

DATE 12/18/2006

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000025321

APPLICANT ANTHONY D. TRIMBLE PHONE 386.754.5550

ADDRESS 548 SW BRANDY WAY LAKE CITY FL 32025

OWNER ARTHUR HUTCHISON, TRUSTEE PHONE

ADDRESS 359 SW BROTHERS LANE LAKE CITY FL 32024

CONTRACTOR ANTHONY D. TRIMBLE PHONE 386.754.5550

LOCATION OF PROPERTY 90W, TL ON SISTERS WELCOME RD, TL ON BROTHERS LANE, TL ON SOUTHERN LANDINGS AND IT'S THE HOME ON R CORNER.

TYPE DEVELOPMENT POOL SCREEN ENCL ESTIMATED COST OF CONSTRUCTION 9000.00

HEATED FLOOR AREA TOTAL AREA HEIGHT 12.00 STORIES 1

FOUNDATION WALLS ROOF PITCH FLOOR

LAND USE & ZONING RSF-2 MAX. HEIGHT 35

Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00

NO. EX.D.U. 1 FLOOD ZONE DEVELOPMENT PERMIT NO.

PARCEL ID 12-4S-16-02941-103 SUBDIVISION SOUTHERN LANDINGS

LOT 3 BLOCK PHASE UNIT TOTAL ACRES 1.00

5586

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor

X-06-0439 CFS JTH N

Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE.

Check # or Cash 2110

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by

Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by

Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by

Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by

Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by

M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by

Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by

M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 45.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00

MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 95.00

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

# Columbia County Building Permit Application

For Office Use Only Application # 0612-50 Date Received 12-15-06 By LH Permit # 25321  
 Application Approved by - Zoning Official OK Date 12/18/06 Plans Examiner OK JTH Date 12-15-06  
 Flood Zone MA Development Permit 0 Zoning RSF2 Land Use Plan Map Category RSF2

Comments CKH

☒ NOC ☒ EH ☐ Deed or PA ☐ Site Plan ☒ State Road Info ☒ Parent Parcel # ☐ Development Permit

Name Authorized Person Signing Permit Anthony D Trimble Phone 386-754-5550

Address 548 SW Brandy Way Lake City FL 32024

Owners Name Art Hutchison Phone \_\_\_\_\_

911 Address 359 SW Brothers Lane, Lake city FL 32025

Contractors Name Lakeside Aluminum Inc. Phone 386-754-5550

Address 548 SW Brandy Way Lake City FL 32024

Fee Simple Owner Name & Address \_\_\_\_\_

Bonding Co. Name & Address \_\_\_\_\_

Architect/Engineer Name & Address \_\_\_\_\_

Mortgage Lenders Name & Address \_\_\_\_\_

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy

Property ID Number 12-45-16-02941-103 Estimated Cost of Construction 9000

Subdivision Name Southern Landings Lot 3 Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions 90 to sisters Welcome to 2nd Entrance Brothers Lane make left 90 past Run way to next street house on Corner

Type of Construction Pool screen Enclosure Number of Existing Dwellings on Property 1

Total Acreage 1 Lot Size 77x210 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Driv.

Actual Distance of Structure from Property Lines - Front 50 Side 30 Side 11 Rear 50

Total Building Height 12' Number of Stories 1 Heated Floor Area \_\_\_\_\_ Roof Pitch \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.**

Owner Builder or Authorized Person by Notarized Letter

STATE OF FLORIDA  
COUNTY OF COLUMBIA



Sworn to (or affirmed) and subscribed before me

this 15 day of December 2006

Personally known \_\_\_\_\_ or Produced Identification ☒

PLD#TU51-004-59-2150

Contractor Signature

Contractors License Number \_\_\_\_\_

Competency Card Number 5586

NOTARY STAMP/SEAL

Brandy Corbin

Notary Signature

(Revised Sept. 2006)

NOTED 12-18-06

# Notice of Commencement

State Of Florida

County of Columbia

1. Description of Property 359 SW Brothus Lane, Lake City, FL 32025
  2. Parcel ID# \_\_\_\_\_
  3. General Description of Improvement: Screen enclosure
  4. Owner Name and Address: Art Hutchison  
24099 High Meadow Drive, Golden, CO 80401
  5. Interest in Property: Owner
  6. Fee Simple Titleholder( if other than owner): None
  7. Contractor Name: Lakeside Aluminum
  8. Surety: None
  9. Lender: NONE (If you have a loan and payment(draws) will be made from the lender— the name must be listed.)
  10. Person in the State of Florida designated to receive notices or other documents that may be served as provided by Florida Statutes 713.13(1) (a) (7).  
NONE
- In addition to himself, owner designates : NONE to receive a copy of the Leinor's notice as provided by the Florida Statutes 713.131b
12. Expiration Notice: Notice of Commencement ( expires 1 year from the date of recording)
  13. Prepared by: Lakeside Aluminum
  14. Return to: Peeler Pools, Inc 9878 S. US Hwy 441 Lake City, FL 32025

Owner Name (Print) A. HUTCHISON Owner Name Signature A. Hutchison

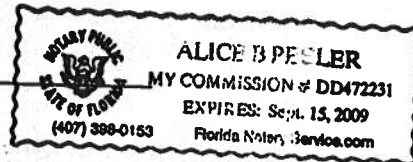
Sworn to and subscribed before me this 19 day of June, 2006

Personally Known ☒ Produced ID \_\_\_\_\_ Did/ Did not take Oath \_\_\_\_\_

Notary's Name \_\_\_\_\_ Notary Public State Of Florida \_\_\_\_\_

Commission Expiry and Number \_\_\_\_\_

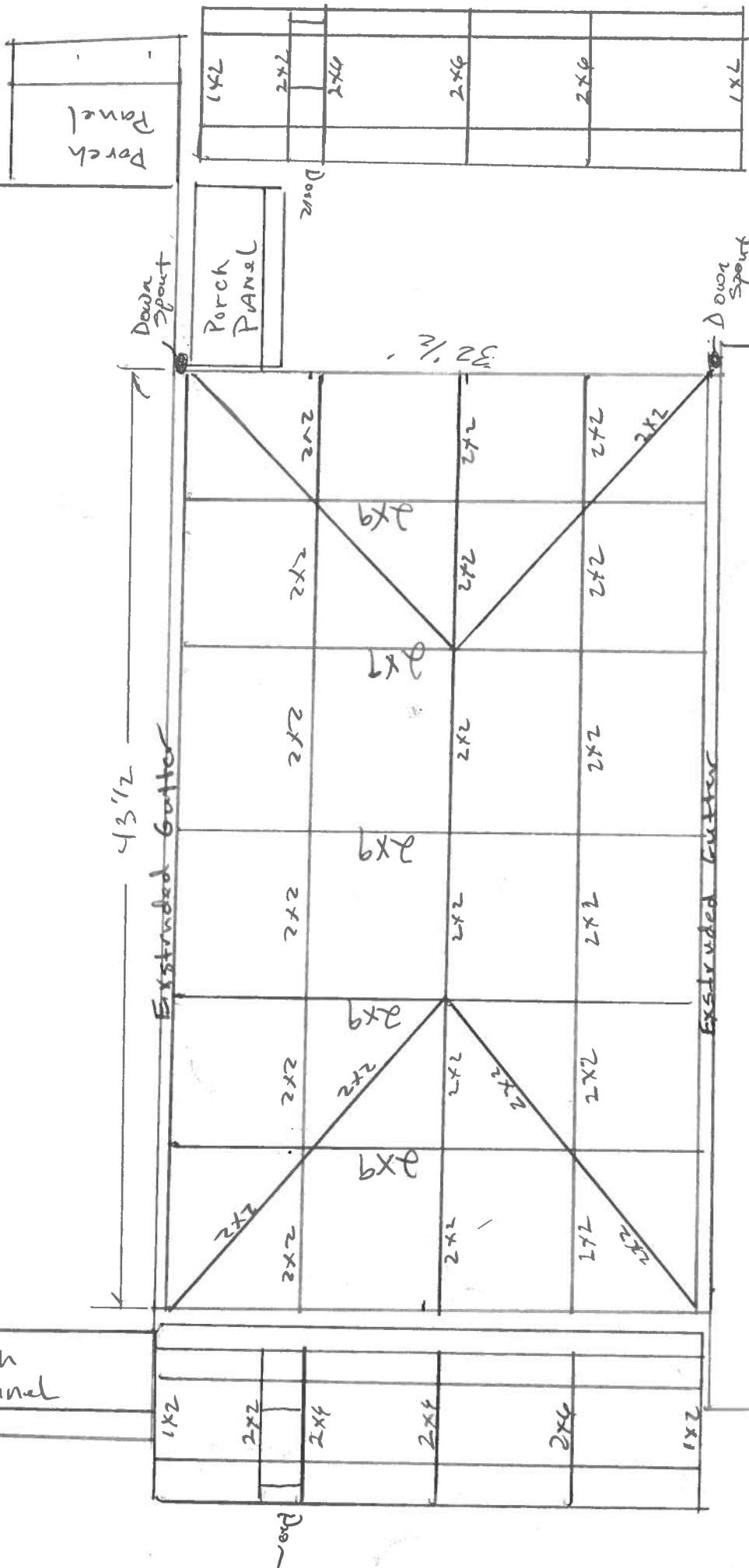
Alice B. Peeler



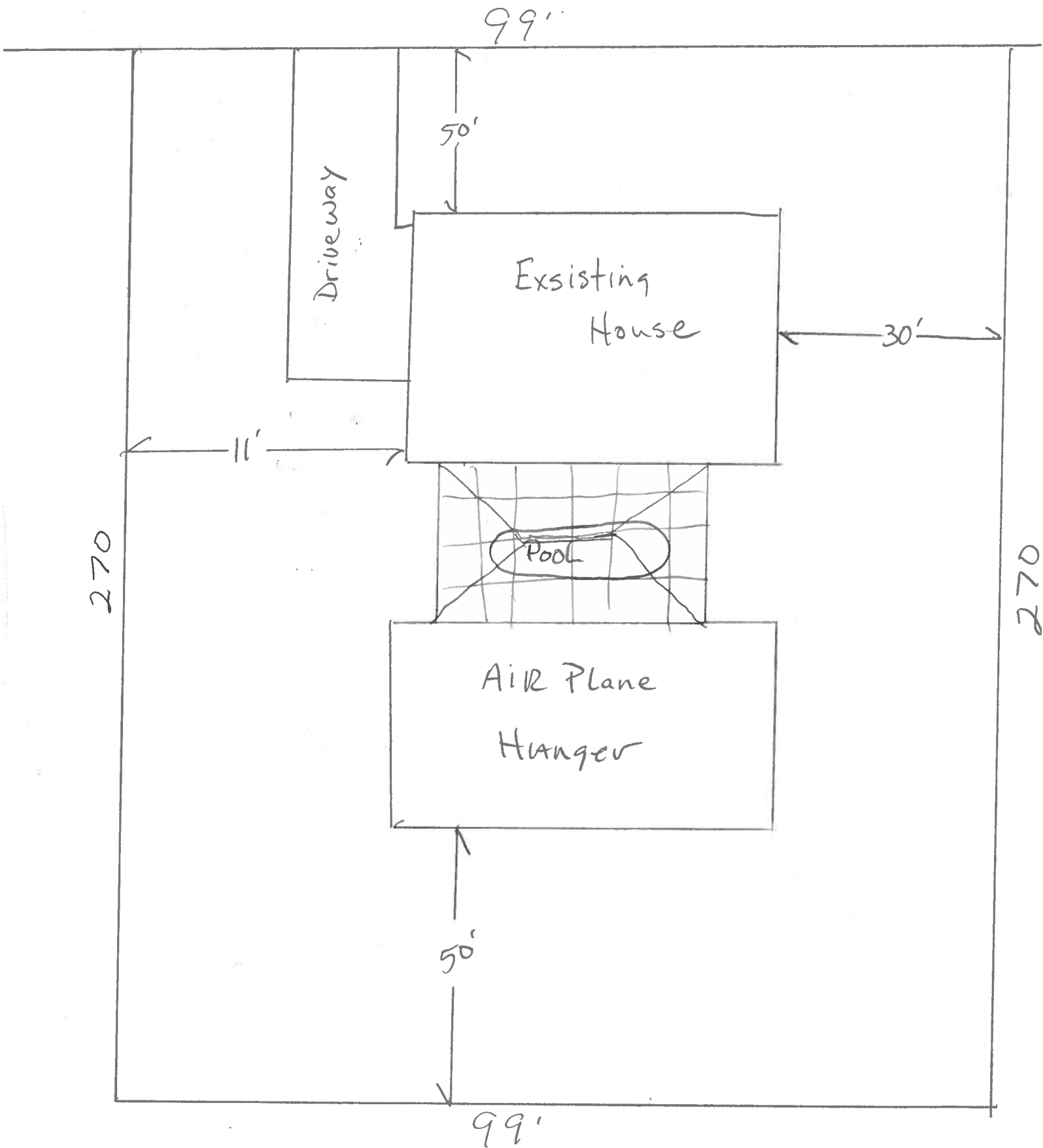
Inst:2006029523 Date:12/15/2006 Time:14:50

S.F. DC, P. Dewitt Cason, Columbia County B:1105 P:82

# Existing House



# Existing Air Hanger Plane



## SECTION 1

## SCREENED ENCLOSURES

Table 1.1

### Allowable Spans for Primary Screen Roof Frame Members

Aluminum Alloy 6063 T-6

For Areas with Wind Loads up to 150 M.P.H. and Latitudes Below 30°-30'-00" North (Jacksonville, FL)

Hollow Sections	Tributary Load Width 'W' = Beam Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Span 'L' / bending 'b' or deflection 'd'						
2" x 2" x 0.044"	9'-10" b	8'-7" b	7'-8" b	6'-11" b	6'-6" b	6'-1" b	5'-8" b
2" x 2" x 0.055"	10'-9" b	9'-4" b	8'-4" b	7'-7" b	7'-1" b	6'-7" b	6'-3" b
2" x 3" x 0.045"	13'-4" b	11'-7" b	10'-4" b	9'-5" b	8'-9" b	8'-2" b	7'-8" b
2" x 4" x 0.050"	14'-8" b	12'-8" b	11'-4" b	10'-4" b	9'-7" b	8'-11" b	8'-5" b

Self Mating Sections	Tributary Load Width 'W' = Beam Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Span 'L' / bending 'b' or deflection 'd'						
2" x 4" x 0.044 x 0.100"	19'-11" b	17'-4" b	15'-6" b	14'-2" b	13'-1" b	12'-3" b	11'-6" b
2" x 5" x 0.050 x 0.100"	24'-9" b	21'-5" b	19'-2" b	17'-6" b	16'-2" b	15'-2" b	14'-3" b
2" x 6" x 0.050 x 0.120"	28'-7" b	24'-9" b	22'-2" b	20'-3" b	18'-9" b	17'-6" b	16'-6" b
2" x 7" x 0.055 x 0.120"	32'-3" b	27'-11" b	24'-11" b	22'-9" b	21'-1" b	19'-9" b	18'-7" b
2" x 7" x 0.055" w/ insert	42'-10" b	37'-1" b	33'-2" b	30'-4" b	28'-1" b	26'-3" b	24'-9" b
2" x 8" x 0.072" x 0.224"	41'-7" b	36'-1" b	32'-3" b	29'-5" b	27'-3" b	25'-6" b	24'-0" b
2" x 9" x 0.072" x 0.224"	45'-1" b	39'-1" b	34'-11" b	31'-11" b	29'-6" b	27'-8" b	26'-1" b
2" x 9" x 0.082" x 0.310"	49'-6" b	42'-11" b	38'-4" b	35'-0" b	32'-5" b	30'-4" b	28'-7" b
2" x 10" x 0.092" x 0.369"	59'-6" b	51'-7" b	46'-1" b	42'-1" b	38'-11" b	36'-5" b	34'-4" b

Snap Sections	Tributary Load Width 'W' = Beam Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Span 'L' / bending 'b' or deflection 'd'						
2" x 2" x 0.044"	11'-9" b	10'-2" b	9'-1" b	8'-4" b	7'-8" b	7'-2" b	6'-9" b
2" x 3" x 0.045"	15'-1" b	13'-1" b	11'-8" b	10'-8" b	9'-10" b	9'-3" b	8'-8" b
2" x 4" x 0.045"	18'-5" b	15'-11" b	14'-3" b	13'-0" b	12'-1" b	11'-3" b	10'-8" b
2" x 6" x 0.062"	31'-3" b	27'-1" b	24'-2" b	22'-1" b	20'-5" b	19'-2" b	18'-0" b
2" x 7" x 0.062"	34'-9" b	30'-1" b	26'-11" b	24'-7" b	22'-9" b	21'-3" b	20'-1" b

**Note:**

1. Thicknesses shown are "nominal" industry standard tolerances. No wall thickness shall be less than 0.040".
2. The structures designed using this section shall be limited to a maximum combined span and upright height of 55' and a maximum upright height of 20'. Structures larger than these limits shall have site specific engineering.
3. Spans are based on a minimum of 10# / Sq. Ft. for up to a 150 M.P.H. wind load.
4. Span is measured from center of beam and upright connection to fascia or wall connection.
5. Above spans do not include length of knee brace. Add horizontal distance from upright to center of brace to beam connection to the above spans for total beam spans.
6. Purlin spacing shall not exceed 6'-8" . For beam spans greater than 40'-0" the beam at the center purlin and one purlin for each 14'-0" on each side of the center purlin shall include lateral bracing as shown in detail (48'-0") span with purlins at 6'-8" o.c. center purlin and (2) purlins each side of center purlin need lateral bracing.
7. Spans may be interpolated.

Example: Max. 'L' for 2" x 4" x 0.050" hollow section with 'W' = 5'-0" = 11'-4"

Lawrence E. Bennett, P.E. FL # 16644

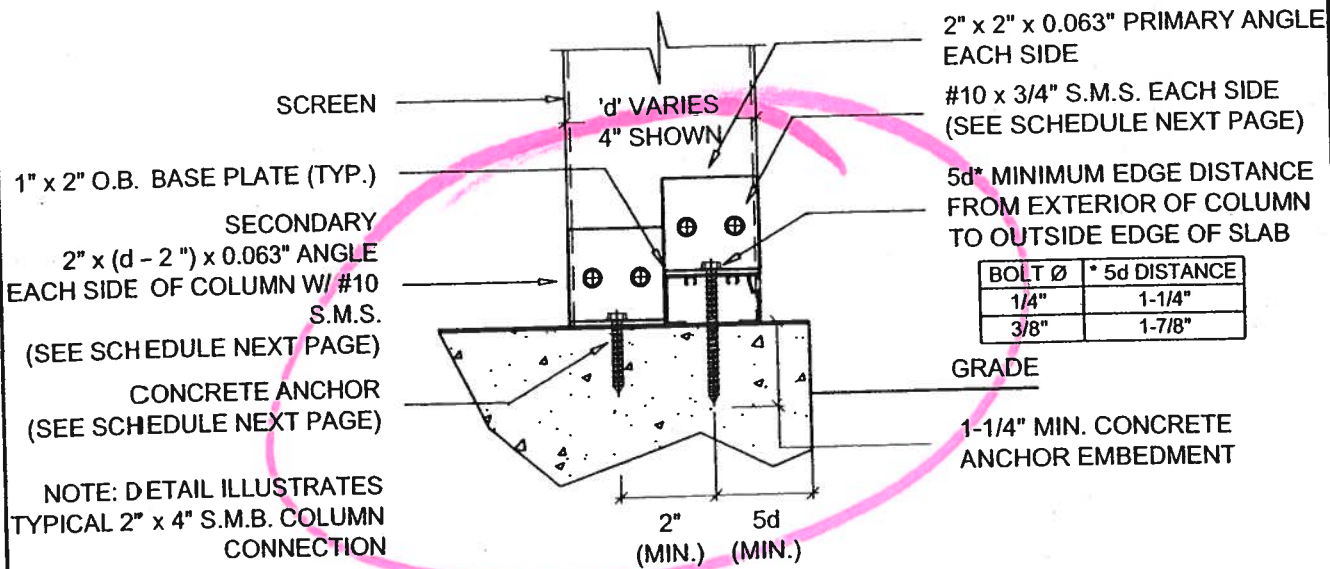
CIVIL ENGINEER - DEVELOPMENT CONSULTANT  
P.O. BOX 214368, SOUTH DAYTONA, FL 32121  
TELEPHONE: (386) 767-4774  
FAX: (386) 767-6556

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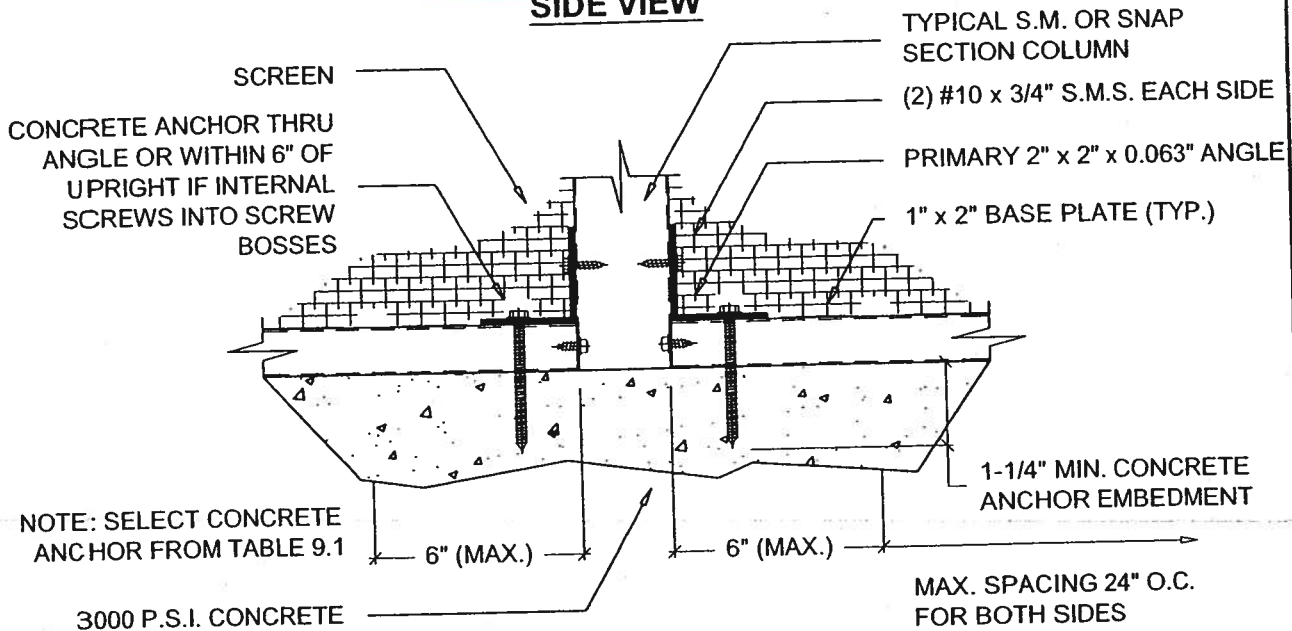


# SECTION 1

# SCREENED ENCLOSURES



**SIDE VIEW**



**FRONT VIEW**

**2" x 4" OR LARGER SELF MATING OR SNAP SECTION POST TO DECK DETAILS**

SCALE: 3" = 1'-0"

NOTE: FOR SIDE WALLS OF 2" x 4" OR SMALLER ONLY ONE ANGLE IS REQUIRED.

Lawrence E. Bennett, P.E. FL # 16644

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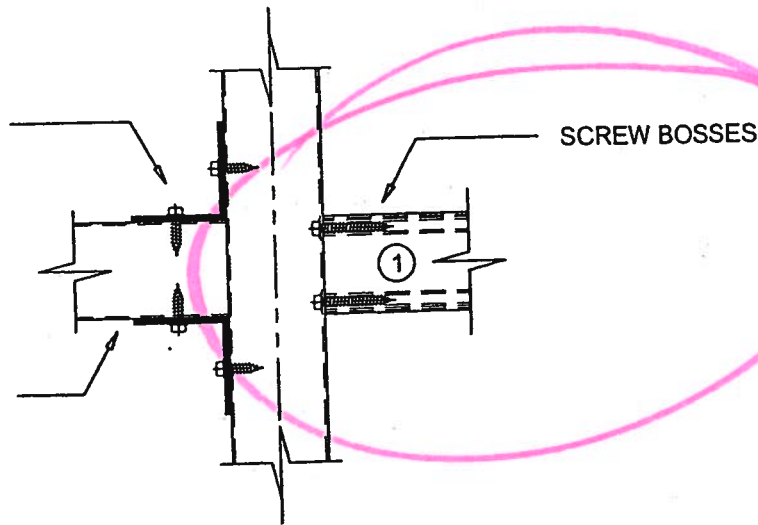
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**SECTION 1****SCREENED ENCLOSURES**

CHAIR RAIL ATTACHED TO  
POST W/ INTERNAL OR  
EXTERNAL 'L' CLIP OR 'U'  
CHANNEL W/ MIN.  
(4) #10 S.M.S.

GIRT OR CHAIR RAIL  
2" x 2" x 0.044" HOLLOW MIN.

**GIRT TO POST DETAIL**

SCALE: 3" = 1'-0"

- ① FOR WALLS LESS THAN 6'-8" FROM TOP OF PLATE TO CENTER OF BEAM CONNECTION OR BOTTOM OF TOP RAIL THE BEAM AND GIRT ARE DECORATIVE  
SCREW HEADS MAY BE REMOVED AND INSTALLED IN PILOT HOLES

IF GIRT IS STRUCTURAL AND SCREW HEADS ARE REMOVED THEN THE OUTSIDE OF THE CONNECTION MUST BE STRAPPED FROM GIRT TO BEAM WITH 0.050" x 1-3/4" x 4" STRAP AND (4) #10 x 3/4" S.M.S. SCREWS TO POST AND GIRT

IF GIRT IS ON BOTH SIDES OF THE POST THEN STRAP SHALL BE 6" LONG AND CENTERED ON THE POST AND HAVE A TOTAL (12) #10 x 3/4" S.M.S.

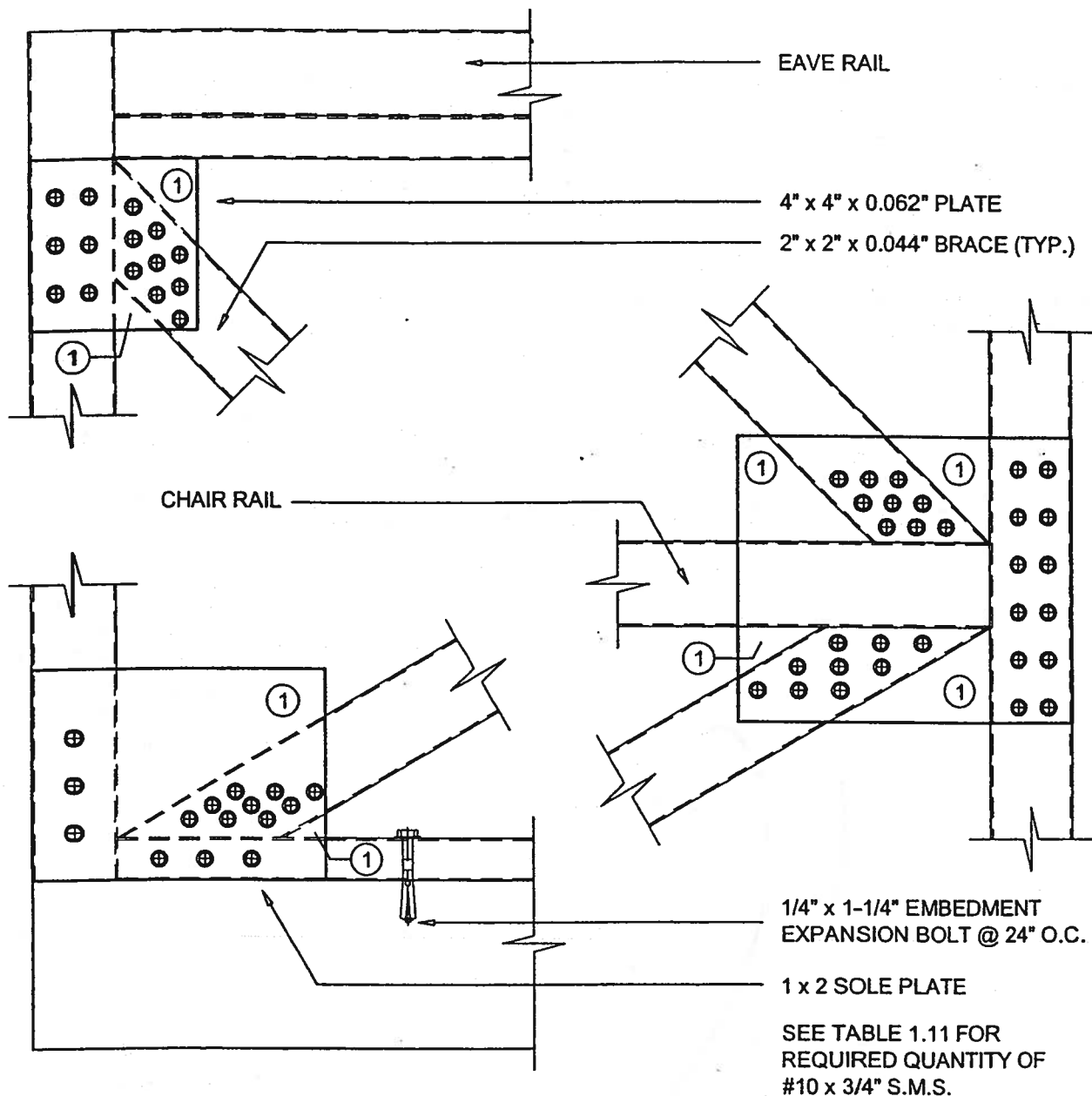
**Lawrence E. Bennett, P.E. FL # 16644**

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P.O. BOX 214368, SOUTH DAYTONA, FL 32121  
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FAX: (386) 767-6556



# SECTION 1

# SCREENED ENCLOSURES



## K-BRACING CONNECTION DETAILS

### NOTES:

SCALE: 3" = 1'-0"

1. Can trim plate this area.
2. Alternate connections use 'H' bar cut to fit connections.

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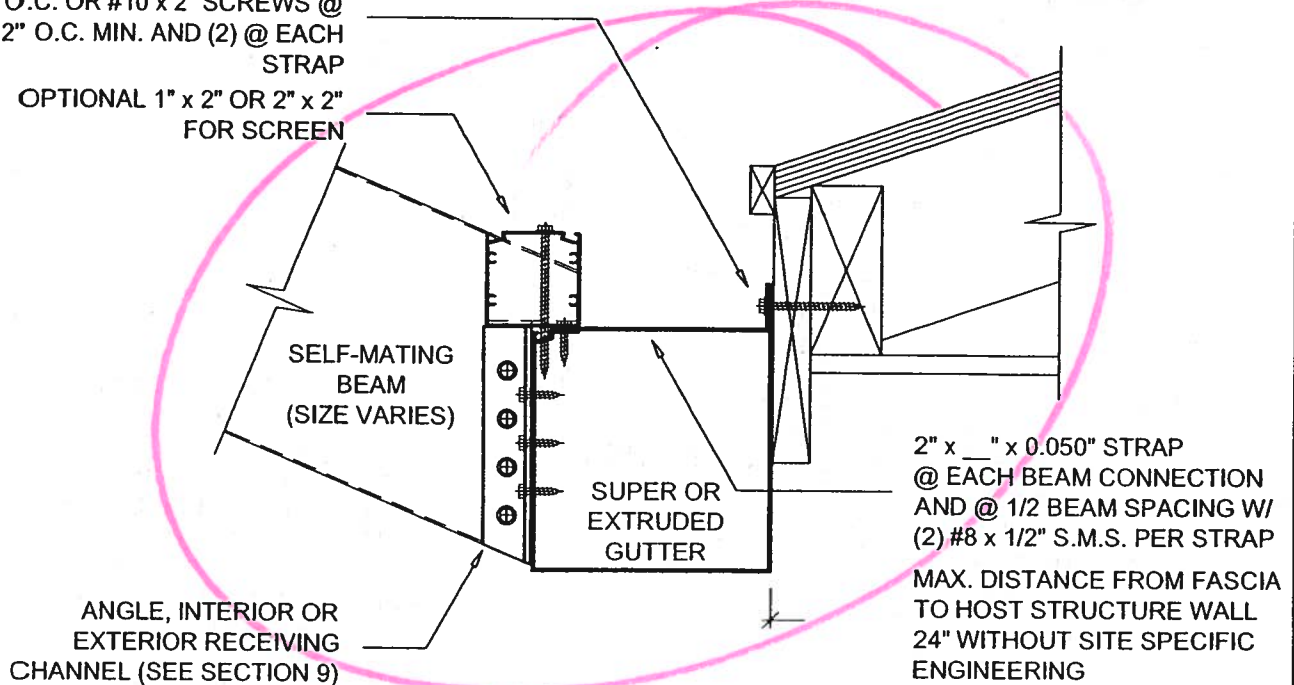
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1/4" x 2" LAG SCREWS @ 24"  
O.C. OR #10 x 2" SCREWS @  
12" O.C. MIN. AND (2) @ EACH  
STRAP  
OPTIONAL 1" x 2" OR 2" x 2"  
FOR SCREEN



**ALTERNATE SELF MATING BEAM CONNECTION  
TO SUPER OR EXTRUDED GUTTER**

SCALE: 3" = 1'-0"

**Lawrence E. Bennett, P.E. FL # 16644**

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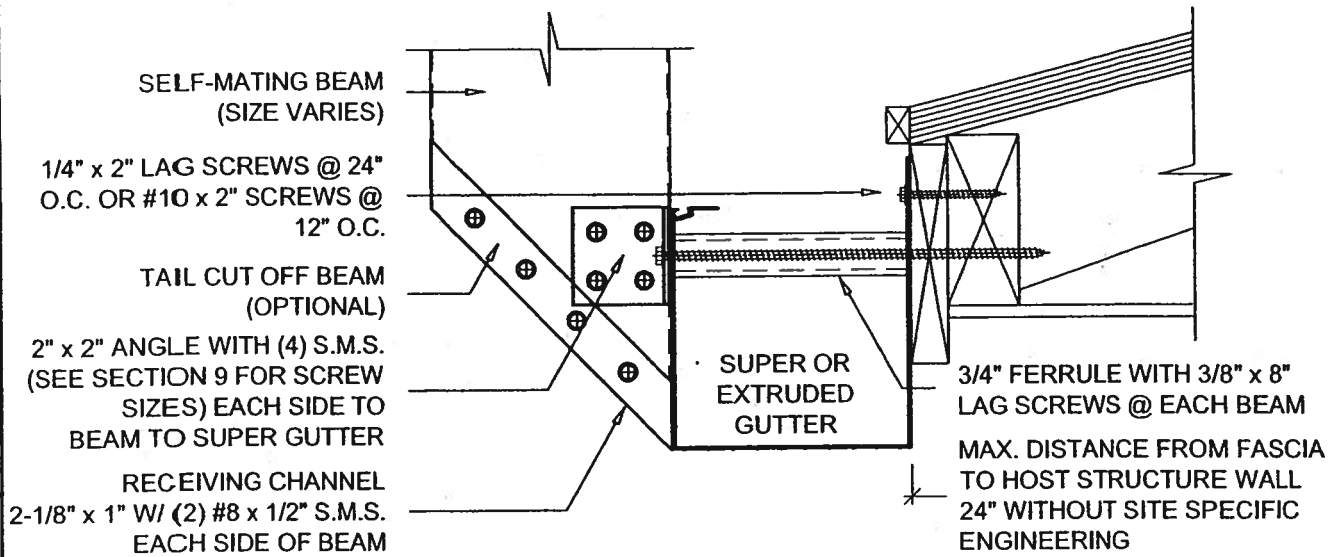
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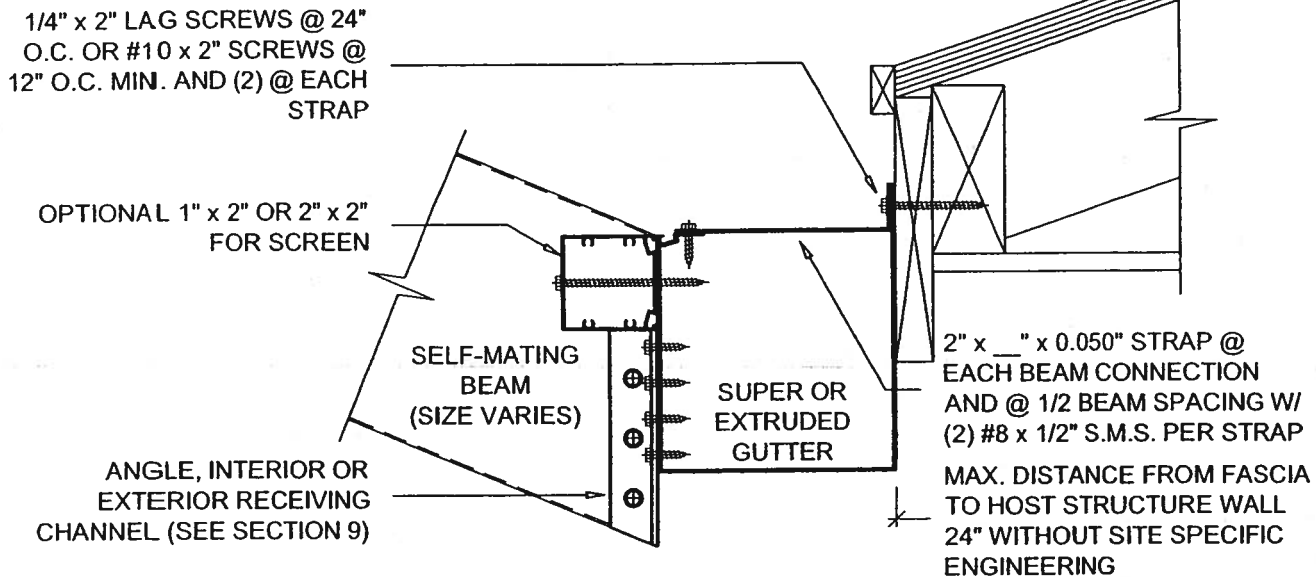
# SECTION 1

# SCREENED ENCLOSURES



## SELF MATING BEAM AND SUPER OR EXTRUDED GUTTER CONNECTION

SCALE: 3" = 1'-0"



## SELF MATING BEAM CONNECTION TO SUPER OR EXTRUDED GUTTER

SCALE: 3" = 1'-0"

Lawrence E. Bennett, P.E. FL # 16644

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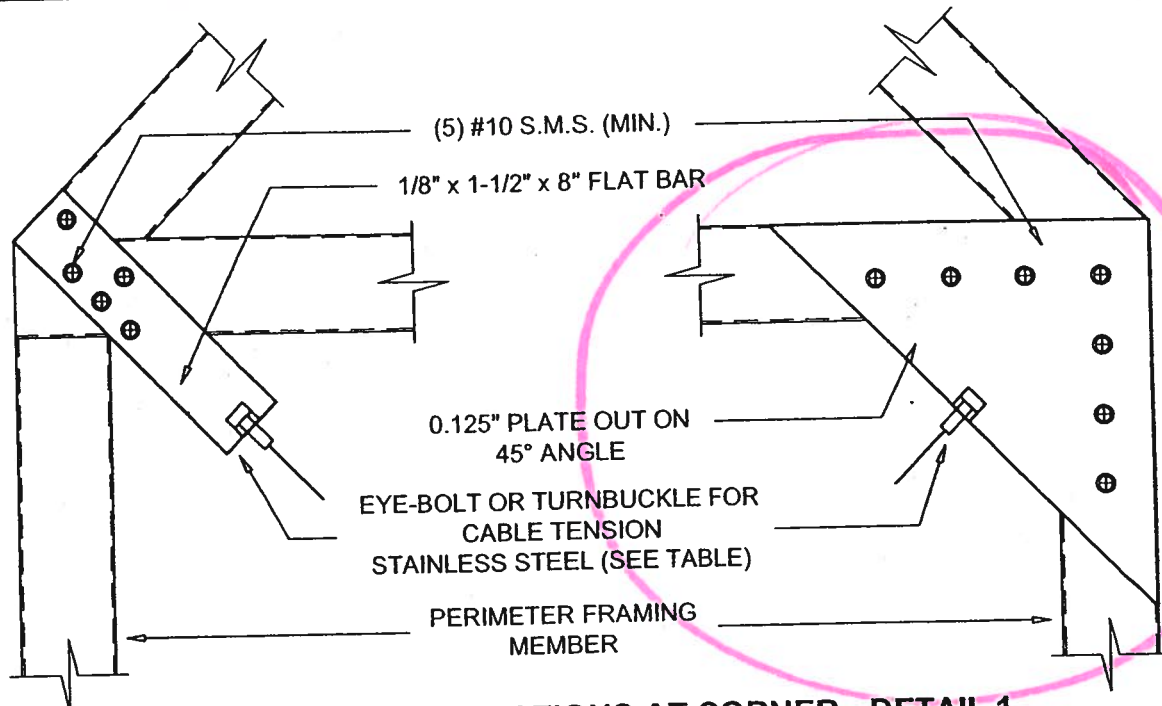
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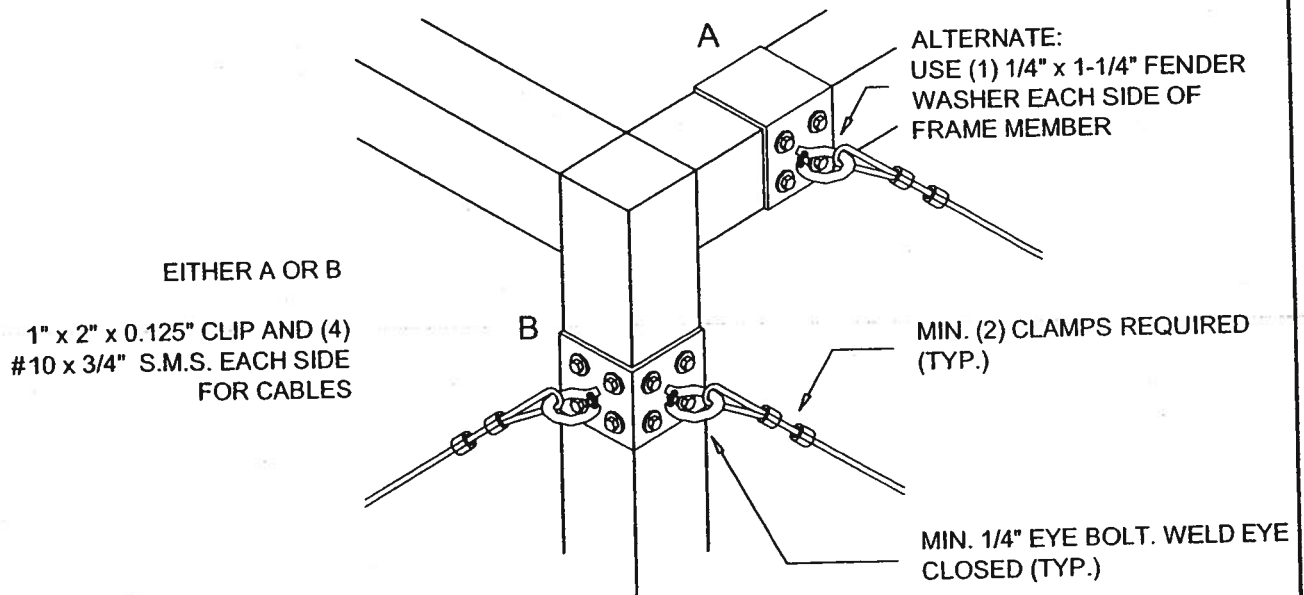
# SCREENED ENCLOSURES

## SECTION 1



**TYPICAL CABLE CONNECTIONS AT CORNER - DETAIL 1**

SCALE: 3" = 1'-0"



**ALTERNATE TOP CORNER OF CABLE CONNECTION - DETAIL 1A**

SCALE: 3" = 1'-0"

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## SECTION 1

## SCREENED ENCLOSURES

Table 1.3

**Allowable Post / Upright Heights for Primary Screen Wall Frame Members**  
 Aluminum Alloy 6063 T-6  
 For 3 second wind gust at velocity of 120 MPH or an applied load of 14 # / sq. ft.\*

Hollow Sections	Tributary Load Width 'W' = Upright Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Height 'H' / bending 'b' or deflection 'd'						
2" x 2" x 0.044"	8'-4" b	7'-3" b	6'-6" b	5'-11" b	5'-6" b	5'-1" b	4'-10" b
2" x 2" x 0.055"	9'-1" b	7'-11" b	7'-1" b	6'-5" b	5'-11" b	5'-7" b	5'-3" b
2" x 3" x 0.045"	11'-3" b	9'-9" b	8'-9" b	7'-11" b	7'-5" b	6'-11" b	6'-6" b
2" x 4" x 0.050"	12'-5" b	10'-9" b	9'-7" b	8'-9" b	8'-1" b	7'-7" b	7'-2" b

Self Mating Sections	Tributary Load Width 'W' = Upright Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Height 'H' / bending 'b' or deflection 'd'						
2" x 4" x 0.044 x 0.100"	16'-11" b	14'-8" b	13'-1" b	11'-11" b	11'-1" b	10'-4" b	9'-9" b
2" x 5" x 0.050" x 0.100"	20'-11" b	18'-1" b	16'-2" b	14'-9" b	13'-8" b	12'-10" b	12'-1" b
2" x 6" x 0.050" x 0.120"	24'-2" b	20'-11" b	18'-9" b	17'-1" b	15'-10" b	14'-10" b	13'-11" b
2" x 7" x 0.055" x 0.120"	27'-3" b	23'-7" b	21'-1" b	19'-3" b	17'-10" b	16'-8" b	15'-9" b
2" x 7" x 0.055" w/ insert	36'-3" b	31'-4" b	28'-1" b	25'-7" b	23'-9" b	22'-2" b	20'-11" b
2" x 8" x 0.072" x 0.224"	35'-2" b	30'-6" b	27'-3" b	24'-10" b	23'-0" b	21'-6" b	20'-4" b
2" x 9" x 0.072" x 0.224"	38'-2" b	33'-0" b	29'-6" b	26'-11" b	24'-11" b	23'-4" b	22'-0" b
2" x 9" x 0.082" x 0.310"	41'-10" b	36'-3" b	32'-5" b	29'-7" b	27'-5" b	25'-8" b	24'-2" b
2" x 10" x 0.092" x 0.369"	50'-4" b	43'-7" b	38'-11" b	35'-7" b	32'-11" b	30'-10" b	29'-1" b

Snap Sections	Tributary Load Width 'W' = Upright Spacing						
	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
	Allowable Height 'H' / bending 'b' or deflection 'd'						
2" x 2" x 0.044"	9'-11" b	8'-7" b	7'-8" b	7'-0" b	6'-6" b	6'-1" b	5'-9" b
2" x 3" x 0.045"	12'-9" b	11'-0" b	9'-10" b	9'-0" b	8'-4" b	7'-10" b	7'-4" b
2" x 4" x 0.045"	15'-7" b	13'-6" b	12'-1" b	11'-0" b	10'-2" b	9'-7" b	8'-11" b
2" x 6" x 0.062"	26'-5" b	22'-10" b	20'-5" b	18'-8" b	17'-3" b	16'-2" b	15'-3" b
2" x 7" x 0.062"	29'-5" b	25'-5" b	22'-9" b	20'-9" b	19'-3" b	17'-11" b	16'-11" b

\* For allowable heights at wind velocities other than 120 MPH, see conversion table 1A on the specification page for tables at the beginning of this section and example below.

## Note:

1. Thicknesses shown are "nominal" industry standard tolerances. No wall thickness shall be less than 0.040".

2. Using screen panel width 'W' select upright length 'H'.

3. Above heights do not include length of knee brace. Add horizontal distance from upright to center of brace to beam connection to the above spans for total beam spans.

4. Site specific engineering required for pool enclosures over 20' in mean roof height.

5. Height is to be measured from center of beam and upright connection to fascia or wall connection.

6. Chair rails of 2" x 2" x 0.044" min. and set @ 36" in height can be considered as residential guardrails provided they are attached with min. (3) #10 x 1-1/2" S.M.S. into the screw bosses and do not exceed 8'-0" in span.

7. Heights may be interpolated.

**CHECK TABLE 1.6 FOR MINIMUM UPRIGHT SIZE FOR BEAMS.**

**IF SPANS FOR 'C' EXPOSURE CATEGORY AND/OR WINDZONES OTHER THAN 120 MPH ARE REQUIRED, SEE EXAMPLE ON SPECIFICATION PAGE FOR TABLES AT THE BEGINNING OF THIS SECTION.**

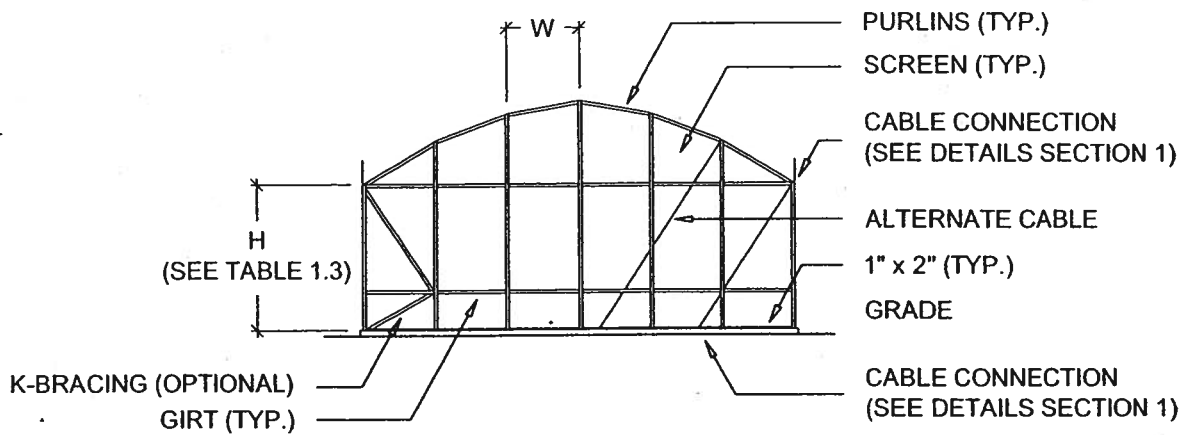
Lawrence E. Bennett, P.E. FL # 16644

CIVIL ENGINEER - DEVELOPMENT CONSULTANT

P.O. BOX 214368, SOUTH DAYTONA, FL 32121

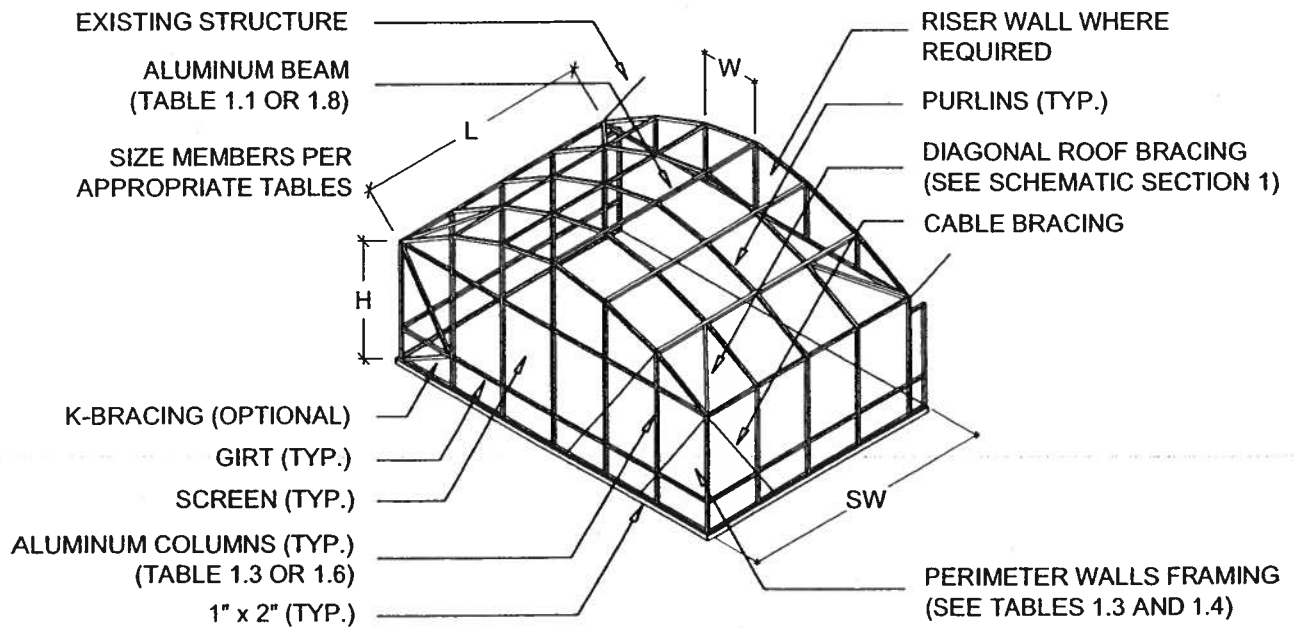
TELEPHONE: (386) 767-4774

FAX: (386) 767-6556



**TYPICAL DOME ROOF - ELEVATION**

SCALE: N.T.S.



**TYPICAL DOME ROOF - ISOMETRIC**

SCALE: N.T.S.

CONNECTION DETAILS AND NOTES ARE FOUND IN THE SUBSEQUENT PAGES.

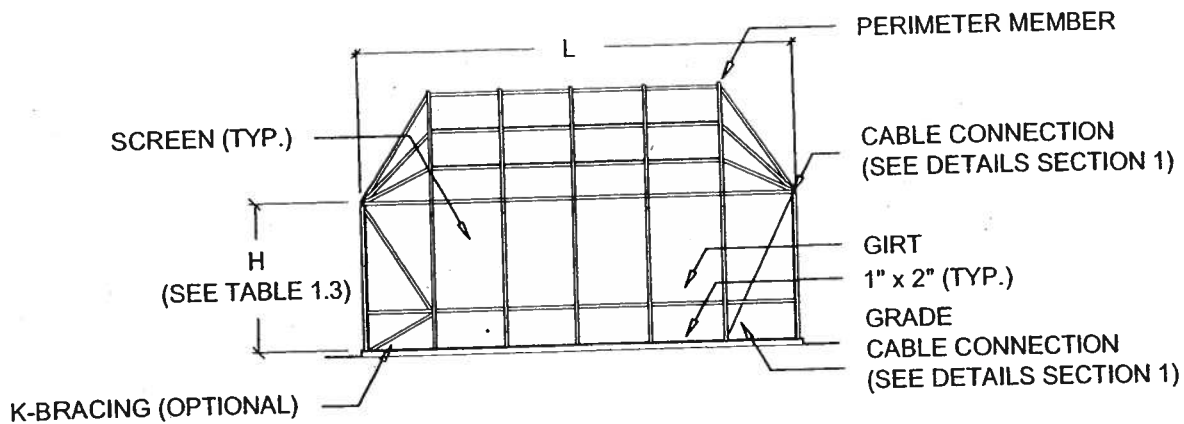
**Lawrence E. Bennett, P.E. FL # 16644**

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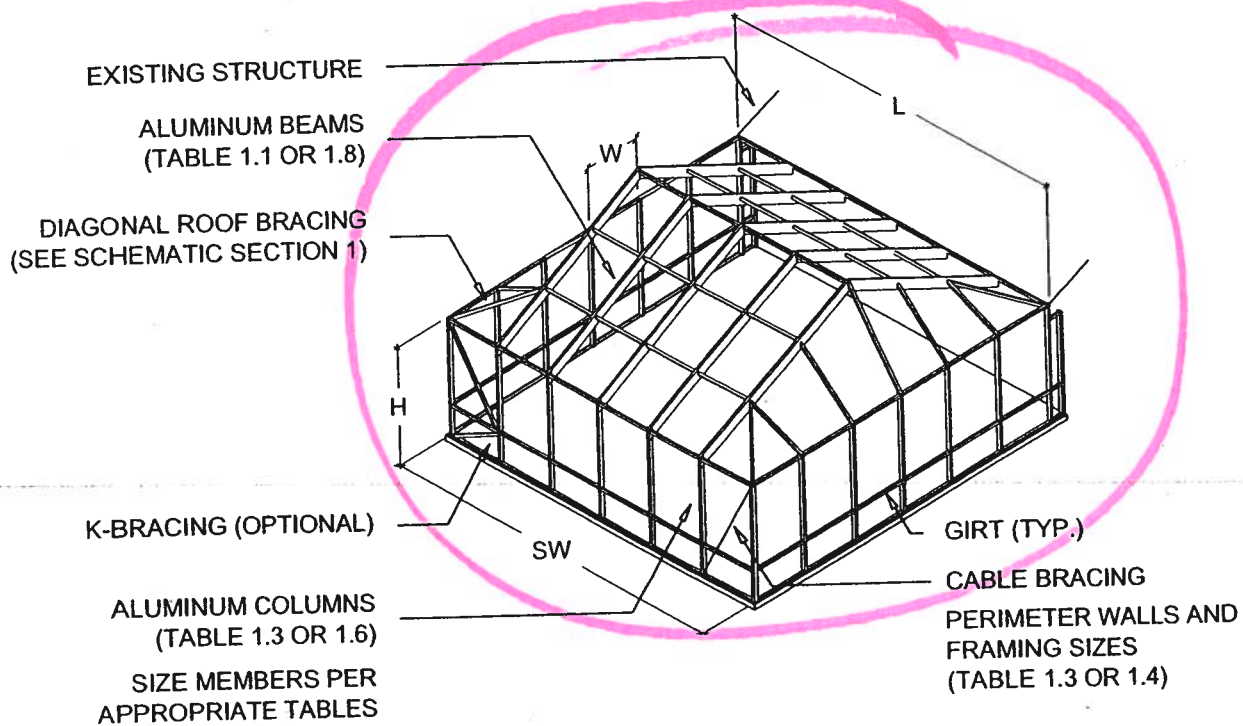
## SECTION 1

## SCREENED ENCLOSURES



### TYPICAL MODIFIED HIP ROOF - ELEVATION

SCALE: N.T.S.



### TYPICAL MODIFIED HIP ROOF - ISOMETRIC

SCALE: N.T.S.

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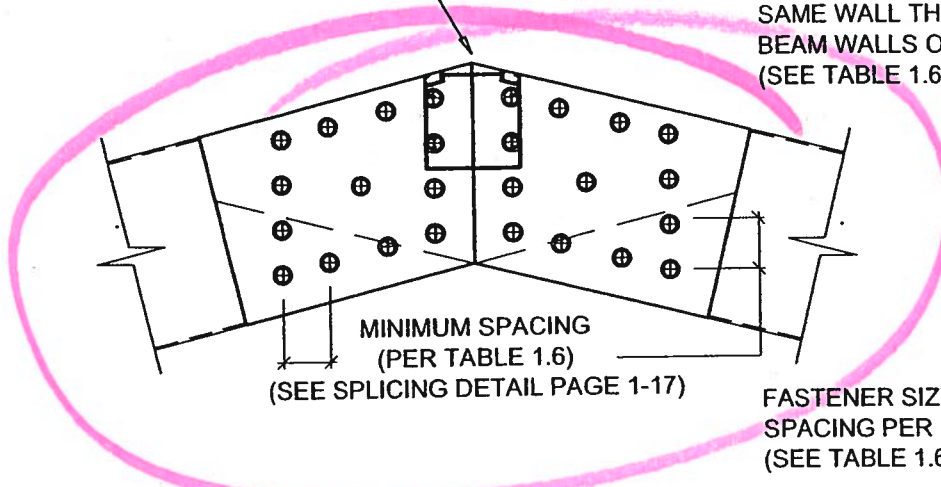
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# SCREENED ENCLOSURES

## SECTION 1

2" x 2" PURLINS ATTACHED  
TO BEAM W/ MIN.  
(3) #10 x 1-1/2" S.M.S.

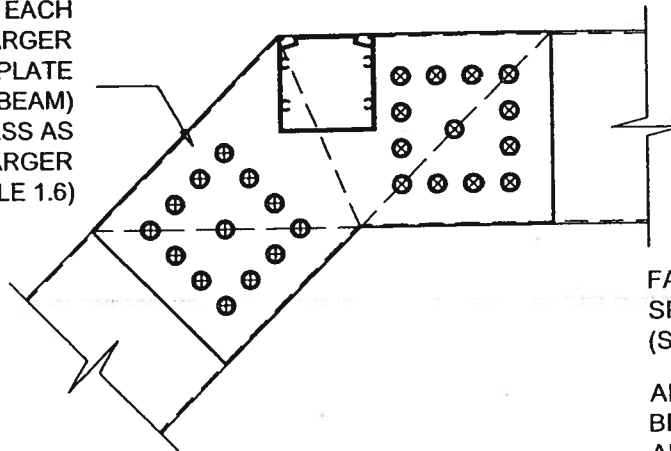
CUT 2" x 4", 2" x 5", OR 2" x 6"  
BEAMS TO SLIDE OVER EACH  
OTHER 2" x 7" & LARGER  
PROVIDE GUSSET PLATE  
(INSIDE OR OUTSIDE BEAM)  
SAME WALL THICKNESS AS  
BEAM WALLS OR LARGER  
(SEE TABLE 1.6)



### TYPICAL SIDE PLATE CONNECTION DETAIL

SCALE: 3" = 1'-0"

CUT 2" x 4", 2" x 5", OR 2" x 6"  
BEAMS TO SLIDE OVER EACH  
OTHER 2" x 7" & LARGER  
PROVIDE GUSSET PLATE  
(INSIDE OR OUTSIDE BEAM)  
SAME WALL THICKNESS AS  
BEAM WALLS OR LARGER  
(SEE TABLE 1.6)



FASTENER SIZE, NUMBER AND  
SPACING PER PAGE 1-19  
(SEE TABLE 1.6)

ALL GUSSET PLATES SHALL  
BE A MINIMUM OF 5052 H-32  
ALLOY OR HAVE A MINIMUM  
YIELD STRENGTH OF 23 ksi

### TYPICAL SIDE PLATE CONNECTION DETAIL - MANSARD ROOF

SCALE: 3" = 1'-0"

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**SCREENED ENCLOSURES**

2" x 4" OR 2" x 6"  
SELF MATING BEAM

1" x 2" SNAP SECTIONS  
ATTACHED TO 2" x 2" W/  
#10 x 1-1/2" S.M.S. @ 24" O.C.  
OR CONTINUOUS SNAP  
SECTIONS OR 2" x 3" (4)  
SPLINE GROOVE SECTION

1" x 2" OPEN BACK FASTENED  
TO POST W/ (2) #10 x 1-1/2"  
S.M.S.

**ATTACH 2" x 2" PURLINS TO  
SELF MATING BEAMS W/ (2)  
#10 x 1-1/2" S.M.S. INTO  
SCREW BOSSES**

2" x 4" BEAM

2" x 6" BEAM

ALTERNATE FLAT ROOF

**SELECT FASTENER SIZE,  
NUMBER AND PATTERN  
(SEE TABLE 1.6 & 9.5A OR 9.5B)**

2" x 3" HOLLOW OR SNAP  
SECTION

### SLOPING BEAM TO UPRIGHT CONNECTION DETAIL (PARTIAL LAP)

SCALE: 3" = 1'-0"

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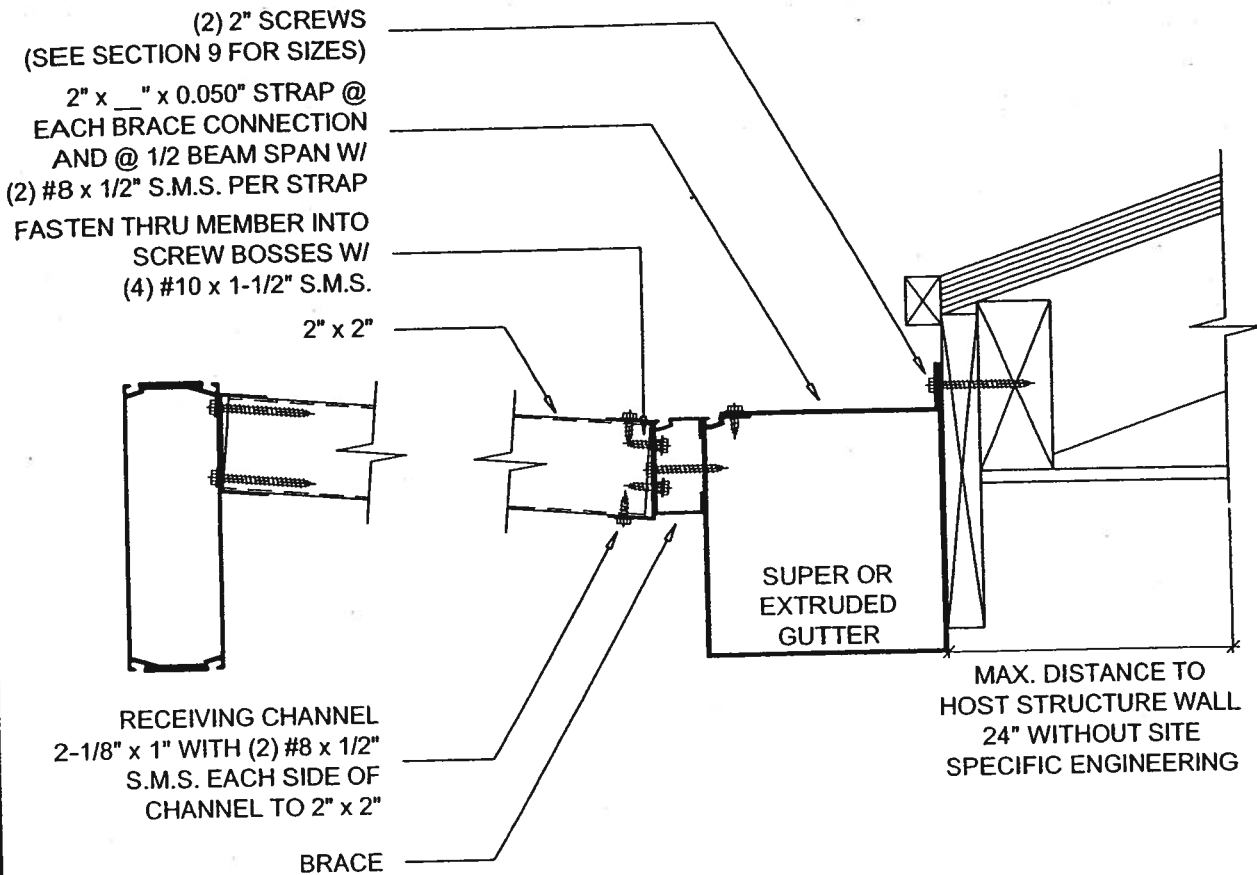
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**PAGE**

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**NON-STRUCTURAL BRACE CONNECTION TO SUPER OR EXTRUDED GUTTER**

SCALE: 3" = 1'-0"

**Lawrence E. Bennett, P.E. FL # 16644**

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# Columbia County Property Appraiser

DB Last Updated: 11/20/2006

Parcel: 12-4S-16-02941-103

## 2007 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

### Owner & Property Info

Search Result: 1 of 1

<b>Owner's Name</b>	HUTCHISON ARTHUR M TRUSTEE		
<b>Site Address</b>			
<b>Mailing Address</b>	359 SW BROTHERS LANE LAKE CITY, FL 32025		
<b>Use Desc. (code)</b>	VACANT (000000)		
<b>Neighborhood</b>	12416.00	<b>Tax District</b>	2
<b>UD Codes</b>	MKTA06	<b>Market Area</b>	06
<b>Total Land Area</b>	0.520 ACRES		
<b>Description</b>	LOT 3 SOUTHERN LANDINGS AVIATION S/D. WD 1049-1770, WD 1061-93.		

### GIS Aerial



### Property & Assessment Values

<b>Mkt Land Value</b>	cnt: (1)	\$63,500.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (0)	\$0.00
<b>XFOB Value</b>	cnt: (0)	\$0.00
<b>Total Appraised Value</b>		\$63,500.00

<b>Just Value</b>	\$63,500.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$63,500.00
<b>Exempt Value</b>	\$0.00
<b>Total Taxable Value</b>	\$63,500.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
10/4/2005	1061/93	WD	V	U	09	\$89,900.00
6/2/2005	1049/1770	WD	V	Q		\$75,000.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

### Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	1.000 LT - (.520AC)	1.00/1.00/1.00/1.00	\$63,500.00	\$63,500.00

Columbia County Property Appraiser

DB Last Updated: 11/20/2006

1 of 1