

ATE08/12/2005

Columbia County Building Permit

This Permit Expires One Year From the Date of Issue

PERMIT000023484

APPLICANTDIANA EDDY

PHONE755-9199

ADDRESS431SW JODI COURT

LAKE CITYFL32024

OWNERDIANA EDDY

PHONE755-9199

ADDRESS431SW JODI COURT

LAKE CITYFL32024

CONTRACTORDALE HOUSTON

PHONE752-7814

LOCATION OF PROPERTY

CR 247S, TR ON CYPRESSLAKE ROAD, TL ON JODI COURT,
2ND TO LAST 10 ACRE LOT ON LEFT

TYPE DEVELOPMENTMH,UTILITY

ESTIMATED COST OF CONSTRUCTION.00

HEATED FLOOR AREATOTAL AREA

HEIGHT.00STORIES

FOUNDATIONWALLS

ROOF PITCHFLOOR

LAND USE & ZONINGA-3

MAX. HEIGHT

Minimum Set Back Requirments:

STREET-FRONT30.00

REAR25.00

SIDE25.00

NO. EX.D.U.1

FLOOD ZONEX

DEVELOPMENT PERMIT NO.

PARCEL ID36-4S-15-00414-209

SUBDIVISIONMAGNOLIA ACRES

LOT9

BLOCK

PHASE

UNIT

TOTAL ACRES

IH0000040

Culvert Permit No.

Culvert Waiver

Contractor's License Number

Applicant/Owner/Contractor

EXISTING05-0766-N

BK

Y

Driveway Connection

Septic Tank Number

LU & Zoning checked by

Approved for Issuance

New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD

Check # or Cash127

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power

Foundation

Monolithic

Under slab rough-in plumbing

Slab

Sheathing/Nailing

Framing

Rough-in plumbing above slab and below wood floor

Electrical rough-in

Heat & Air Duct

Peri. beam (Lintel)

Permanent power

C.O. Final

Culvert

M/H tie downs, blocking, electricity and plumbing

Pool

Reconnection

Pump pole

Utility Pole

M/H Pole

Travel Trailer

Re-roof

BUILDING PERMIT FEE \$.00

CERTIFICATION FEE \$.00

SURCHARGE FEE \$.00

MISC. FEES \$ 200.00

ZONING CERT. FEE \$ 50.00

FIRE FEE \$

WASTE FEE \$

FLOOD ZONE DEVELOPMENT FEE \$

CULVERT FEE \$

TOTAL FEE 250.00

INSPECTORS OFFICE

CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only Zoning Official BLK 11.03.05 Building Official HD 8-9-05
AP# 0508-01 Date Received 8/1/05 By LH Permit # 23484
Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3
Comments _____
FEMA Map # _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____
☒ Site Plan with Setbacks shown ☒ Environmental Health Signed Site Plan ☐ Env. Health Release
☐ Well letter provided ☒ Existing Well
Revised 9-23-04

- ✓ Property ID 00414-209 36-45-15 Must have a copy of the property deed
• New Mobile Home X Used Mobile Home _____ Year 2005
• Subdivision Information MAGNOLIA ACRES, Lot 9
• Applicant Nile D. Eddy III Phone # 755-9199
• Address 431 S.W. Jodi Court LAKE CITY
• Name of Property Owner Diana or Nile Eddy Phone# 755-9199
• 911 Address 431 S.W. Jodi Ct. LAKE CITY, FL 32024
• Circle the correct power company - PL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progressive Energy
• Name of Owner of Mobile Home Diana or Nile Eddy Phone # 755-9199
• Address 431 S.W. Jodi Ct. LAKE CITY, FL 32024
• Relationship to Property Owner Same
• Current Number of Dwellings on Property 1
• Lot Size _____ Total Acreage 10.5
• Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver Permit
• Driving Directions CR 247 South to Cypresslake Rd. (Approx 1 mile past B+B S&S Right only on Cypresslake Rd — Approx 1.5 miles to Jodi Ct. (Just past Charles Rd.) 2nd to last 10 acre lot
• Is this Mobile Home Replacing an Existing Mobile Home YES - ASSESSMENTS charged
• Name of Licensed Dealer/Installer Dale Houston Phone # 386-752-7814
• Installers Address 136 S.W. Baws Glen LAKE CITY, FL 32024
• License Number JH0000040 Installation Decal # 252633

Left message 8-16-05 (JW)

P. 11/12

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to pad or check here to declare 1000 lb. soil without testing

X X X

- POCKET PENETROMETER TESTING METHOD**
1. Test the perimeter of the home at 6 locations.
 2. Take the reading at the depth of the footer
 3. Using 500 lb. increments, take the lowest reading and round down to that increment

X X X X

TORQUE PROBE TEST

The results of the torque probe test is inch pounds or check here if you are declaring 6 anchors without testing. A test showing 276 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 6 ft anchors are required at all centerline locations where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb. holding capacity.

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name DATE Houston
Date Tested 7-11-05

Electrical
Plumbing
Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 31
Connect all sewer drains to an existing sewer lap or septic tank. Pg. 40
Connect all potable water supply piping to an existing water meter, water lap, or other

PERMIT WORKSHEET

Details and organic material removed
Water drainage: Natural Swale Pad Other

Roofing multi-wide units

Type Fastener	Length	Spacing
Floor: <u> </u>	<u>6"</u>	<u>16"</u>
Walls: <u> </u>	<u> </u>	<u> </u>
Roof: <u> </u>	<u> </u>	<u> </u>

For used frames a 30 gauge, 6" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled membrane walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials DH

Type gasket foam
Pg. 31

Installed:
Between Floors Yes
Between Walls Yes
Bottom of ridgecap Yes

Weatherstripping

The bottomboard will be repaired and/or lapped. Yes Pg. 13
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Skirting to be installed. Yes No
Dryer vent installed outside of skirting. Yes N/A
Range downflow vent installed outside of skirting. Yes
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other:

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 19C-1 & 2

Installer signature DATE Houston Date 7/11/05

08/23/2004 09:41

3867582160

BLDG AND ZONING

PAGE 85

PERMIT WORKSHEET

page 1 of 2

PERMIT NUMBER

Date: 08/23/2004 License # I10000000Address: 431 S.W. Jodi CtCity: Lake City, FL 3204Manufacturer: Porter Length x width: 80x32

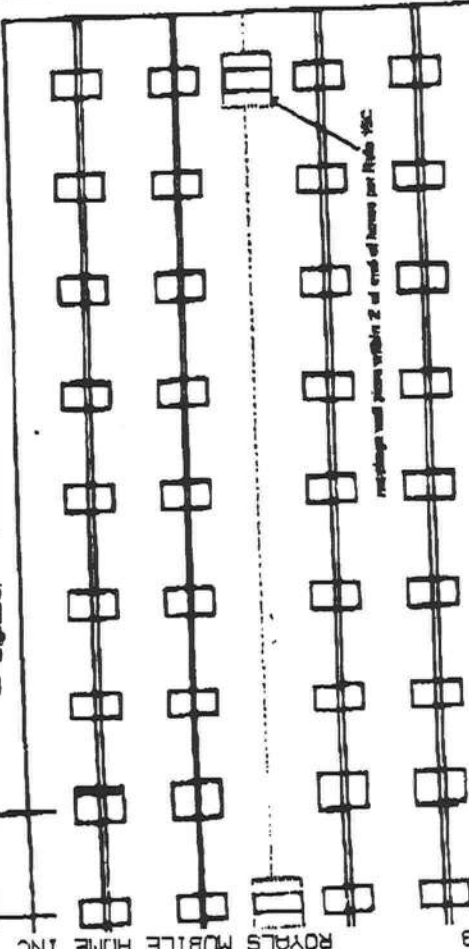
NOTE: If home is a single wide RM out over half of the blocking plan, if home is a triple or quad wide sketch in remainder of home.

Underlaid Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials: DT

1. All pier spacing

2. Show locations of Longitudinal and Lateral Systems (Use dark lines to show these locations)



JUL-11-2005 11:48

New Home



Used Home



Home installed to the Manufacturer's Installation Manual



Home is installed in accordance with Rule 15-C



Single wide



Wind Zone II



Wind Zone III



Double wide



Installation Detail #

252633

Triple/Quad



Serial #

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footing size (sq in.)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 26" (676)
1000 per	3"	4'	5'	5'	6'	7'	8'
1500 per	4"	6'	7'	7'	8'	9'	10'
2000 per	6"	8'	9'	9'	10'	11'	12'
2500 per	8"	10'	11'	11'	12'	13'	14'
3000 per	10"	12'	13'	13'	14'	15'	16'
3500 per	12"	14'	15'	15'	16'	17'	18'

Interpolated from Rule 15-C pier spacing table.

PIER PAD SIZES

I-beam pier pad size

12x25

Perimeter pier pad size

16x16

Other pier pad sizes (required by the mfg.)

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

Let all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

ANCHORS

4" 5"

FRAME TIES

within 2' of end of frame spaced at 5' 4" oc

OTHER TIES

Number

Sidewall
Longitudinal
Marriage wall
Street wall

TIEDOWN COMPONENTS

Longitudinal Stabilizing Devices (LSD)

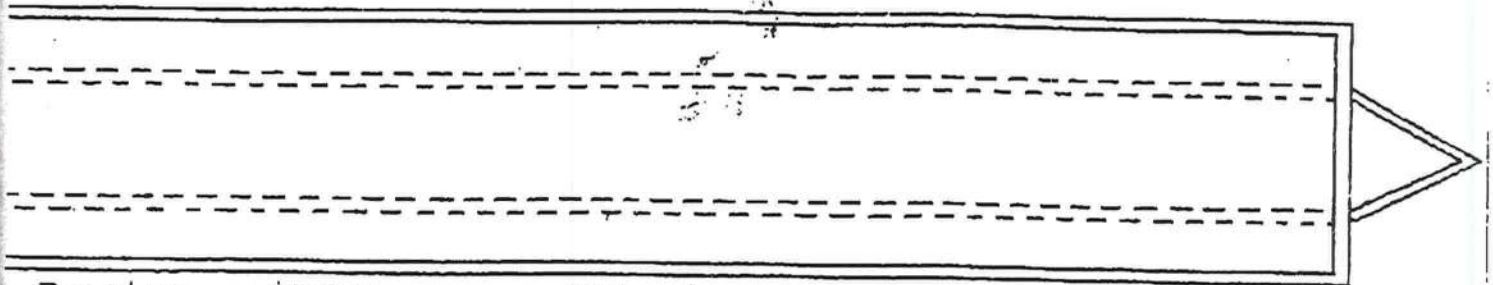
Manufacturer

Longitudinal Stabilizing Devices w/ Lateral Arms

Manufacturer

Longitudinal + Lateral

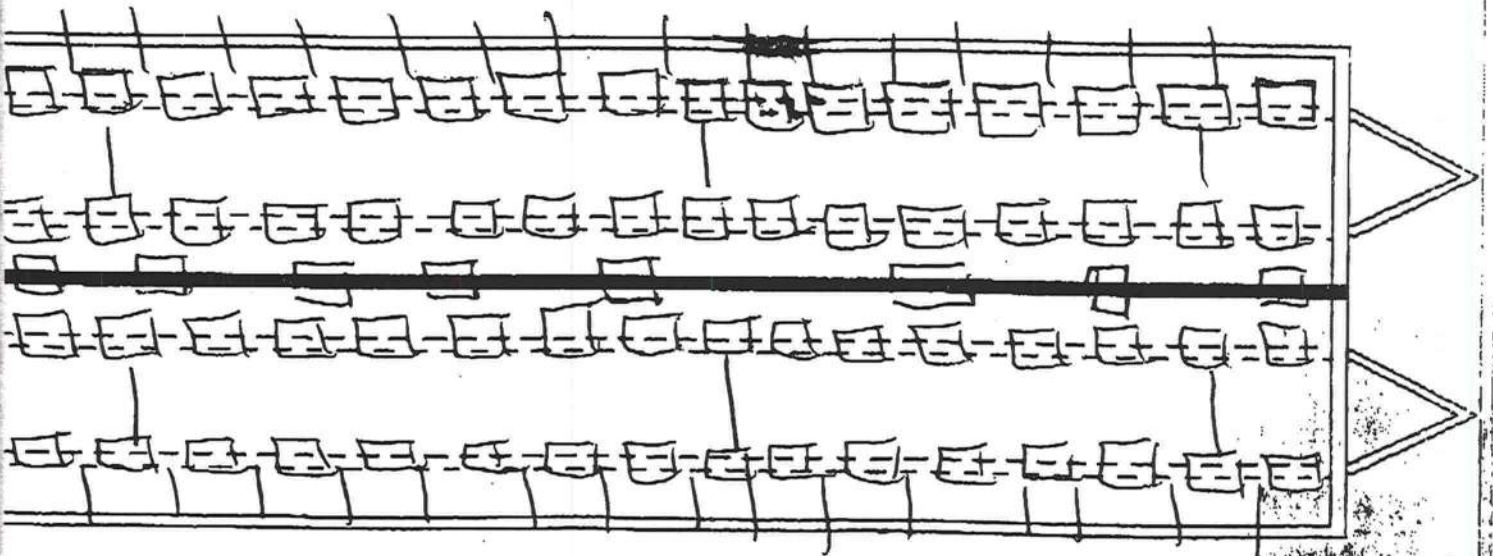
SINGLE WIDE MOBILE HOME



32 X 80 - 1000 sq ft - 17 X 25

piers - 16 per side - 5'0 0k
anchors - 15 per side - 5'4 0k

6 - Longitudinal + Lateral System



DOUBLE WIDE MOBILE HOME



ANCHOR



PIER



PIER FOOTING

Show all pier (with size of piers & pads) and anchor location, with maximum spacing and distance from end as required in the manufacturer's specifications. Any special pier footing required (over 16 x 16 inches) shall be shown separately with required dimensions per the manufacturer's specifications. To determine footing size and location, a soil bearing capacity test shall be used. Pier footings to be poured-in-place, whether required by manufacturer's specifications or by preference, must be inspected by the Building Department prior to pouring.

Horton City

TYPICAL FOOTER SIZES

- * 16" X 16" - 256 Sq. Inches
- 16" X 24" - 384 Sq. Inches
- 24" X 24" - 576 Sq. Inches
- 24" X 30" - 720 Sq. Inches

* MINIMUM FOOTER
TO BE USED

FOOTER SIZE REQUIREMENTS

Footer Size Equals

Pier Load
Soil Bearing
Capacity

Example: 14' Wide 8'-0" Center Piers
4928 (from table 1)
1000 (soil bearing capacity)

4928 Equals 4.9 Sq. Ft. Minimum Footer
1000

PIER LOAD CAPACITY FOR SIDE WALLS

100 X Span in Ft. divided by Soil Capacity

Example:
100 X 6'-0" equals 600 equals .6 sq. ft. min.
1000

Minimum Size Footer 8 X16
or 128 sq. inches for Sidewalls

MARRIAGE WALL PIER LOAD CAPACITY

100 X Span in Ft. X 2 equals Pier Load Divided by Soil Capacity

Example:
100 X 20'-0" X 2 Equals 4000 lbs. equals 4 sq. ft. Minimum Footer
1000 lbs.

NOTE:

1. Multi openings for sidewall or marriage wall, add openings together.
2. Treat each marriage wall in each half of double wide separately. Provide piers at all openings greater than 4'-0" wide.
3. Combine pier loads at locations where each half of the home has a ridge beam column support.

TABLE 2
12 WIDE OR LESS FOOTING SCHEDULE

Pier Spacing (L)	Soil Bearing Capacity (PSF)	ROOF LIVE LOAD
		20 PSF REQUIRED FOOTING AREA IN SQ. IN.
Piers spaced no more than 4'-0" on center not more than 2'-0" from either end	1000	305
	1500	205
	2000	155
	2500	125
	3000	105
Piers spaced no more than 6'-0" on center not more than 2'-0" from either end	1000	460
	1500	305
	2000	230
	2500	185
	3000	155
Piers spaced no more than 8'-0" on center not more than 2'-0" from either end	1000	610
	1500	410
	2000	305
	2500	245
	3000	205

TABLE 3
14 WIDE OR LESS FOOTING SCHEDULE

Pier Spacing (L)	Soil Bearing Capacity (PSF)	ROOF LIVE LOAD
		20 PSF REQUIRED FOOTING AREA IN SQ. IN.
Piers spaced no more than 4'-0" on center not more than 2'-0" from either end	1000	355
	1500	240
	2000	180
	2500	145
	3000	120
Piers spaced no more than 6'-0" on center not more than 2'-0" from either end	1000	540
	1500	355
	2000	265
	2500	215
	3000	178
Piers spaced no more than 8'-0" on center not more than 2'-0" from either end	1000	710
	1500	475
	2000	355
	2500	285
	3000	240

NOTE:

1. Width refers to individual unit width and not total width of home.
2. If soil bearing capacity is not determined, use 1000 PSF as a minimum.
3. In the geographical areas subject to severe freezes, the bottom line of foundations must extend below the frost line established by local records.

OIL BEARING TEST

To determine the safe bearing capacity of soil, it shall be tested at the site location by loading an area of less than four (4) square feet to not less than twice the maximum bearing capacity desired for use. Such double load shall be sustained by the soil for a period of not less than forty-eight (48) hours with no additional settlement taking place, in order that such desired bearing capacity may be used.

Foundations should be built upon natural solid ground. Where solid ground does not occur at the foundation depth, such foundation shall be extended down to natural solid ground or piles should be used. Foundations built upon mechanically compacted earth or fill material are subject to the approval of local building officials to show evidence that the proposed loads will be adequately supported.

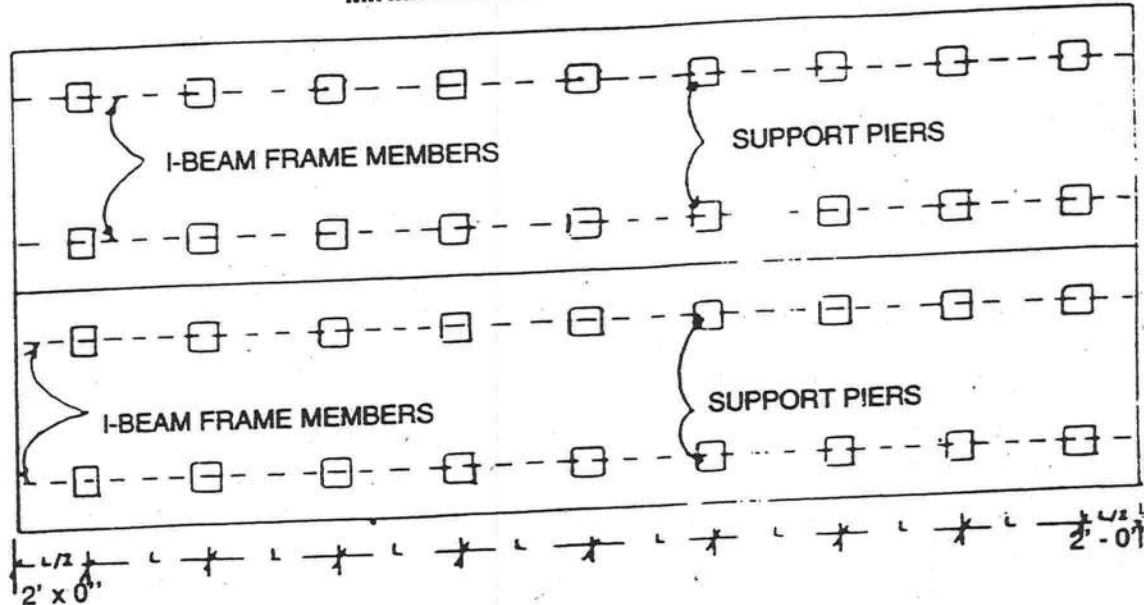
PIER LOADS

There are several factors that control the numbers of piers required to support a home. The four most important factors are:

- (1) size of the home;
- (2) weight carrying capacity of the pier material;
- (3) soil bearing capacity; and
- (4) spacing between the individual piers.

Refer to tables 2 through 4 to determine the minimum size and location of individual footings and table 1 to determine the minimum strength requirements for individual piers.

**TABLE 1
MINIMUM PIER CAPACITY TABLE**



Roof Live Load 20 psf	PIER LOAD	Piers at 4' On Center		Piers at 6' On Center		Piers at 8' On Center	
		12-wide (lbs.)	14-wide (lbs.)	12-wide (lbs.)	14-wide (lbs.)	12-wide (lbs.)	14-wide (lbs.)
		2112	2464	3168	3696	4224	4928

16' WIDE WITHOUT OVERHANG
(188" FLOOR W/O OVERHANG)

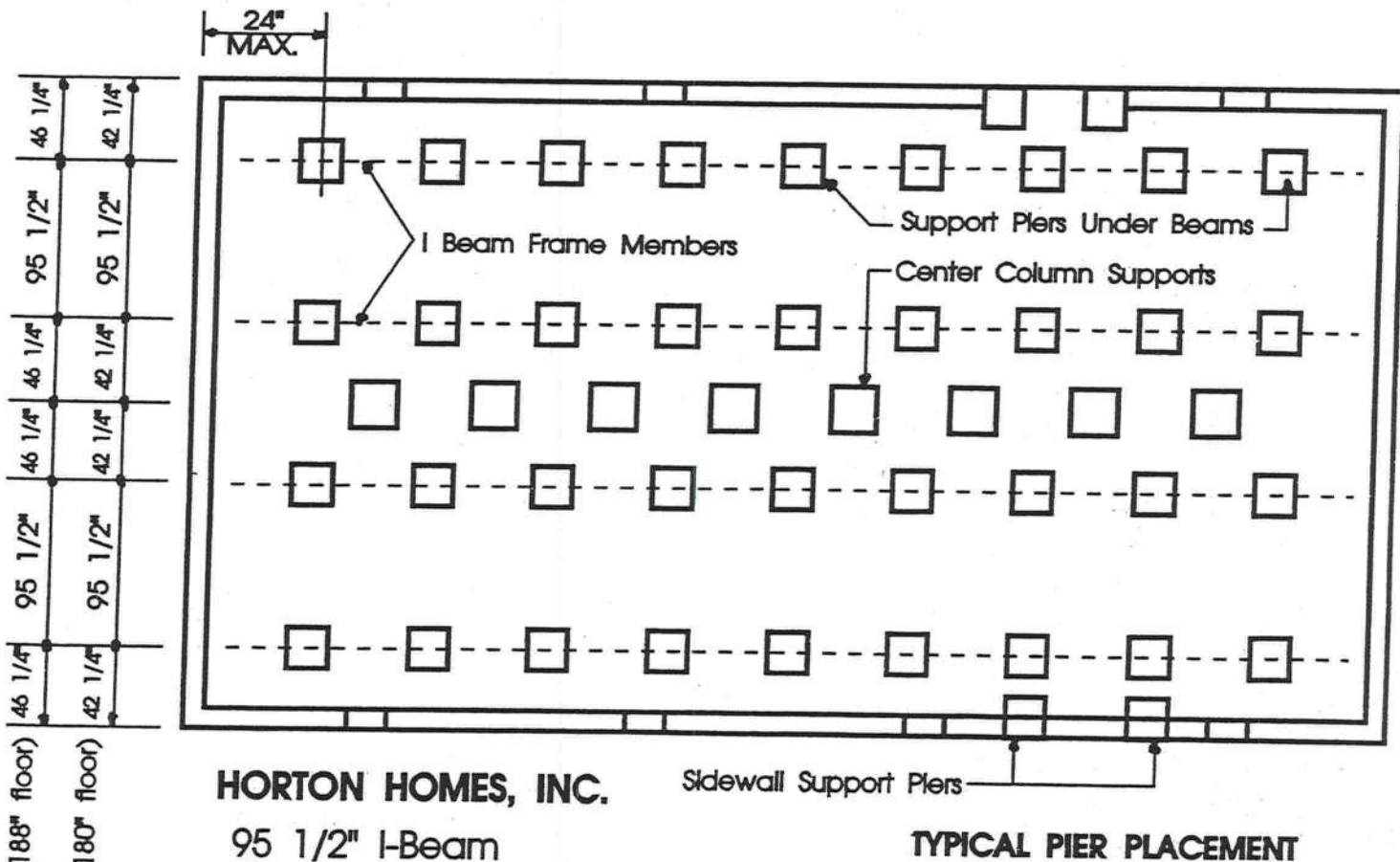
MAX. PIER SPACING	PIER LOADS	Min. Footing Area (Sq. Inches) For Soil Pressure Specified				
4'-0"	2414	1000	1500	2000	2500	3000 PSF
6'-0"	3622	435	280	208	163	135
8'-0"	4829	628	403	297	238	195
		822	528	389	308	255

15' WIDE WITH OVERHANG
SINGLE WIDE & D.W. (180" FLOOR W/ 12" OVERHANG)

MAX. PIER SPACING	PIER LOADS	Min. Footing Area (Sq. Inches) For Soil Pressure Specified				
4'-0"	2430	1000	1500	2000	2500	3000 PSF
6'-0"	3645	437	281	208	164	136
8'-0"	4860	632	407	299	237	196
		825	531	392	310	257

SIDEWALL OPENINGS
FOOTING AREAS

MAX. OPENING	PIER LOADS	Min. Footing Area (Sq. Inches) For Soil Pressure Specified				
4'-0"	952	1000	1500	2000	2500	3000 PSF
6'-0"	1425	201	128	95	76	63
8'-0"	1904	277	178	131	105	86
10'-0"	2380	353	228	188	133	110
12'-0"	2835	429	276	204	161	134
14'-0"	3332	505	325	239	190	157
16'-0"	3808	582	374	276	218	181
18'-0"	4284	658	423	321	247	204
20'-0"	4760	734	472	348	276	228
		810	521	384	304	252

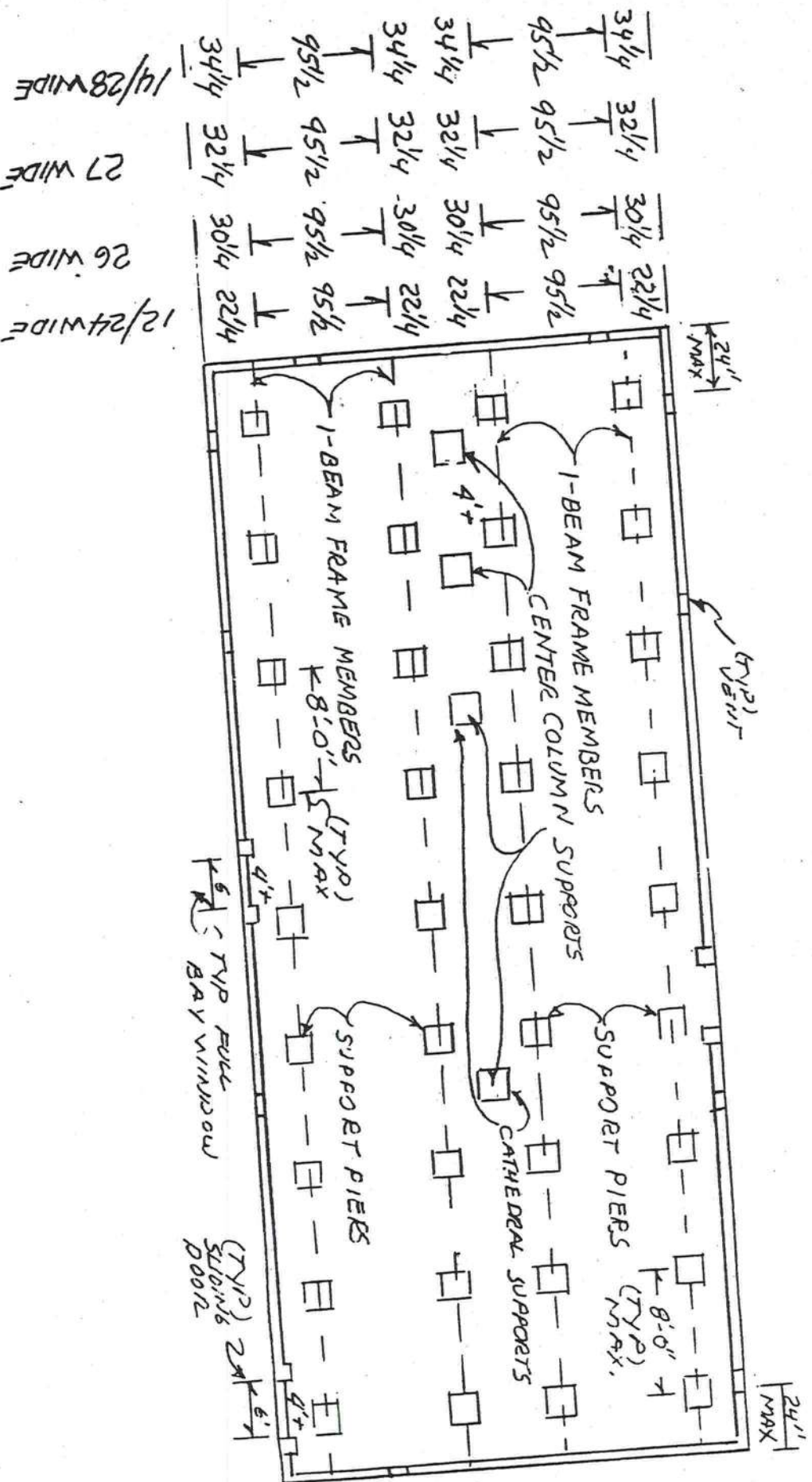


Spread for 16' Wide
and 15' Wide Floors

Sidewall & Center Column
Supports Installed Each
Side Of Openings 4' or Larger

HORTON HOMES
95-1/2" I BEAM SPREAD
TYPICAL PIER PLACEMENT

TABLE 4A



MINIMUM BLOCKING STANDARDS

1. **Pier foundations shall be installed directly under the main frame (or chassis) of the manufactured home.** The piers shall not be further apart than eight (8) feet on centers and the maximum distance in from each end 2'-0".
2. **All grass and organic matter shall be removed and the pier foundation placed in stable soil.** The pier foundation shall be minimum of 24" x 30" x 4" (refer to soil bearing capacity for exact size), solid concrete pad, pre-cast or poured in place, or equivalent. (Min. based on 1000 psf - 8'-0" pier spacing).
3. Piers must be constructed of regular 8" x 8" x 16" concrete blocks, open cells, solid or equivalent (with open cells vertical) placed above the foundation. A 2" x 8" x 16" pressure treated wood plate, or equivalent, shall be placed on top of the pier with shims fitted and driven tight from both sides of the I-Beam. (See Figure 1.)
4. **All piers over forty (40) inches in height shall be double tiered with blocks interlocked and capped with a 4" x 16" x 16" solid concrete block or equivalent, and cushioned with wood shims or pressure treated plate.** (See Figures II and III.)
5. **All corner piers over three (3) blocks high shall be doubled tiered, with blocks interlocked and capped with a 4" x 16" x 16" solid concrete block or equivalent and cushioned with wood shims and pressure treated plate.**
6. **EXTERIOR SIDEWALL/MARRIAGE WALL BLOCKING** - In addition to providing piers for supporting the frame, piers also are required to support the special roof loads. These support piers are required at all marriage wall and sidewall openings greater than 4 ft. in width. These piers should be placed at each side of such openings. Typical sidewall openings - sliding glass door/full bay windows. Typical marriage wall openings - cathedral openings, passageway openings greater than 4'. In addition to these supports, it is optional that support piers may be installed around the perimeter of the house -8 ft. O.C. Max.

ADDENDUM TO MINIMUM BLOCKING STANDARDS

NOTE: In some situations forces and materials may interact in such a way as to result in some areas in a slight crowning of floor joists from the I-beam of the frame to the exterior wall. **When this situation does occur, it is required that the dealer exercise the option with respect to exterior sidewall blocking and install support piers around the perimeter of the house. 8 ft. O.C. Max.**

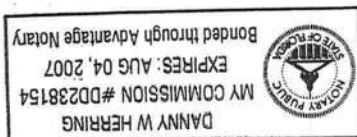
Assignment of Authority

I, Dale Houston, A licensed installer, Installer # IH0000040, authorize customer Diana or Nile Eddy to be my representative, and to act on my behalf in all aspects of applying for permits. For Model # LSTP Serial# _____

Dale Houston
Dale Houston

05
Date

Sworn and subscribed before me on this 11th Day of July 2005.



Danny W. Herring
Notary Public

My Commission Expires:

This Instrument Prepared by & return to:

Name: **Chris Travis, an employee of
TITLE OFFICES, LLC**
Address: **1089 SW MAIN BLVD.
LAKE CITY, FLORIDA 32025
File No. 05Y-05123CT**

Parcel I.D. #: **00414-209**

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED Made the **28th** day of **June**, A.D. **2005**, by **TINA MARIE SHARK, F/K/A
TINA MARIE KELLY, A SINGLE WOMAN**, hereinafter called the grantor, to **NILE DORN EDDY, A MARRIED
MAN**, and **DIANA LYNN EDDY, HIS WIFE**, whose post office address is ~~**185 GATE STREET, NEWPORT NEWS,
VA 23602-7349**~~, hereinafter called the grantees:

(Wherever used herein the terms "grantor" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees all that certain land situate in **Columbia County, State of FLORIDA**, viz:

LOT #9 MAGNOLIA ACRES SUBDIVISION:

COMMENCE AT THE SOUTHEAST CORNER OF THE NE ¼ OF SECTION 36, TOWNSHIP 4 SOUTH, RANGE 15 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE N 0°57'54" W ALONG THE EAST LINE OF SAID SECTION 36, 554.37 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N 0°57'54" W ALONG SAID EAST LINE, 685.06 FEET; THENCE S 88°22'19" W, 640.65 FEET; THENCE S 0°47'35" E, 685.08 FEET; THENCE N 88°22'19" E, 642.71 FEET TO THE POINT OF BEGINNING. THE WEST 30 FEET OF SAID LANDS BEING SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS.

TOGETHER WITH EASEMENT "A"

A STRIP OF LAND 60 FEET IN WIDTH BEING 30 FEET EACH SIDE OF A CENTERLINE
DESCRIBED AS FOLLOWS:

Signed, sealed and delivered in the presence of:

Bonita Hadwin
Witness Signature
BONITA HADWIN
Printed Name

Tina Marie Shark
TINA MARIE SHARK
Address:
431 SW JODY COURT, LAKE CITY, FL 32024

Witness Signature

Printed Name

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 28th day of June, 2005, by TINA MARIE SHARK, who is known to me or who has produced Fla Driver License as identification.

Bonita Hadwin

