

Prepared by and return to:

Kelley D. Jones
Attorney at Law
Kelley D. Jones, P.A.
4110 NW 37th Place, Suite B
Gainesville, FL 32606
352-377-2004
File#21-117

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 8th day of April, 2021 between **David K. Dobbins and Luwinda F. Dobbins, husband and wife** whose post office address is **2838 SW County Road 138, Fort White, FL 32038** grantor, and **David K. Dobbins and Luwinda F. Dobbins, husband and wife and Malcom Dobbins and Sarah Dobbins, husband and wife**, as between each husband and wife, their interest shall be as tenants by the entireties, as between all parties, their interest shall be as joint tenants with rights of survivorship, whose post office address is **2838 SW County Road 138, Fort White, FL 32038** grantee;

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Columbia County, Florida** to-wit:

See Exhibit "A" attached hereto and made a part hereof as if fully set forth herein.

Parcel Identification Number: portion of R04302-000

This instrument prepared by Kelley D. Jones, Attorney at Law, 4110 NW 37th Place, Suite B, Gainesville, Florida 32606. Title to the lands described herein has not been examined by me and no warranty or other representation is made and no opinion (either express or implied) is given as to the marketability or condition of the title to the subject property, the quantity of lands included thereto, the location of the boundaries thereof, or the existence of liens, unpaid taxes or encumbrances.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2020**.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Julie Reyes
Witness Name: Julie Reyes

Kelly D Jones
Witness Name: Kelly D Jones

David K. Dobbins
David K. Dobbins

Julie Reyes
Witness Name: Julie Reyes

Kelly D Jones
Witness Name: Kelly D Jones

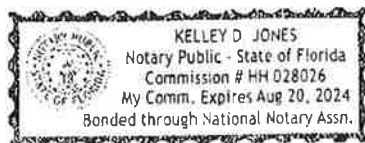
Luwinda F. Dobbins
Luwinda F. Dobbins

State of Florida

County of Alachua

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 8th day of April, 2021 by David K. Dobbins and Luwinda F. Dobbins. He/she ☐ is personally known to me or ☒ has produced a driver's license as identification.

[Notary Seal]



Kelly D Jones
Notary Public

Printed Name: _____

My Commission Expires: _____

EXHIBIT "A"

PART OF THE SOUTH $\frac{1}{4}$ OF THE SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$ OF SECTION 23, TOWNSHIP 7 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A 5/8" IRON ROD, LS 4708, MARKING THE INTERSECTION OF THE SOUTH LINE OF THE SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$ OF SECTION 23, TOWNSHIP 7 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND THE WEST RIGHT-OF-WAY LINE OF SW COUNTY ROAD NO. 138, AN 80 FOOT WIDE PUBLIC RIGHT-OF-WAY, AND THENCE S.89 DEGREES 14'19"W., ALONG THE SOUTH LINE OF SAID SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$, A DISTANCE OF 654.45 FEET TO A 5/8" IRON ROD, LS 4708, AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED LANDS; THENCE N.00 DEGREES 41'09"W., 332.85 FEET TO A 5/8" IRON ROD, LS 4708, ON THE MONUMENTED NORTH LINE OF THE SOUTH $\frac{1}{4}$ OF SAID SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$; THENCE S.89 DEGREES 14'48"W., ALONG SAID NORTH LINE, 631.01 FEET TO A CONCRETE MONUMENT MARKING THE NW CORNER OF SAID SOUTH $\frac{1}{4}$ OF SAID SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$; THENCE S.00 DEGREES 46'07"E., ALONG THE WEST LINE OF SAID SOUTH $\frac{1}{4}$ OF SAID SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$, A DISTANCE OF 332.94 FEET TO A 5/8" IRON ROD, LS 4708, MARKING THE SW CORNER OF SAID SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$; THENCE N.89 DEGREES 14'19"E., 630.53 FEET TO THE POINT OF BEGINNING.

DESCRIBED LANDS CONTAIN 4.82 ACRES, MORE OR LESS.

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE SOUTH 30 FEET OF THE FOLLOWING DESCRIBED LANDS:

PART OF THE SOUTH $\frac{1}{4}$ OF THE SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$ OF SECTION 23, TOWNSHIP 7 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT A 5/8" IRON ROD, LS 4708, MARKING THE INTERSECTION OF THE SOUTH LINE OF THE SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$ OF SECTION 23, TOWNSHIP 7 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND THE WEST RIGHT-OF-WAY LINE OF SW COUNTY ROAD NO. 138, AN 80 FOOT WIDE PUBLIC RIGHT-OF-WAY, AND THENCE S.89 DEGREES 14'19"W., ALONG THE SOUTH LINE OF SAID SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$, A DISTANCE OF 654.45 FEET TO A 5/8" IRON ROD, LS 4708; THENCE N.00 DEGREES 41'09"W., 332.85 FEET TO A 5/8" IRON ROD, LS 4708, ON THE MONUMENTED NORTH LINE OF THE SOUTH $\frac{1}{4}$ OF SAID SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$; THENCE N.89 DEGREES 14'48"E., ALONG SAID NORTH LINE, 654.45 FEET TO A CONCRETE MONUMENT ON THE AFOREMENTIONED WEST RIGHT-OF-WAY LINE.

Parcel Identification Number: portion of R04302-000