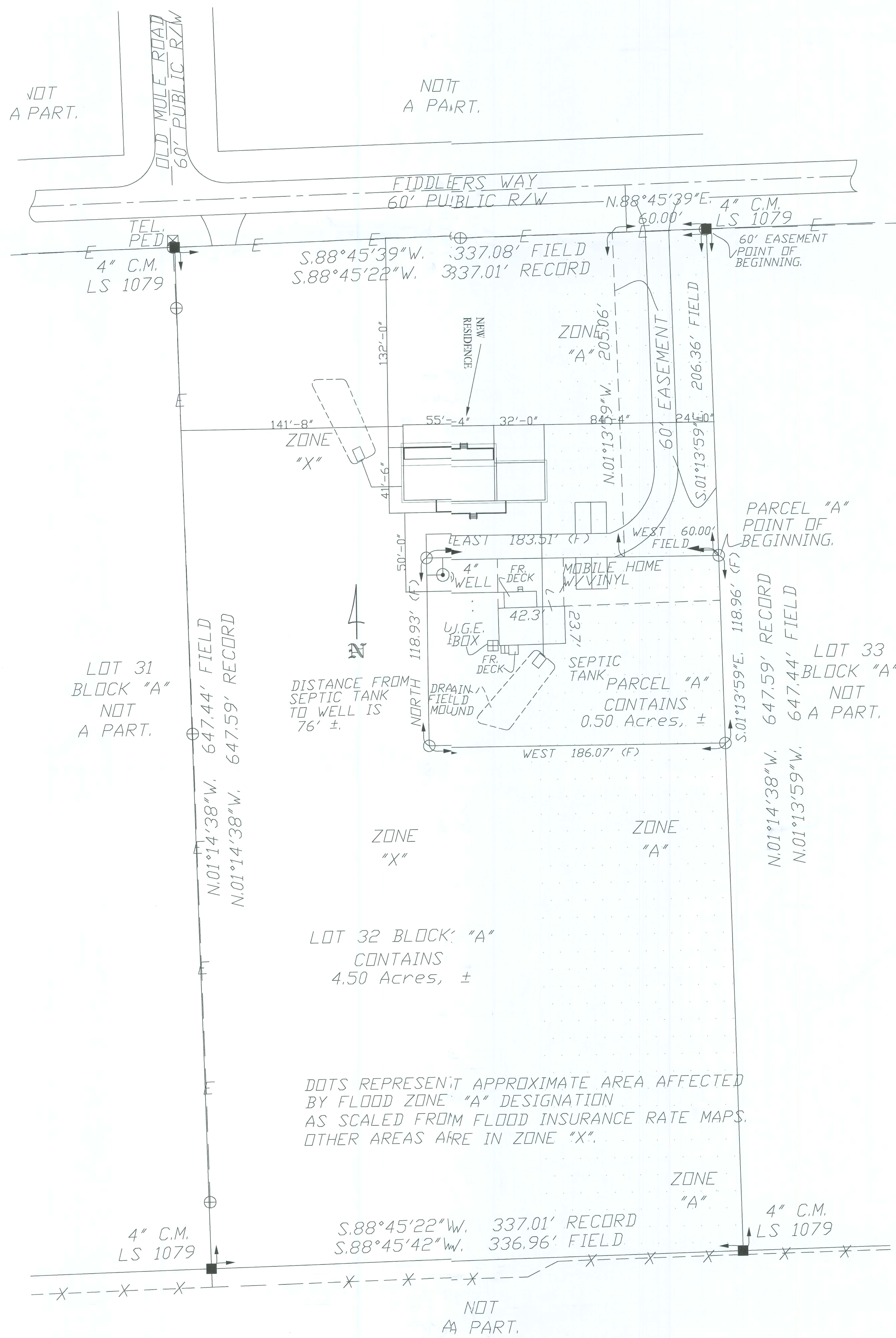




DESIGNED TO RESIST 110 MPH WIND SPEED
 & WIND EXPOSURE B
 BUILDING CATEGORY II
 SOIL BAIKING CAPACITY MIN 2000PSI
 GRADE TO BE DEFINED IN FILL

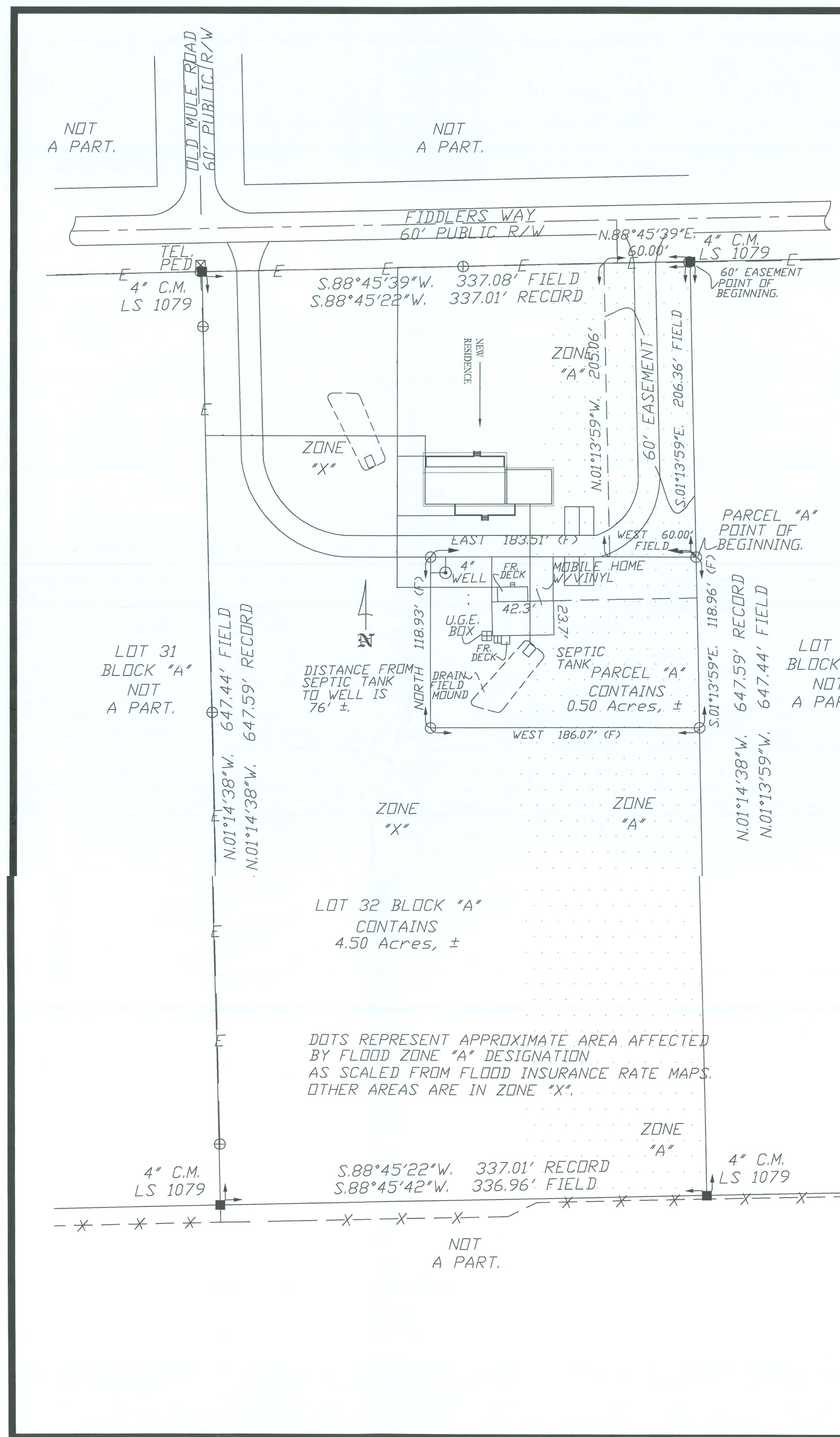
SITE PLAN

SCALE: 1/32" = 1'-0"

JOHN ALBERT WELLER - ARCHITECT
 & LANDSCAPE ARCHITECT
 5200 NORTH KENDALL DRIVE; MIAMI,
 FLORIDA 33156 PH: (305) 667-1425

RESIDENCE FOR MIKE
 AND CAMILLE PRATER

A-1



DESCRIPTION:
LOT 32 BLOCK "A" "COUNTRY LANE ESTATES" AS PER PLAT THEREOF
RECORDED IN PLAT BOOK 5, PAGE 77 AND 77A AND 77B OF THE PUBLIC
RECORDS OF COLUMBIA COUNTY, FLORIDA.

LESS AND EXCEPT,
PARCEL "A"
PART OF LOT 32 BLOCK "A" "COUNTRY LANE ESTATES" AS PER PLAT
THEREOF RECORDED IN PLAT BOOK 5, PAGE 77 AND 77A AND 77B OF
THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.
COMMENCE AT A CONCRETE MONUMENT LS 1079, ON THE SOUTH
RIGHT-A-WAY LINE OF FIDDLERS WAY, MARKING THE NE CORNER OF SAID
LOT 32; THENCE S.01°13'59"E, ALONG THE EAST LINE OF SAID LOT 32, A
DISTANCE OF 206.36 FEET TO THE POINT OF BEGINNING; THENCE
CONTINUE S.01°13'59"E, ALONG SAID EAST LINE, 118.96 FEET; THENCE
WEST, 186.07 FEET; THENCE NORTH, 118.93 FEET; THENCE EAST, 183.51
FEET TO THE POINT OF BEGINNING.
CONTAINING 0.50 ACRES, MORE OR LESS.

AND SUBJECT TO A 60 FOOT WIDE EASEMENT FOR INGRESS AND EGRESS,
MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT A CONCRETE MONUMENT LS 1079, ON THE SOUTH RIGHT-A-WAY
LINE OF FIDDLERS WAY AND BEING THE NE CORNER OF LOT 32 BLOCK
"A" "COUNTRY LANE ESTATES" AS PER PLAT THEREOF RECORDED IN PLAT
BOOK 5, PAGE 77 AND 77A AND 77B OF THE PUBLIC RECORDS OF
COLUMBIA COUNTY, FLORIDA; THENCE S.01°13'59"E, ALONG THE EAST
LINE OF SAID LOT 32, A DISTANCE OF 206.36 FEET; THENCE WEST, A
DISTANCE OF 60.00 FEET; THENCE N.01°13'59"W, 60.00 FEET TO THE
POINT OF BEGINNING.

CONTAINS 4.50 ACRES, MORE OR LESS.

DESCRIPTION:
PARCEL "A"
PART OF LOT 32 BLOCK "A" "COUNTRY LANE ESTATES" AS PER PLAT
THEREOF RECORDED IN PLAT BOOK 5, PAGE 77 AND 77A AND 77B OF
THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.
COMMENCE AT A CONCRETE MONUMENT LS 1079, ON THE SOUTH
RIGHT-A-WAY LINE OF FIDDLERS WAY, MARKING THE NE CORNER OF SAID
LOT 32; THENCE S.01°13'59"E, ALONG THE EAST LINE OF SAID LOT 32, A
DISTANCE OF 206.36 FEET TO THE POINT OF BEGINNING; THENCE
CONTINUE S.01°13'59"E, ALONG SAID EAST LINE, 118.96 FEET; THENCE
WEST, 186.07 FEET; THENCE NORTH, 118.93 FEET; THENCE EAST, 183.51
FEET TO THE POINT OF BEGINNING.
CONTAINING 0.50 ACRES, MORE OR LESS.

TOGETHER WITH A 60 FOOT WIDE EASEMENT FOR INGRESS AND EGRESS,
MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT A CONCRETE MONUMENT LS 1079, ON THE SOUTH RIGHT-A-WAY
LINE OF FIDDLERS WAY AND BEING THE NE CORNER OF LOT 32 BLOCK
"A" "COUNTRY LANE ESTATES" AS PER PLAT THEREOF RECORDED IN PLAT
BOOK 5, PAGE 77 AND 77A AND 77B OF THE PUBLIC RECORDS OF
COLUMBIA COUNTY, FLORIDA; THENCE S.01°13'59"E, ALONG THE EAST
LINE OF SAID LOT 32, A DISTANCE OF 206.36 FEET; THENCE WEST, A
DISTANCE OF 60.00 FEET; THENCE N.01°13'59"W, 60.00 FEET TO THE
POINT OF BEGINNING.

SYMBOL LEGEND

- CONCRETE MONUMENT FOUND
- CONCRETE MONUMENT SET, LS 4708
- IRON PIN OR PIPE FOUND
- 5/8" IRON ROD SET, LS 4708
- x- WIRE FENCE
- e- ELECTRIC UTILITY LINE (OVERHEAD)
- uge- UNDERGROUND ELECTRIC SERVICE
- ctv- CABLE TV LINE (OVERHEAD)
- o- CHAIN LINK FENCE
- o- WOODEN FENCE
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- LS LAND SURVEYOR
- LB LICENSED BUSINESS
- ORB OFFICIAL RECORD BOOK
- PRM PERMANENT REFERENCE MONUMENT
- PCP PERMANENT CONTROL POINT
- ⊗ UTILITY POLE
- R/W RIGHT-OF-WAY
- NO ID. NO IDENTIFICATION
- FLA. D.O.T. FLA. DEPT. OF TRANSPORTATION
- CL CENTERLINE
- C.M. CONCRETE MONUMENT
- I.R. IRON ROD
- I.P. IRON PIPE

BOUNDARY SURVEY
IN SECTION 27,
TOWNSHIP 2 SOUTH,
RANGE 16 EAST,
COLUMBIA COUNTY, FLA

SURVEYOR'S NOTES:

- BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE
RETRACEMENT OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
- BEARINGS BASED ON DEED OF RECORD USING MONUMENTS FOUND
ON THE WEST LINE OF SAID LOT 32.
- THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE
500 YEAR FLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP, DATED
JANUARY 6, 1988, COMMUNITY PANEL NO. 120070 0125 B. HOWEVER,
PART OF THIS PARCEL IS IN ZONE "A" AND IS SUBJECT TO FLOODING.
- NO EASEMENT FOR UTILITY AND/OR DRAINAGE IS SHOWN ON THIS LOT
IN RECORDS IN THE POSSESSION OF THIS OFFICE.
- THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE
AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
- IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES
WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
- "NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL
OF A FLORIDA LICENSED SURVEYOR AND MAPPER."
- CLOSURE OF FIELD SURVEY IS 1/39,162.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT
OR TITLE POLICY. THEREFORE EXCEPTION IS MADE HEREON REGARDING
EASEMENTS, RESERVATIONS, RESTRICTIONS, AND/OR TITLE CONFLICTS
OF RECORD, IF ANY, NOT PROVIDED BY THE CLIENT OR HIS AGENTS.
- CERTIFIED TO:

MICHAEL AND CAMILLE PRATER
TITLE OFFICES, LLC
TICOR TITLE INSURANCE COMPANY
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

MARK D. DUREN, P.S.M.
LS 4708

1604 SW SISTERS WELCOME ROAD
LAKE CITY, FLA. 32025
(386) 758-9831 OFFICE
(386) 758-8010 FAX

FIELD SURVEY DATE APRIL 18, 2006
DATE DRAWN MAY 4, 2006
FOR PRATER

FIELD BOOK 165 PAGE 31, 32
DRAWN BY M. DUREN / A. DYAL
WO# 06-257

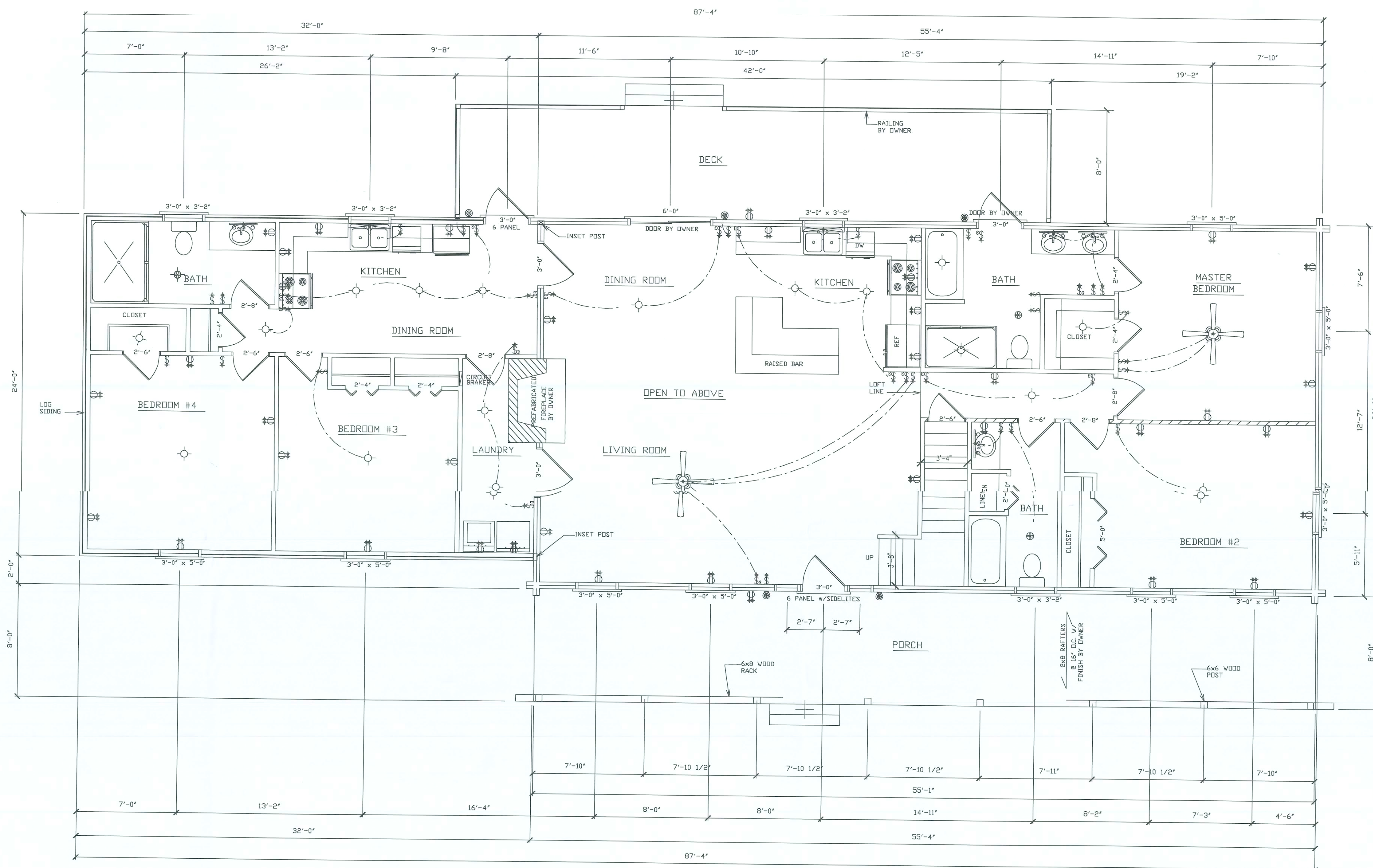
SURVEY

SCALE: 1/4" = 1'-0"

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RESIDENCE FOR MIKE AND CAMILLE PRATER

A-2



NOTES:
 1) OVERALL DIMENSIONS ARE TO OUTSIDE OF LOG WALL OR LOG SIDING PROFILE, NOT THE FLOOR SYSTEM.
 2) DOOR DIMENSIONS ARE UNIT SIZES, CONSULT MANUFACTURER FOR OPENING DIMENSIONS. ADD 3" TO WIDTH AND HEIGHT OF MFR. ROUGH OPENING DIMENSIONS FOR EX. BUCKS.
 3) ALL KITCHEN, BATH AND EXTERIOR ELECTRICAL OUTLETS ARE GFCI.
 4) LOCAL CODE MAY REQUIRE ALL 6'-0" TALL WINDOWS TO BE TEMPERED GLASS. CHECK WITH LOCAL CODES DEPARTMENT.
 5) A 2x6 PLUMBING WALL MAY BE REQUIRED, DEPENDING ON VENT STACK SIZE AND/OR LOCAL CODES.
 6) CEILING MAY NEED TO BE FURRED DOWN IN CERTAIN AREAS TO HIDE PLUMBING ABOVE.
 7) SMOKE DETECTORS SHALL BE INSTALLED TO COMPLY WITH LOCAL CODES.
 8) VERIFY STAIR DESIGN WITH LOCAL CODES PRIOR TO CONSTRUCTION.

6x12" 10" LOGS (9 COURSES)	FIRST FLOOR	2207 SF.
STUD WALL W/ SIDING	SECOND FLOOR	688 SF.
LOAD BEARING STUD WALL	TOTAL AREA	2895 SF.
STUD WALL	BASEMENT	N/A
	PORCH	448 SF.
	DECK	284 SF.
	GARAGE	N/A

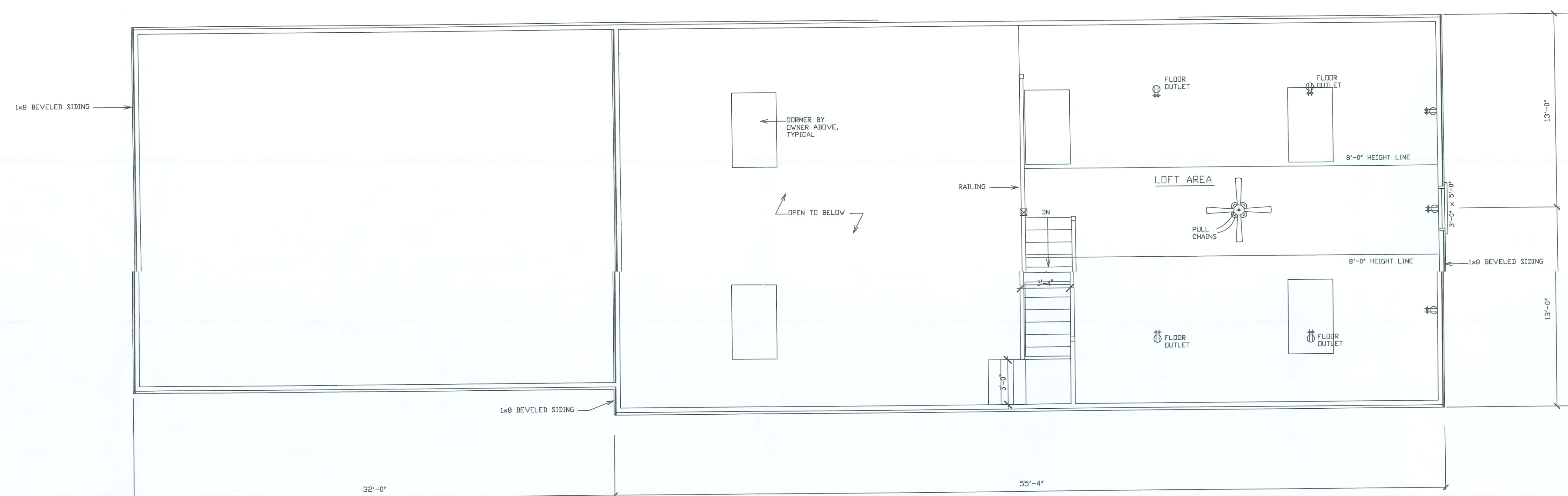
FIRST FLOOR

SCALE: 1/4" = 1'-0"

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RESIDENCE FOR MIKE AND CAMILLE PRATER

A-3



SECOND FLOOR

SCALE: 1/4" = 1'-0"

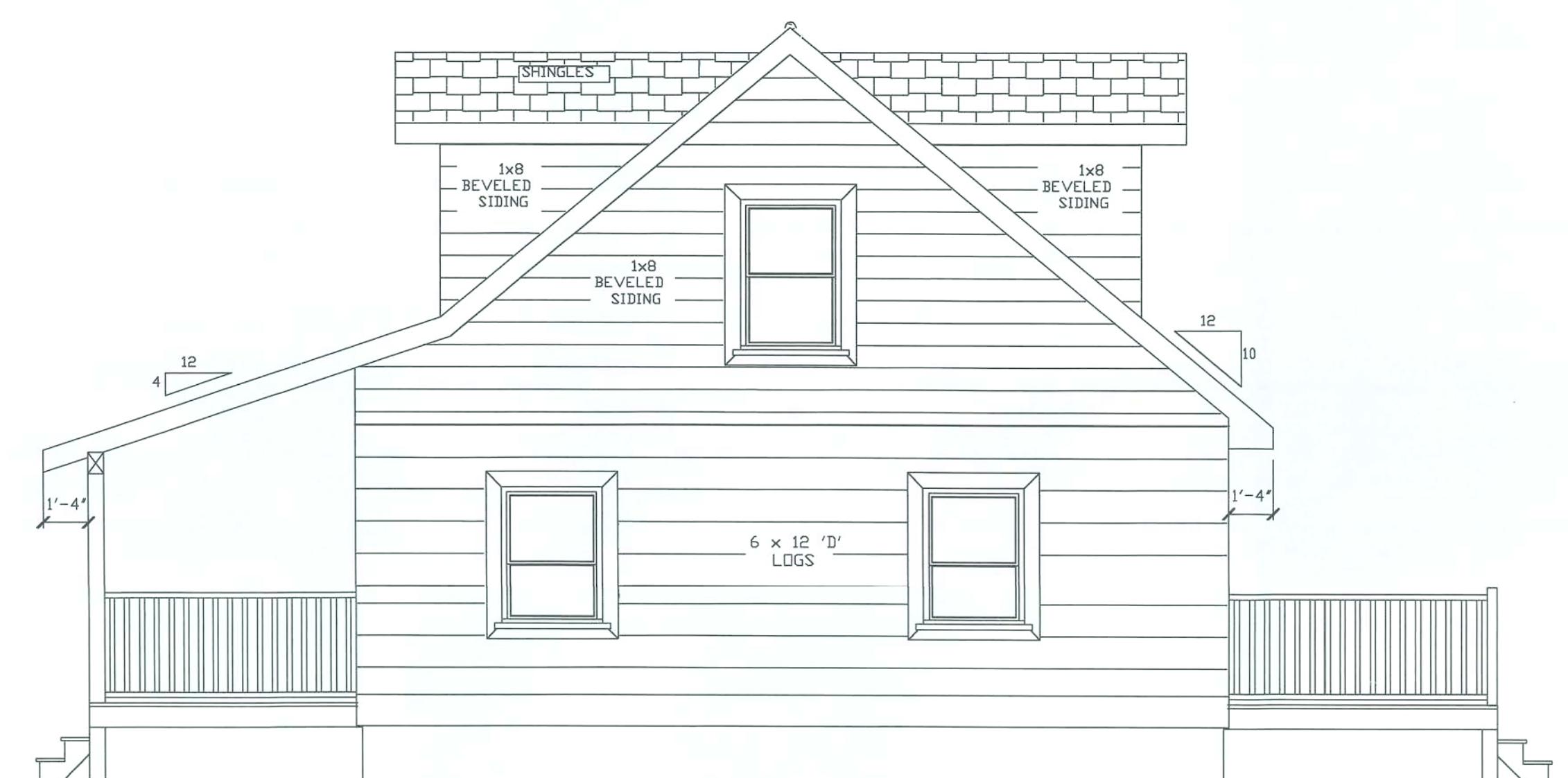
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RESIDENCE FOR MIKE AND CAMILLE PRATER

A-4



FRONT ELEVATION



RIGHT ELEVATION

- NOTE:
- 1) RETAINING WALL(S), WHERE REQUIRED, SHALL BE DESIGNED BY A LICENSED ENGINEER.
 - 2) PORCH AND DECK RAILINGS SHALL BE PER OWNER SPECIFICATION AND COMPLY WITH APPLICABLE CODE.
 - 3) EXTERIOR STAIR LOCATION(S) AND SPECIFICATIONS SHALL BE PROVIDED BY THE OWNER AND COMPLY WITH APPLICABLE CODE.

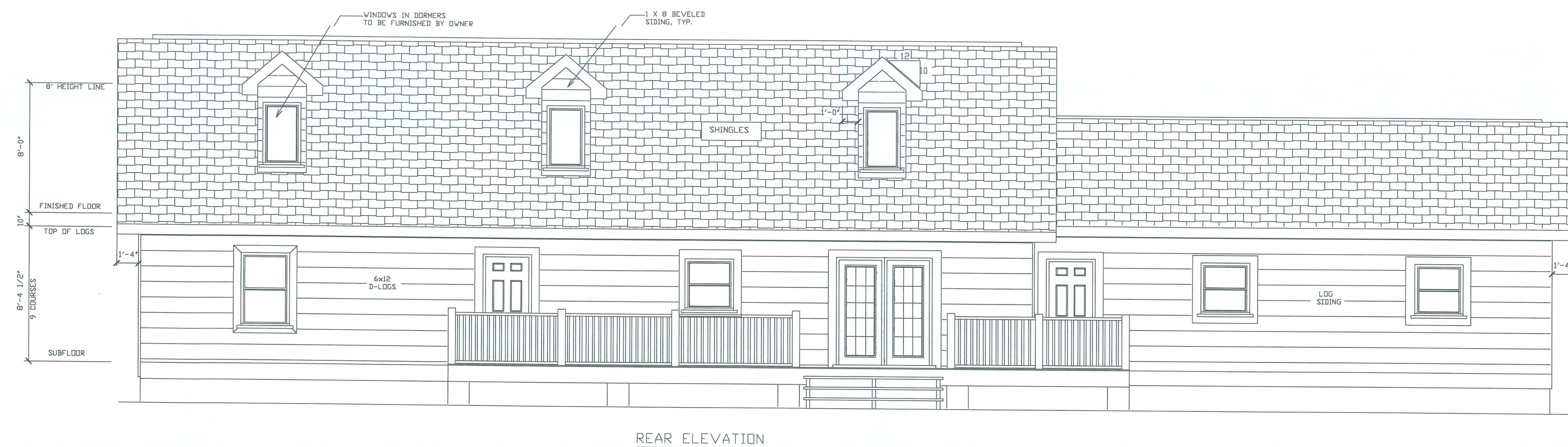
FRONT & RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

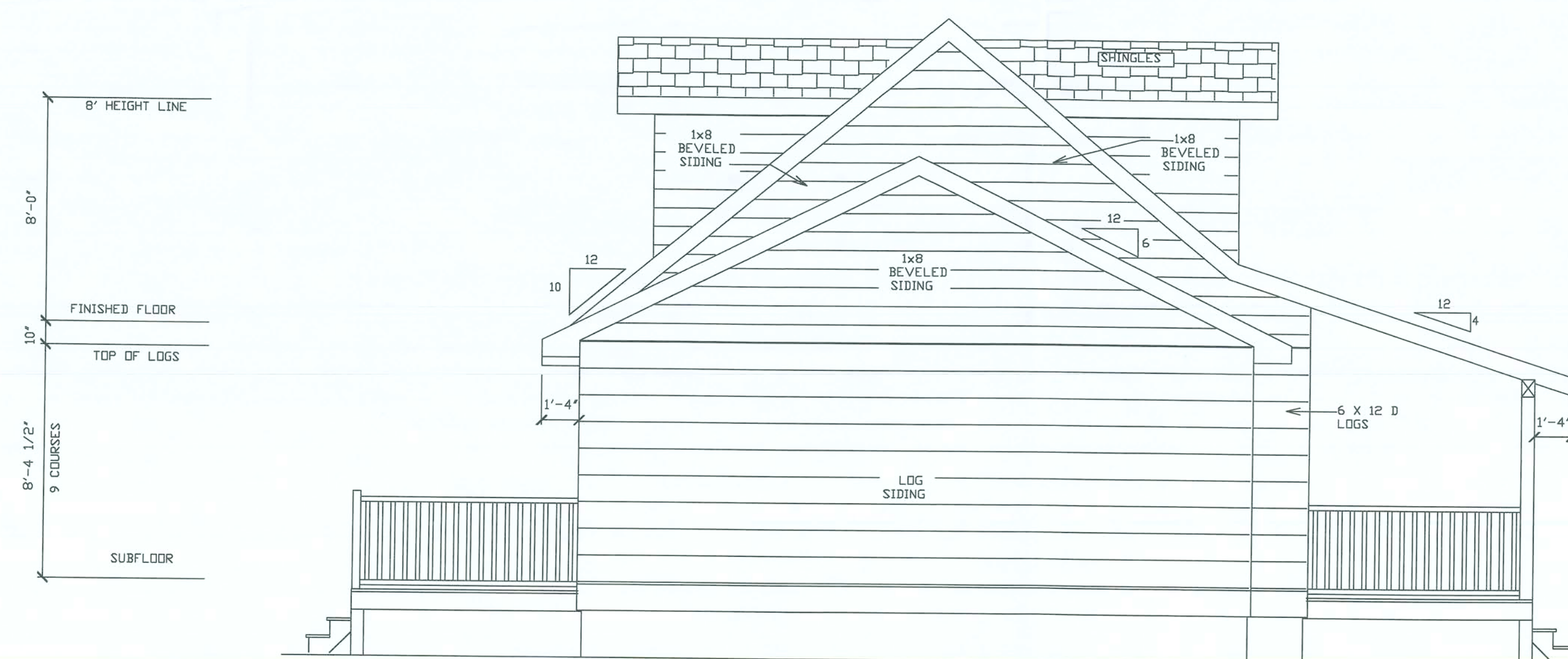
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RESIDENCE FOR MIKE AND CAMILLE PRATER

A-5



REAR ELEVATION



LEFT ELEVATION

NOTE:
 1) RETAINING WALL(S), WHERE REQUIRED, SHALL BE DESIGNED BY A LICENSED ENGINEER.
 2) PORCH AND DECK RAILINGS SHALL BE PER OWNER SPECIFICATION AND COMPLY WITH APPLICABLE CODE.
 3) EXTERIOR STAIR LOCATION(S) AND SPECIFICATIONS SHALL BE PROVIDED BY THE OWNER AND COMPLY WITH APPLICABLE CODE.

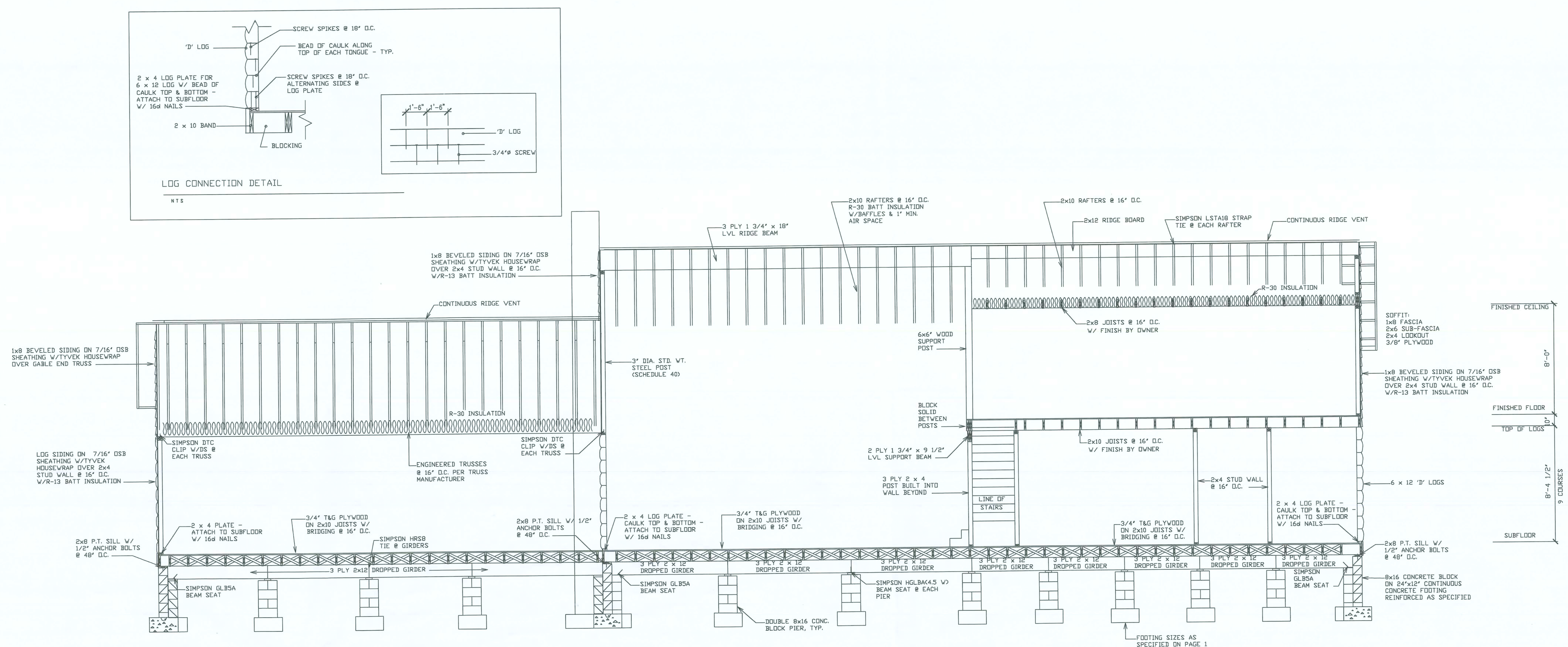
REAR & LEFT ELEVATION

SCALE: 1/4" = 1'-0"

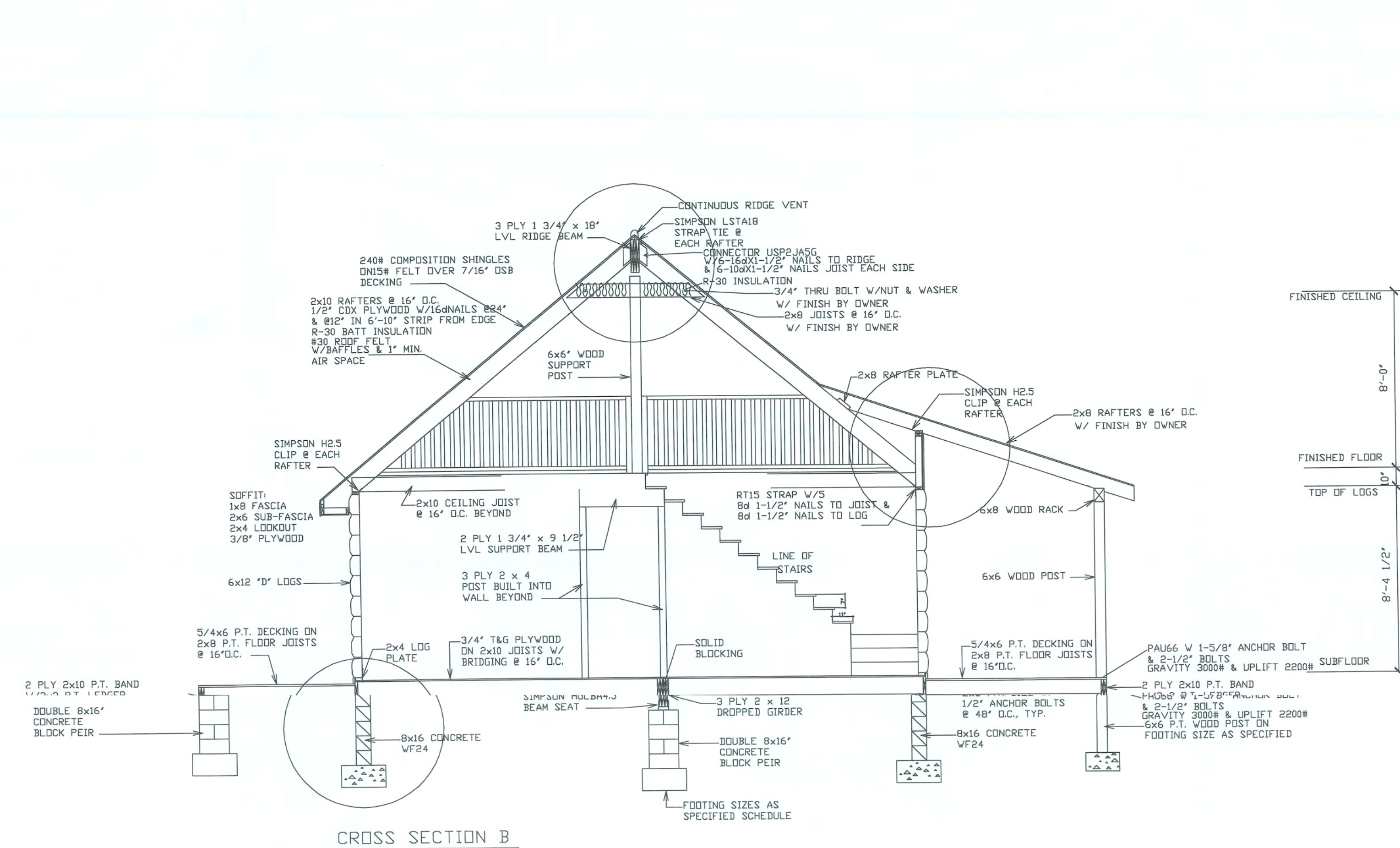
JOHN ALBERT WELLER - ARCHITECT & LANDSCAPE ARCHITECT
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RESIDENCE FOR MIKE AND CAMILLE PRATER

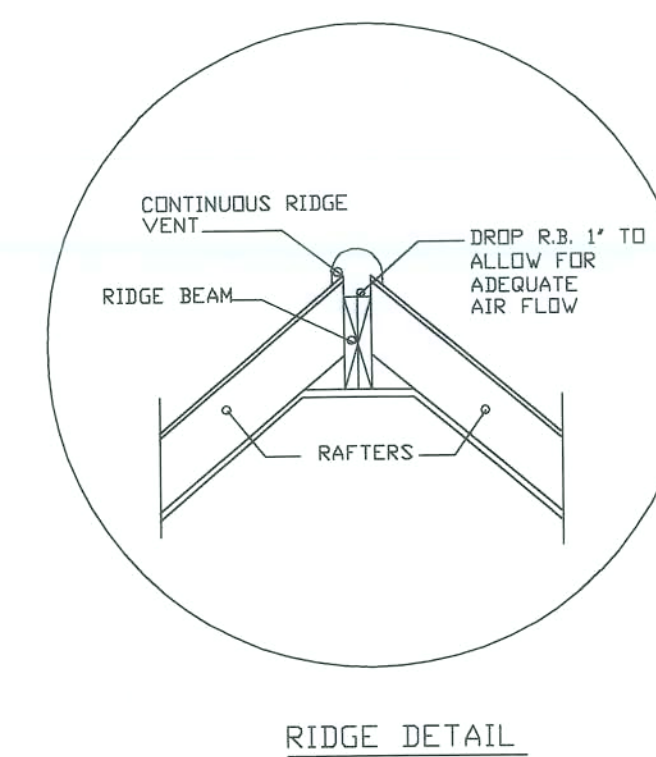
A-6



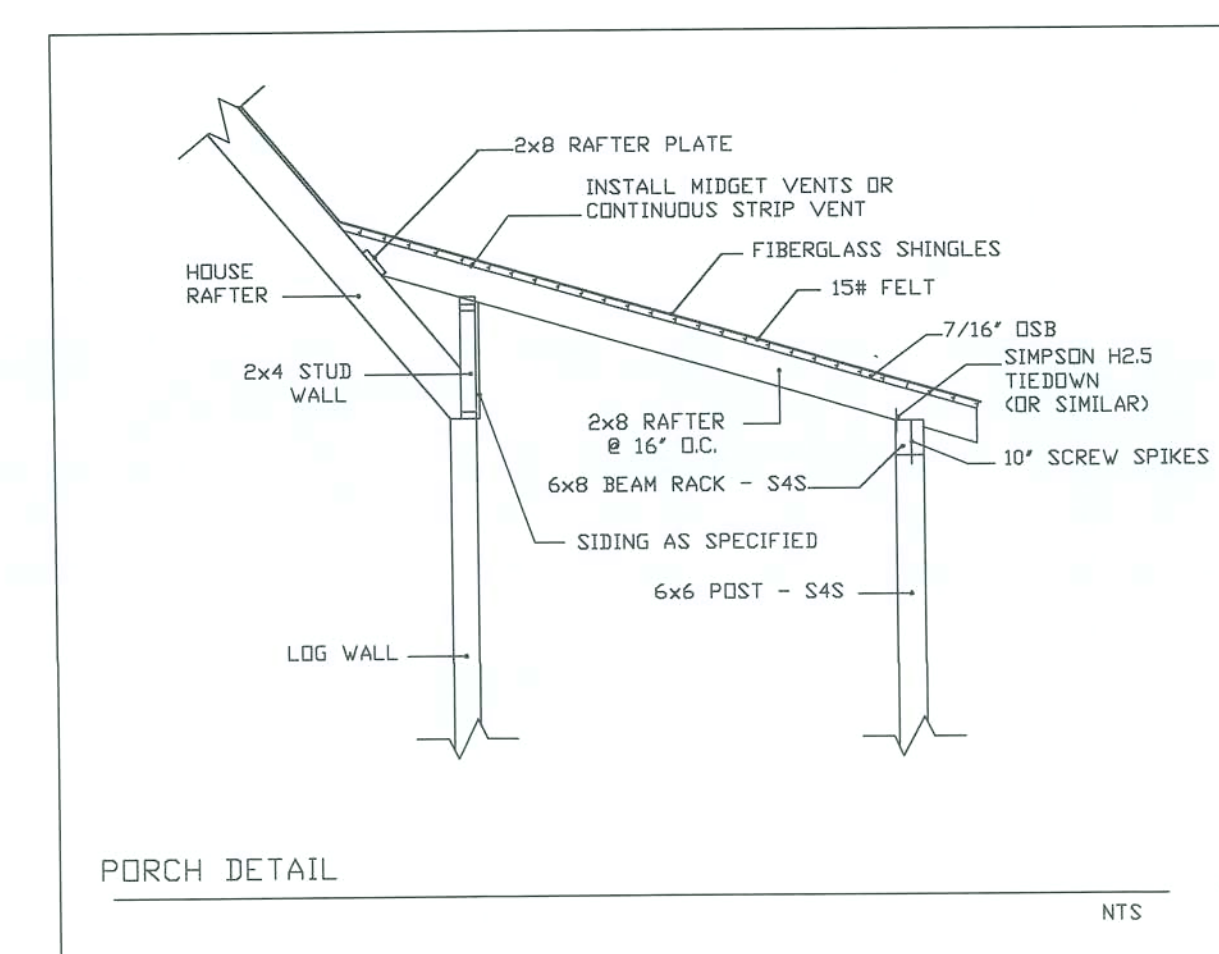
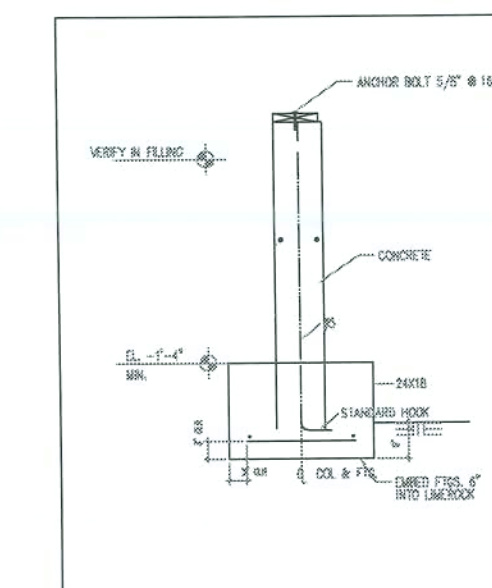
CROSS SECTION A



CROSS SECTION B



RIDGE DETAIL



PORCH DETAIL

NTS

SECTIONS

SCALE: 1/4" = 1'-0"

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RESIDENCE FOR MIKE AND CAMILLE PRATER

A-7

4. CONCRETE:
- A. ALL CONCRETE WORK SHALL COMPLY TO ALL REQUIREMENTS OF AC 301-99 SPECIFICATIONS FOR CONCRETE MIXTURES AND PROPORTIONS FOR BALANCE.
 - B. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE FOLLOWING:
- | | |
|---------------------------|-----------------------|
| FOOTINGS | |
| WALLS | |
| PILE CAPS | |
| FOUNDATION WALLS | |
| SLABS ON GRADE | ~3000 PSI |
| STRUCTURAL SLABS ON BEAMS | |
| CONCRETE | SEE COLUMN SCHEDULE |
| BEAM WALLS | SEE BEAM WALL DETAILS |
| ALL OTHER CONCRETE | ~3000 PSI |
- C. FORMWORK SHALL COMPLY WITH AC 307-99, "RECOMMENDED SPECIFICATIONS FOR CONCRETE FORM."
- D. ALL LESSONS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO THE COMMENCEMENT OF ANY WORK. WORK SUBMITTALS SHALL BE FOR EACH CLASS OF CONCRETE.
- E. NO WATER SHALL BE ADDED TO THE CONCRETE AT THE JOB SITE.
- F. OWNER SHALL CONTRACT AN INDEPENDENT TESTING AGENCY TO PERFORM CONCRETE CYLINDER TESTS AT FOLLOWING: SIX CYLINDER TESTS FOR ANY CLASS OF CONCRETE FOR EACH PAVEMENT PRACTICE RUNWAY FOR EACH CLASS OF CONCRETE POURED EACH DAY; ONE CYLINDER SHALL BE TESTED AT 7 DAYS AND ONE CYLINDER AT 28 DAYS; ONE (1) CYLINDER TO BE TESTED AT 56 DAYS IF REQUIRED; FOLLOWING ASTM STANDARDS FOR SAMPLING AND TESTING: ONE SLUMP TEST PER EACH CLASS OF CONCRETE; THREE (3) CYLINDERS CAST SLUMP TEST CONFORM WITH ASTM C 143. NO CONCRETE TEST WILL BE ACCEPTED IF CONCRETE IS TAMPED WITH A WIRE WAGER AFTER CONCRETE IS PERFORMED. REPEAT TEST SHALL BE REQUIRED AFTER TEST FAILURE.
- G. TRANSPORTING, PLACING, CURING AND DEFORMING OF CONCRETE SHALL COMPLY WITH AC 301-99 SPECIFICATIONS FOR STRUCTURAL CONCRETE.
- H. CONCRETE CAST AT BACKFILL AND TERRACING SHALL COMPLY WITH WATER/CEMENT RATIO OF 0.40.
- I. JOINTS SHALL BE LOCATED IN STRUCTURAL SLABS AND BEAMS SHALL BE LOCATED AT 1/3 OF THE SPAN WITH REINFORCING CONTINUOUS ACROSS THE JOINT. BEAMS SHALL BE CONTINUOUS OVER ALL SPANS. ALL SLABS AND ALL 1" THICK JOINTS SHALL BE SMALLER THAN THE BEAM SECTION. CONSTRUCTION JOINT LOCATIONS SHALL BE APPROVED BY STRUCTURAL ENGINEER OF RECORD.
- J. MAXIMUM WATER/CEMENT RATIO FOR CONCRETE REQUIRING A SUPERPLASTICIZER SHALL BE 0.40. MAXIMUM WATER/CEMENT RATIO FOR SUPERPLASTICIZER SHALL BE 0.37 - 1/2"
- K. CONCRETE CEMENTS MUST BE TYPE I OR TYPE II
- L. CONCRETE EXPOSED TO EARTH OR WEATHER
- M. REINFORCING BARS AND LAPPED REINFORCING
- N. BARS AND SMALLER
- O. REINFORCING BARS AND LAPPED REINFORCING
- P. IN CONTACT WITH EARTH
- Q. SLABS AND COLUMNS
- R. 1/2"
- S. 3/4"

- REINFORCING STEEL:
- A. REINFORCING STEEL SHALL BE DETAILLED AND PLACED IN ACCORDANCE WITH:
 1. ALL REINFORCING STEEL SHALL BE DETAILLED AND PLACED IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC STEEL CONSTRUCTION MANUAL.
 2. REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A 615-99A.
 3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185-90.
 4. REINFORCING STEEL SHALL BE EPOXY COATED TO PREVENT CORROSION. ALL STEELS DURING PLACING OF CONCRETE, IN ACCORDANCE WITH CSF MANUAL OF PRACTICE.
 - B. REINFORCING STEEL SHALL BE EPOXY COATED TO PREVENT CORROSION.
 - C. ALL TOP REINFORCING SHALL TERMINATE WITH STANDARD HOOKS AT DISCONTINUOUS ENDS OR IN DOCS.
 - D. ALL SLAB SPACERS SHALL BE 6" MINIMUM OVER SUPPORTS, U.O.B.
 - E. ALL REINFORCING BARS MARKED CONTINUOUS SHALL BE LAPPED SO AS TO MAINTAIN THE SAME SPACING THROUGHOUT THE ENTIRE LENGTH OF THE SLAB. TOP BARS AT CENTER BETWEEN SUPPORTS SHALL BE REQUIRED. TERMINATE CONTINUOUS BARS WITH STANDARD HOOKS AT DISCONTINUOUS ENDS OR IN DOCS.
 - F. SLAB TOP BARS ARE SHOWN IN PLAN AS REQUIRED.
 - G. SLAB BOTTOM BARS ARE SHOWN IN PLAN AS DISBURSED ENDS.
 - H. SPACING MULTIPLE LAYERS OF REINFORCEMENT SHALL BE 4" OR BOTTOM SPACING LAYERS WITH 6" SPACER BARS TOP BAR SIZES UP TO 1/2" AND 6" SPACER BARS TOP BAR SIZES UP TO 3/4" SHALL BE USED.
 - I. IN REARDS BARS WERE PROVIDE MAXIMUM OF 3" SPACING FOR LAYERS OF REINFORCING STEEL. REINFORCEMENT WITH SLAB PLACEMENT AT 4" SPACING.
 - J. ALL REINFORCING SHALL BE EPOXY COATED TO PREVENT CORROSION BY STRUCTURAL. EVIDENCE OF RECORD AT HIS OWN DISCRETION. BLANKETS THIS ALL ALLOWANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE REINFORCING. SAME COST OF WORK AS USUALLY CHARGED.
 - K. ALL TOP AND BOTTOM ACCESSORIES FOLLOWING USE IN DALLAGES AND TIEBARS SHALL BE EPOXY COATED TO PREVENT CORROSION.
 - L. FOR CLASS "C" TENSION LAP AND SPICES FOLLOWING UCS "DESIGN HANDBOOK, 2002".

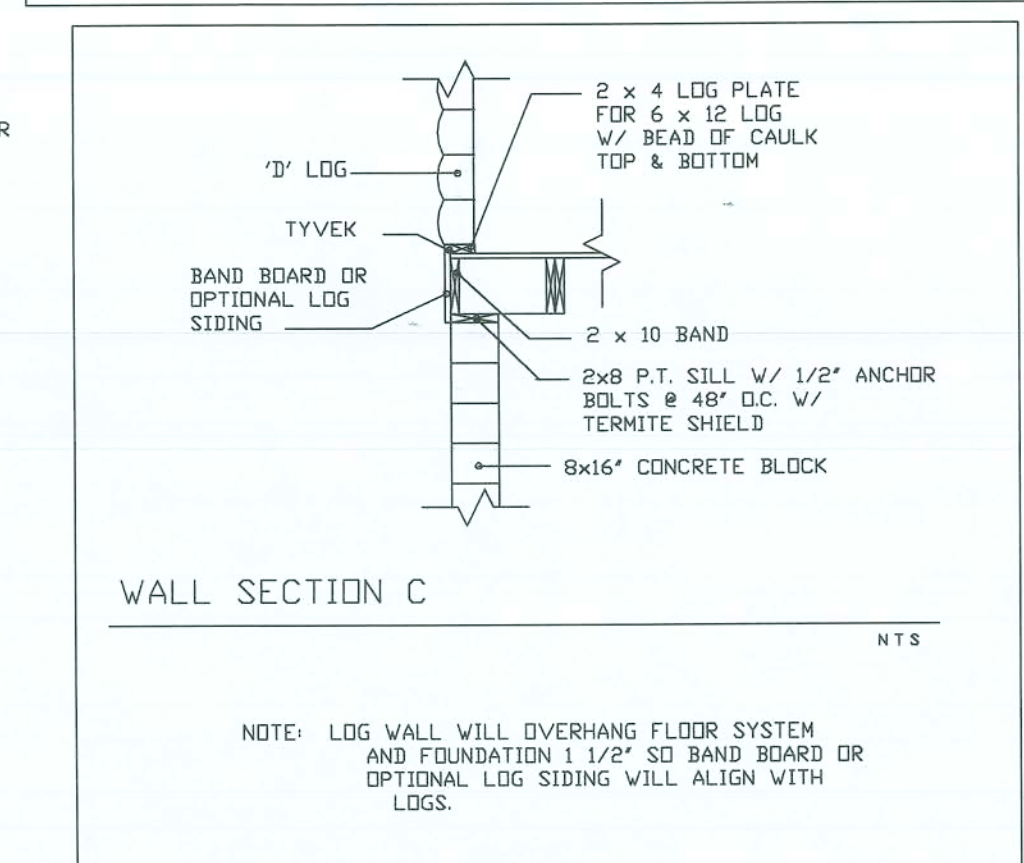
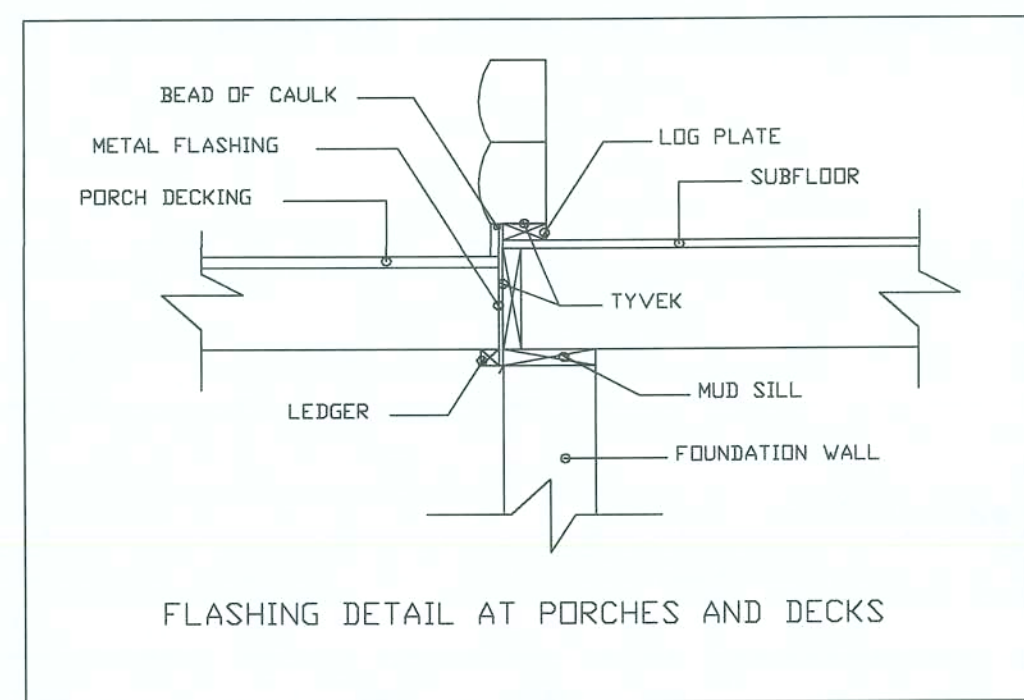
AMERICAN FLOOR SUPERIMPOSED LOADS	
ROOF DEAD LOAD	30 P.S.F.
ROOF LIVE LOAD	30 P.S.F.

AMERICAN FLOOR SUPERIMPOSED LOADS	
FLOOR DEAD LOAD	40 P.S.F.
FLOOR LIVE LOAD	30 P.S.F.

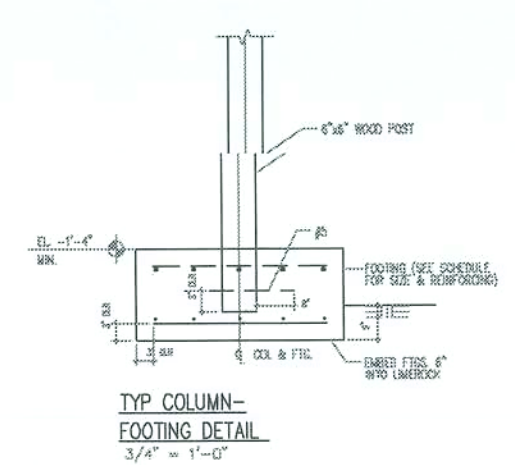
FOUNDATION SYSTEM CONSISTS OF SHALLOW SPREAD FOOTINGS BEARING ON UNDISTURBED LIMEROCK. ALLOWABLE SOIL BEARING PRESSURE USED IN THE DESIGN OF FOOTINGS IS 2000 PSF. ENGINEER OF RECORD WILL SUBMIT A SIGNED AND SEAL LETTER TO THE BUILDING OFFICIAL ATTESTING THAT THE SITE HAS BEEN OBSERVED AND THE FOUNDATION CONDITIONS ARE SIMILAR TO THOSE UPON WHICH THE DESIGN IS BASED.

NOTES:

- 1) INSTALL TYPICAL 8x16 FOUNDATION VENTS -
1 S.F. OF VENT PER 150 S.F. OF FLOOR SPACE
IN CRAWL SPACE AREA ONLY.
- 2) PROVIDE SOLID BLOCKING UNDER ALL POINT LOADS.
- 3) SPREAD DOUBLE JOISTS FOR PLUMBING WHERE
NECESSARY.
- 4) ALL WOOD IN CONTACT WITH CONCRETE MUST
BE PRESSURE TREATED.
- 5) 8" MINIMUM BEARING AT EACH PIER, UNLESS NOTED
OTHERWISE.



FOOTING LEGEND:	
1.	30x30x12" W/ 4 #4 REBAR @ 7" OC EACH WAY LIVE LOAD 4680 DEAD LOAD 1638 TOTAL LOAD 6318 1.000 1.000 1.000 1.000 1.000
2.	42x42x12" W/ 6 #4 REBAR @ 7" OC EACH WAY LIVE LOAD 8558 DEAD LOAD 6201 TOTAL LOAD 14959
3.	30x30x12" W/ 4 #4 REBAR @ 7" OC EACH WAY LIVE LOAD 5616 DEAD LOAD 1598 TOTAL LOAD 7214



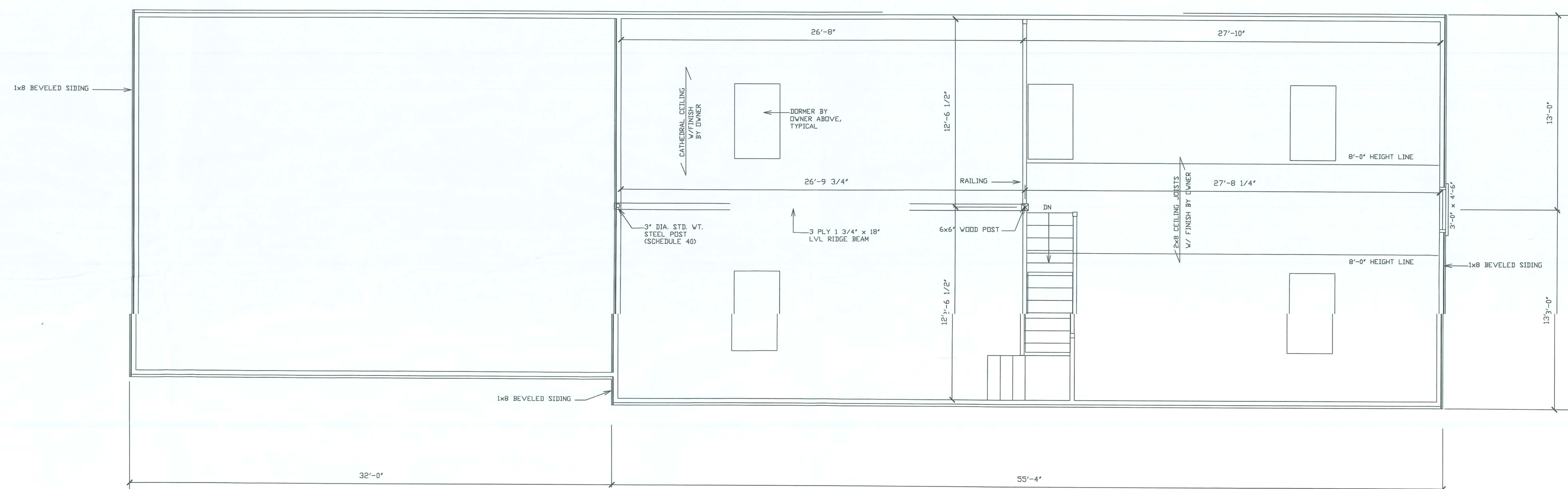
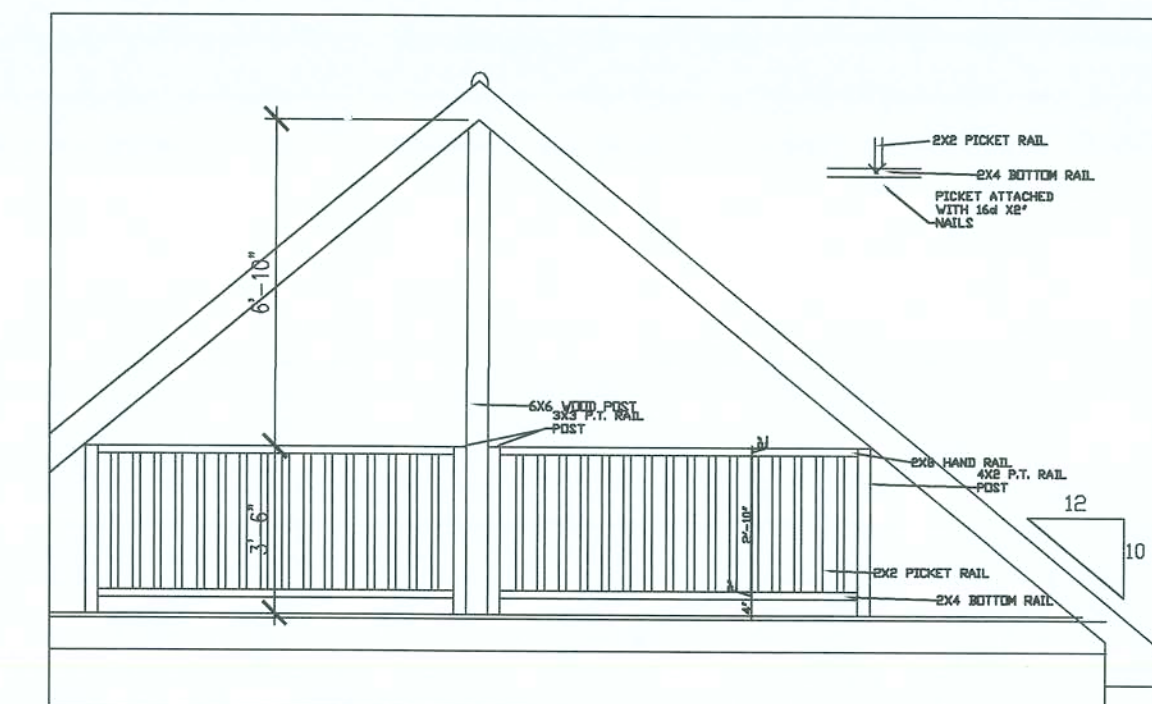
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

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RESIDENCE FOR MIKE AND CAMILLE PRATER S-1

S-1



SECOND FLOOR FRAMING

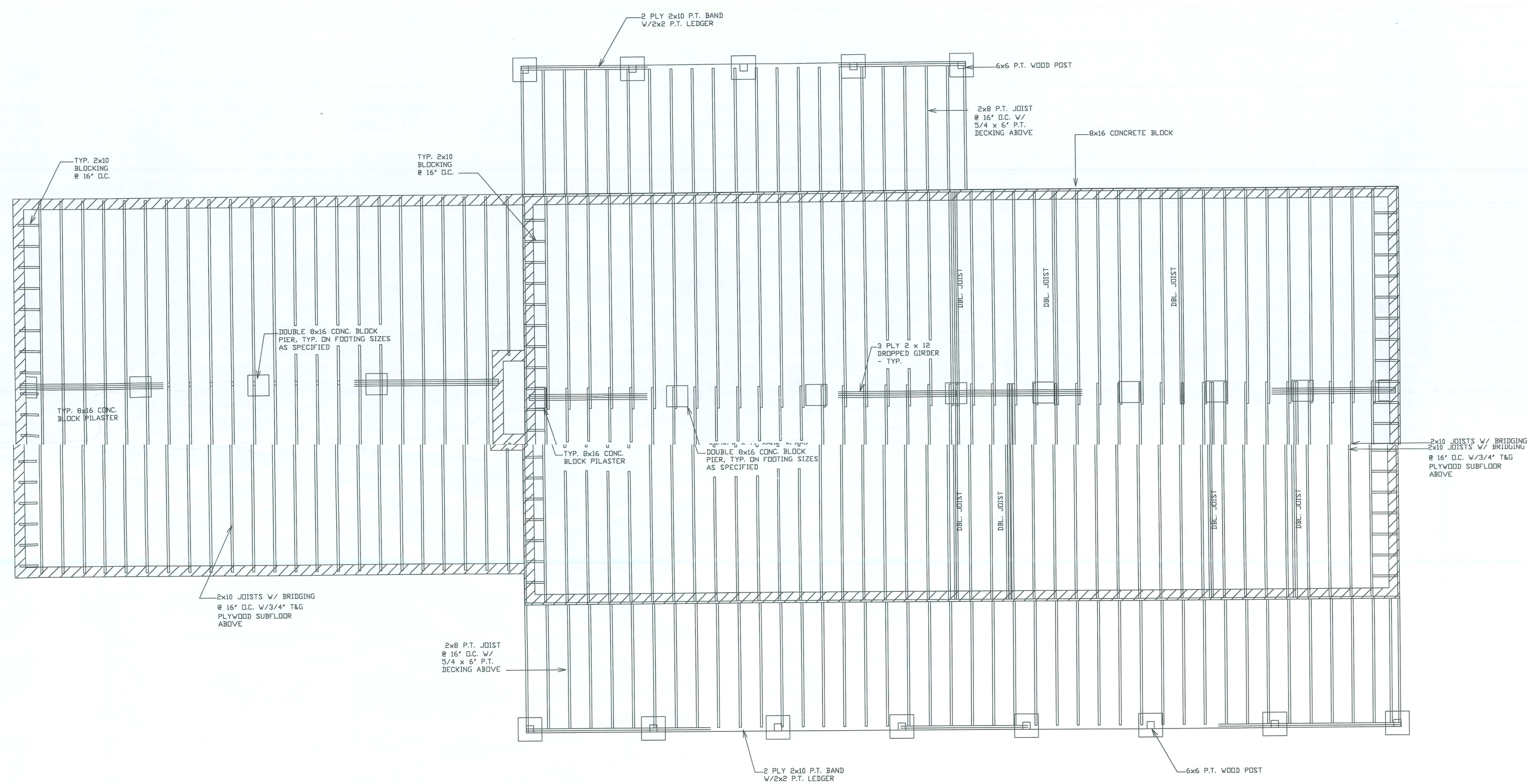
SCALE: 1/4" = 1'-0"

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RESIDENCE FOR MIKE AND CAMILLE PRATER

S-3

Handwritten signature



FIRST FLOOR JOIST PLAN

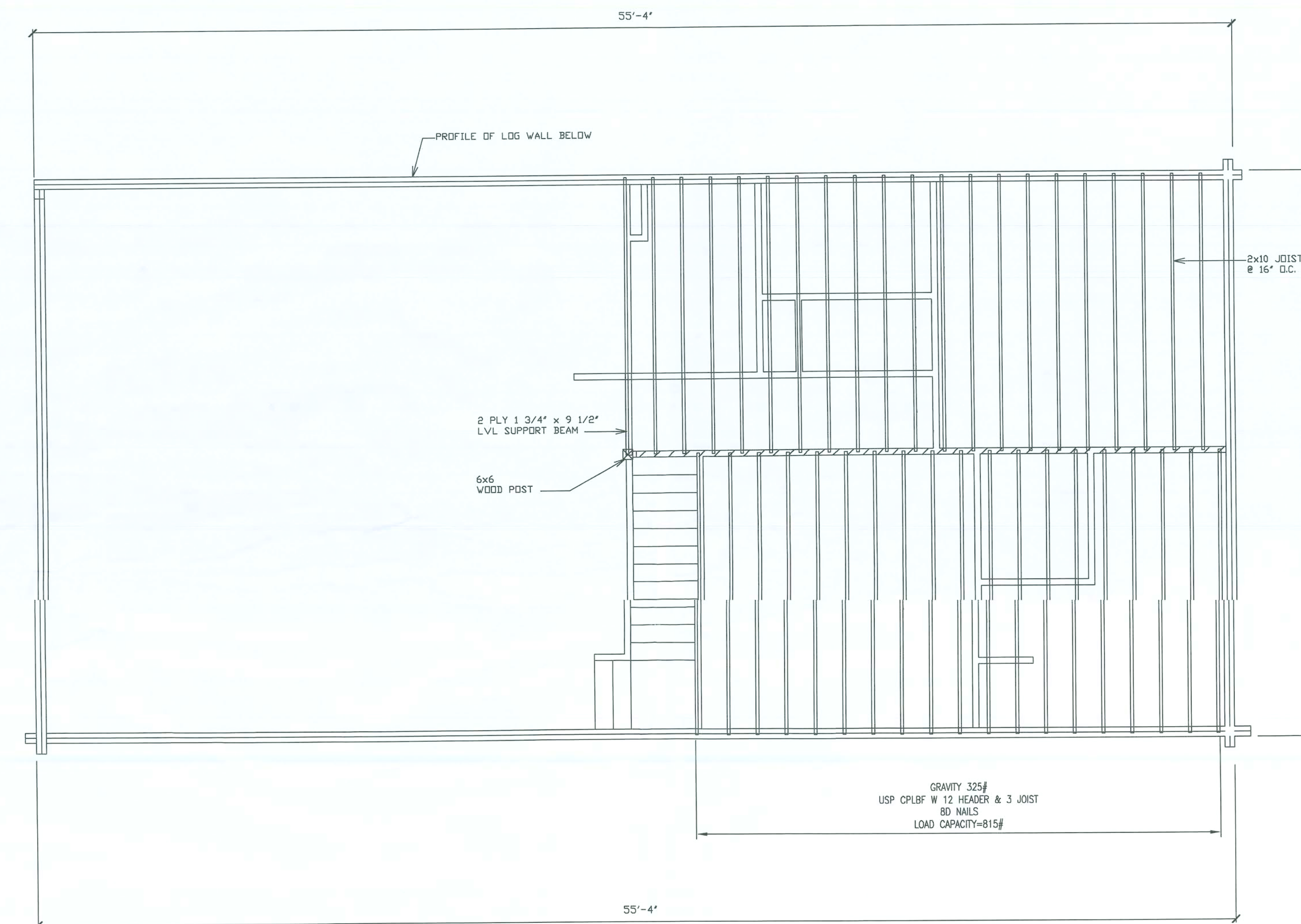
SCALE: 1/4" = 1'-0"

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RESIDENCE FOR MIKE AND CAMILLE PRATER

S-4

Handwritten signature



SECOND FLOOR JOIST PLAN

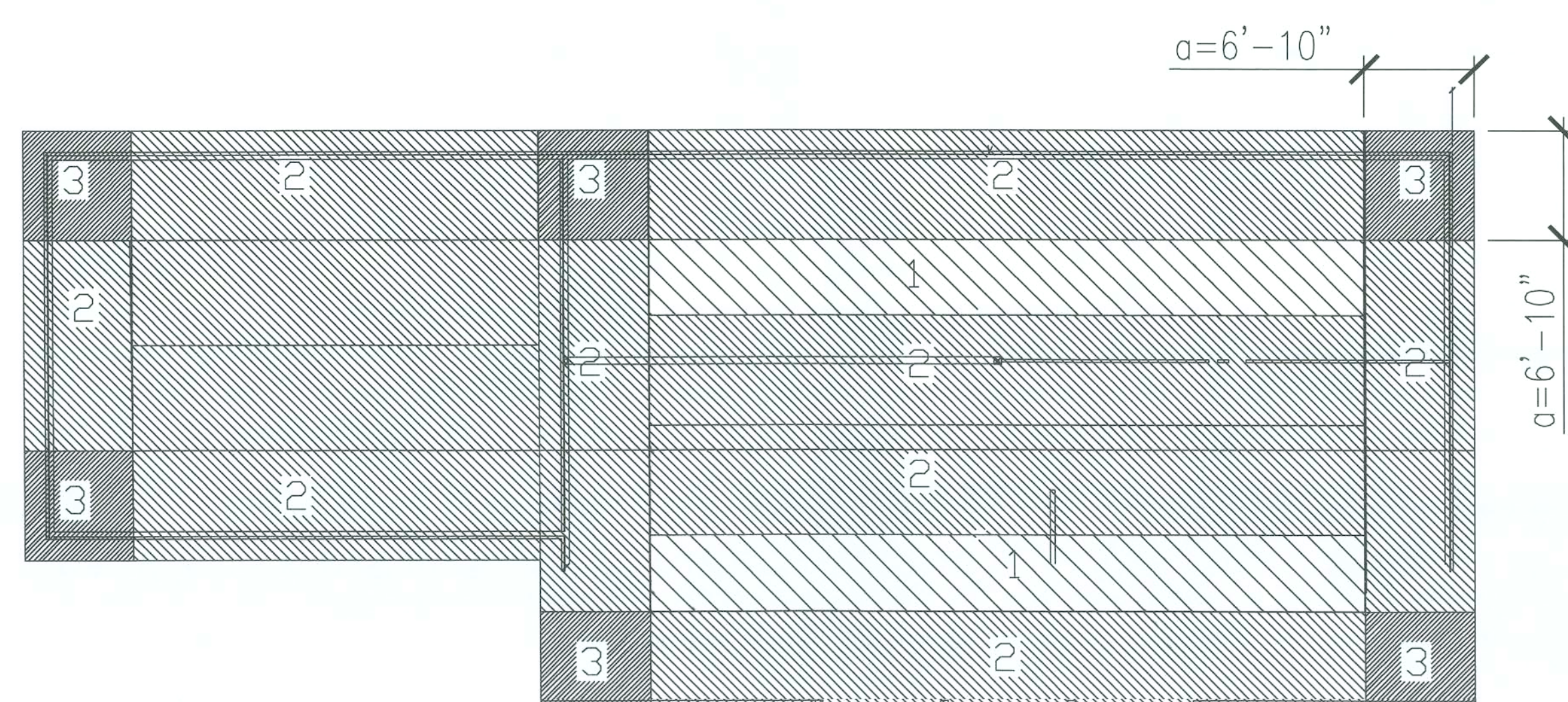
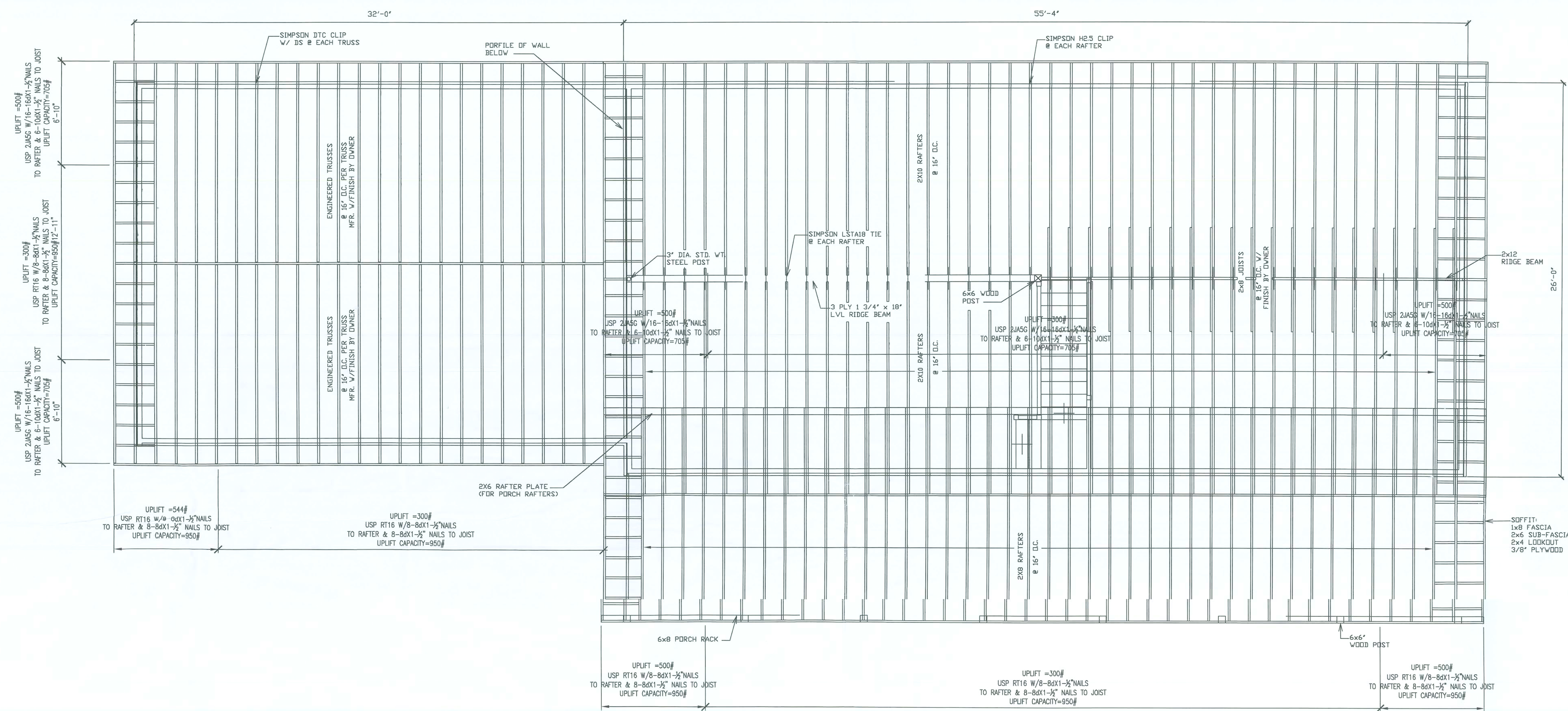
SCALE: 1/4" = 1'-0"

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RESIDENCE FOR MIKE AND CAMILLE PRATER

S-5

Handwritten signature



RAFTER PLAN

SCALE: 1/4" = 1'-0"

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RESIDENCE FOR MIKE AND CAMILLE PRATER

S-6