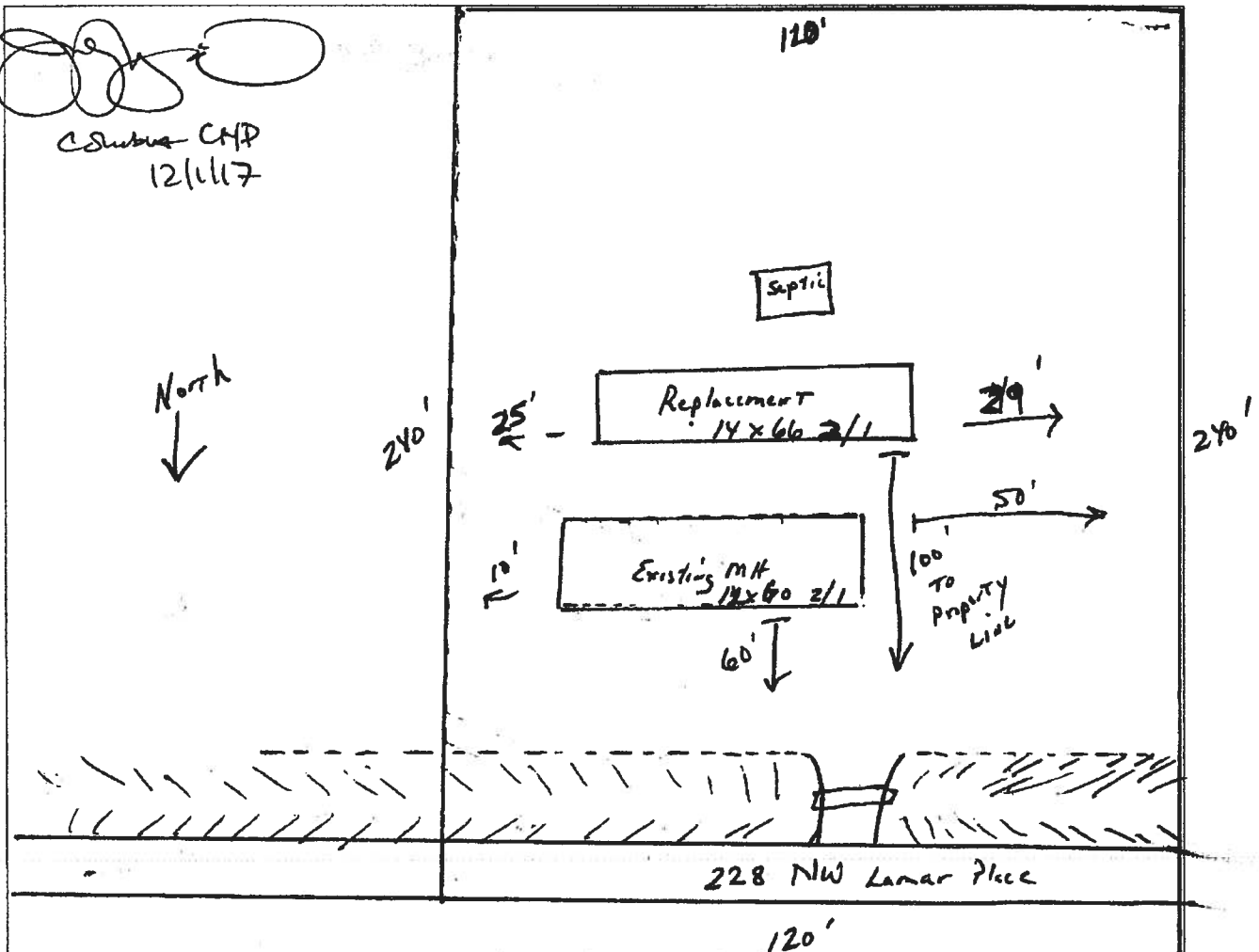
Revised 7/1/15

NOTE:

This site plan can be copied and used with the 911 Addressing Dept. application forms.



CSUBS CND
12/1/17





STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 17-01446EDATE PAID: 11-28-17FEE PAID: 200.00RECEIPT #: 1510995

APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Eddie & Sherry DavisAGENT: David MorrellTELEPHONE: 386-365-7690MAILING ADDRESS: 228 NW Lamar Place

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

WB 1113-143

LOT: 25 BLOCK: _____ SUBDIVISION: Pine Ridge Subdivision PLATTED: _____PROPERTY ID #: 21-35-16-02240-025 ZONING: _____ I/M OR EQUIVALENT: [Y / N]PROPERTY SIZE: .674 ACRES WATER SUPPLY: [] PRIVATE PUBLIC [] <=2000GPD [] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [Y / N]

DISTANCE TO SEWER: _____ FT

PROPERTY ADDRESS: 228 NW Lamar Place

DIRECTIONS TO PROPERTY: 90 West to NW Turner Avenue, turn Right go over
RR tracks go to 3rd Street on Left (Lamar) turn Left. 4th
house on Left

BUILDING INFORMATION

☒ RESIDENTIAL☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>SWMH</u>	<u>2</u>	<u>987'</u>	
2				
3				
4				

[] Floor/Equipment Drains [] Other (Specify) _____

SIGNATURE: Sherry DavisDATE: 11-28-17



December 4, 2017

To Whom It May Concern,

This letter is to verify that the City of Lake City provides potable water to 228 NW Lamar Place. The utility account (110430-001) was established by Eddie Davis on 07/01/2007.

If you have any questions, please feel free to contact me at (386) 719-5786 during our normal business hours of 8:00 am to 4:30 pm, Monday through Friday. I will be happy to assist you.

Sincerely,

Shasta M. Pelham
Utility Service Coordinator

Cc: Jason Dumas
Customer Service Manager