

DATE 07/03/2008

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000027141

APPLICANT AMY HARRY PHONE 754-1567
ADDRESS 152 SE EASTER LANE LAKE CITY FL 32025
OWNER AMY HARRY PHONE 754-1567
ADDRESS 133 SE BENNIE LANE LAKE CITY FL 32024
CONTRACTOR RONNIE NORRIS PHONE 752-3871
LOCATION OF PROPERTY SR 100,TR PRICE CREEK RD,TR SHARON LN,TL TO BONNIE WAY,
TL BENNIE LANE, NEXT TO LAST ON LEFT
TYPE DEVELOPMENT MH,UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING RR MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 15-4S-17-08355-308 SUBDIVISION HIDDEN ACRES
LOT 8 BLOCK B PHASE UNIT 0 TOTAL ACRES

IH0000049
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 08-461 CS HD Y
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD

Check # or Cash 629

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
date/app. by date/app. by date/app. by
Framing Rough-in plumbing above slab and below wood floor
date/app. by date/app. by
Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
date/app. by date/app. by date/app. by
M/H tie downs, blocking, electricity and plumbing Pool
date/app. by date/app. by
Reconnection Pump pole Utility Pole
date/app. by date/app. by date/app. by
M/H Pole Travel Trailer Re-roof
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 250.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 19.26 WASTE FEE \$ 50.25
FLOOD DEVELOPMENT FEE \$ 25.00 FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ 0.00 TOTAL FEE 394.51
INSPECTORS OFFICE Sheela Edla CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

CK# 629 630

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 1-10-08) Zoning Official 2/24/08 Building Official HO 6-23-08

AP# 0806-34 Date Received 6/20 By JW Permit # 27141

Flood Zone X Development Permit — Zoning RR Land Use Plan Map Category RVLID

Comments _____

FEMA Map# _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

☒ Site Plan with Setbacks Shown ☒ EH # 08-461 ☒ EH Release ☒ Well letter ☒ Existing well

☒ Recorded Deed or Affidavit from land owner ☒ Letter of Auth. from installer ☐ State Road Access

☐ Parent Parcel # _____ ☐ STUP-MH _____ ☐ F W Comp. letter _____

IMPACT FEES: EMS 29.88 Fire 78.63 Corr 442.89 Road/Code 1046.00/210

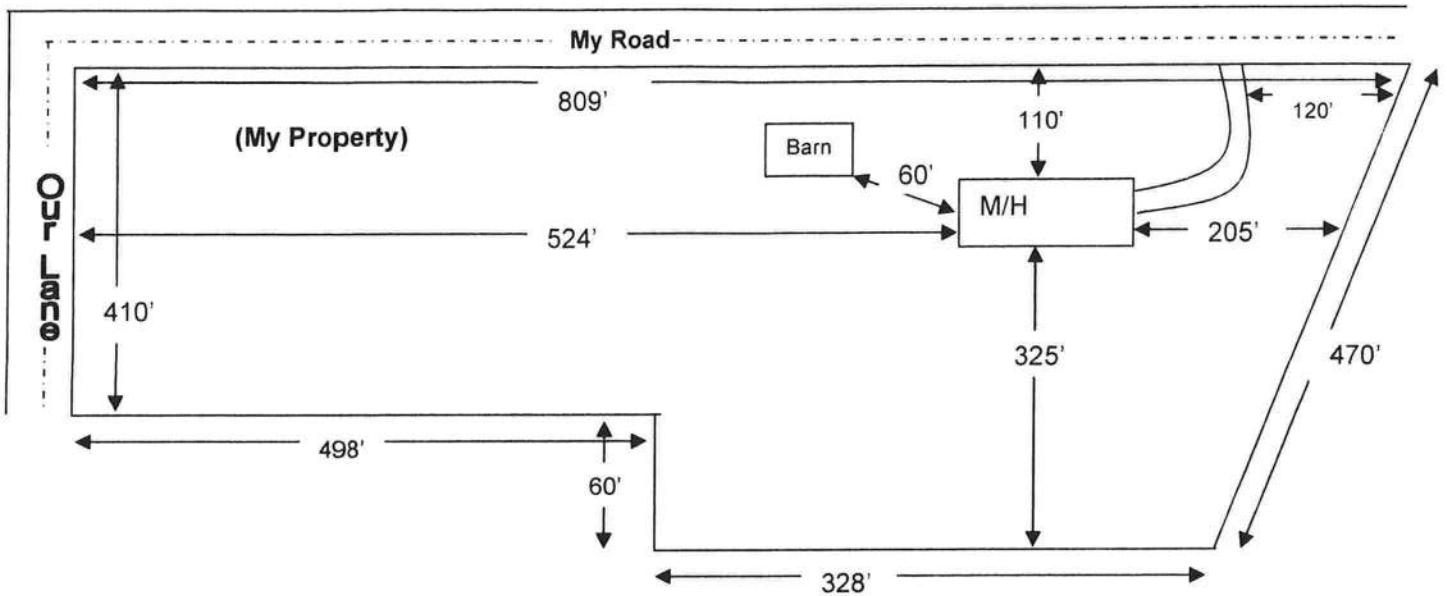
School 1500.00 = TOTAL 3097.40

Property ID # 15-95-17-08 355-308 Subdivision Hidden Acres, Lot 8 BLK B

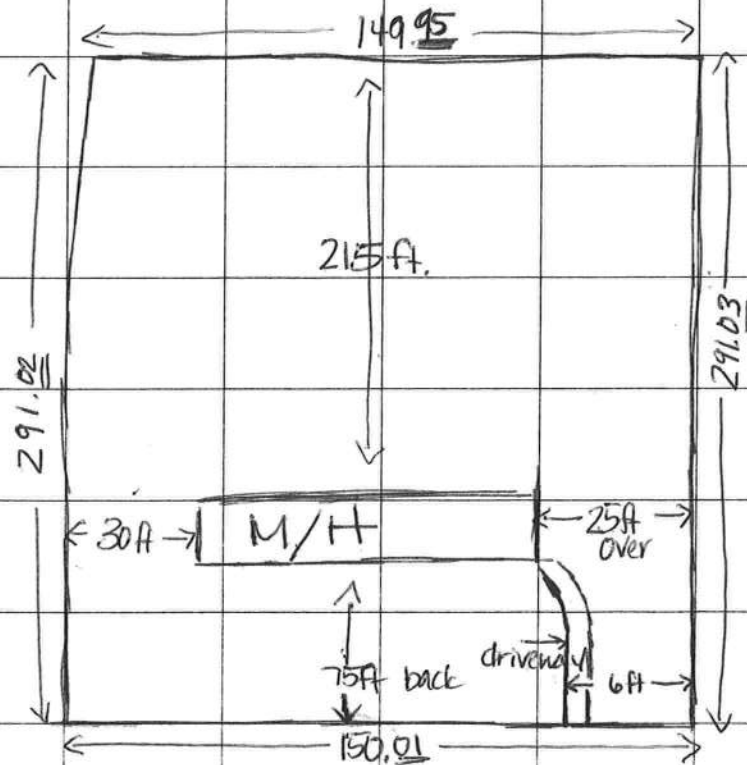
- New Mobile Home _____ Used Mobile Home ☒ MH Size 14x64 Year 2000
- Applicant Amy Harry Phone # (386) 754-1567
- Address 152 SE Easter Lane ; Lake City, FL 32025
- Name of Property Owner Amy Harry & Rita & Gordon Cox Phone # (386) 754-1567
- 911 Address 133 SE Bennie Way ; Lake City, FL 32025
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home ~~Rita & Gordon Cox~~ Amy Harry Phone # (386) 752-2742
Address 515 SE Pounds Hammock Rd. ; Lake City, FL 32025
- Relationship to Property Owner ~~Mother & Father~~ Self
- Current Number of Dwellings on Property 0
- Lot Size 150.01 X 291.03 X 149.95 X 291.02 Total Acreage 1.00 acre
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home no (owe)
- Driving Directions to the Property take 90 to 100; go east on 100 - 2nd red light take a right on 245 (Price Creek), 2 miles down take a Right into Hidden Acres Subdivision, 1st road on left - then go to stop sign, take a left, it is lot #8 next to last from the end of Bennie Way.
- Name of Licensed Dealer/Installer Rennie Norris Phone # 752-3871
- Installers Address 1004 SW Charles Ter ; Lake City, FL 32024
- License Number IH 0000049 Installation Decal # 295493

- TW called Amy 6.23.08 & left MESSAGE: ON cell phone -

SITE PLAN EXAMPLE / WORKSHEET



Use this example to draw your own site plan. Show all existing buildings and any other homes on this property and show the distances between them, Also show where the roads or roads are around the property. This site plan can also be used for the 911 Addressing department if you include the distance from the driveway to the nearest property line.



SE Bennie Way

FROM : COLUMBIA CO BUILDING + ZONING FAX NO. : 386-758-2160

Aug. 01 2006 03:45PM P4

PERMIT NUMBER

Installer

New Home License # 1400000419

Address of home being installed

133 SE Bennie Way
Lake City, FL 32025

Manufacturer

Erfert well Length x width 8'14" x 6'4"

NOTE:

If home is a single wide use out one half of the blocking when
If home is a triple or quad wide attach to remainder of home- Understand Lateral Arm Systems cannot be used on any home (new or used)
where the sidewall ties exceed 5 ft 4 in.

Installer's initials

KJ

New Home

13

Used Home

☒

Home installed to the Manufacturer's Installation Manual

☒

Home is installed in accordance with Rule 15-C

☐

Single wide

☒

Wind Zone II

☒

Double wide

☐

Installation Detail #

295493

Triple/Quad

☐

Serial #

S* GAFLX39AH1420VH21

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq ft)	16' x 16' (256)	18' 6" x 18' 1/2" (342)	20' x 20' (400)	22' x 22' (484)	24' x 24' (576)	26' x 26' (676)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4'	5'	6'	7'	8'	9'
2000 psf	5'	6'	7'	8'	9'	10'
2500 psf	6'	7'	8'	9'	10'	11'
3000 psf	7'	8'	9'	10'	11'	12'
3500 psf	8'	9'	10'	11'	12'	13'

Interpolated from Rule 15-C-1 pier spacing table.

PIER PAD SERIES

I-beam pier pad size

19x25

Perimeter pier pad size

19x25

Other pier pad sizes (required by the mfg.)

19x25

Draw the approximate locations of marriage wall openings 4' foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4' foot and their pier pad sizes below.

Opening

Pier pad size

SW

SW

SW

SW

TIE DOWN COMPONENTS

Longitudinal Strapping Device (LSD)

Manufacturer

Longitudinal Strapping Device w/ Lateral Arms Manufacturer

OTHER TIES

Side wall

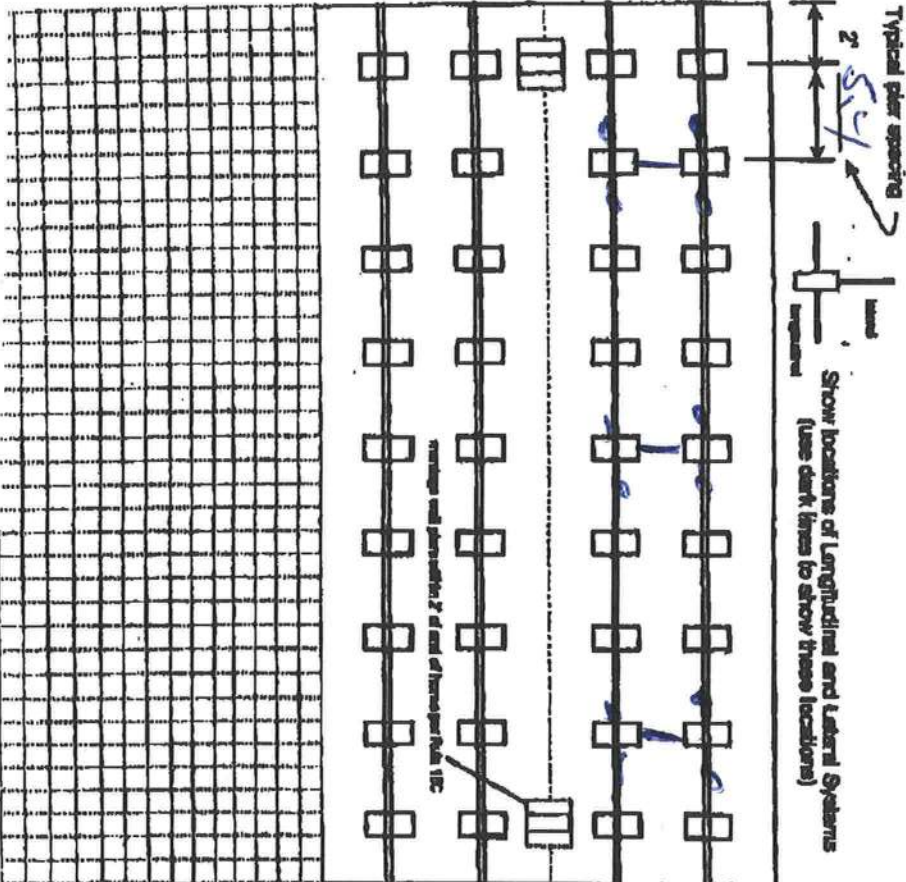
Longitudinal Marriage wall

Shear wall

Number

2

4



PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to the nearest whole number of check here to declare 1000 lb. soil without testing.

X 1500 X 1500 X 1500

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 8 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1500 X 1500 X 1500

TORQUE PROBE TEST

The results of the torque probe test is 285 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft anchors are allowed at the sidewalk locations. I understand 6 ft anchors are required at all confinement points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb. testing capacity.

15 installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

James Hunt

Date Tested

Electrical

Connect electrical conductors between multi-wire units, but not to the main power source. This includes the bonding wire between multi-wire units. Pg.

Plumbing

Connect all sewer drains to an existing sewer line or septic tank. Pg.

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg.

Site Preparation

Debris and organic material removed Yes Pad Other

Foundation must be within

Floor: Type Fastener: Length: Spacing: SW SW SW
Wall: Type Fastener: Length: Spacing: SW SW SW
Roof: Type Fastener: Length: Spacing: SW SW SW

For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

General Foundation/Grading Requirements

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

SW

Type gasket

Installed: Between Floors Yes SW
Between Walls Yes SW
Bottom of ridgebeam Yes SW

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg.
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Mechanicals

Stirting to be installed. Yes No
Dryer vent installed outside of stirting. Yes N/A
Range downflow vent installed outside of stirting. Yes N/A
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other:

Installer verifies all information given within this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

James Hunt

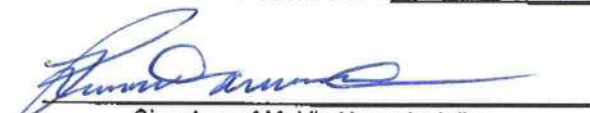
Date

6-19-08

AFFIDAVIT

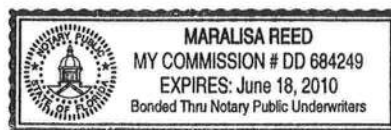
I certify that the following described mobile home being placed on the referenced parcel is not a Wind Zone 1 mobile home.

Customer's Name: Amy Harry
Property ID: Sec: 15 Twp: 4S Rge: 17 Tax Parcel No: 08355-308
Lot: 8 Block: B Subdivision: Hidden Acres
Mobile Home Year/Make: 2000 Fleetwood Size: 14 x 64


Signature of Mobile Home Installer

Sworn to and subscribed before me this 19 day of June, 20 08
by Amy Harry

Maralisa Reed
Notary's name printed/typed



Notary Public, State of Florida
Commission No. _____
Personally Known: ☒
Produced ID (type) _____

This Instrument Prepared By:
Michael H. Harrell
Abstract & Title Services, Inc.
283 NW Cole Terrace
Lake City, FL 32055
AT# 32209

Inst 200812011328 Date: 6/13/2008 Time: 4:06 PM
Doc Stamp-Deed 157.50
24 DC P. DeWitt Casari, Columbia County Page 1 of 1 B:1152 P:1246

GENERAL WARRANTY DEED

Corporation to Individual (or Corporation/LLC)

This Warranty Deed made this 12th day of June, 2008 by

Subrandy Limited Partnership

having its principle place of business at P. O. Box 513, Lake City, FL 32056, hereinafter called the Grantor, to

Rita Cox and her husband Gordon Cox, and ~~and~~ Amy Harry as Joint Tenants with Rights of Survivorship

whose post office address is 152 SE Easter Lane, Lake City, FL 32025, hereinafter called the Grantee.

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of Individuals, and the successors and assigns of Corporation.)

The Grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, unto the Grantee all that certain land, situate in Columbia County, Florida, viz: TAX ID: 15-4S- [REDACTED] :

Lot 8, Block B, of Hidden Acres, a subdivision as recorded in Plat Book 7, Pages 63-64, of the Public Records of Columbia County, Florida. Subject to power line easement.

Together with all the tenements, hereditaments, and appurtenances thereto belonging or in any ways appertaining.

To have and to hold, the same in fee simple forever.

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2007.

In witness whereof, the said Grantor has signed and sealed these presents the day and year first above written.

Traci Landrey
WITNESS
Printed Name: Traci Landrey

Doris M Drake
WITNESS
Printed Name: Doris M Drake

Subrandy Limited Partnership

BY: Bradley N Dicks
Bradley N. Dicks, Partner

State of Florida
County of Suwannee

I hereby certify that on this 12th day of June, 2008, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared Bradley N. Dicks, the Partner of Subrandy Limited Partnership who is personally known to me or produced a D.L. for identification, and known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that he/she/they executed the same, and an oath was not taken.

(SEAL)



[Signature]
NOTARY PUBLIC

My Commission Expires:

AFFIDAVIT

**STATE OF FLORIDA
COUNTY OF COLUMBIA**

This is to certify that I, (We), Gordon & Rita Cox
owner of the below described property:

Tax Parcel No. 15-45-17-08355-308

Subdivision (name, lot, block, phase) Hidden Acres, 8, B

Give my permission to Amy Harry to place a
mobile home/travel trailer/single family home (circle one) on the above mentioned
property.

I (We) understand that this could result in an assessment for solid waste and fire
protection services levied on this property.

Gordon Cox
Owner

Rita Cox
Owner

SWORN AND SUBSCRIBED before me this 20 day of June,
2008. This (these) person(s) are personally known to me or produced
ID _____.

Maralisa Reed
Notary Signature



I, Ronnie Harris, DO HEREBY GRANT
Amy Harry, AUTHORIZATION TO PULL THE
NECESSARY PERMITS REQUIRED FOR THE DELIVERY AND SET OF A
MANUFACTURED HOME IN Columbia COUNTY, FLORIDA.

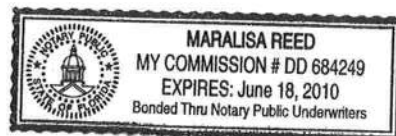
My Harry
Signature

19 DAY OF June, 2008

BY Amy Harry, WHO IS PERSONALLY KNOWN TO ME.

STATE OF FLORIDA
COUNTY OF Columbia

Maryisa Reed
NOTARY PUBLIC



(STAMP)

CODE ENFORCEMENT
PRELIMINARY MOBILE HOME INSPECTION REPORT

GLEN:

DATE RECEIVED 6/20 BTL IS THE M/H ON THE PROPERTY WHERE THE PERMIT WILL BE ISSUED? NO

OWNERS NAME AMY HARRY PHONE 754-1567 CELL 386-288-2116

ADDRESS _____

MOBILE HOME PARK PARADISE VILLAGE SUBDIVISION _____

DRIVING DIRECTIONS TO MOBILE HOME SR 100 to PRICE CREEK to PARADISE
Village - 1st ENTRANCE - to 2nd Rd to R - to DEAD END
TL, turn on the Right (LOT 20)

MOBILE HOME INSTALLER RONNIE MORRIS PHONE 752-3871 CELL _____

MOBILE HOME INFORMATION

MAKE FLEETWOOD YEAR _____ SIZE 14 x 64 COLOR WHITE

SERIAL No. GAFLE139A14260H21

WIND ZONE II Must be wind zone II or higher NO WIND ZONE I ALLOWED

* CALL AMY AT *

386-288-2116

INSPECTION STANDARDS

INTERIOR:

(P or F) - P= PASS F= FAILED

- ☒ SMOKE DETECTOR () OPERATIONAL () MISSING
- ☒ FLOORS () SOLID () WEAK () HOLES DAMAGED LOCATION _____
- ☒ DOORS () OPERABLE () DAMAGED
- ☒ WALLS () SOLID () STRUCTURALLY UNSOUND
- ☒ WINDOWS () OPERABLE () INOPERABLE
- ☒ PLUMBING FIXTURES () OPERABLE () INOPERABLE () MISSING
- ☒ CEILING () SOLID () HOLES () LEAKS APPARENT
- ☒ ELECTRICAL (FIXTURES/OUTLETS) () OPERABLE () EXPOSED WIRING () OUTLET COVERS MISSING () LIGHT FIXTURES MISSING

EXTERIOR:

- ☒ WALLS / SIDING () LOOSE SIDING () STRUCTURALLY UNSOUND () NOT WEATHERTIGHT () NEEDS CLEANING
- ☒ WINDOWS () CRACKED/ BROKEN GLASS () SCREENS MISSING () WEATHERTIGHT
- ☒ ROOF () APPEARS SOLID () DAMAGED

STATUS

APPROVED ☒ WITH CONDITIONS: _____

NOT APPROVED _____ NEED RE-INSPECTION FOR FOLLOWING CONDITIONS _____

SIGNATURE

As P Pull

ID NUMBER

402

DATE

6-23-08

COLUMBIA COUNTY FLORIDA OFFICIAL

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 15-4S-17-08355-308

Building permit No. 000027141

Permit Holder RONNIE NORRIS

Owner of Building AMY HARRY

Location: 133 SE BENNIE LANE, LAKE CITY, FL

Date: 08/01/2008



John D. Norris

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)