

DATE 05/02/2019

**Columbia County Building Permit****PERMIT**

This Permit Must Be Prominently Posted on Premises During Construction

000038068

APPLICANT RENATE LYON PHONE 303-517-7705  
 ADDRESS 432 SW DOCKERY LN LAKE CITY HI 32024  
 OWNER LYMAN & RENATE LYON PHONE 303-517-7705  
 ADDRESS 432 DOCKERY LN LAKE CITY HI 32024  
 CONTRACTOR RENATE & LYMAN LYON PHONE 303-517-7705  
 LOCATION OF PROPERTY 90 W. L. SISTERS WELCOME RD. R KING ST. E MAULDIN AVE.  
L. DOCKERY LN. PAST 2ND KINDALE LOOP TO 2ND DRIVE ON RIGHT  
 TYPE DEVELOPMENT STORAGE BUILDING ESTIMATED COST OF CONSTRUCTION 0.00  
 HEATED FLOOR AREA TOTAL AREA 1104.00 HEIGHT 35 STOREYS 1  
 FOUNDATION WALLS ROOF PITCH FLOOR  
 LAND USE & ZONING AG-3 MAX. HEIGHT 35  
 Minimum Set Back Requirements: STREET FRONT 30.00 REAR 10.00 SIDE 25.00  
 NO. EX.D.U. 1 FLOOD ZONE N DEVELOPMENT PERMIT NO.

PARCEL ID 03-5S-16-03463-001 SUBDIVISION  
 LOT 1 BLOCK 1 PHASE 1 UNIT 1 TOTAL ACRES 12.30

OWNER RENATE LYON  
 Culvert Permit No. 19-0329 Culvert Waiver LH Contractor's License Number TC Applicant Owner Contractor  
 EXISTING 19-0329 LH TC N  
 Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident Time SUEP No.

COMMENTS: NON HABITABLE STORAGE BUILDING. NOC ON FILECheck # or Cash 8792**FOR BUILDING & ZONING DEPARTMENT ONLY**

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by (Footer Slab)  
 Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by  
 Framing date/app. by Insulation date/app. by  
 Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by  
 Heat & Air Duct date/app. by Peri. beam (Intel) date/app. by Pool date/app. by  
 Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by  
 Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by  
 Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 5.52 SURCHARGE FEE \$ 5.52  
 MISC. FEES \$ 75.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASH FEE \$ 0.00  
 PLAN REVIEW FEE \$ 19.00 DP & FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ 0.00 TOTAL FEE 180.04

INSPECTOR'S OFFICE [Signature] CLERK'S OFFICE [Signature]

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.  
 NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

**"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."**

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECEIVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECEIVED AN APPROVED INSPECTION WITHIN 180 DAYS OF THE PREVIOUS INSPECTION.

**The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.**

## Columbia County New Building Permit Application

CK# 8792

For Office Use Only Application # 1904-62 Date Received 4-22-19 By UH Permit # 38068  
 Zoning Official J.C. / LH Date 4-26-19 Flood Zone X Land Use AG Zoning A-3  
 FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner J.C. Date 4-26-19  
 Comments Non Habitable Storage Front 30' Sides 25' Rear 25'  
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Well Letter ☐ 911 Sheet ☐ Parent Parcel #  
☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter  
☐ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☐ Sub VF Form

Septic Permit No. 19-0329 OR City Water ☐ Fax 1st contact # 386-361-4280

Applicant (Who will sign/pickup the permit) RENATE + LYMAN LYON Phone (303) 517-7705

Address 432 SW DOCKERY LANE, LAKE CITY, FL 32024

Owners Name RENATE + LYMAN LYON Phone (303) 517-7705

911 Address 432 SW DOCKERY LANE SAME AS ABOVE

Contractors Name RENATE + LYMAN LYON Phone (303) 517-7705

Address 432 SW DOCKERY LANE, LAKE CITY, FL 32024

Contractor Email RENATELYON@BEAKERS.COM \*\*\*Include to get updates on this job.

Fee Simple Owner Name & Address \_\_\_\_\_

Bonding Co. Name & Address \_\_\_\_\_

Architect/Engineer Name & Address Wayne S. MOORE, PE 631 SE Inoussin Rd. LAKE CITY, FL 32025

Mortgage Lenders Name & Address \_\_\_\_\_

Circle the correct power company ☐ FL Power & Light ☒ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy

Property ID Number 03-55-16-03463-001 Estimated Construction Cost 12,200

Subdivision Name \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions from a Major Road head SE on Bascom Norris, turn right onto SW Sisters Welcome Road, Continue Straight onto SW Ryal Ave, turn right onto King Rd., turn left onto SW Mauldin Ave, turn left onto SW Dockery Lane.

Construction of STEEL STORAGE BUILDING Commercial OR ☒ Residential

Proposed Use/Occupancy STORAGE Number of Existing Dwellings on Property 1

Is the Building Fire Sprinkled? NO If Yes, blueprints included \_\_\_\_\_ Or Explain \_\_\_\_\_

Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☐ D.O.T. Permit or ☒ Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 174' Side 396' Side 251' Rear 630'

Number of Stories 1 Heated Floor Area N/A Total Floor Area 1104 Acreage 12.3

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) \_\_\_\_\_

Left Message 4-26-19 Spoke to Mrs. Lyon 4-29-19

**Columbia County Building Permit Application**

**CODE: Florida Building Code 2014 and the 2011 National Electrical Code.**

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.


**NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

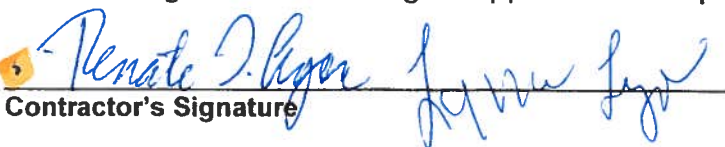
RENNE & LYMAN LYON  
Print Owners Name

  
Owners Signature

**\*\*Property owners must sign here before any permit will be issued.**

**\*\*If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

  
Contractor's Signature

Contractor's License Number \_\_\_\_\_  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 19 day of APRIL 2019.

Personally known \_\_\_\_\_ or Produced Identification DRIVERS LICENSE



SEAL:

State of Florida Notary Signature (For the Contractor)



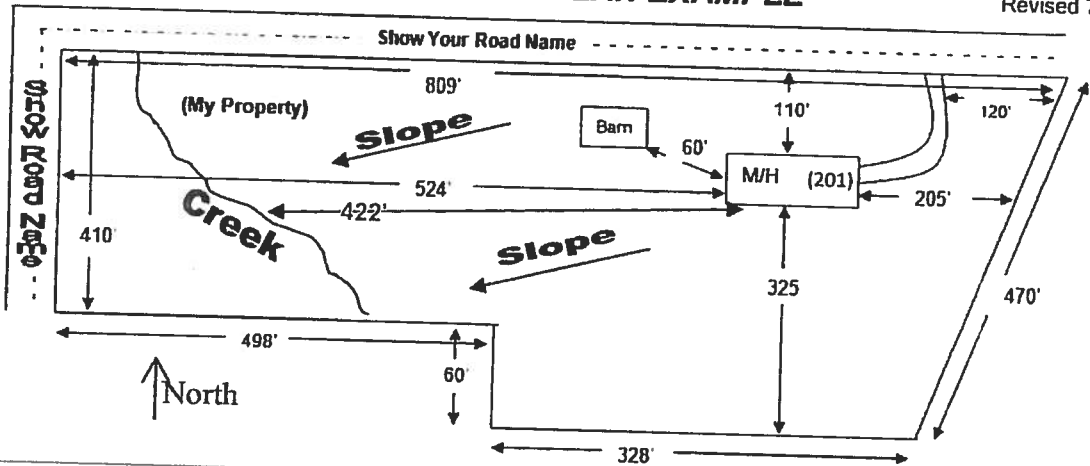
HEIDI MOORE  
NOTARY PUBLIC  
STATE OF FLORIDA  
Comm# FF929829  
Expires 10/21/2019

## SITE PLAN CHECKLIST

- \_\_\_ 1) Property Dimensions
- \_\_\_ 2) Footprint of proposed and existing structures (including decks), label these with existing addresses
- \_\_\_ 3) Distance from structures to all property lines
- \_\_\_ 4) Location and size of easements
- \_\_\_ 5) Driveway path and distance at the entrance to the nearest property line
- \_\_\_ 6) Location and distance from any waters; sink holes; wetlands; and etc.
- \_\_\_ 7) Show slopes and or drainage paths
- \_\_\_ 8) Arrow showing North direction

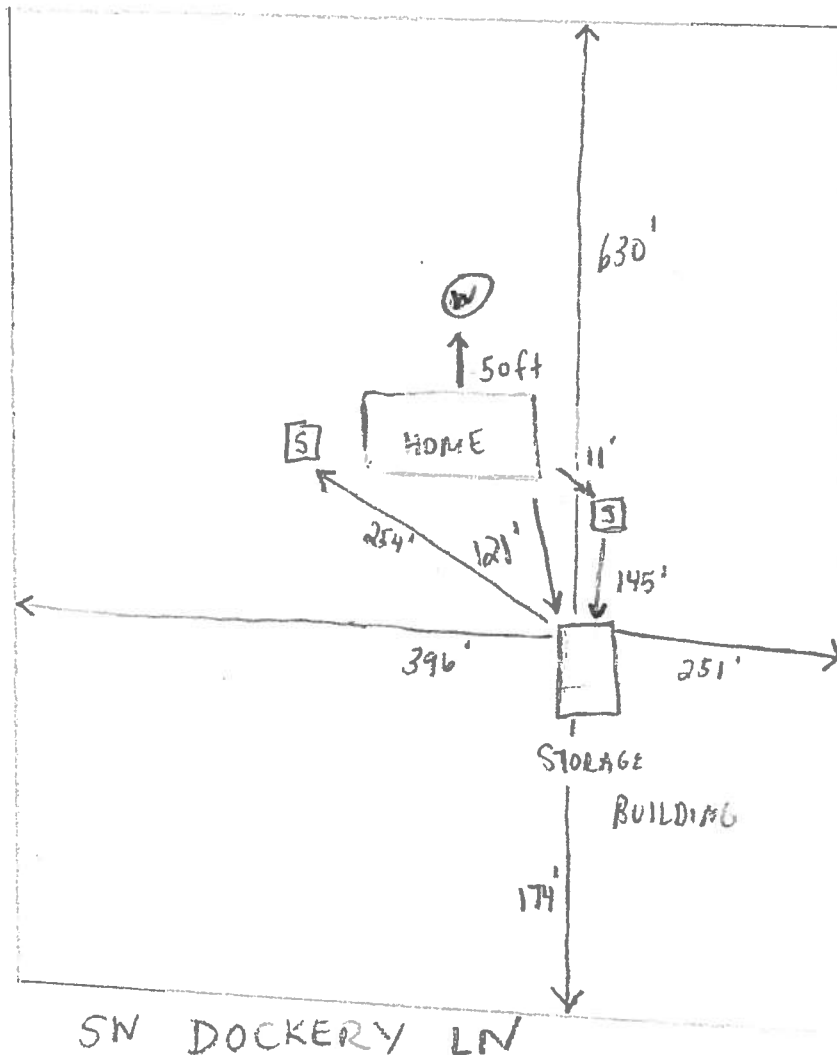
### SITE PLAN EXAMPLE

Revised 7/1/15



#### **NOTE:**

This site plan can be copied and used with the 911 Addressing Dept. application forms.



## Columbia County Property Appraiser

Jeff Hampton

2018 Tax Roll Year

updated: 3/29/2019

Parcel: &lt;&lt; 03-5S-16-03463-001 &gt;&gt;

## Owner &amp; Property Info

Result: 12 of 18

Owner	LYON LYMAN W & RENATE I LYON 3394 SW ARMADILLO TRAIL ARCADIA, FL 34266		
Site	432 DOCKERY LN, LAKE CITY		
Description*	THAT PART OF W1/2 OF NE1/4 OF NW1/4 AS LIES S OF CO RD. WD 1116-804, WD 1122-945, WD 1231-1430, WD 1376-2303, DC 1377-667,		
Area	12.3 AC	S/T/R	03-5S-16
Use Code**	IMPROVED A (005000)	Tax District	3

\*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

\*\*The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

## Property &amp; Assessment Values

2018 Certified Values		2019 Working Values	
Mkt Land (1)	\$9,280	Mkt Land (1)	\$9,280
Ag Land (1)	\$4,226	Ag Land (1)	\$4,226
Building (1)	\$123,891	Building (1)	\$127,860
XFOB (7)	\$17,028	XFOB (7)	\$17,028
Just	\$197,255	Just	\$201,224
Class	\$154,425	Class	\$158,394
Appraised	\$154,425	Appraised	\$158,394
SOH Cap [?]	\$5,448	SOH Cap [?]	\$7,837
Assessed	\$147,829	Assessed	\$150,557
Exempt	HX H3 \$50,000	Exempt	HX H3 \$50,000
Total Taxable	county:\$97,829 city:\$97,829 other:\$97,829 school:\$122,829	Total Taxable	county:\$100,557 city:\$100,557 other:\$100,557 school:\$125,557

Aerial Viewer Pictometry Google Maps

☒ 2019
 ☐ 2016
 ☐ 2013
 ☐ 2010
 ☐ 2007
 ☐ 2005
 ☒ Sales


## Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
1/18/2019	\$250,000	1376/2303	WD	I	Q	01
3/12/2012	\$100	1231/1430	WD	I	U	30
6/19/2007	\$100	1122/0945	WD	I	U	01
4/10/2007	\$100	1116/0804	WD	I	U	01

## Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	SINGLE FAM (000100)	1975	2962	5471	\$127,860

\*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

## Extra Features &amp; Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	0	\$300.00	1.000	0 x 0 x 0	(000.00)
0280	POOL R/CON	1975	\$9,728.00	512.000	16 x 32 x 0	(000.00)
0120	CLFENCE 4	1993	\$200.00	1.000	0 x 0 x 0	(000.00)



# NOTICE OF COMMENCEMENT

Clerk's Office Stamp

Tax Parcel Identification Number:

03-55-16-03463-001

Inst: 201912009283 Date: 04/22/2019 Time: 2:29PM  
Page 1 of 1 B: 1382 P: 2682, P.DeWitt Cason, Clerk of Court  
Columbia, County, By: PT  
Denny Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): 03-55-16-03463-001  
a) Street (job) Address: 432 SW DOCKERY LANE
2. General description of improvements: STEEL STORAGE BUILDING
3. Owner Information or Lessee information if the Lessee contracted for the improvements:  
a) Name and address: RENATE & LYMAN LYON 432 SW DOCKERY LANE  
b) Name and address of fee simple titleholder (if other than owner):  
c) Interest in property
4. Contractor Information  
a) Name and address: RENATE & LYMAN LYON 432 SW DOCKERY LANE  
b) Telephone No.: (363) 517-7705
5. Surety Information (if applicable, a copy of the payment bond is attached):  
a) Name and address:  
b) Amount of Bond:  
c) Telephone No.:
6. Lender  
a) Name and address:  
b) Phone No.:
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:  
a) Name and address:  
b) Telephone No.:
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:  
a) Name: OF  
b) Telephone No.:
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified):

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. Renate I. Lyon  
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager  
RENATE I. LYON  
Printed Name and Signatory's Title/Office

The foregoing Instrument was acknowledged before me, a Florida Notary, this 19 day of APRIL, 2019, by:

\_\_\_\_ as \_\_\_\_\_ for \_\_\_\_\_  
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known \_\_\_\_\_ OR Produced Identification X Type DRIVERS LICENSE

Notary Signature Heidi Moore

Notary Stamp or Seal:



HEIDI MOORE  
NOTARY PUBLIC  
STATE OF FLORIDA  
Comm# FF929829  
Expires 10/21/2019



## **COLUMBIA COUNTY BUILDING DEPARTMENT**

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

### **OWNER BUILDER DISCLOSURE STATEMENT**

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myfloridalicense.com/dbpr/> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

432 SW DOCKERY LANE LAKE CITY, FL 32024

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.



Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

#### TYPE OF CONSTRUCTION

- ( ) Single Family Dwelling      ( ) Two-Family Residence      ( ) Farm Outbuilding  
( ) Addition, Alteration, Modification or other Improvement  
( ) Commercial, Cost of Construction \_\_\_\_\_ for construction of \_\_\_\_\_  
☒ Other STEEL STORAGE BUILDING

I RENATE & LYMAN LYON, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Lyman Lyon Renate Lyon 4/19/2019  
Owner Builder Signature      Date

#### NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification DRIVERS LICENSE

Notary Signature Heidi Moore Date 4/19/19

(Seal)



HEIDI MOORE  
NOTARY PUBLIC  
STATE OF FLORIDA  
Comm# FF929829  
Expires 10/21/2019

#### FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative \_\_\_\_\_



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 19-0929  
DATE PAID: 4/23/19  
FEE PAID: 168.00  
RECEIPT #: 1410295

## APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative  
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: RENATE & LYMAN LYONAGENT: \_\_\_\_\_ TELEPHONE (323) 517-7205MAILING ADDRESS: 432 SW DOCKERY LANE LAKE CITY, FL 32024

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

## PROPERTY INFORMATION

LOT: \_\_\_\_\_ BLOCK: \_\_\_\_\_ SUBDIVISION: \_\_\_\_\_ PLATTED: \_\_\_\_\_

PROPERTY ID #: 03-55-16-03463-001 ZONING: \_\_\_\_\_ I/M OR EQUIVALENT: ☒ Y / ☐ NPROPERTY SIZE: 12.3 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐  $\leq 2000$  GPD ☐  $> 2000$  GPDIS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y / ☐ N DISTANCE TO SEWER: \_\_\_\_\_ FTPROPERTY ADDRESS: 432 SW DOCKERY LANE, LAKE CITY, FL 32024

DIRECTIONS TO PROPERTY: Head SE on Bascom Morris, turn right onto SW Sisters  
Welcome Rd., continue straight onto SW Oyal Ave, turn right onto King Rd.,  
turn left onto SW Mauldin Ave, turn left onto SW Dockery Lane

BUILDING INFORMATION ☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>STEEL STORAGE BLDG</u>		<u>1080</u>	
2				
3				
4				

☐ Floor/Equipment Drains ☐ Other (Specify) \_\_\_\_\_SIGNATURE: Renate Lyon DATE: 4/19/2019

DH 4015, 08/09 (Obsoletes previous editions which may not be used)  
Incorporated 64E-6.001, FAC

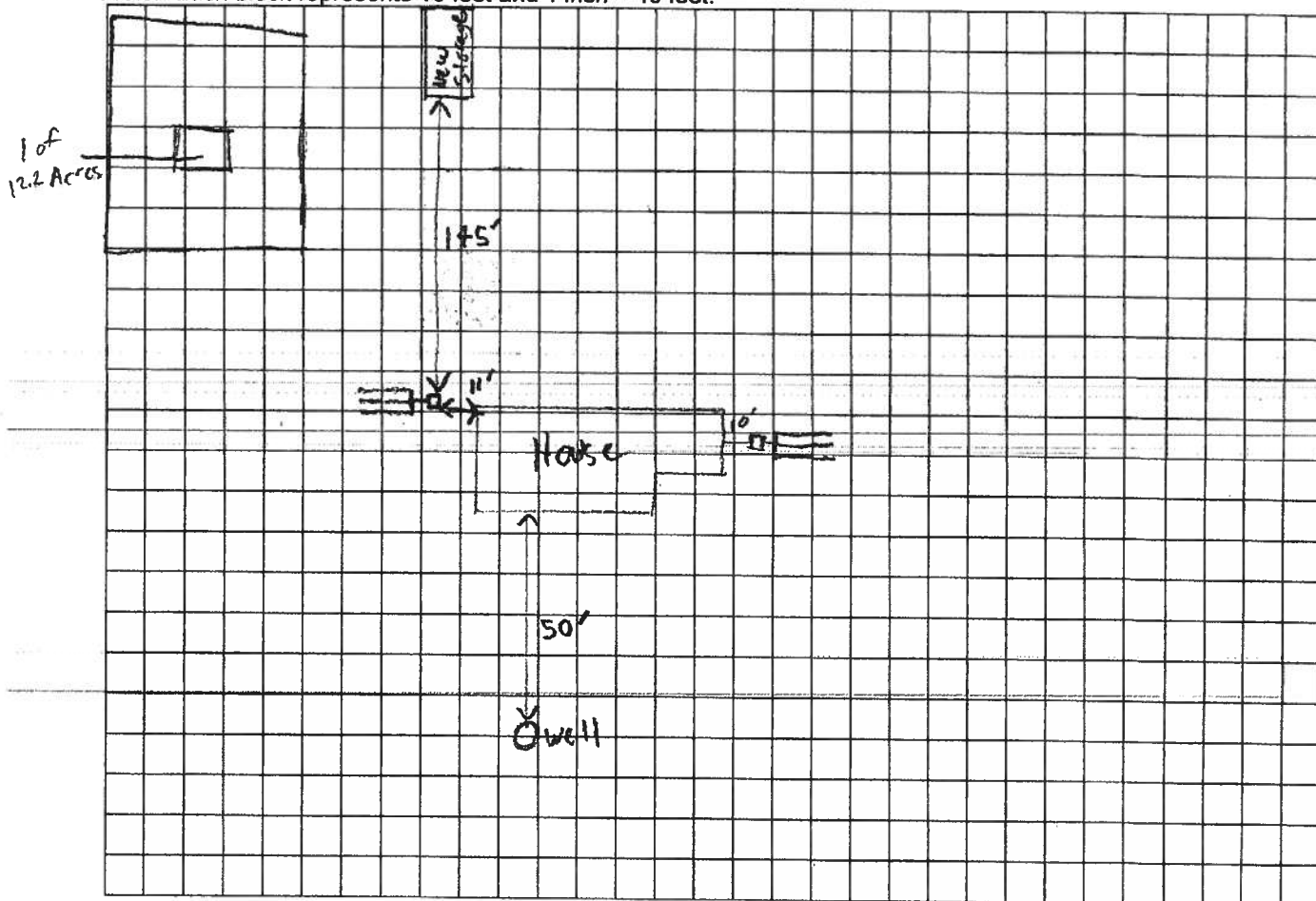
STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number

19-0329

## ----- PART II - SITEPLAN -----

Scale: Each block represents <sup>20</sup>~~40~~ feet and 1 inch = <sup>80 feet</sup>~~40 feet~~



Notes: \_\_\_\_\_

Site Plan submitted by: Lynne Lynn Penate P. LyonsPlan Approved ☒

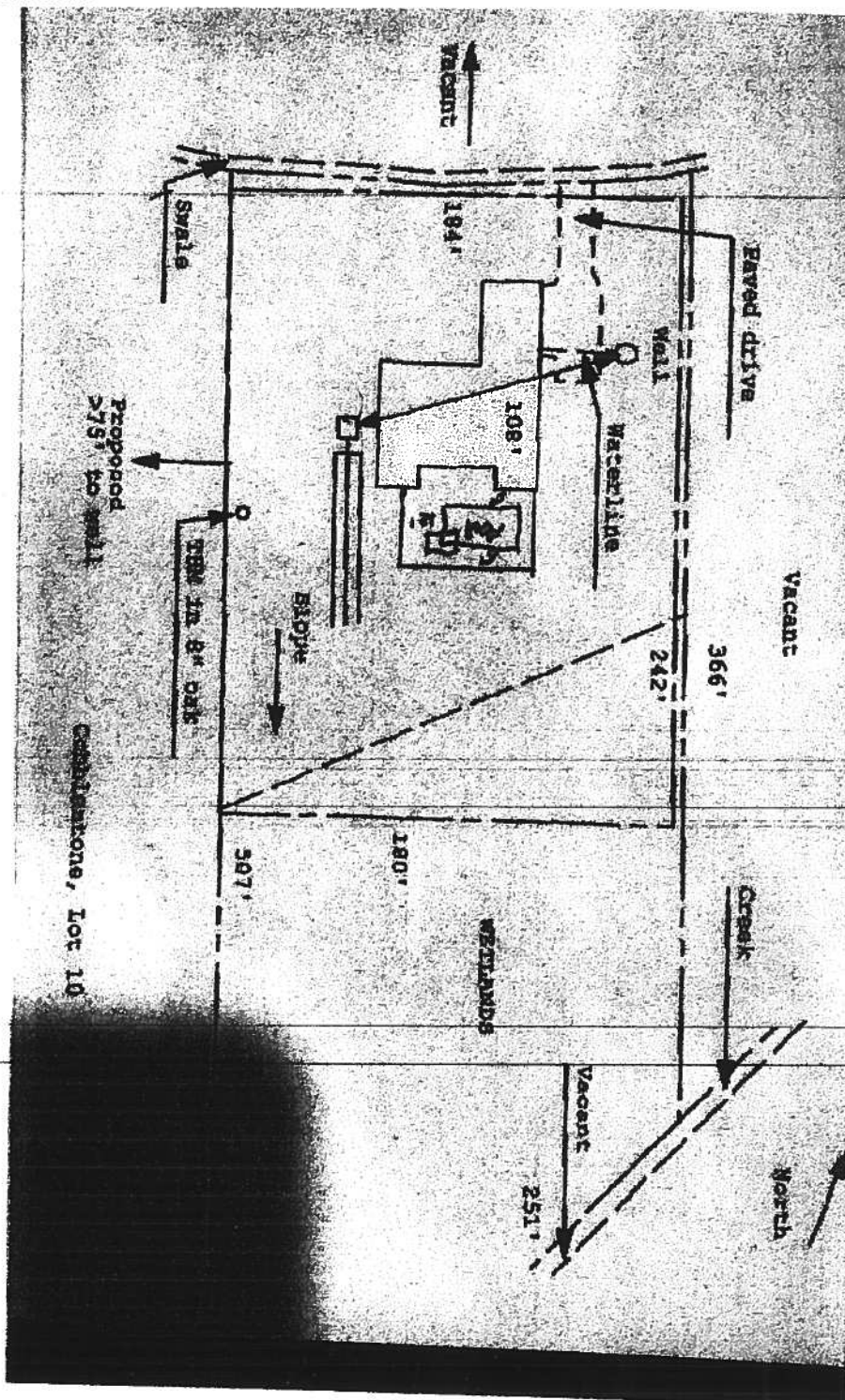
Not Approved \_\_\_\_\_

Date 4/22/2019By ESTColumbus

County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**

19-0318





**STRUCTURAL DESIGN**

**ENCLOSED BUILDING**

**EXPOSURE B**

**MAXIMUM 30'-0" WIDE X 20'-0" EAVE HEIGHT- BOX EAVE  
FRAME AND BOW FRAME**

**18 December 2017**  
**Revision 4**  
**M&A Project No. 16022S/17300S**

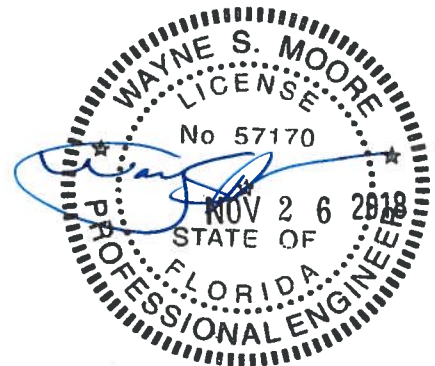
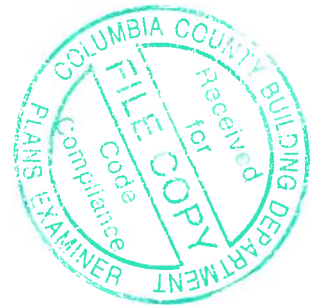
**Prepared for:**

**Tubular Building Systems, LLC**  
**631 SE Industrial Circle**  
**Lake City, Florida 32025**

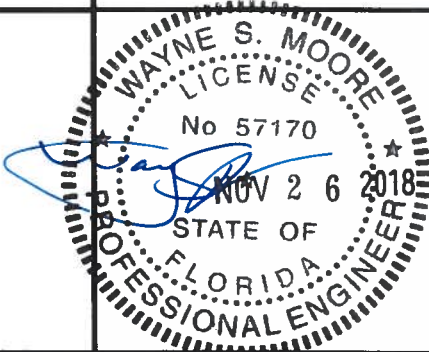
**Prepared by:**

**Moore and Associates Engineering and Consulting, Inc.**  
**1009 East Avenue**  
**North Augusta, SC 29841**

**401 S. Main Street, Suite 200**  
**Mount Airy, NC 27030**



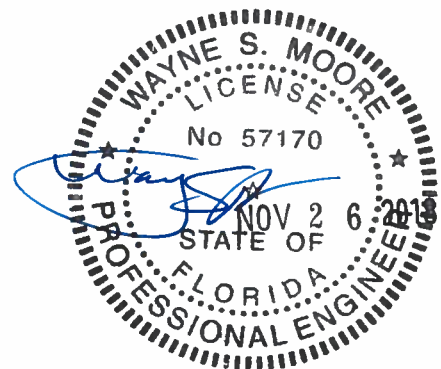


MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT		TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B PE SEAL COVER SHEET	
	CHECKED BY: PDH			
THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
	CLIENT: TBS	SHT. 1	DWG. NO: SK-3	REV.: 4

# DRAWING INDEX

SHEET 1	PE SEAL COVER SHEET
SHEET 2	DRAWING INDEX
SHEET 3	INSTALLATION NOTES AND SPECIFICATIONS
SHEET 4	TYPICAL SIDE AND END ELEVATIONS
SHEET 5	TYPICAL RAFTER COLUMN END AND SIDE FRAMING SECTIONS (BOX EAVE RAFTER)
SHEET 6A	TYPICAL RAFTER COLUMN CONNECTION DETAILS (LACED COLUMN)
SHEET 6B	TYPICAL RAFTER COLUMN CONNECTION DETAILS (DOUBLE COLUMN)
SHEET 6C	TYPICAL RAFTER COLUMN CONNECTION DETAILS (SINGLE COLUMN)
SHEET 7	TYPICAL RAFTER COLUMN END AND SIDE FRAMING SECTIONS (BOW RAFTER)
SHEET 8A	TYPICAL RAFTER COLUMN CONNECTION DETAILS (DOUBLE COLUMN)
SHEET 8B	TYPICAL RAFTER COLUMN CONNECTION DETAILS (SINGLE COLUMN)
SHEET 9A	BASE RAIL ANCHORAGE OPTIONS
SHEET 9B	OPTIONAL FOUNDATION ANCHORAGE
SHEET 10	TYPICAL END WALL AND SIDE WALL OPENING FRAMING SECTIONS (BOX EAVE RAFTER)
SHEET 11	TYPICAL END WALL AND SIDE WALL OPENING FRAMING SECTIONS (BOW RAFTER)
SHEET 12	WALL OPENING DETAILS
SHEET 13	LEAN-TO OPTIONS (BOX EAVE RAFTER)
SHEET 14	LEAN-TO OPTIONS (BOW RAFTER)
SHEET 15	VERTICAL ROOF/SIDING OPTION END AND SIDE ELEVATION AND SECTION
SHEET 16	OPTIONAL DOOR HEADER



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.

**PROJECT MGR: VSM**

**DATE: 12-18-17**

**SCALE: NTS**

**JOB NO:  
16022S/17300S**

**CLIENT: TBS**

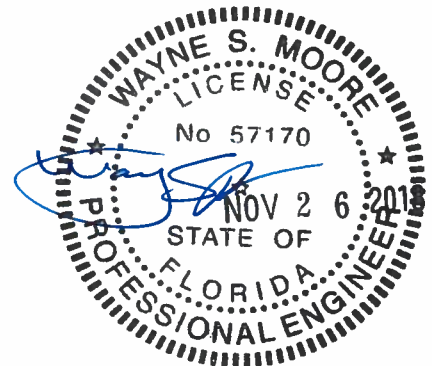
**SHT. 2**

**DWG. NO: SK-3**

**REV.: 4**

## INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR A MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT ENCLOSED STRUCTURES.
2. DESIGN WAS DONE IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE (FBC) 6TH EDITION, 2012 INTERNATIONAL BUILDING CODE (IBC), AND 2015 IBC.
3. DESIGN LOADS ARE AS FOLLOWS:
  - A) DEAD LOAD = 1.5 PSF
  - B) LIVE LOAD = 12 PSF
  - C) GROUND SNOW LOAD = 10 PSF
4. LOW ULTIMATE WIND SPEED 105 TO 140 MPH (NOMINAL WIND SPEED 81 TO 108 MPH); MAXIMUM RAFTER/POST AND END POST SPACING = 5.0 FEET.
5. HIGH ULTIMATE WIND SPEED 141 TO 170 MPH (NOMINAL WIND SPEED 109 TO 132 MPH); MAXIMUM RAFTER/POST AND END POST SPACING = 4.0 FEET.
6. LOW HAZARD RISK CATEGORY I (WIND).
7. WIND EXPOSURE CATEGORY B.
8. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS. FOR VERTICAL PANELS, 29 GAUGE METAL PANELS SHALL BE FASTENED TO 18 GAUGE HAT CHANNELS (UNLESS OTHERWISE NOTED).
9. AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS, INTERIOR = 9" OR END = 6", (MAX.)
10. FASTENERS CONSIST OF #12-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14" (3:12 PITCH) OR LESS. SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
11. GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6" OF EACH RAFTER COLUMN ALONG SIDES.
12. GROUND ANCHORS (SOIL NAILS) CONSIST OF #4 REBAR W/WELDED NUT x 30" LONG IN SUITABLE SOIL CONDITIONS MAY BE USED FOR LOW (< 108 MPH NOMINAL) WIND SPEEDS ONLY. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED.
13. OPTIONAL BASE RAIL ANCHORAGE MAY BE USED FOR LOW AND MUST BE USED FOR HIGH WIND SPEEDS.
14. WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:  
SOIL SITE CLASS = D  
RISK CATEGORY I/II/III  
R= 3.25      I<sub>E</sub>= 1.0  
S<sub>DS</sub>= 1.522      V= C<sub>S</sub>W  
S<sub>D1</sub>= 0.839



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.

**PROJECT MGR: WSM**

**DATE: 12-18-17**

**SCALE: NTS**

**JOB NO:  
16022S/17300S**

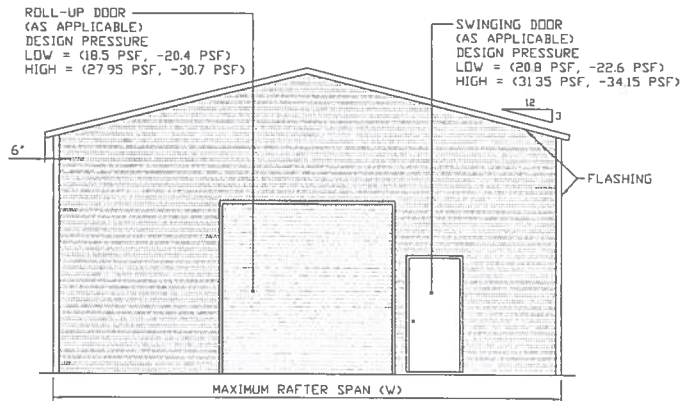
**CLIENT: TBS**

**SHT. 3**

**DWG. NO: SK-3**

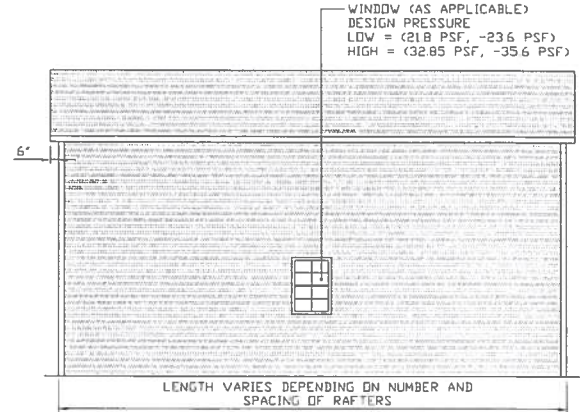
**REV: 4**

## BOX EAVE FRAME RAFTER ENCLOSED BUILDING



**TYPICAL END ELEVATION-HORIZONTAL ROOF**

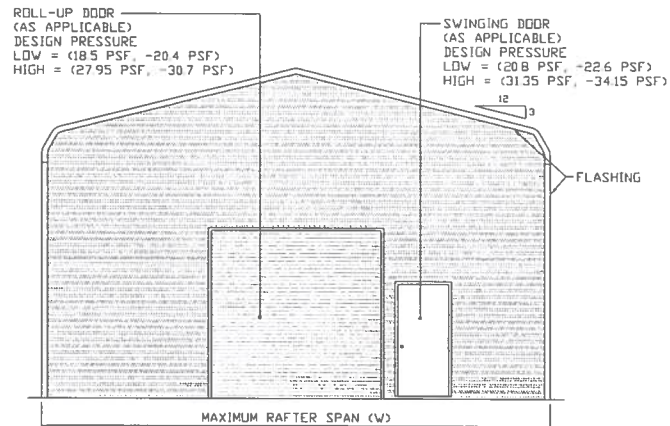
SCALE: NTS



**TYPICAL SIDE ELEVATION-HORIZONTAL ROOF**

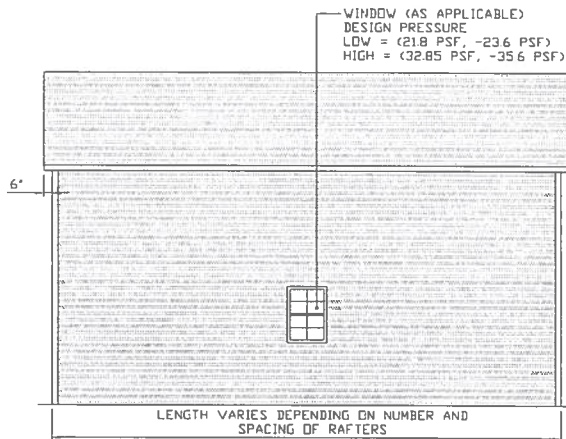
SCALE: NTS

## BOW FRAME RAFTER ENCLOSED BUILDING



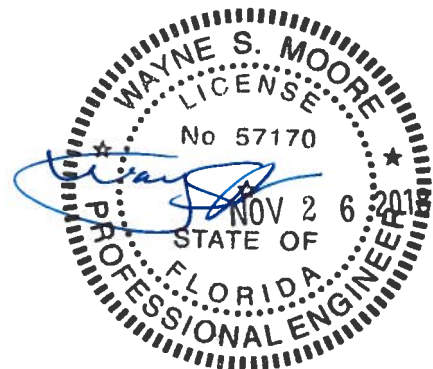
**TYPICAL END ELEVATION**

SCALE: NTS



**TYPICAL SIDE ELEVATION**

SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0" x 20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 4**

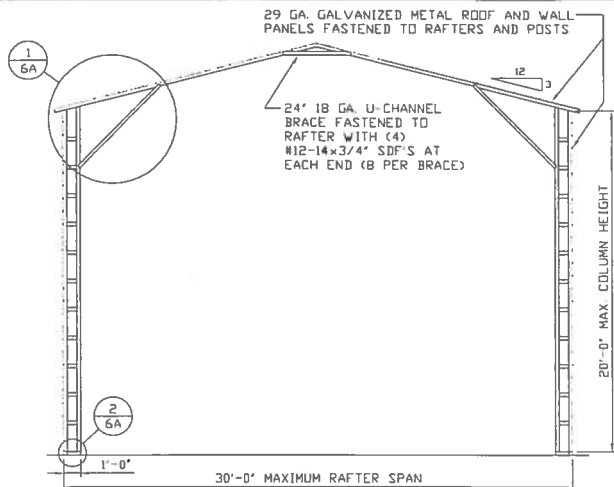
**SCALE: NTS**

**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

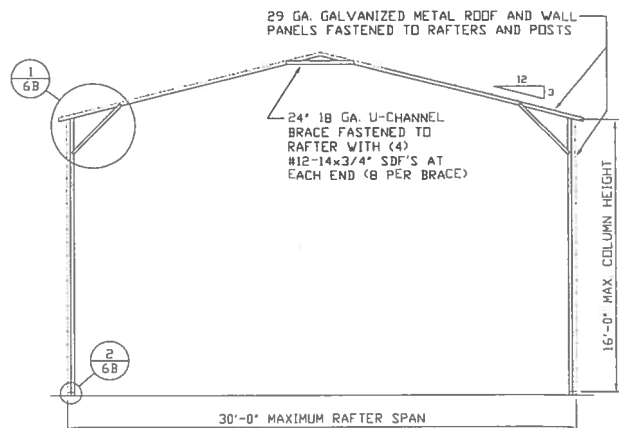
**REV: 4**

THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.



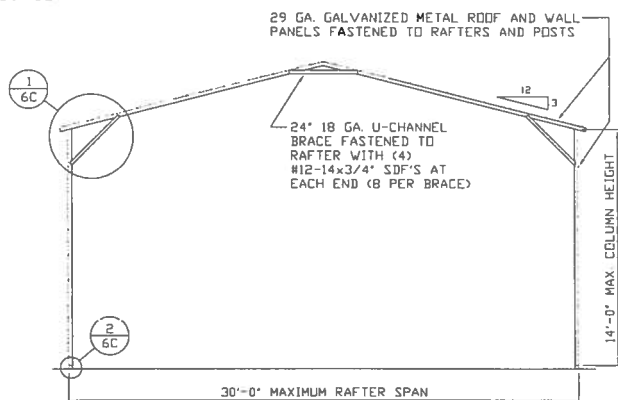
**TYPICAL RAFTER/COLUMN END FRAME SECTION**

SCALE: NTS



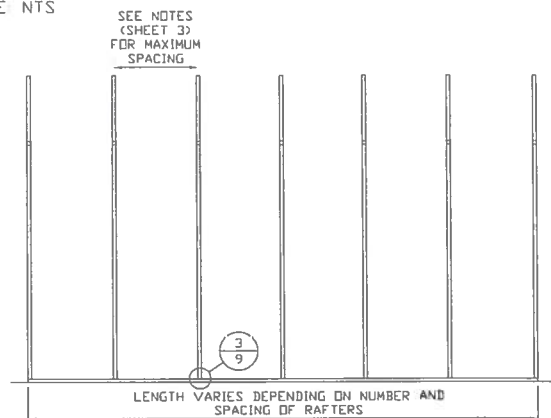
**TYPICAL RAFTER/COLUMN END FRAME SECTION**

SCALE: NTS



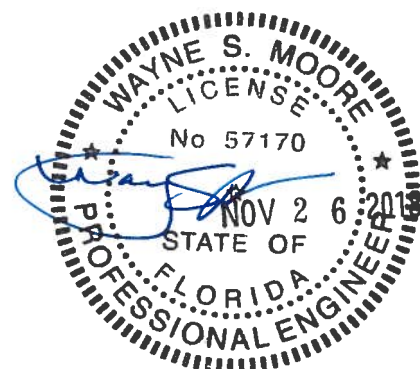
**TYPICAL RAFTER/COLUMN END FRAME SECTION**

SCALE: NTS



**TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION**

SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"X20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SCALE: NTS**

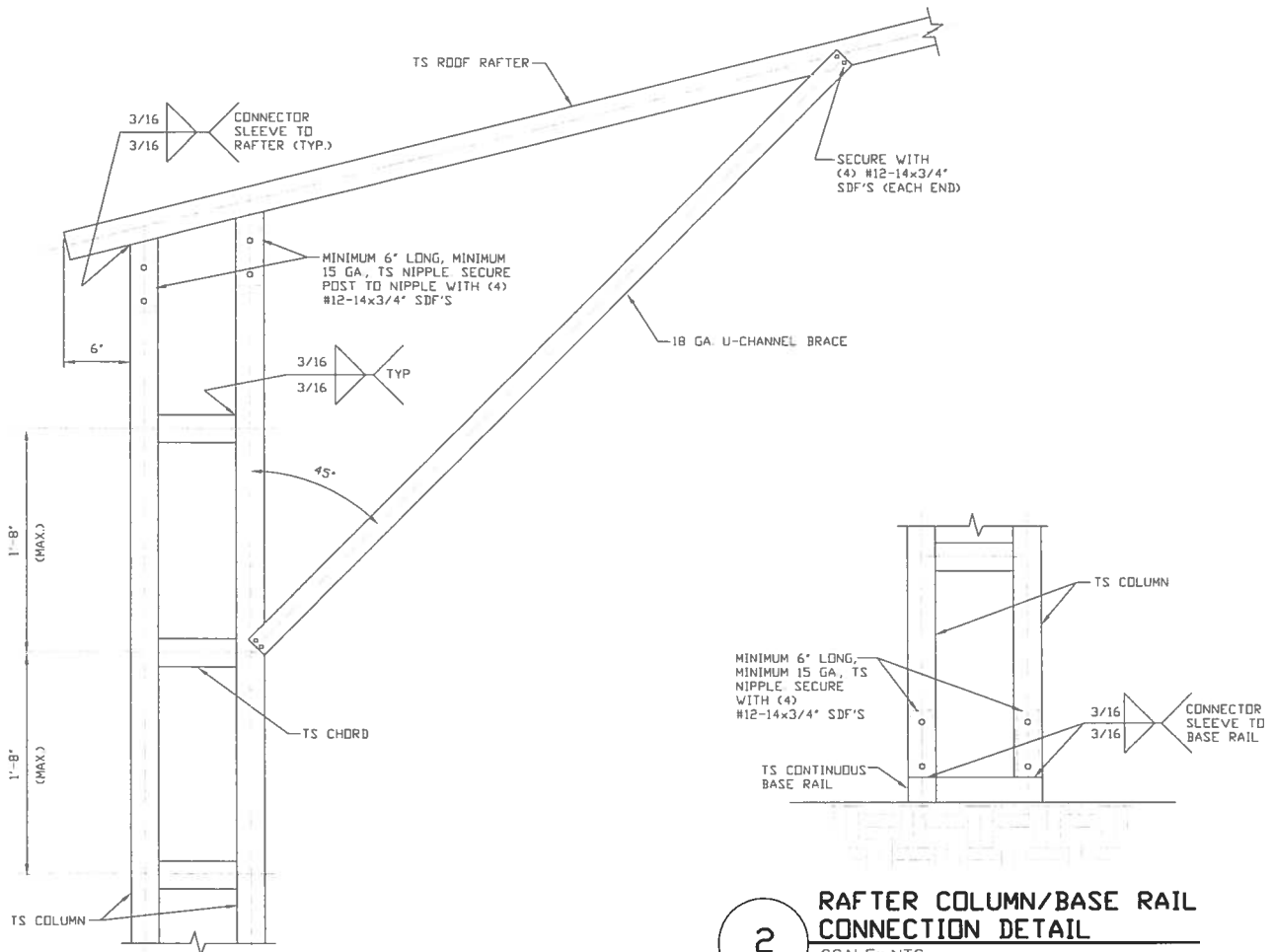
**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

**REV: 4**

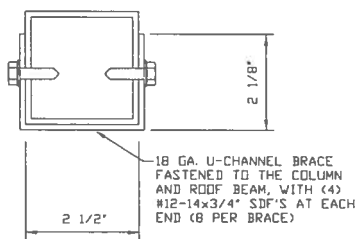
THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.



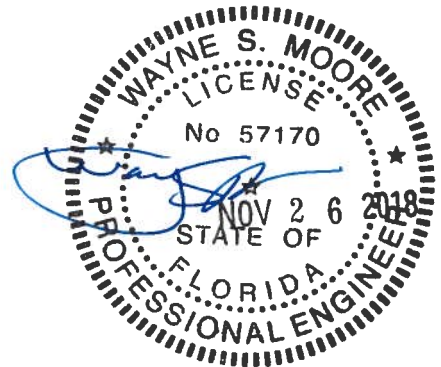


**1** BOX EAVE RAFTER COLUMN  
CONNECTION DETAIL  
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"  
SCALE: NTS

**2** RAFTER COLUMN/BASE RAIL  
CONNECTION DETAIL  
SCALE: NTS



**BRACE SECTION**  
SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 6A**

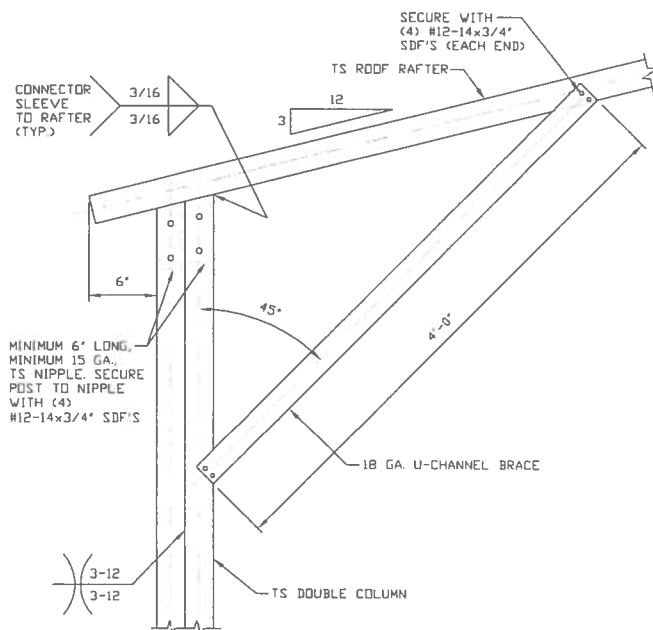
**SCALE: NTS**

**DWG. NO: SK-3**

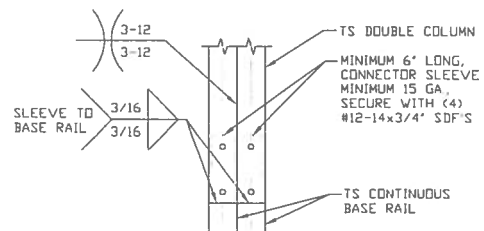
**JOB NO:  
16022S/17300S**

**REV: 4**

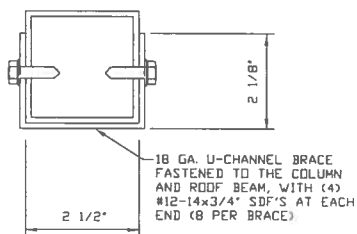
THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.



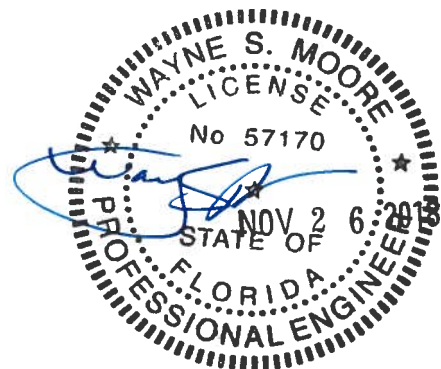
**1**  
**BOX EAVE RAFTER COLUMN  
 CONNECTION DETAIL**  
 FOR HEIGHTS 14'-0" < TO ≤ 16'-0"  
 SCALE: NTS



**2**  
**RAFTER COLUMN/BASE RAIL  
 CONNECTION DETAIL**  
 SCALE: NTS



**BRACE SECTION**  
 SCALE: NTS



**MOORE AND ASSOCIATES  
 ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
 30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 6B**

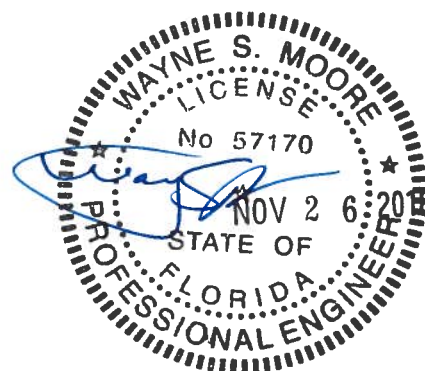
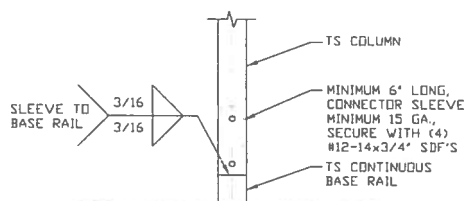
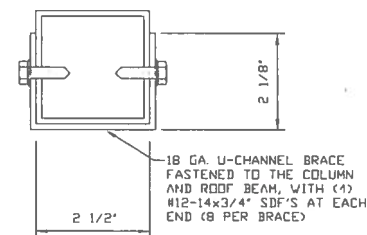
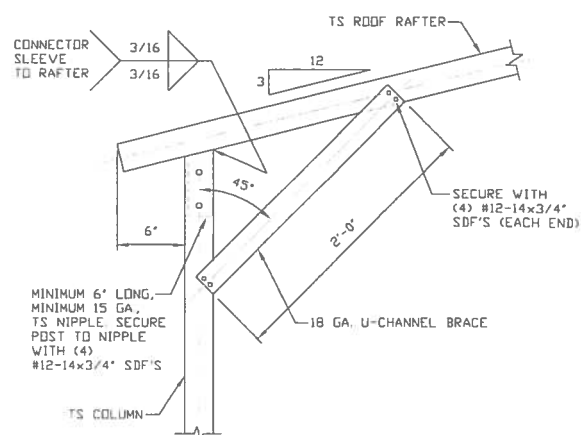
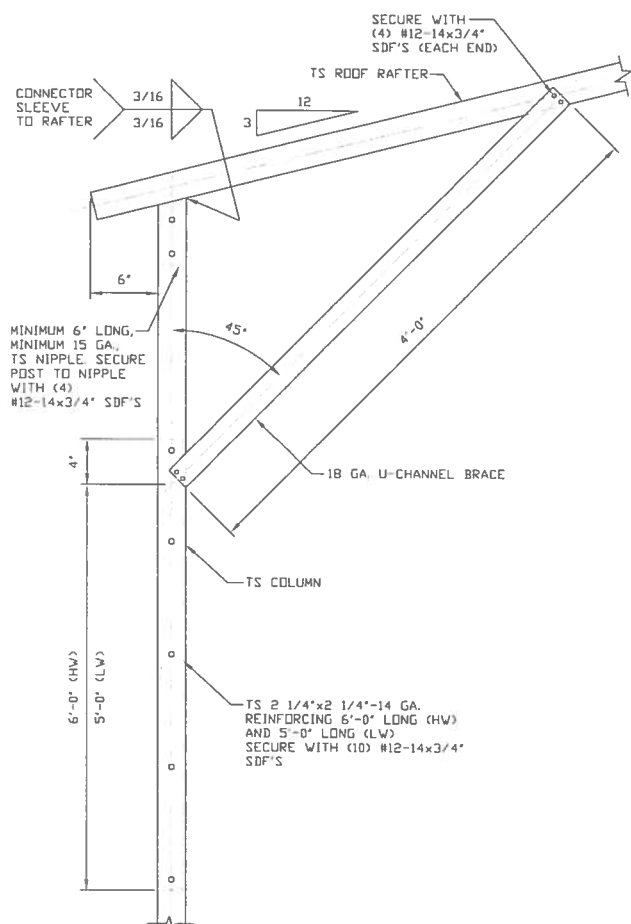
**SCALE: NTS**

**DWG. NO: SK-3**

**JOB NO:  
 16022S/17300S**

**REV.: 4**

THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.



MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.

**DRAWN BY: LT**

**CHECKED BY: PDH**

PROJECT MGR: VSM

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS**  
**30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

**SHT. 6C**

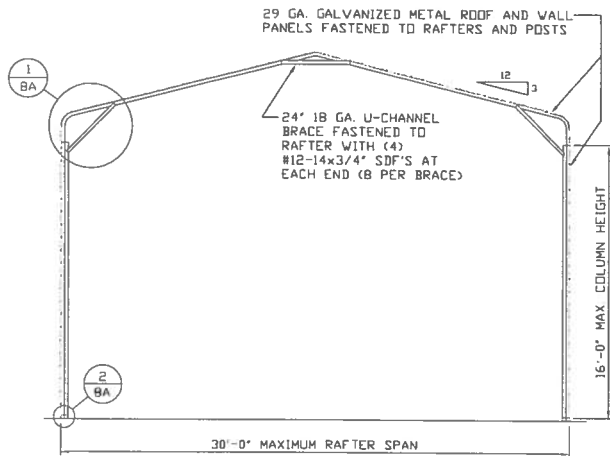
SCALE: NTS

**DWG. NO: SK-3**

**JOB NO:**  
**160225/173005**

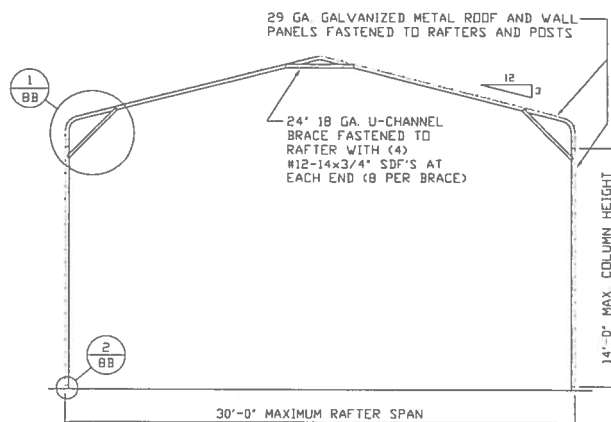
REV.: 4

THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.



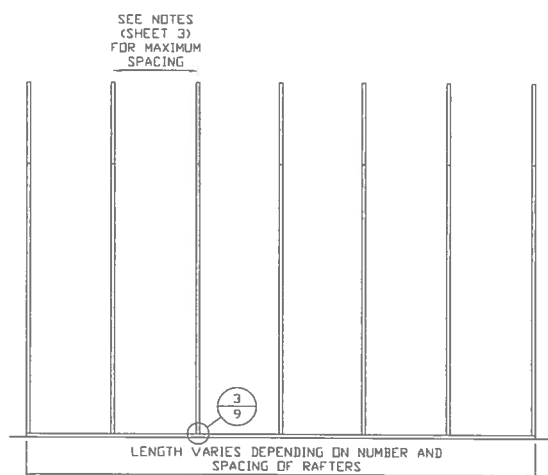
**TYPICAL RAFTER/COLUMN END FRAME SECTION**

SCALE: NTS



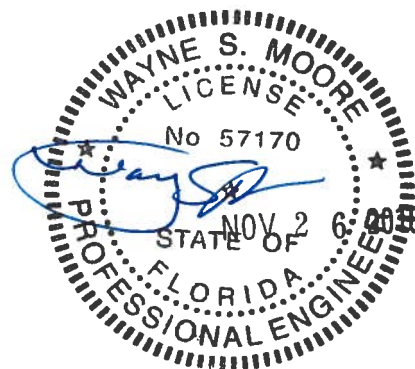
**TYPICAL RAFTER/COLUMN END FRAME SECTION**

SCALE: NTS



**TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION**

SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 7**

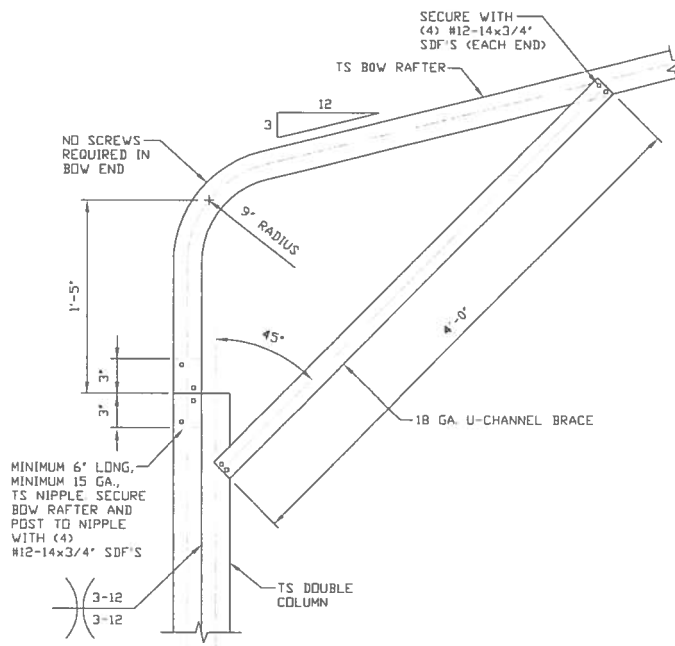
**SCALE: NTS**

**DWG. NO: SK-3**

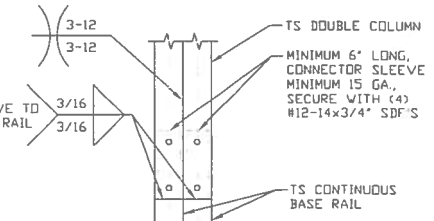
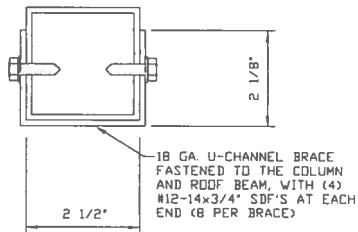
**JOB NO:  
16022S/17300S**

**REV: 4**

THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.

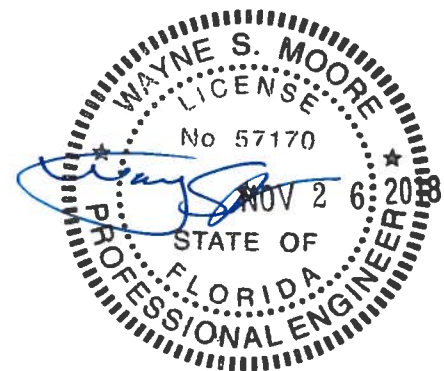


**1** BOX EAVE RAFTER COLUMN  
CONNECTION DETAIL  
FOR HEIGHTS 14'-0" < TO ≤ 16'-0"  
SCALE: NTS



**2** RAFTER COLUMN/BASE RAIL  
CONNECTION DETAIL  
SCALE: NTS

**BRACE SECTION**  
SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SCALE: NTS**

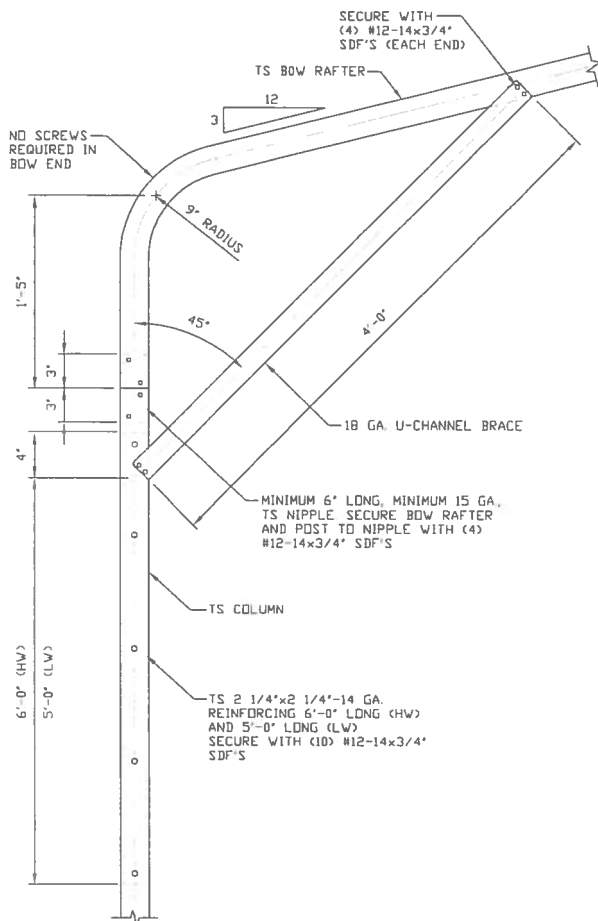
**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

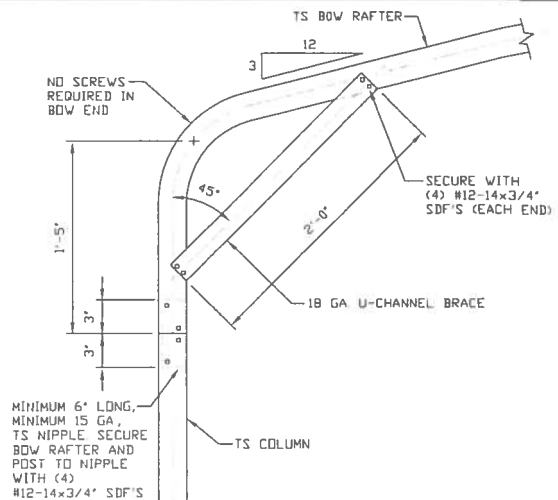
**REV.: 4**

THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.

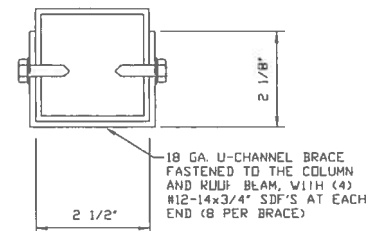




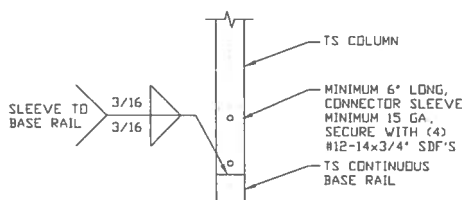
**BOX EAVE RAFTER COLUMN  
CONNECTION DETAIL  
FOR HEIGHTS 10'-0" < TO ≤ 14'-0"**  
SCALE: NTS



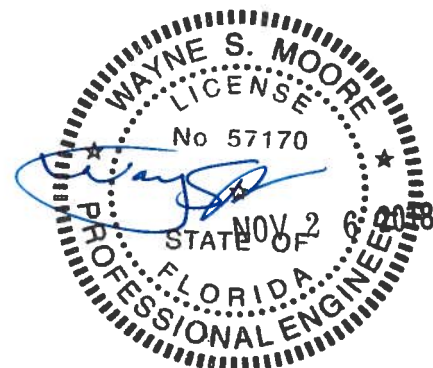
**BOX EAVE RAFTER COLUMN  
CONNECTION DETAIL  
FOR HEIGHTS ≤ 10'-0"**  
SCALE: NTS



**BRACE SECTION**  
SCALE: NTS



**RAFTER COLUMN/BASE RAIL  
CONNECTION DETAIL**  
SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0" x 20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 8B**

**SCALE: NTS**

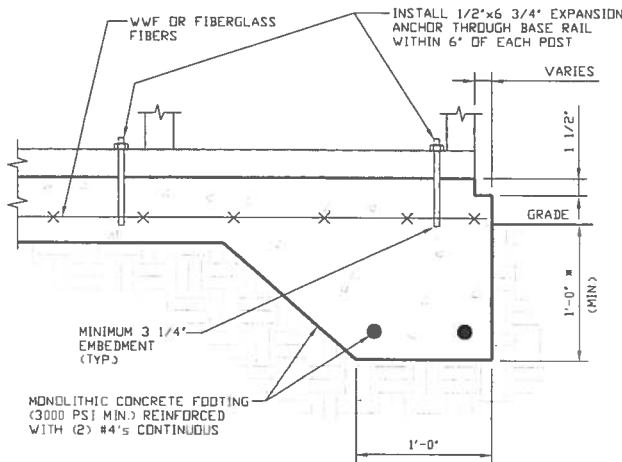
**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

**REV: 4**

THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.

## BASE RAIL ANCHORAGE OPTIONS FOR LOW AND HIGH WIND SPEED

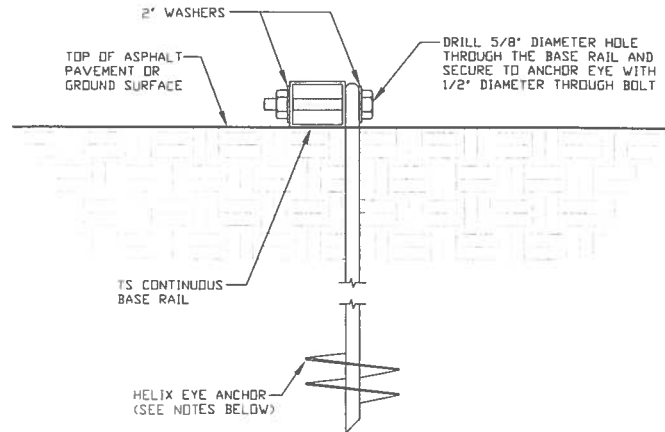


3A

### CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 4")  
\* COORDINATE WITH LOCAL CODES/ORD.



3B

### GROUND BASE HELIX ANCHORAGE

SCALE: NTS

(CAN BE USED FOR ASPHALT)

## GENERAL NOTES

### CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

### COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318.

3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE.

### REINFORCING STEEL:

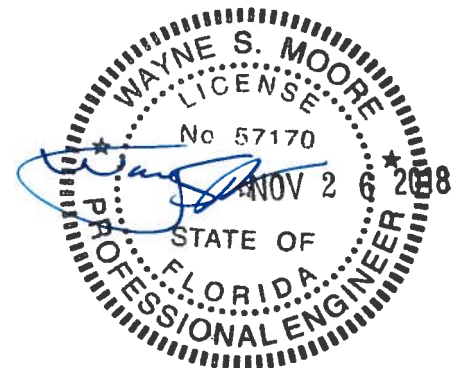
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

### REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

### HELIX ANCHOR NOTES:

1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT.
2. FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT.
3. FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT.
4. FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL USE MINIMUM (2) 6" HELICES WITH MINIMUM 50 INCH EMBEDMENT.
5. FOR VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL USE MINIMUM (2) 8" HELICES WITH MINIMUM 60 INCH EMBEDMENT.



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 9A**

**SCALE: NTS**

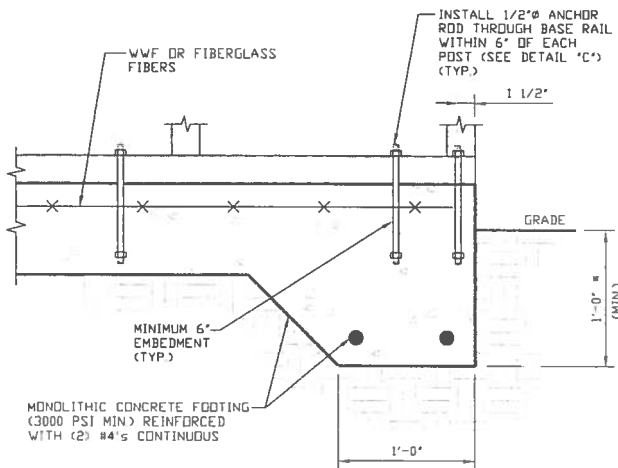
**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

**REV: 4**

THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.

## OPTIONAL FOUNDATION ANCHORAGE FOR LOW & HIGH WIND SPEED

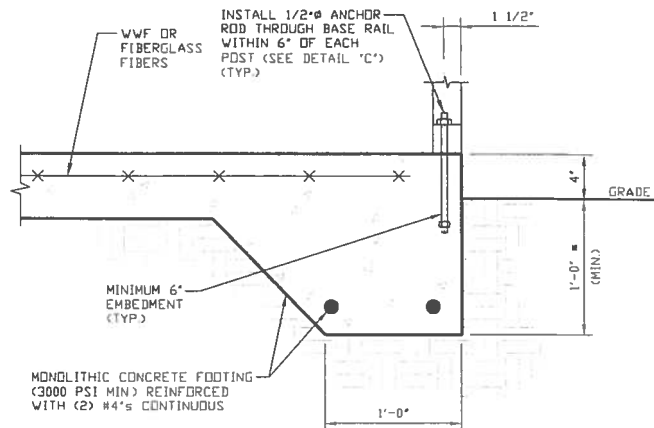


1A

### CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")  
\* COORDINATE WITH LOCAL CODES/ORD.



1B

### CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")  
\* COORDINATE WITH LOCAL CODES/ORD.

## GENERAL NOTES

### CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

### COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318.

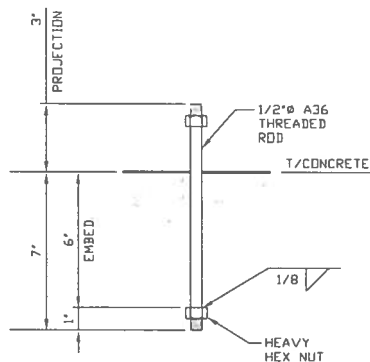
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE.

### REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

### REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

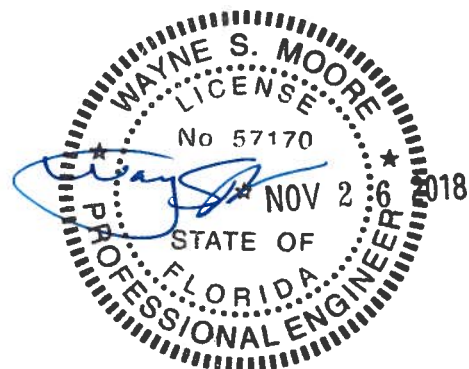
1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.



1C

### ANCHOR ROD THROUGH BASE RAIL DETAIL

SCALE: NTS



MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 9B

SCALE: NTS

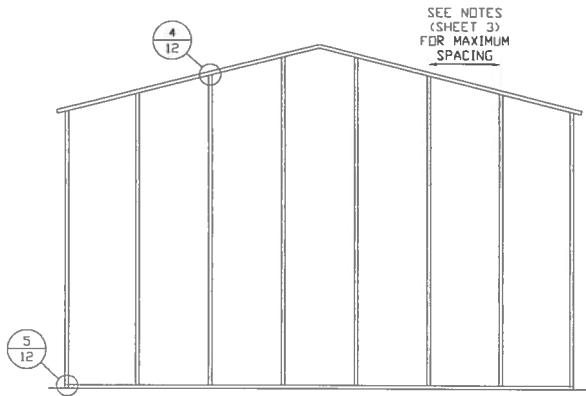
DWG. NO: SK-3

JOB NO:  
160225/17300S

REV: 4

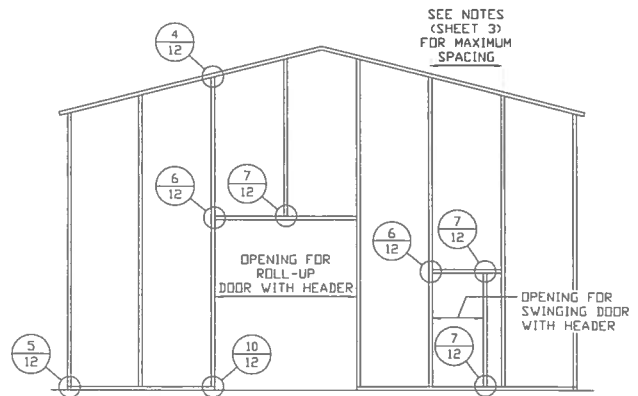
THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.

## BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



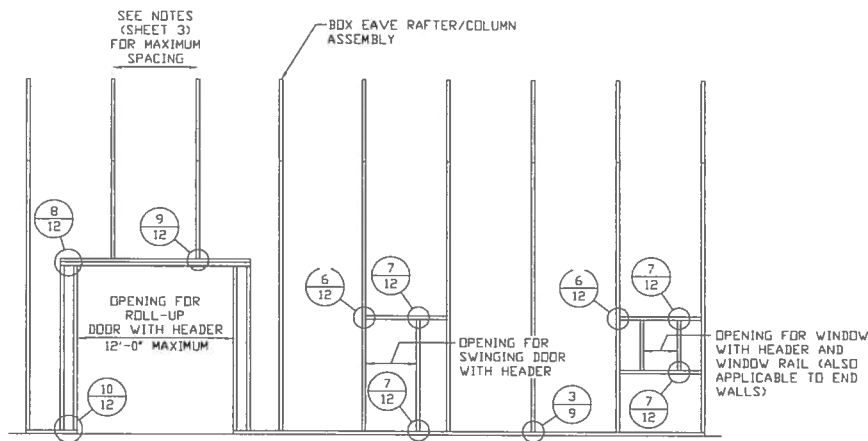
**TYPICAL BOX EAVE RAFTER  
END WALL FRAMING SECTION**

SCALE: NTS



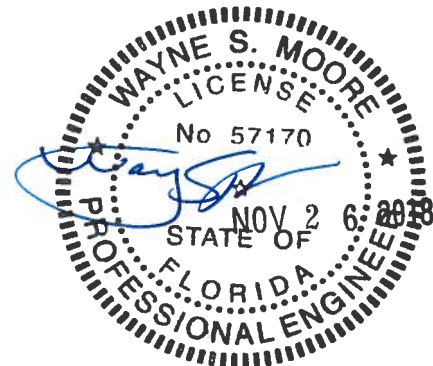
**TYPICAL BOX EAVE RAFTER END  
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER SIDE  
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: VSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 10**

**SCALE: NTS**

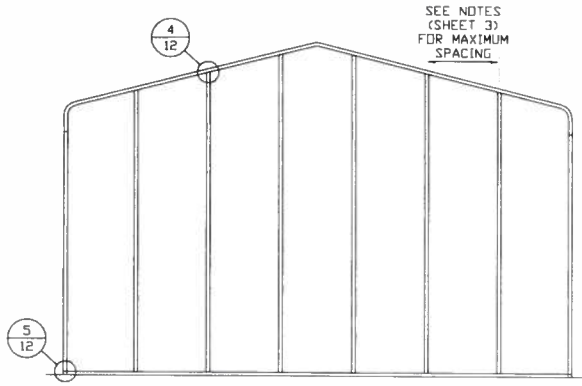
**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

**REV: 4**

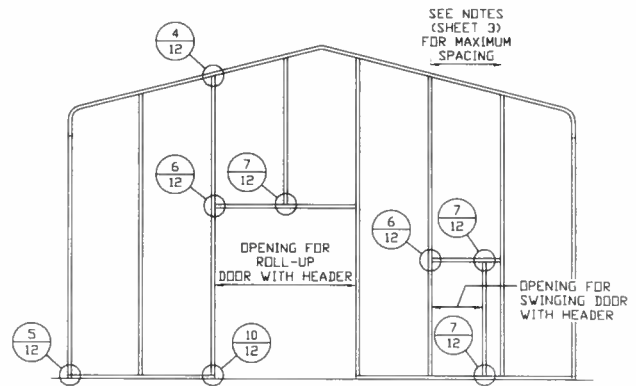
THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.

## BOW RAFTER END WALL AND SIDE WALL OPENINGS



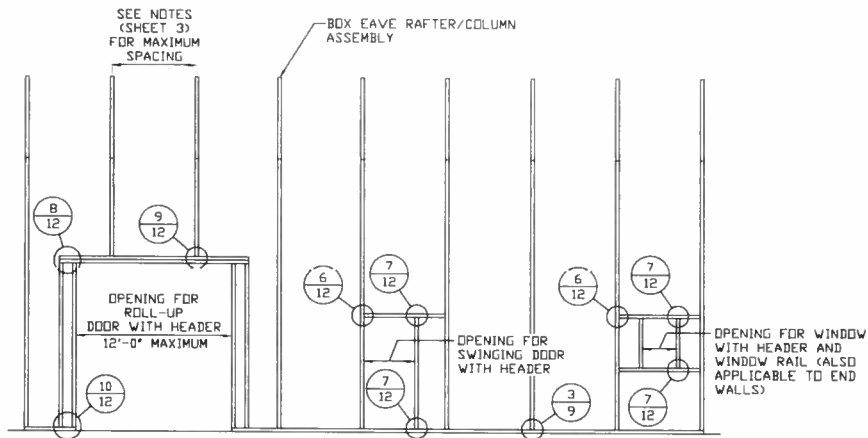
**TYPICAL BOX EAVE RAFTER  
END WALL FRAMING SECTION**

SCALE: NTS



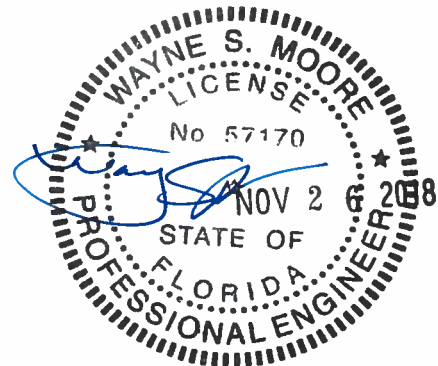
**TYPICAL BOX EAVE RAFTER END  
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER SIDE  
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SCALE: NTS**

**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

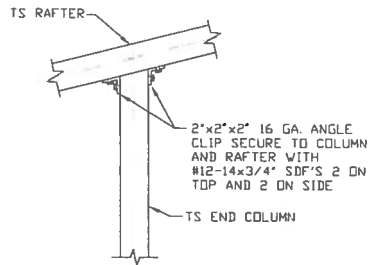
**SHT. 11**

**REV: 4**

THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.

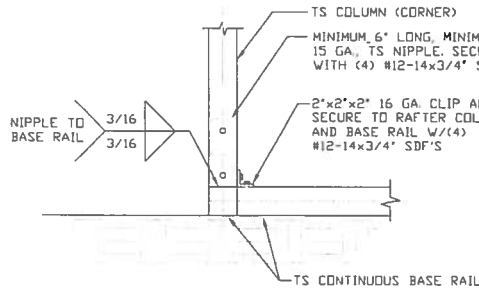


## BOW AND BOX EAVE RAFTER WALL OPENING DETAILS



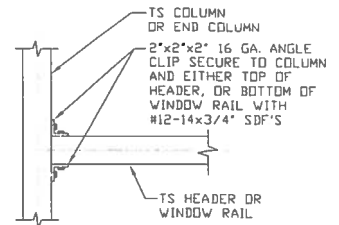
4

**END COLUMN/RAFTER  
CONNECTION DETAIL**  
SCALE: NTS



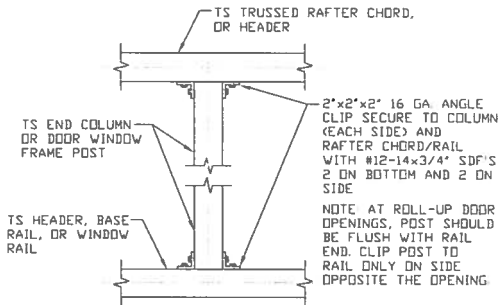
5

**END COLUMN/BASE RAIL  
CONNECTION DETAIL**  
SCALE: NTS



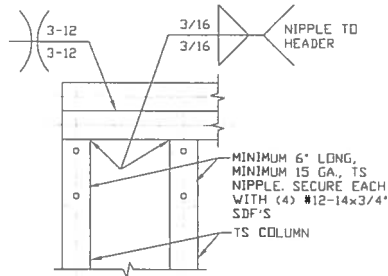
6

**HEADER OR WINDOW  
RAIL TO COLUMN  
CONNECTION DETAIL**  
SCALE: NTS



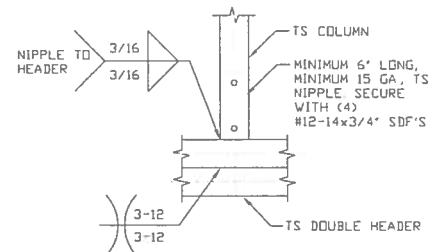
7

**COLUMN TO HEADER,  
BASE RAIL, OR  
WINDOW RAIL  
CONNECTION DETAIL**  
SCALE: NTS



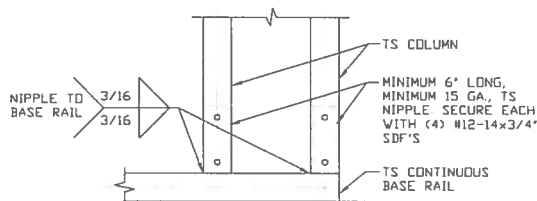
8

**DOUBLE HEADER/COLUMN  
CONNECTION DETAIL**  
SCALE: NTS



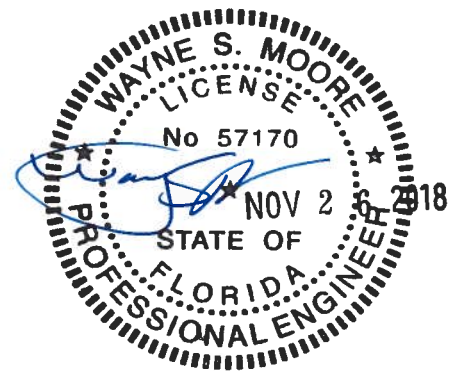
9

**COLUMN/DOUBLE HEADER  
CONNECTION DETAIL**  
SCALE: NTS



10

**COLUMN/BASE RAIL  
CONNECTION DETAIL**  
SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS**  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 12

SCALE: NTS

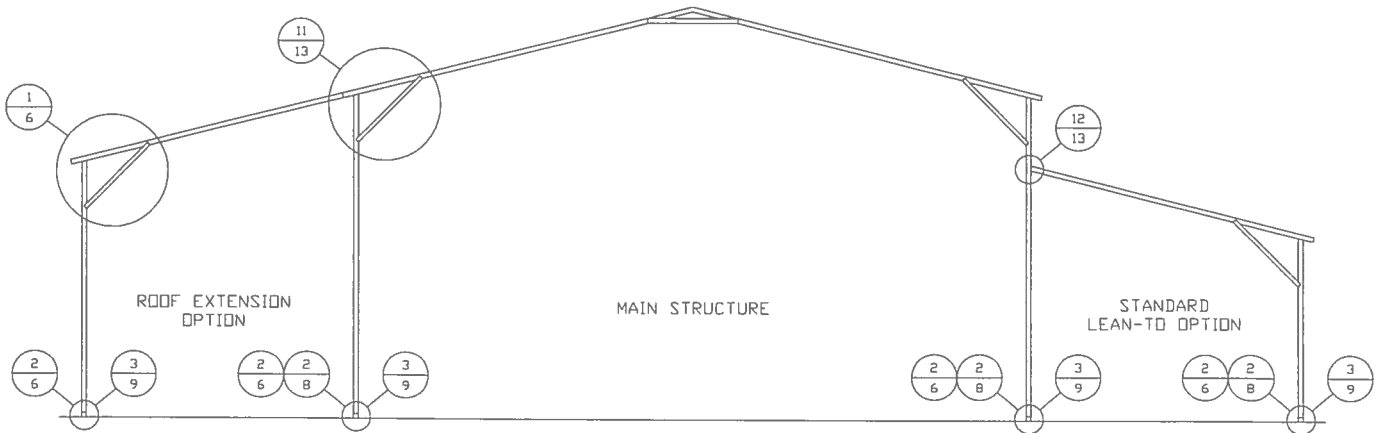
DWG. NO: SK-3

JOB NO:  
16022S/17300S

REV: 4

THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.

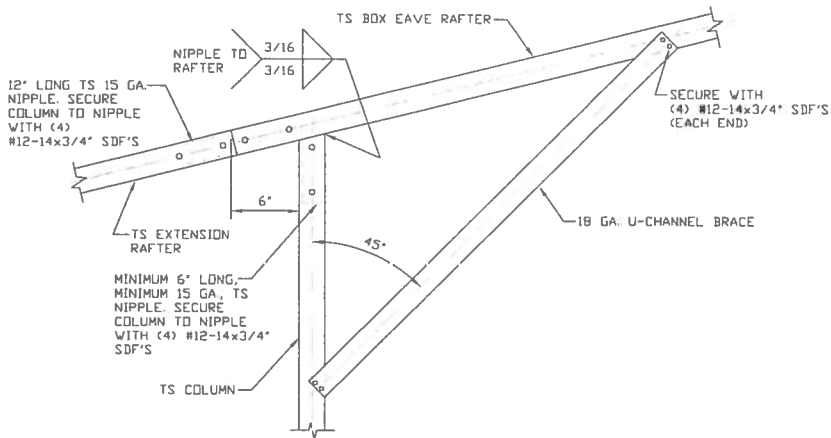
## BOX EAVE RAFTER LEAN-TO OPTIONS



**TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)**

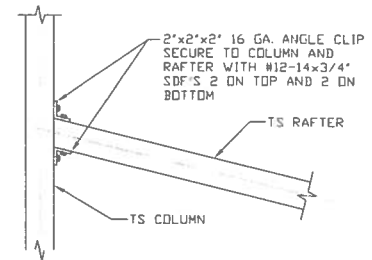
SCALE: NTS

MAXIMUM WIDTH OF SINGLE MEMBER RAFTER LEAN-TO IS 16'-0".



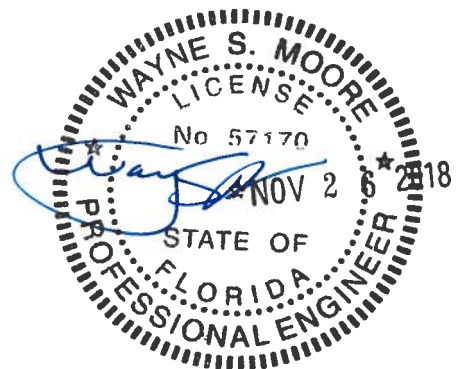
**11A SIDE EXTENSION RAFTER/COLUMN DETAIL**

SCALE: NTS



**12 LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL**

SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: VSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 13**

**SCALE: NTS**

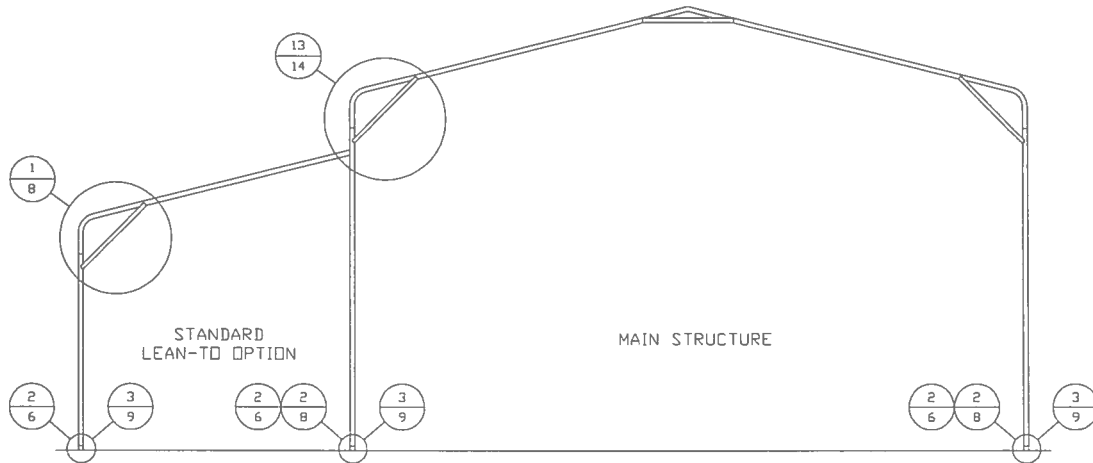
**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

**REV.: 4**

THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.

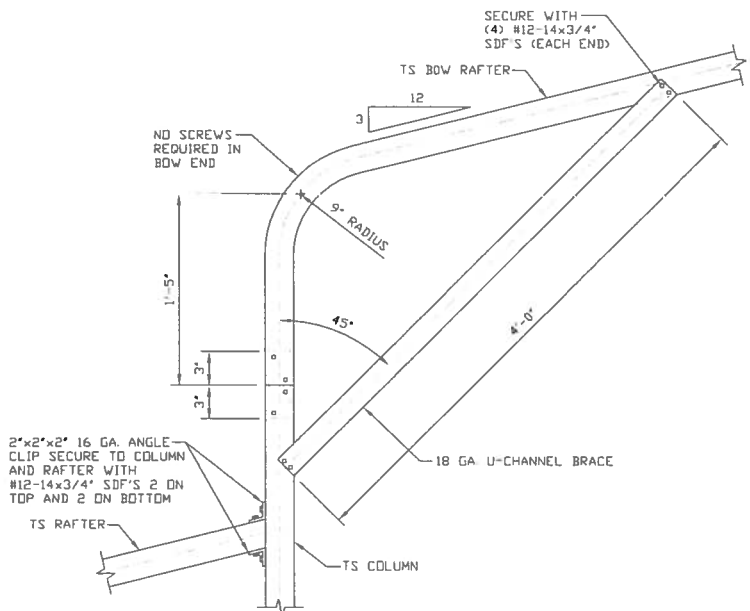
## BOW RAFTER LEAN-TO OPTIONS



**TYPICAL BOW RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)**

SCALE: NTS

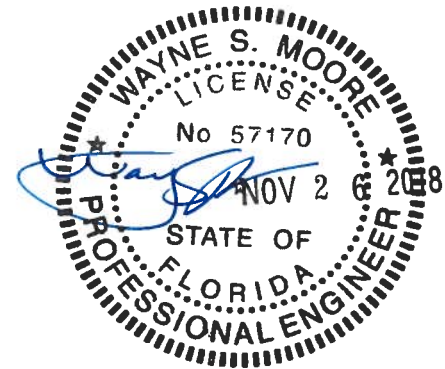
MAXIMUM WIDTH OF SINGLE MEMBER RAFTER LEAN-TO IS 16'-0".



13

**SIDE EXTENSION RAFTER/COLUMN DETAIL**

SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0" x 20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 14**

**SCALE: NTS**

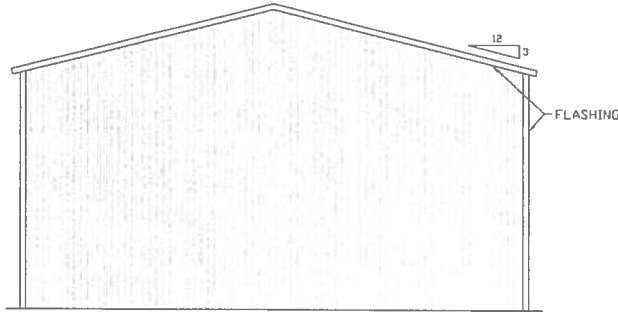
**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

**REV: 4**

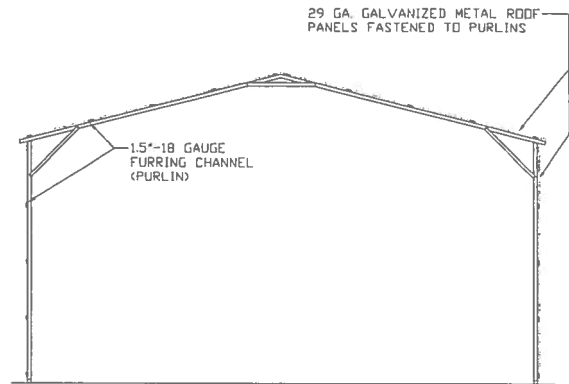
THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.

## BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



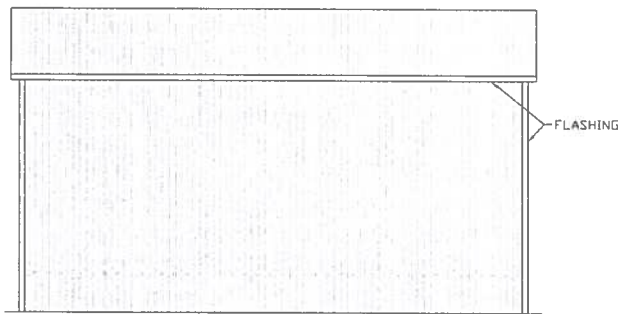
**TYPICAL END ELEVATION  
VERTICAL ROOF/SIDING OPTION**

SCALE: NTS



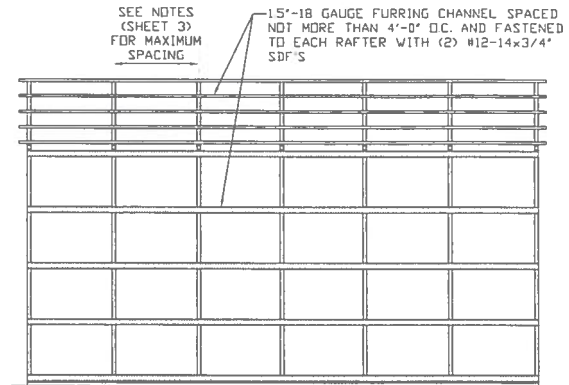
**TYPICAL SECTION VERTICAL  
ROOF/SIDING OPTION**

SCALE: NTS



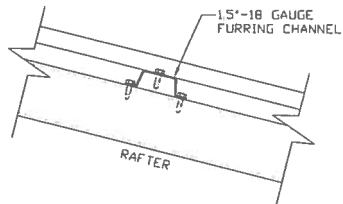
**TYPICAL SIDE ELEVATION  
VERTICAL ROOF/SIDING OPTION**

SCALE: NTS



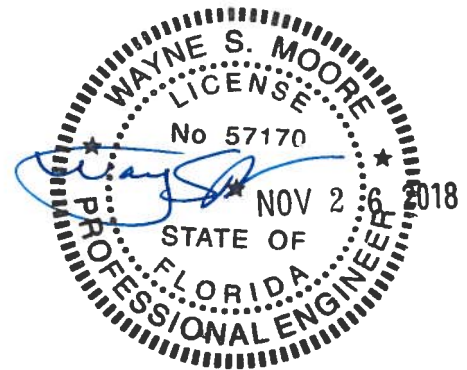
**TYPICAL FRAMING SECTION  
VERTICAL ROOF/SIDING OPTION**

SCALE: NTS



**ROOF PANEL ATTACHMENT**

(ALTERNATE FOR VERTICAL ROOF PANELS)  
SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 15**

**SCALE: NTS**

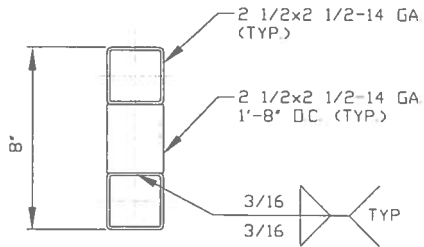
**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

**REV: 4**

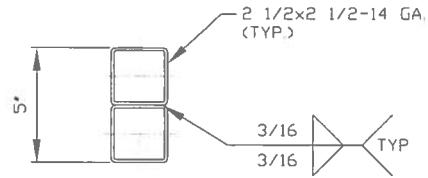
THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.

## OPTIONAL DOOR HEADER



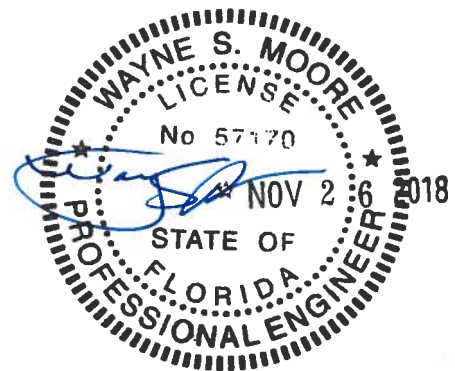
**HEADER DETAIL FOR DOOR  
OPENINGS 12'-0" < LENGTH ≤ 15'-0"**

SCALE: NTS



**HEADER DETAIL FOR DOOR  
OPENINGS LENGTH ≤ 12'-0"**

SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: VSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 16**

**SCALE: NTS**

**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

**REV.: 4**

THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.