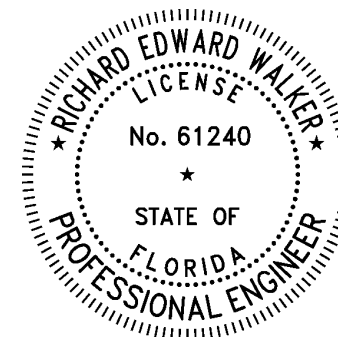


RENDERING FOR ILLUSTRATION PURPOSES ONLY



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by Richard E
Walker
Date:
2025.01.29
11:14:17-05'00'



Review for Code Compliance
Universal Engineering Science

Laurence Pennell
Examiner-License No.

PX2707

02/03/2025



QUALITY
FAMILY • HOMES

design | build | live

Quality Family Homes, LLC
1400 Village Square Blvd, #3-326
Tallahassee, FL 32312

FL: CRC1334527
GA: RLC004640


OUR SALES BROCHURES AND OTHER ADVERTISING LITERATURE ARE INTENDED TO GENERALLY REFLECT AND DEPICT THE STYLES AND QUALITY OF HOMES WE BUILD THROUGHOUT A PORTION OF THE UNITED STATES. OUR SALES MODELS ARE DESIGNED AND BUILT TO GENERALLY CONFORM WITH A VARIETY OF LOCAL CUSTOMS, PRACTICES, AND BUILDING CODES PREVALENT OR IN EFFECT IN THE IMMEDIATE AREA SURROUNDING THE LOCATION OF THOSE MODELS. THIS SET OF PLANS IS AN ACTUAL PART OF OUR CONTRACT WITH YOU AND, AS SUCH, IS INTENDED TO TAKE PRIORITY OVER ANYTHING IN CONFLICT WITH IT CONTAINED IN OUR ADVERTISING LITERATURE, OUR SALES MODELS AND EVEN OUR ORAL SALES PRESENTATION. NO CHANGE, MODIFICATION, OR REVISION OF THESE PRINTED PLANS SHALL BE BINDING ON THE PARTIES UNLESS SET FORTH ON THESE PLANS OR OTHERWISE REDUCED TO WRITING AND EXECUTED BY SAID PARTIES. PLEASE REVIEW THESE PLANS ALONG WITH "EXHIBIT B" OF YOUR CONTRACT CAREFULLY AND MAKE CERTAIN BEFORE YOU SIGN THEM THAT THEY ACCURATELY REPRESENT THE HOME YOU ARE PURCHASING. ADDITIONALLY, THE BUILDER HEREBY RESERVES THE RIGHT TO SUBSTITUTE MATERIALS OF EQUIVALENT QUALITY AND/OR TECHNIQUES OF ASSEMBLY AND/OR CONSTRUCTION METHODS FROM THAT CONTAINED IN THESE PLANS OR SPECIFIED IN EXHIBIT "B" WHERE NECESSARY TO ACCOMODATE DIFFERENCES IN LOCAL CODES, GEOGRAPHIC CUSTOMS, OPTION SELECTION AND AVAILABILITY OF MATERIALS. ALL MATERIALS (LUMBER, OR OTHER BUILDING SUPPLIES) DELIVERED TO JOBSITE WHICH ARE IN EXCESS OF THOSE REQUIRED TO CONSTRUCT THE HOUSE AS AGREED REMAIN THE PROPERTY OF THE BUILDER.

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STEVEN & SUSAN DEANE
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LAKE CITY, FL 32025

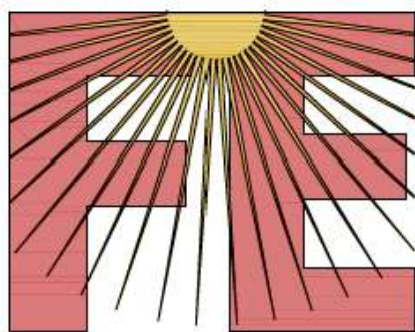
CUSTOMER SIGNATURE

CUSTOMER SIGNATURE

DESIGN CRITERIA	DRAWING SCHEDULE				DRAWING DATA			
ALL DRAWINGS, DETAILS, AND SPECIFICATIONS DESIGNED IN ACCORDANCE w/ FLORIDA BUILDING CODE (FBC) 8th EDITION (2023) ACI-318-19, ACI-ASCE 7-22 ALL CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE STATE, & LOCAL BUILDING CODES	T1	TITLE PAGE	S2	ROOF PLAN	PLAN NAME: FERNANDINA	SQUARE FOOTAGE		
	A1	ELEVATIONS	S3	TYPICAL DETAILS	DATE DRAWN: 1/16/2025	FIRST FLOOR:	1176 sq ft	FRONT PORCH: 48 sq ft
	A2	FLOOR PLAN	S4	SECTION DETAILS	DRAWN BY: JLB	SECOND FLOOR:	N/A	REAR PORCH: N/A
	E1	ELECTRICAL PLAN		RESERVED		OTHER:	N/A	GARAGE: N/A
	P1	PLUMBING PLAN		RESERVED		FINISHED BASEMENT:	N/A	OTHER: N/A
	S1	FOUNDATION PLAN		RESERVED		TOTAL H/C:	1176 sq ft	TOTAL U/R: 1224 sq ft
					ARCHITECTURAL DESIGNER SIGNATURE	TOTAL H/C:	1176 sq ft	TOTAL U/R: 1224 sq ft



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FAX: 941-979-8196

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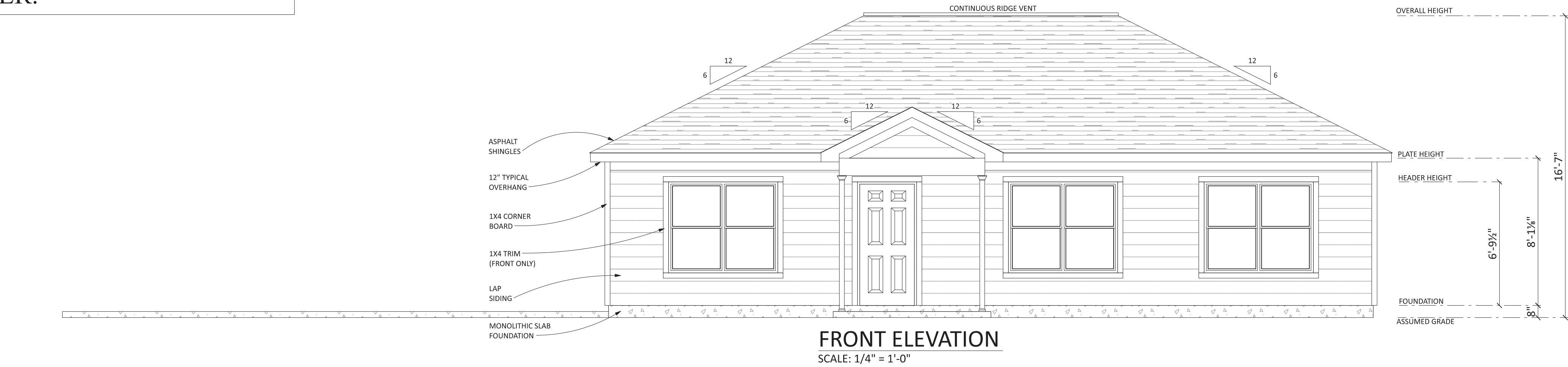
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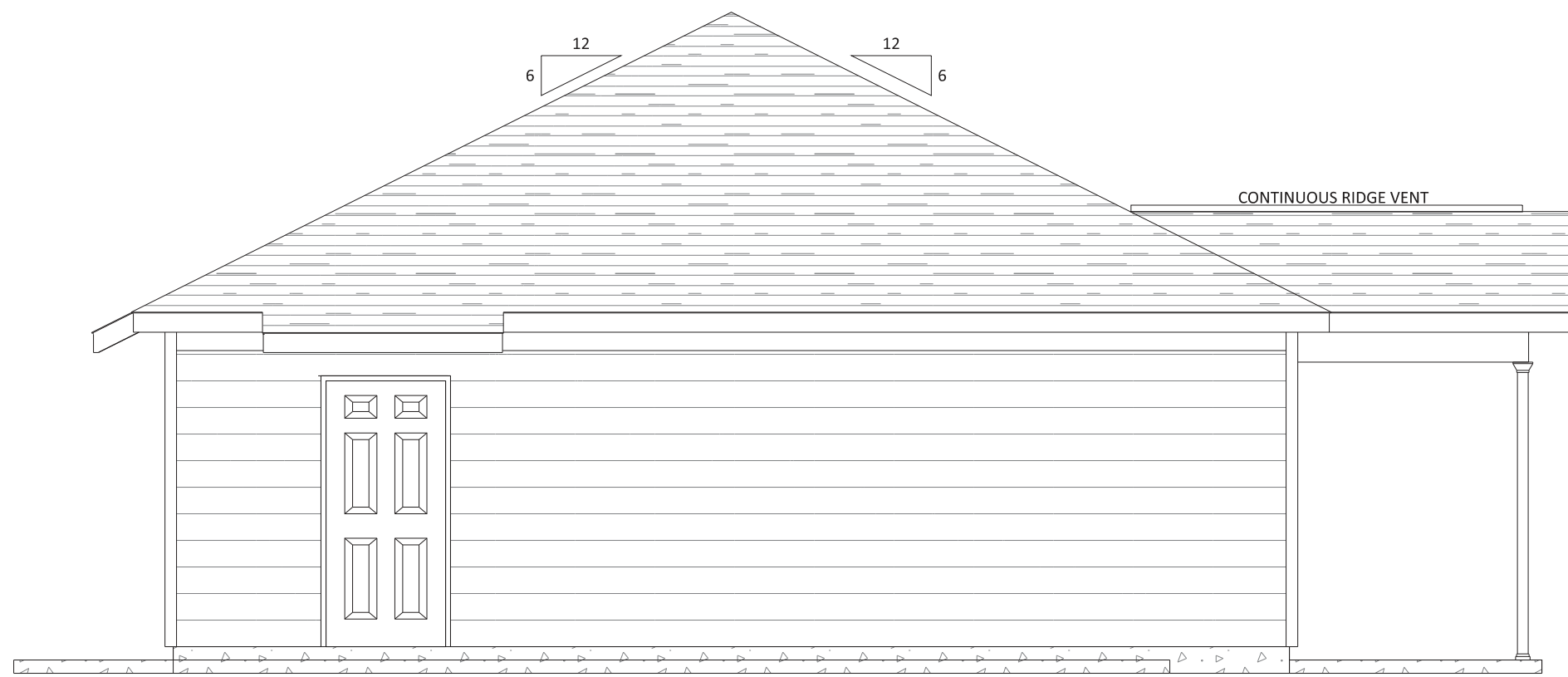
T1

NOTE: WINDOWS AND DOORS SHOWN ARE SYMBOLIC. CONFIRM TYPE WITH BUILDER AND/OR HOMEOWNER.

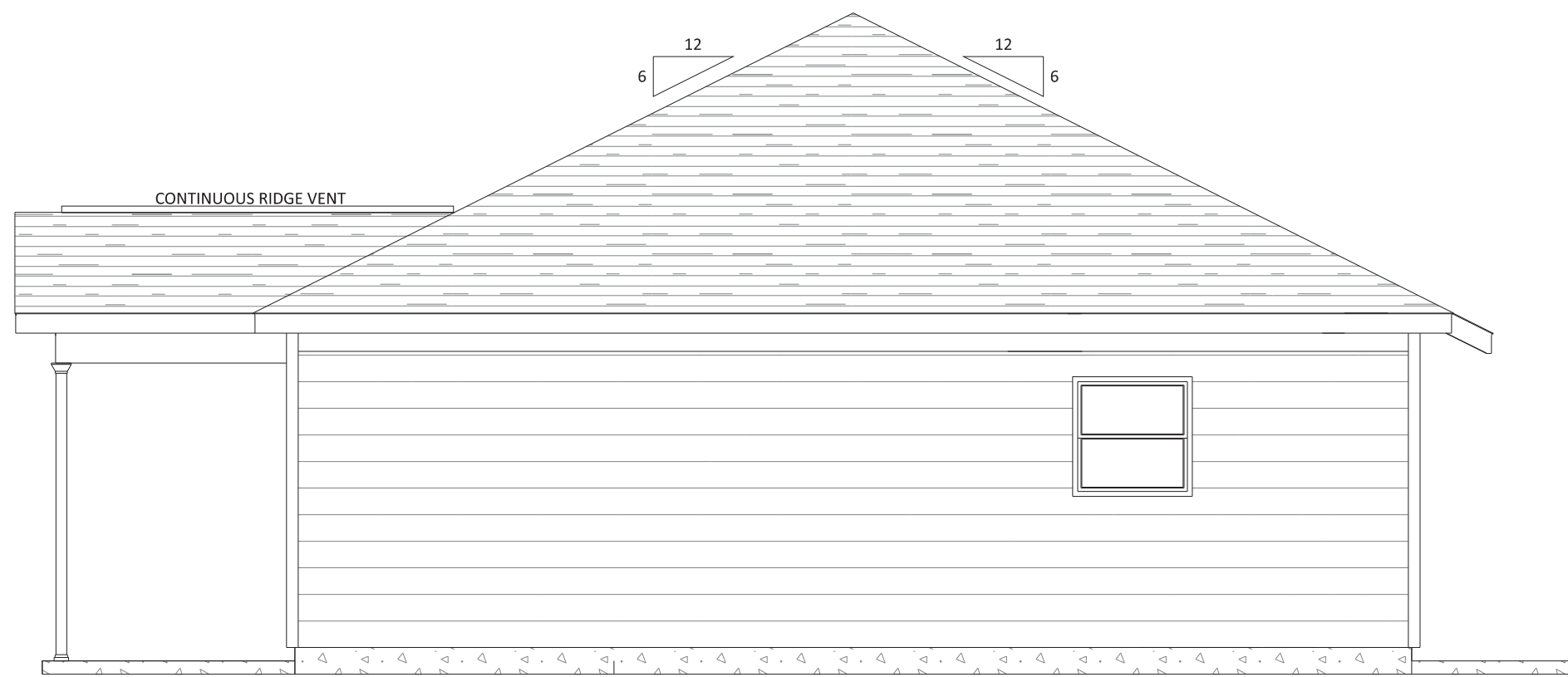


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

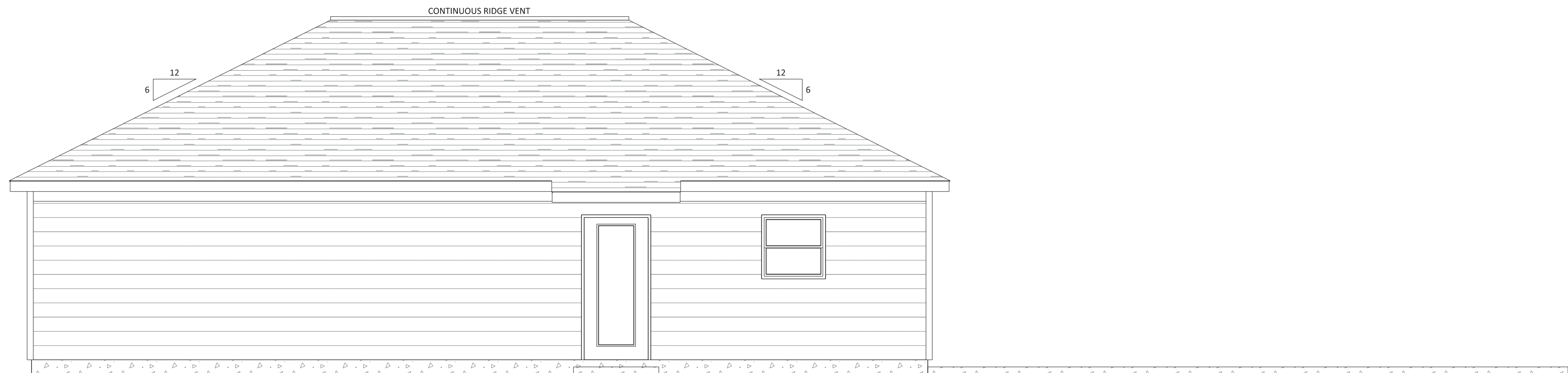
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Universal Engineering Science
Richard E. Walker
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LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

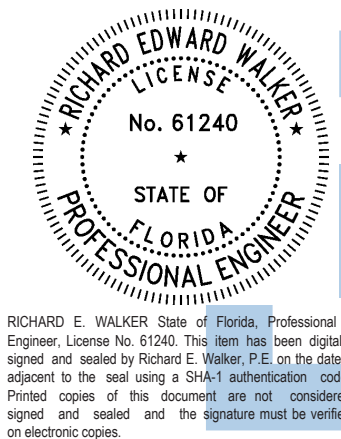


REAR ELEVATION
SCALE: 1/4" = 1'-0"

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SQ FOOTAGE	
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2ND FLOOR:	N/A
OTHER:	N/A
TOTAL H/C:	1176
FRONT PORCH:	48
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GARAGE:	N/A
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TOTAL U/R:	1224



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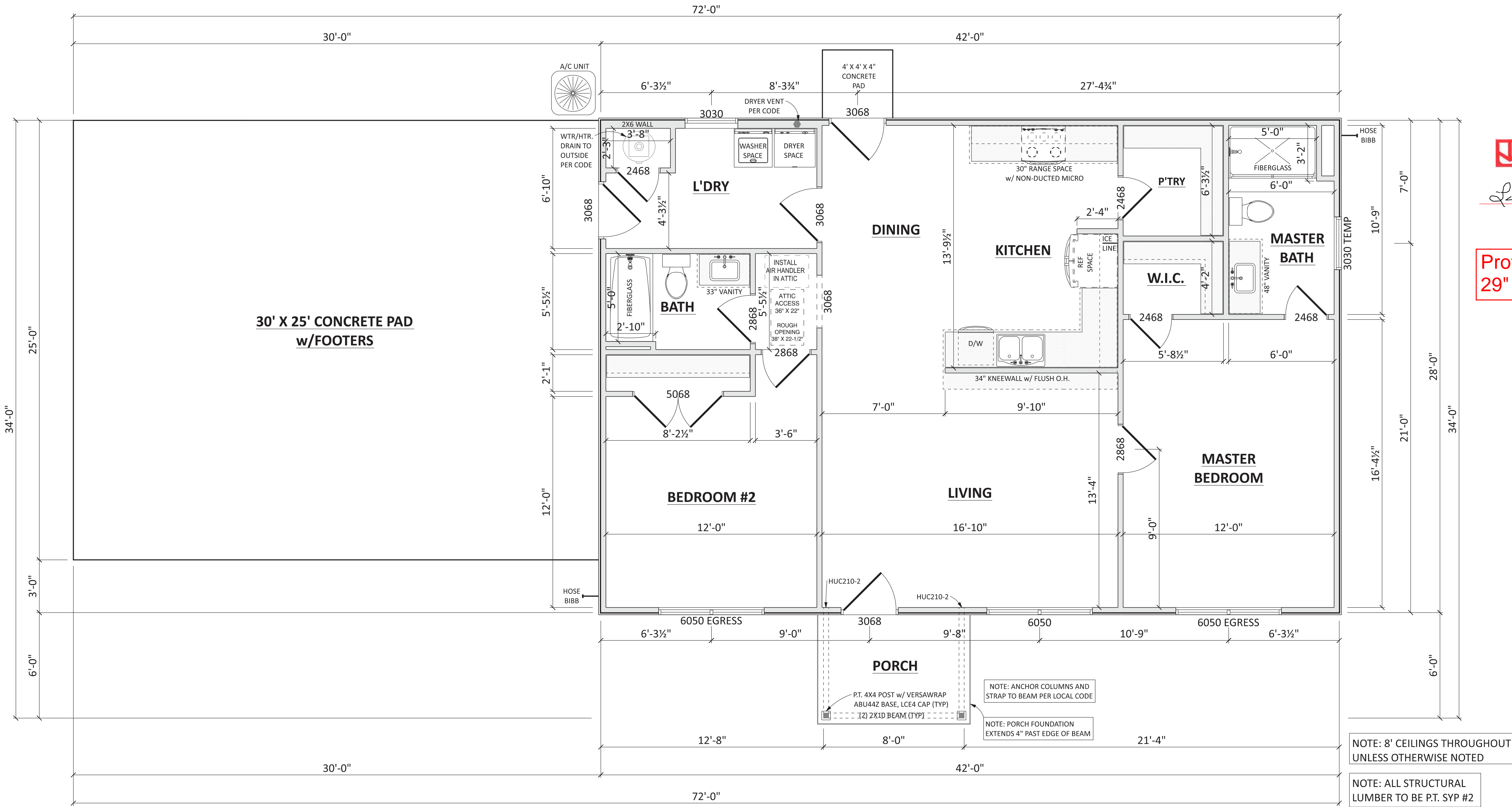


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CLOSET LIGHTS SHALL NOT BE CLOSER TO ASSUMED 12" SHELF THAN 12" FOR INCANDESCENT, AND 6" FOR FLOURESCENT

BEDROOM WINDOWS MUST HAVE A CLEAR OPENING (MIN. 20" WIDE, 24" HIGH AND 5.0 SQ/FT OF CLEAR OPENING @ GROUND FLOOR AND 5.7 SQ/FT ABOVE GROUND FLOOR.) WITH MINIMUM SILL HEIGHT NOT MORE THAN 44" ABOVE FLOOR. WINDOWS SIZES ARE NOMINAL SIZES. CONFIRM AND VERIFY SIZE, TYPE, ETC. WITH BUILDER AND/OR HOMEOWNER.



FLOOR PLAN
SCALE: 1/4" = 1'-0"

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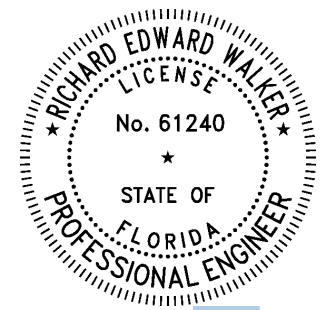
PX2707 02/03/2025

Provide handicap bathroom with with 29" clear opening doors per FBC R320

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RICHARD E. WALKER, State of Florida, Professional Engineer, License No. 61240. This plan has been digitally signed and sealed by Richard E. Walker, P.E., on the date adjacent to the seal using a SHA-256 authentication code. Printed copies of this document are not considered signed and sealed and the signature must be verified on electronic copies.

Digitally signed by Richard E Walker
Date: 2025.01.29 11:14:19-05'00'

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A2

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LAKE CITY, FL 32025

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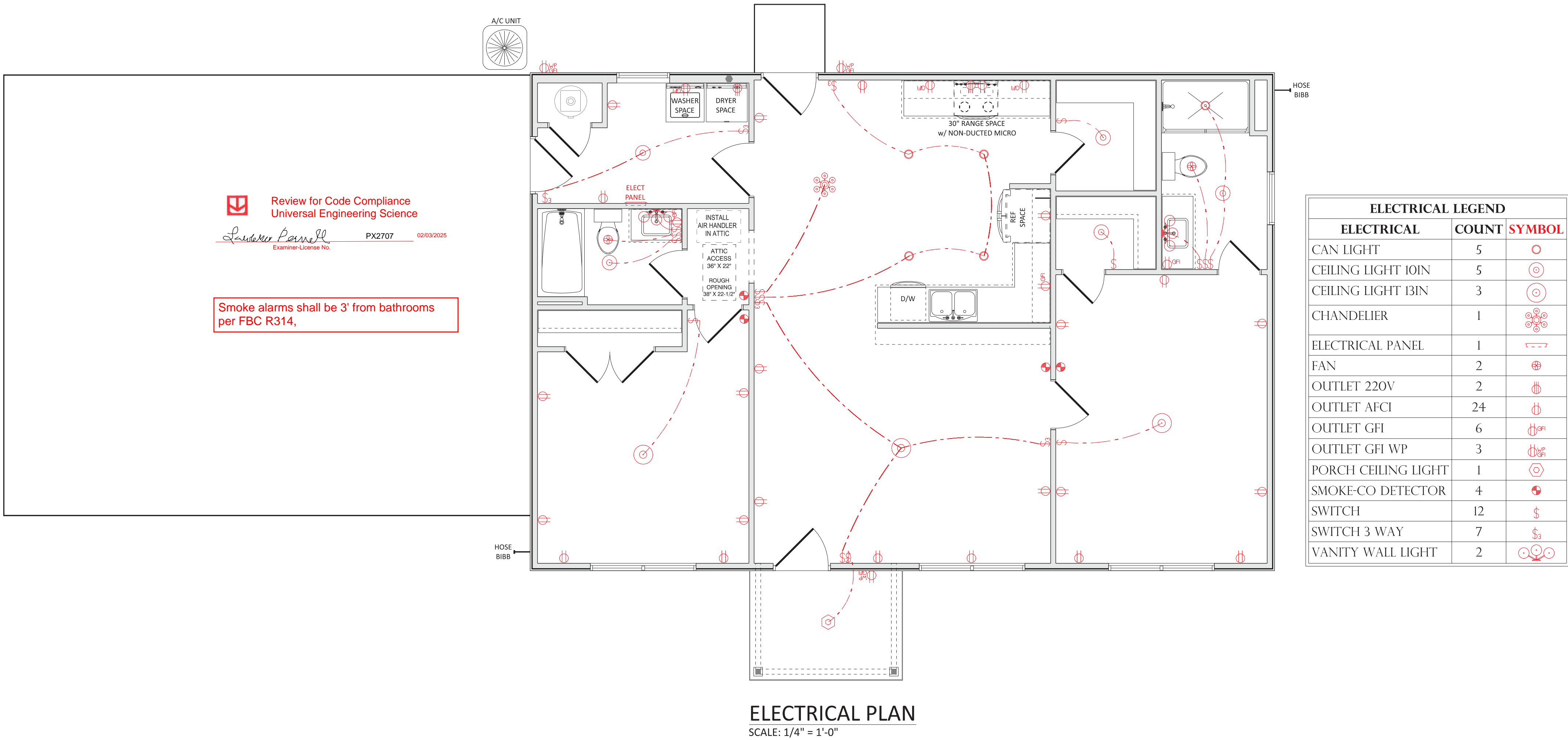
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GENERAL ELECTRICAL NOTES:

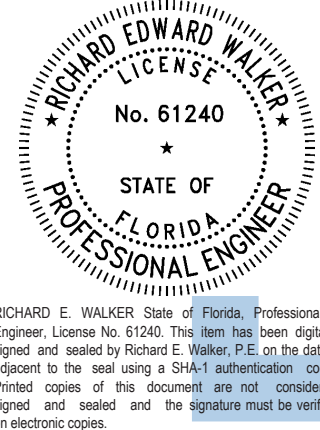
- 200 AMP ELECTRICAL SERVICE LOCATION TO BE DETERMINED.
- ALL WORKMANSHIP, INSTALLATION, AND MATERIALS SHALL COMPLY WITH THE N.E.C. AND LOCAL APPLICABLE CODES.
- BUILDER SHALL VERIFY SERICE LOCATION AND METER WITH THE LOCAL UTILITY.
- ALL CONDUCTORS SHALL BE COPPER AND/OR ALUMINMUM.
- BUILDER SHALL PROVIDE A TYPE WRITTEN DIRECTORY OF CIRCUITS IN THE PANEL.
- MECHANICAL CONTRACTOR SHALL PROVIDE THE ELECTRICAL CONTRACTOR WITH THE MANUFACTURERS RECOMENDED WIRE SIZE AND BREAKER SIZE FOR THE AC MECHANICAL EQUIPMENT PRIOR TO ANY MECHANICAL OR ELECTRICAL INSTALLATION.
- ALL ELECTRICAL FIXTURES TO BE INSTALLED PER MANUFACTURERS INSTALLATION REQUIREMENTS AND LOCAL APPLICABLE CODE.
- ALL RECEPTACLES TO BE TAMPER RESISTANT.
- CLOSET LIGHTS SHALL NOT BE CLOSER TO ASSUMED 12" SHELF THAN 12" FOR INCANDESCENT, AND 6" FOR FLOURESCENT.
- ALL INTERIOR AND EXTERIOR LIGHTING MEETS OR EXCEEDS THE MIN. 75% HIGH-EFFICACY LIGHTING.
- ALL ELECTRICAL FIXTURES SHOWN ARE SYMBOLIC. CONFIRM WITH BUILDER AND/OR HOMEOWNER FOR TYPE.



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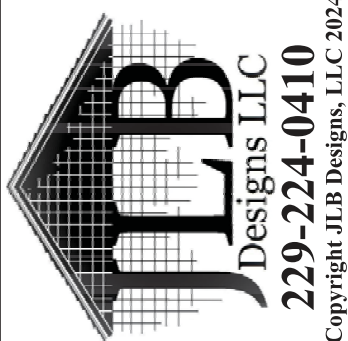
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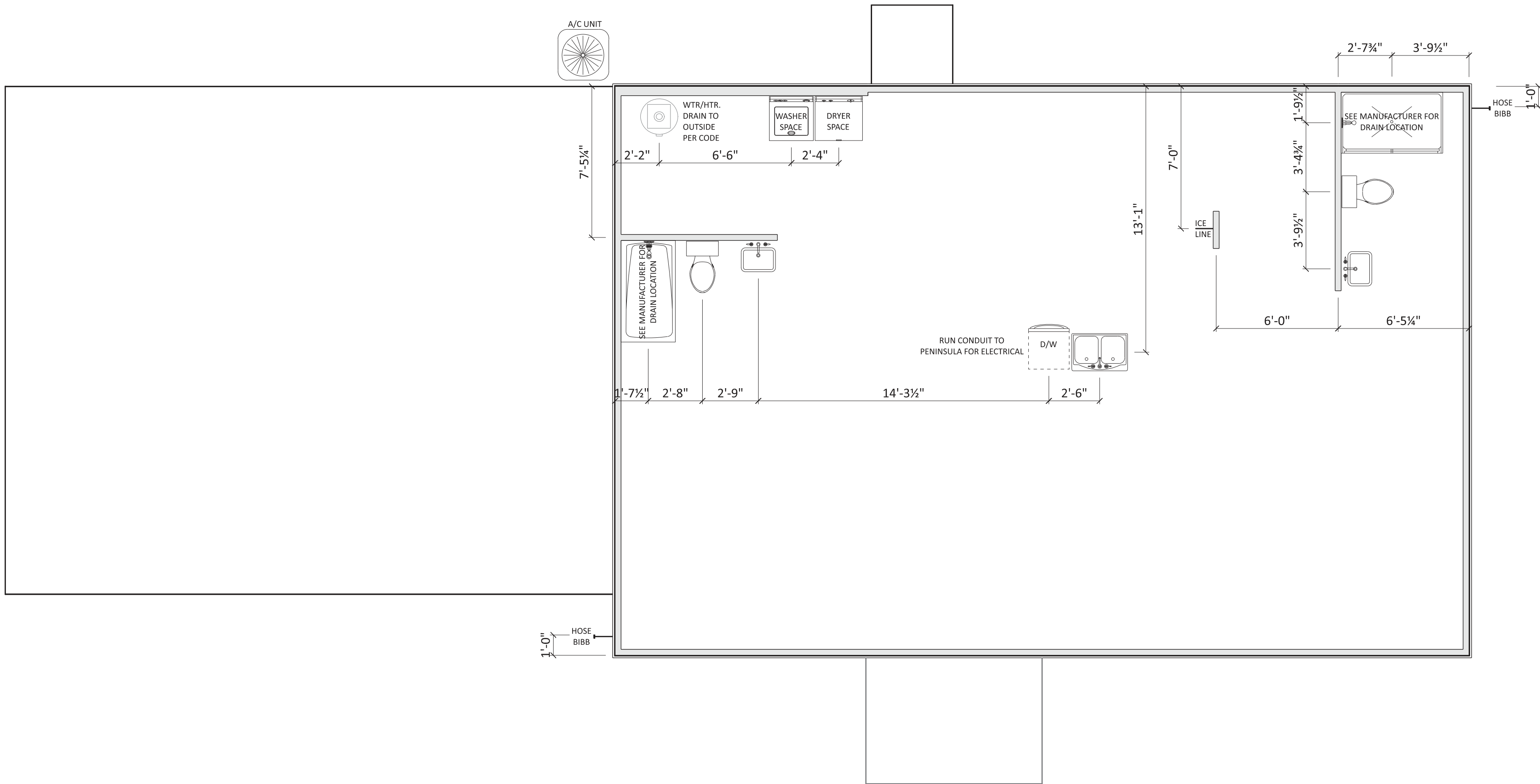
SQ FOOTAGE	
1ST FLOOR:	1176
2ND FLOOR:	N/A
OTHER:	N/A
TOTAL H/C:	1176
FRONT PORCH:	48
REAR PORCH:	N/A
GARAGE:	N/A
OTHER:	N/A
TOTAL U/R:	1224



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- GENERAL PLUMBING NOTES:
1. ALL WORK MUST BE DONE IN ACCORDANCE WITH INTERNATIONAL PLUMBING AND/OR FLORIDA BUILDING CODE AND LOCAL REGULATIONS.
 2. PROVIDE P.V.C. REFRIGERANT LINES AS REQUIRED. COORDINATE WITH THE MECHANICAL CONTRACTOR.
 3. PROVIDE 2" MINIMUM CONDENSATION LINES FOR AIR HANDLER UNIT(S). COORDINATE WITH THE MECHANICAL CONTRACTOR.
 4. PROVIDE DRAIN TO WATER HEATER(S).
 5. PROVIDE HOSE BIBS AS SHOWN.
 6. SLOPE ALL DRAIN LINES PER LOCAL CODE.
 7. ALL P.V.C. LINES SHALL BE SCHEDULE - 40 P.V.C.
 8. UTILITY STUBOUT LOCATIONS TO BE DETERMINED.
 9. VERIFY ALL PLUMBING FIXTURE LOCATIONS w/ FLOOR PLAN AND SITE CONDITIONS PRIOR TO CONSTRUCTION.
 10. ALL PLUMBING FIXTURES SHOWN ARE SYMBOLIC. CONFIRM TYPE w/BUILDER AND/OR HOMEOWNER.



PLUMBING PLAN
SCALE: 1/4" = 1'-0"

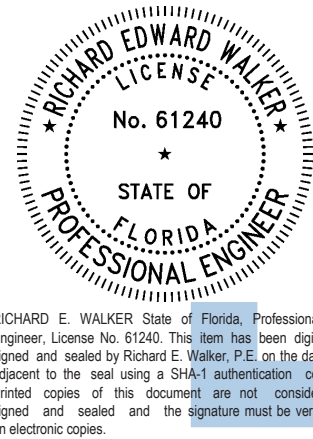
NOTE: VERIFY PLUMBING
LAYOUT WITH FLOOR PLAN

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Universal Engineering Science
Richard E. Walker PX2707 02/03/2025
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SQ FOOTAGE	
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OTHER:	N/A
TOTAL H/C:	1176
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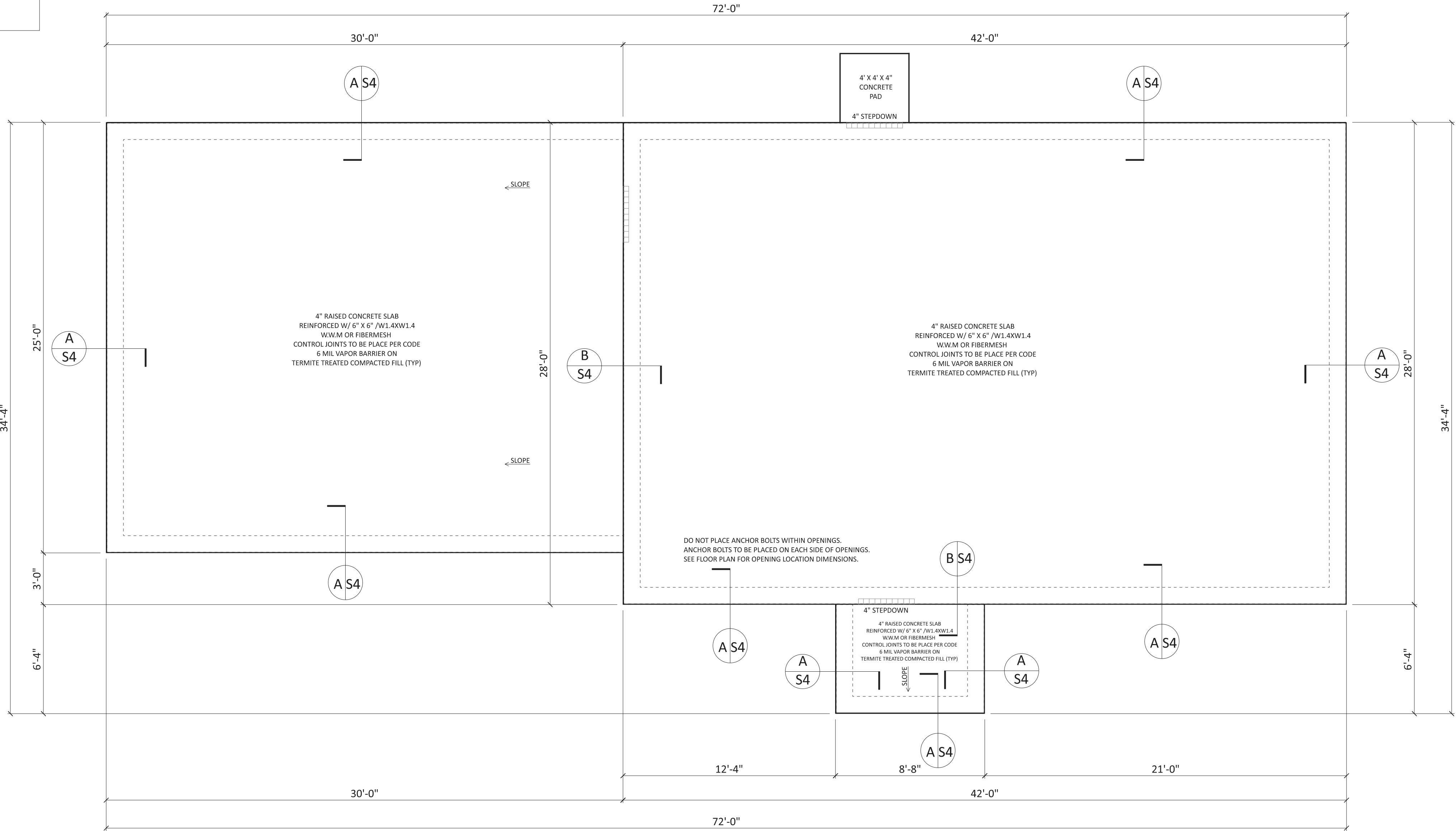
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- FOUNDATION NOTES:
1. APPLICABLE CODES: FLORIDA BUILDING CODE (FBC) 8th EDITION (2023) ACI-318-19,ACI-ASCE 7-22
 2. ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY CYLINDER COMPRESSIVE STRENGTH (f'c) OF 3000 PSI.
 3. REINFORCING BARS: ASTM A-615, GRADE 60
 4. WELDED WIRE FABRIC: ASTM A-185.
 - WELDED WIRE FABRIC SHALL BE SUPPORTED AND CAST IN PLACE SO THAT THE WIRE REMAINS IN THE MIDDLE ONE-THIRD OF THE SLAB.
 5. MASONRY JOINT REINFORCEMENT: ASTM A-82, 9 GAUGE
 6. BLOCK: ASTM C-90, TYPE N
 7. MORTAR: ASTM C-270, TYPE M
 8. GROUT: ASTM C-476, (3000 PSI MIN.)
 9. REINFORCING BAR SPLICES SHALL BE LAPPED 26" MINIMUM AND TIED SECURELY. DO NOT WELD. WELDED WIRE FABRIC SHALL BE LAPPED 12" MINIMUM.
 10. REINFORCING BARS SHALL RUN CONTINUOUS AROUND CORNERS AND INTERSECTIONS.
 11. THE MINIMUM PROTECTIVE CONCRETE COVER FOR REINFORCING BARS SHALL BE AS FOLLOWS:
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ---- 3"
EXPOSED TO EARTH AND WEATHER ----- 2"
 12. ALL LOAD BEARING WALLS, COLUMNS, AND PEIRS SHALL BE FOUNDED ON FOOTINGS OR GRADE BEAMS AS DETAILED.
 13. PROVIDE ANCHORAGE (ANCHOR BOLTS) IN ACCORDANCE WITH BUILDING CODE REQUIREMENTS AND PROJECT WIND ANALYSIS.
 14. VERTICAL BARS- PROVIDE 3-#5 VERT. BARS AT EACH CORNER AND 1 AT 48" C.C. BEND BARS INTO FOOTING AND LINTLE AND TIE TO LINTLE BAR.
 - GROUT CELLS W/BARS SOLID.
 15. CONTRACTOR SHALL VERIFY ALL DIMENSIONS.

- SITE PREPARATION:
1. FOR SOIL BORINGS SEE REPORT BY JANIS ENGINEERING GROUP.
 2. DESIGN SOIL PRESSURE: 2000 PSF (ASSUMED BEARING CAPACITY)
 3. CLEAR/GRUB BUILDING FOOTPRINT AREA PLUS 10 FEET TO REMOVE ALL SURFACE VEGETATION, ROOTS ORGANICS AND ANY OTHER UNSUITABLE MATERIALS.
 4. CUT SITE TO GRADE AND ROLL-COMPACT EXISTING SOILS TO A FIRM CONDITION.
 5. ALL FILL SHALL CONSIST OF CLEAN FILL SAND COMPACTED IN LAYERS NOT EXCEEDING 12" THICK, LOOSE MEASURE, TO A MINIMUM OF 95% OF MAXIMUM DENSITY, MODIFIED PROCTOR. PROVIDE A MINIMUM 12" THICK LAYER OF CLEAN COMPACTED FILL SAND DIRECTLY BENEATH ALL SLAB AREAS.
 6. DO NOT PERMIT WATER TO STAND OR POND ON OR NEAR FOUNDATION AREA DURING OR AFTER CONSTRUCTION. SITE GRADING SHALL BE SUCH TO PROVIDE POSITIVE DRAINAGE OF SURFACE WATER RUNOFF AROUND AND AWAY FROM SLAB AREAS.

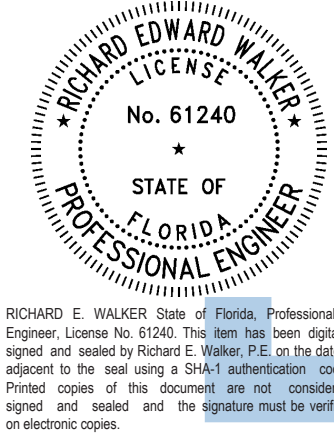
NOTE: SEE TYPICAL DETAILS PG S3

NOTE: SEE TYPICAL WALL SECTION DETAIL PG S3



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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Universal Engineering Science
Richard E. Walker
Examiner-License No. PX2707 02/03/2025



RICHARD E. WALKER, State of Florida, Professional Engineer, License No. 61240. This item has been digitally signed and sealed by Richard E. Walker, P.E., on 01/13/2025. Printed copies of this document are not considered signed and sealed until the signature has been verified on electronic copies.

Digitally signed
by Richard E Walker
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ATTIC VENTILATION NOTES

1. THE NET FREE VENTILATION AREA FOR THE ATTIC SPACE SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE TO BE VENTILATED W/ 50% OF THE REQUIRED VENTILATION AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED, AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS.

2. EXTERIOR OPENING INTO THE ATTIC SPACE SHALL BE COVERED W/ CORROSIVE RESISTANT WIRE CLOTH OR SIMILIAR MATERIAL. THE OPENINGS IN THE SCREENING SHALL BE A MINIMUM OF 1/8" AND SHALL NOT EXCEED 1/4".

3. ATTIC SPACE AREA = 1224 SQ FT
NET VENTILATION AREA REQUIRED = 8.16 SQ FT

GENERAL ROOF NOTES

1. 12" TYPICAL OVERHANG UNLESS OTHERWISE NOTED.

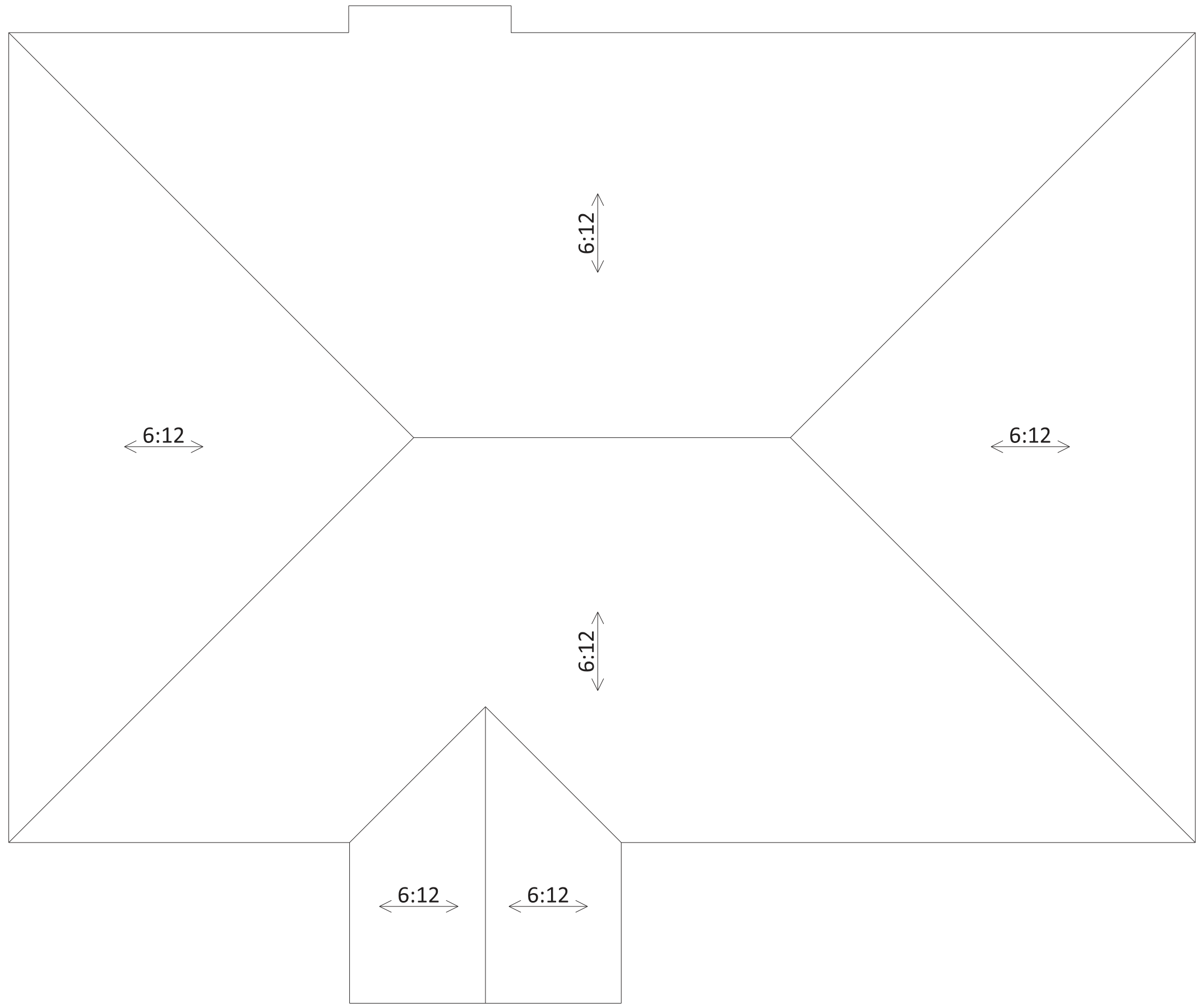
2. ROOF PITCH AS NOTED.

3. SEE ELEVATIONS FOR DORMER LOCATION(S) IF APPLICABLE.


4. ADJUST HEEL HEIGHTS TO ALIGN FASCIA WHEN DIFFERENT ROOF PITCH INTERSECTS.

5. ROOF TRUSSES TO PRE-FABRICATED, PRE-ENGINEERED. DRAWINGS TO BE SEALED BY A PROFESSIONAL ENGINEER.

6. SEE WIND ANALYSIS BY FLORIDA ENGINEERING, LLC. FOR HOLD DOWN CONNECTIONS, SHEATHING SIZES AND NAILING REQUIREMENTS.



ROOF PLAN
SCALE: 1/4" = 1'-0"

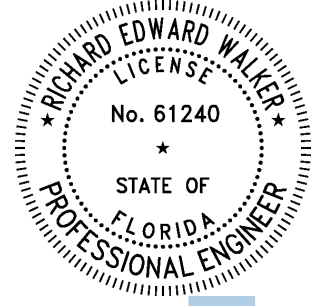
 Review for Code Compliance
Universal Engineering Science

Richard E. Walker PX2707 02/03/2025
Examiner License No.

BUILDER TO COORDINATE THESE PLANS
w/ WIND ANALYSIS, AND TRUSS PLANS
PRIOR TO CONSTRUCTION.

ALL DRAWINGS, DETAILS, AND SPECIFICATIONS
DESIGNED IN ACCORDANCE w/ FLORIDA BUILDING
CODE (FBC) 8th EDITION (2023) ACI-318-19, ACI-ASCE 7-22

ALL CONSTRUCTION SHALL MEET OR EXCEED ALL
APPLICABLE STATE, & LOCAL BUILDING CODES



Digitally signed
by Richard E
Walker
Date: 2025.01.29
11:14:20-05'00'

I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD, THAT THE BUILDING DESIGN AS SHOWN ON THESE PLANS (STRUCTURAL COMPLIANCE ONLY) AND AS ACCOMPANIED BY DESIGN AND SUPPORT DOCUMENTS, CONFORMS TO THE 2023 FLORIDA BUILDING CODE, 8TH EDITION. THIS CERTIFICATION DOES NOT INCLUDE ROOF TRUSS COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD.

THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2023 FLORIDA BUILDING CODE, 8TH EDITION WITH SUPPLEMENTS.



FLORIDA ENGINEERING, LLC
4161 TAMAMI TRAIL, UNIT 101
PORT CHARLOTTE, FL 33952
PH: (941) 391-5980
FAX: (941) 979-8196



S2

Designed Exclusively for:

STEVEN & SUSAN DEANE
1148 SE COUNTY ROAD 252
LAKE CITY, FL 32025

CUSTOMER SIGNATURE

SQ FOOTAGE	
1ST FLOOR:	1176
2ND FLOOR:	N/A
OTHER:	N/A
TOTAL H/C:	1176
FRONT PORCH:	48
REAR PORCH:	N/A
GARAGE:	N/A
OTHER:	N/A
TOTAL U/R:	1224

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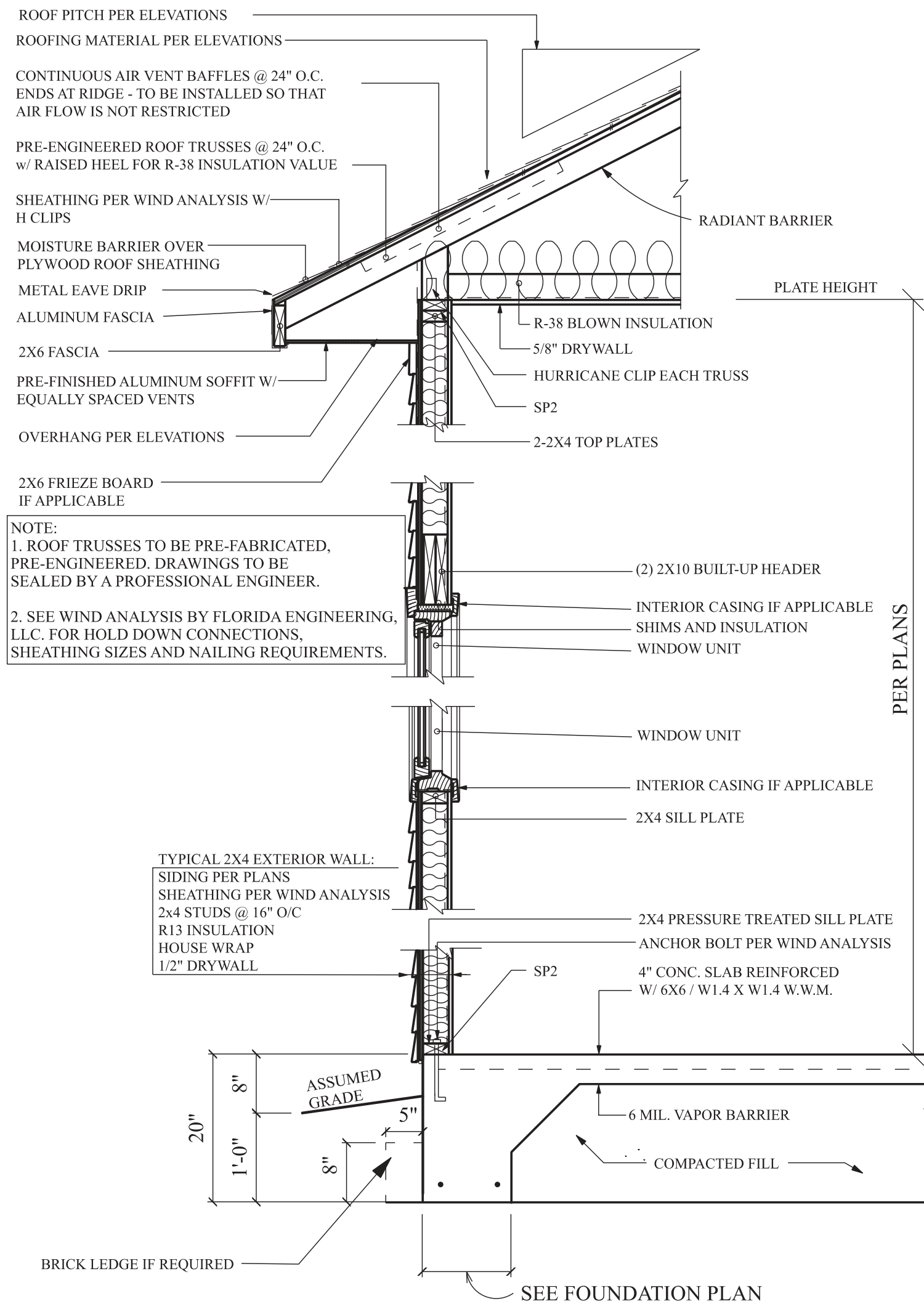
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FAMILY • HOMES
design | build | live



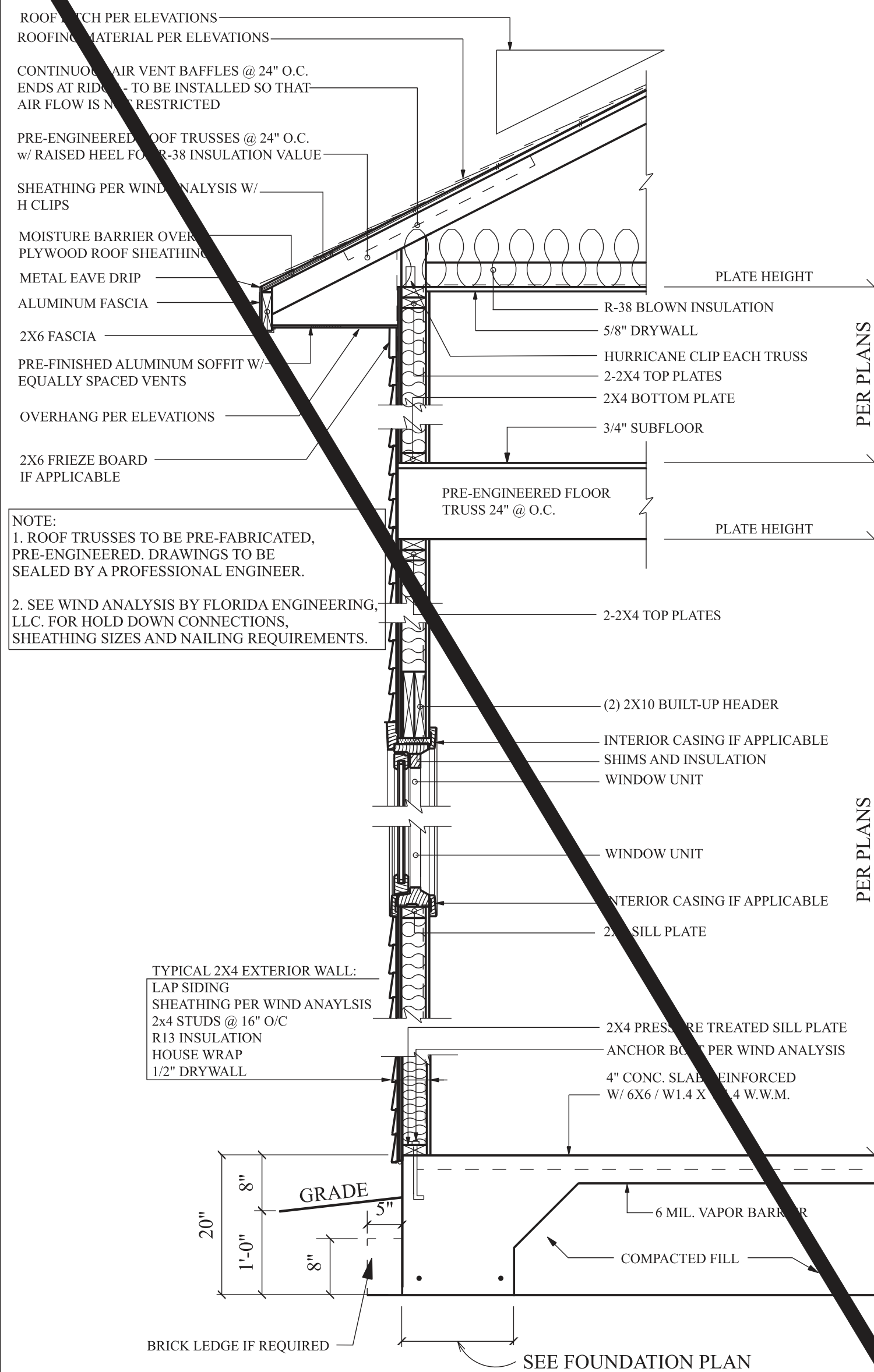
Quality Family Homes, LLC
1400 Village Square Blvd, #3-326
Tallahassee, FL 32312

TYPICAL WALL SECTION DETAIL

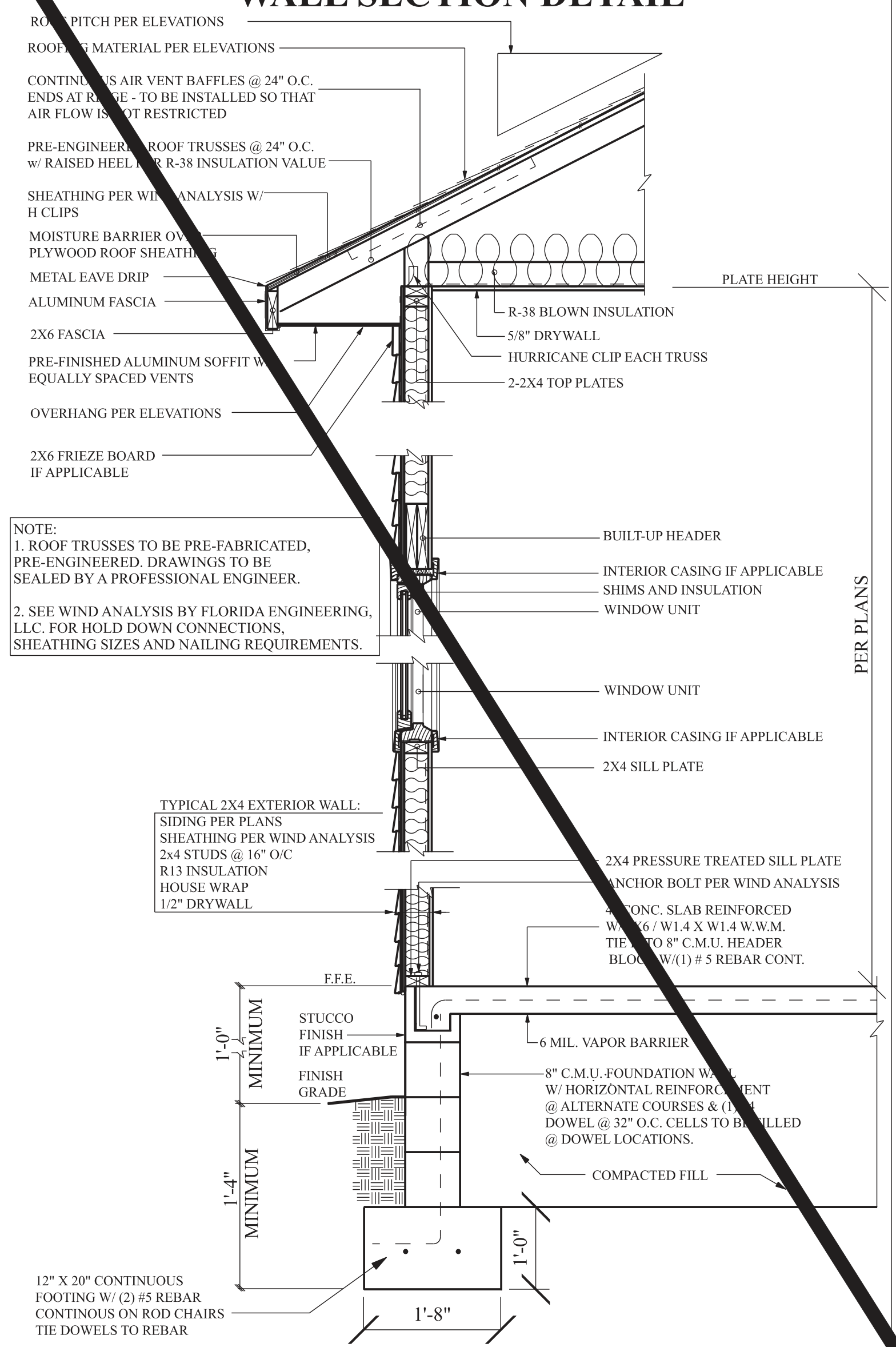
NOT TO SCALE



TYPICAL 2 STORY WALL SECTION DETAIL

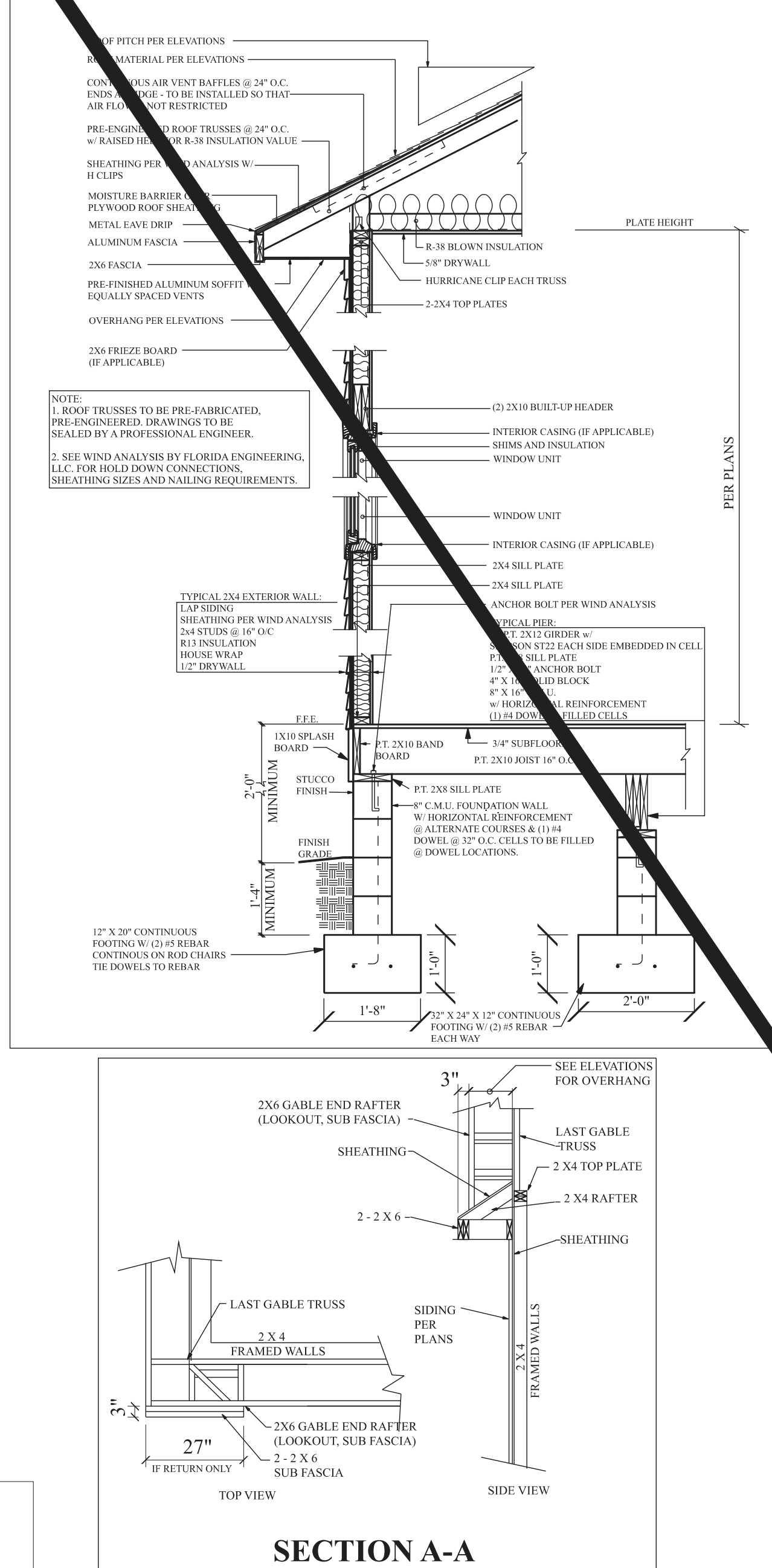


OPTIONAL TYPICAL STEMWALL SLAB WALL SECTION DETAIL

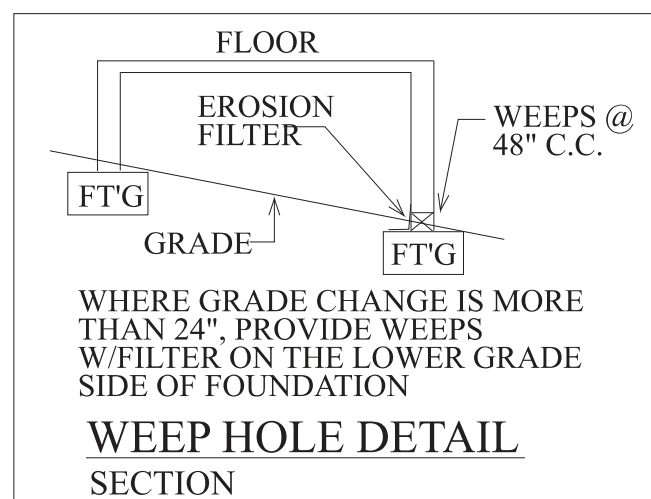
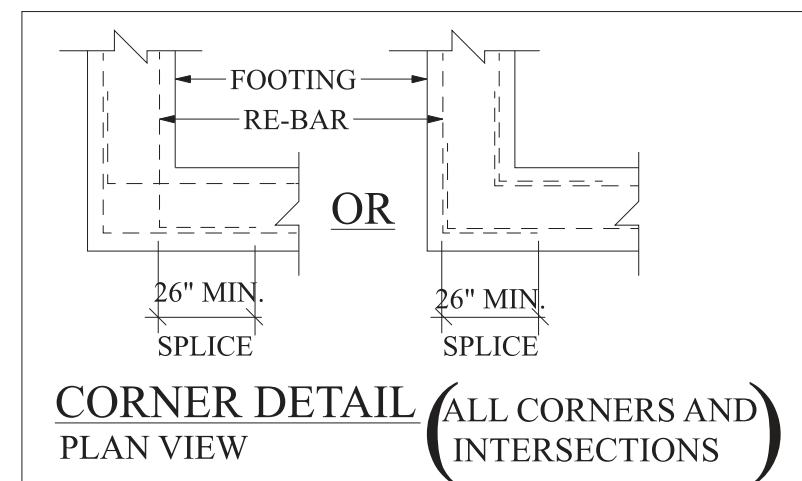
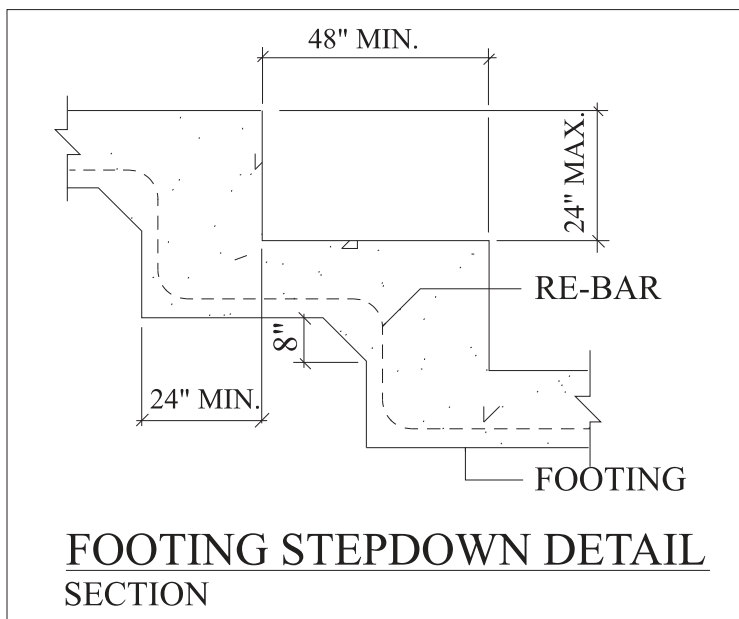
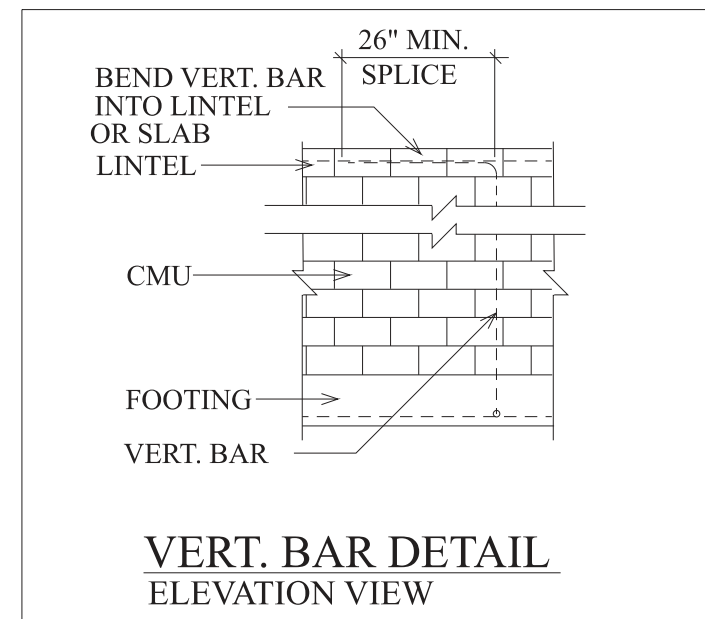


TYPICAL WALL SECTION DETAIL WOOD FLOOR

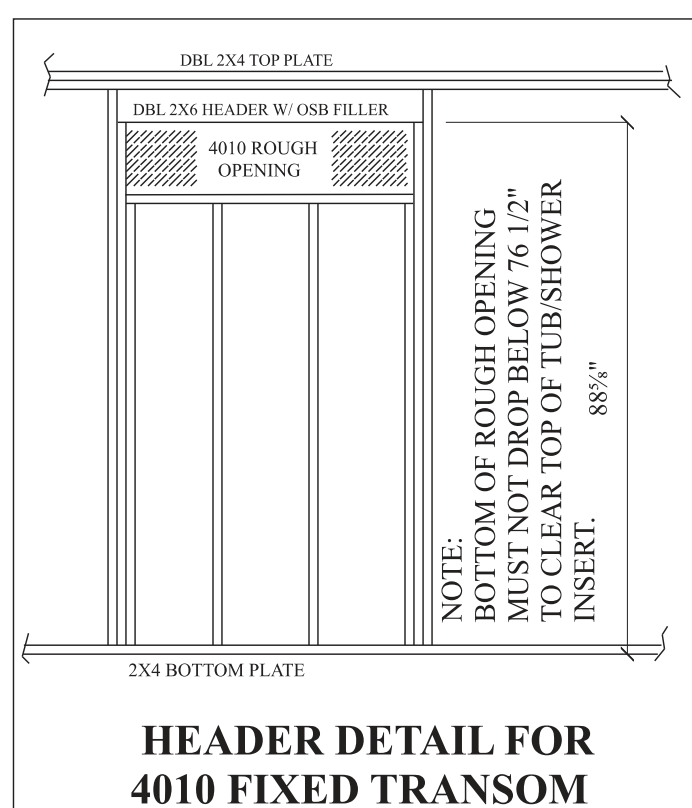
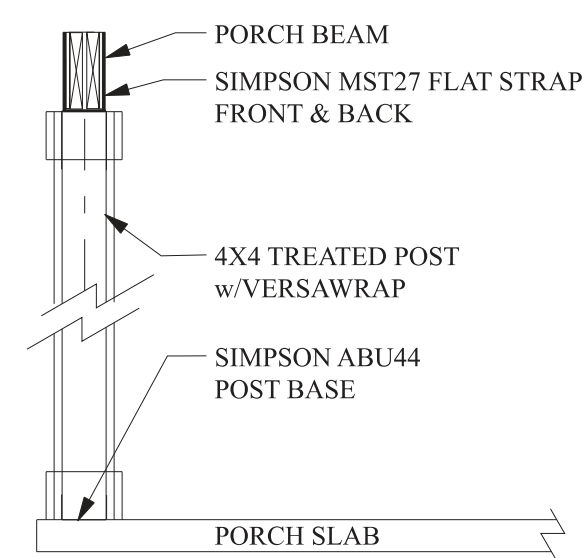
NOT TO SCALE



TYPICAL DETAILS

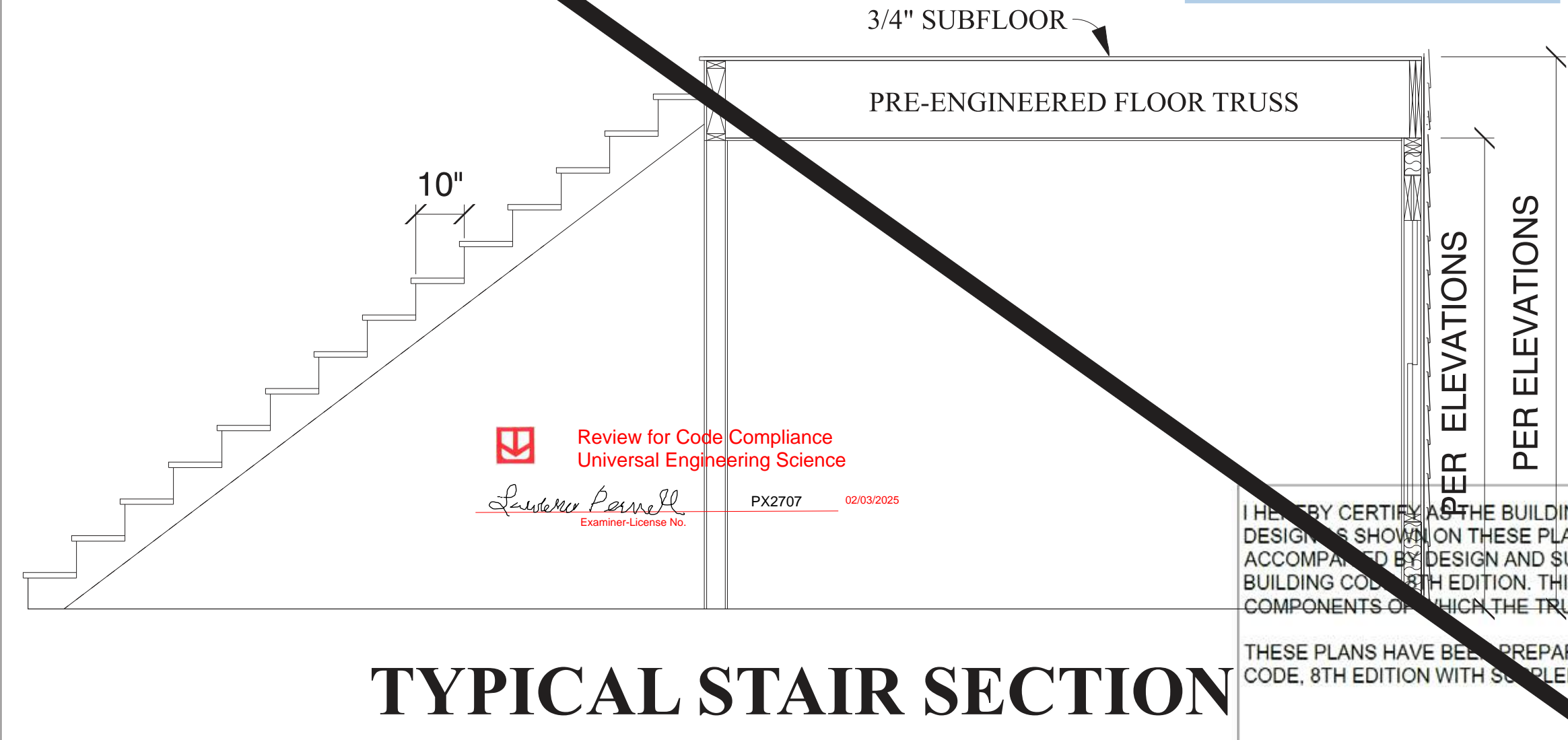


TYPICAL PORCH POST DETAIL

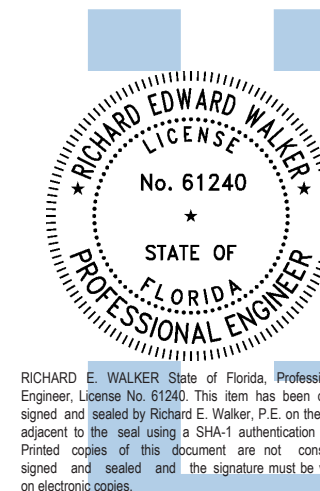


NOTE:
8' CEILING w/12" FLOOR SYSTEM = 15 TREADS @ 7.32"
8' CEILINGS w/16" FLOOR SYSTEM = 15 TREADS @ 7.59"
9' CEILING w/12" FLOOR SYSTEM = 16 TREADS @ 7.61"
9' CEILINGS w/16" FLOOR SYSTEM = 16 TREADS @ 7.75"

*ALL TREADS AND Riser DIMENSIONS TO BE FIELD VERIFIED**

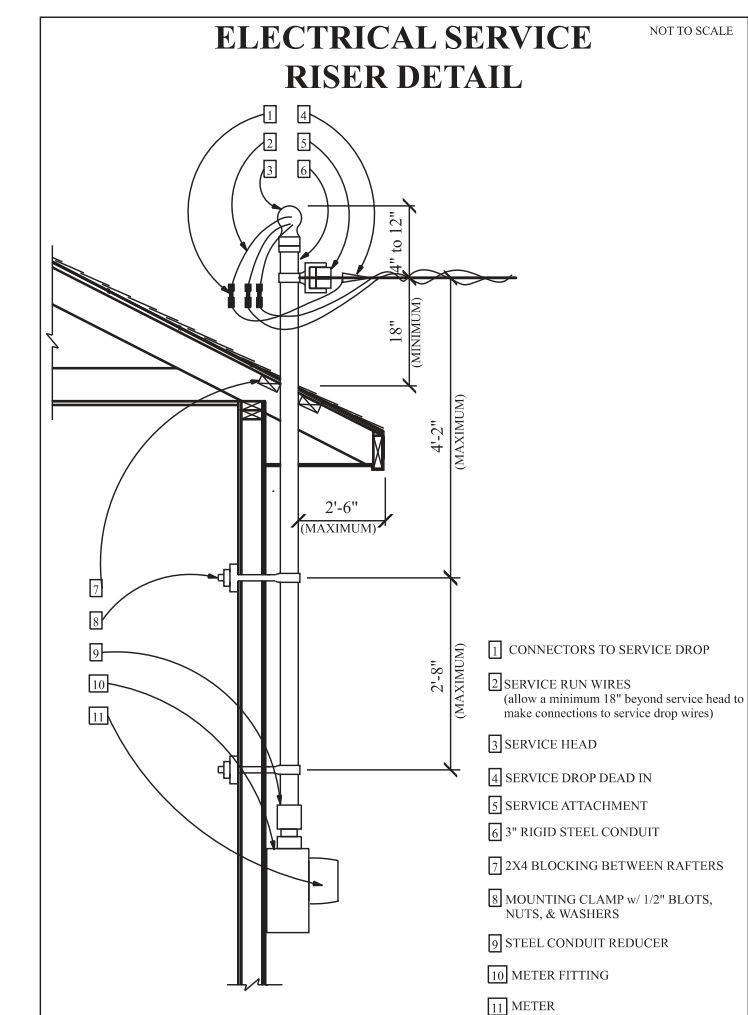


TYPICAL STAIR SECTION



Digitally signed
by Richard E
Walker
Date: 2025.01.29
11:14:21-05'00'

SECTION A-A



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CUSTOMER SIGNATURE

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1ST FLOOR:	1176
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GARAGE:	N/A
OTHER:	N/A
TOTAL U/R:	1224

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229-224-0410
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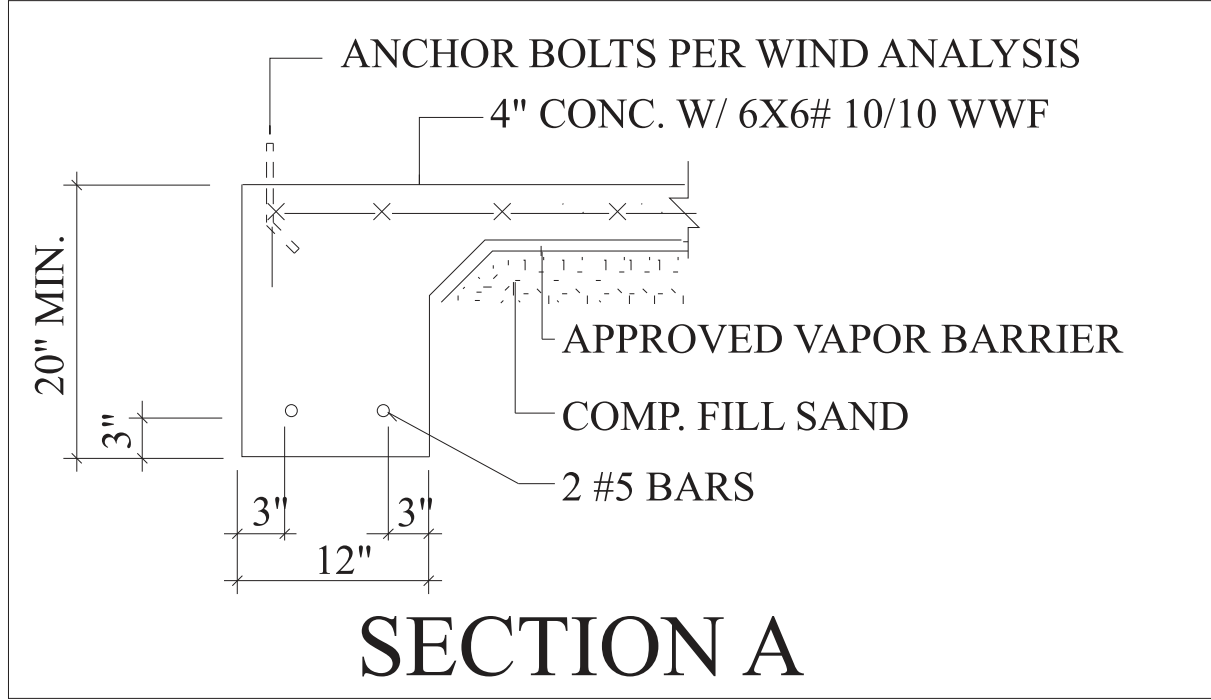
S3

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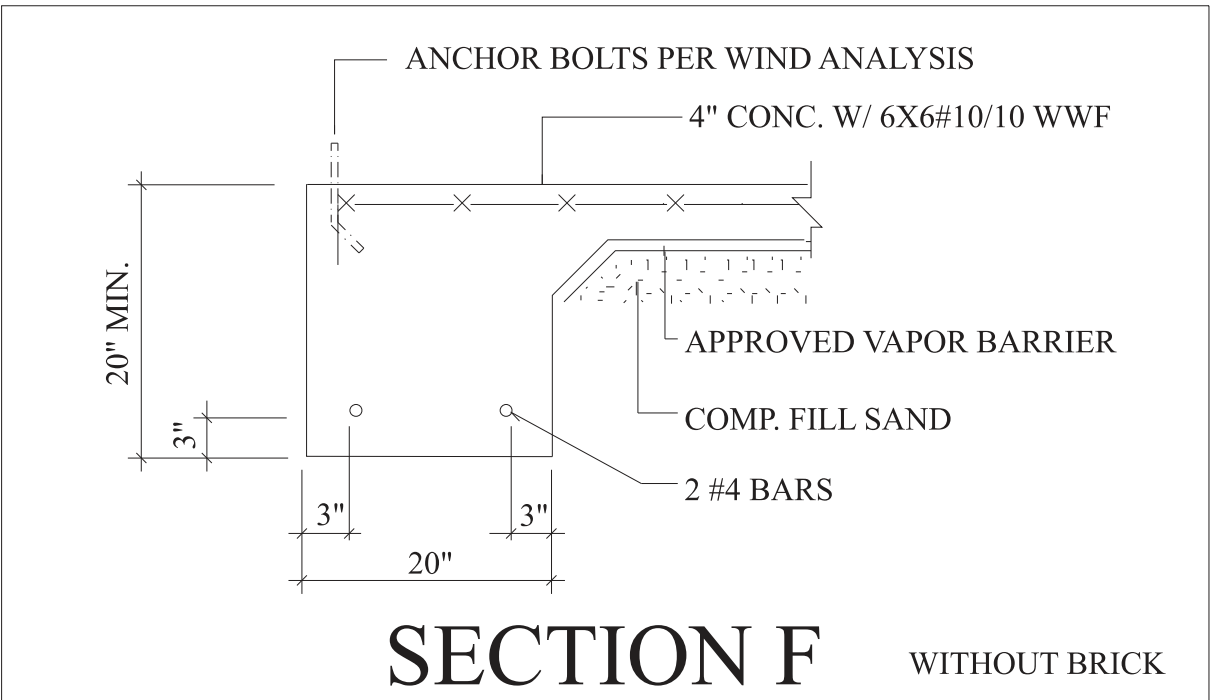
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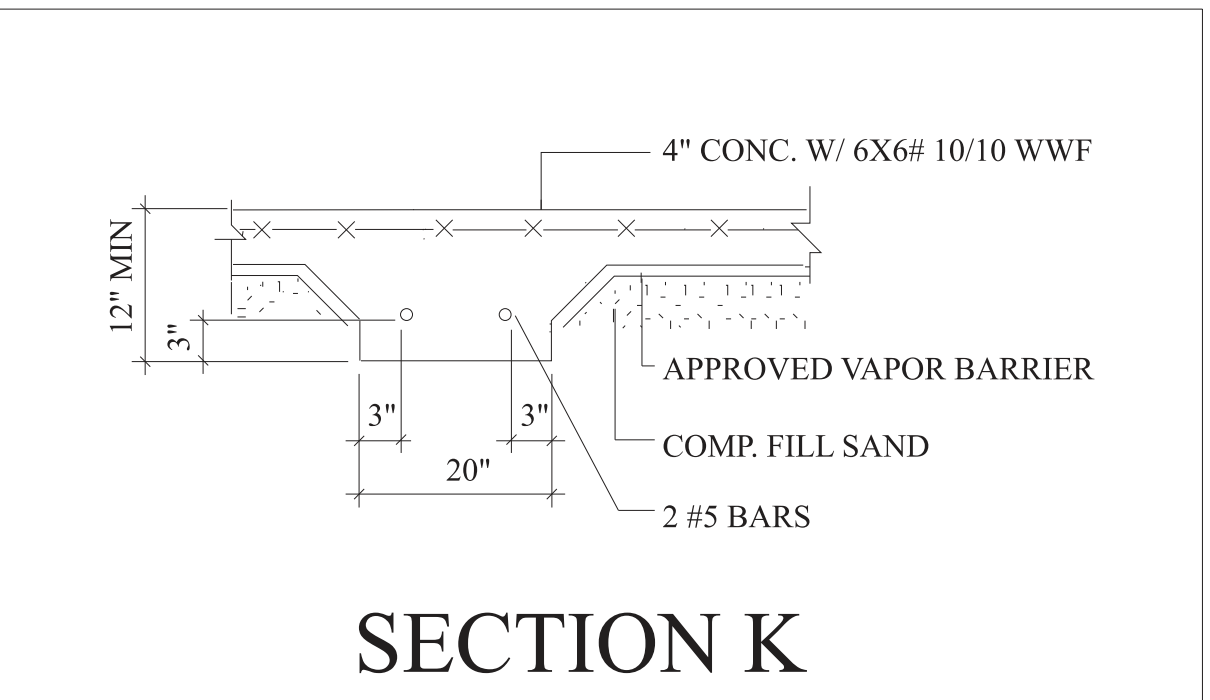
CUSTOMER SIGNATURE



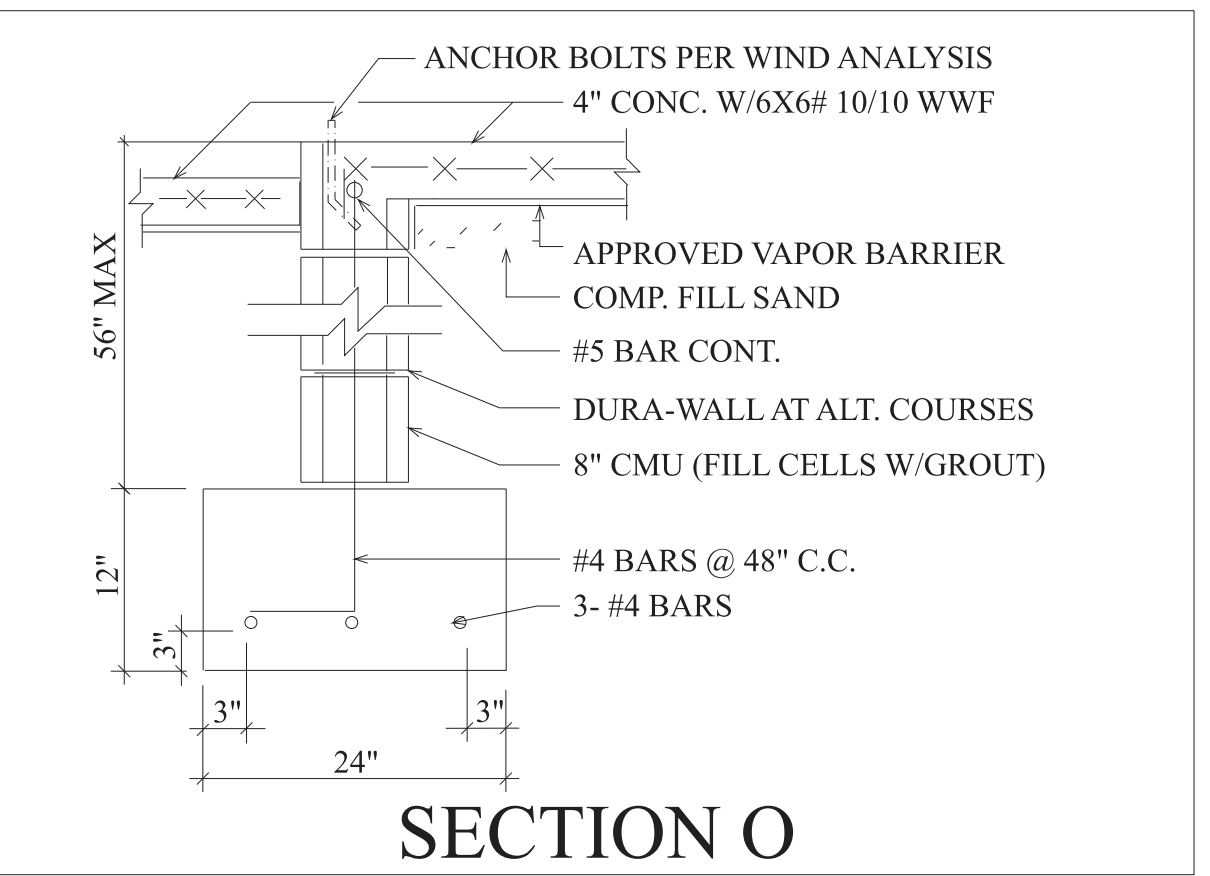
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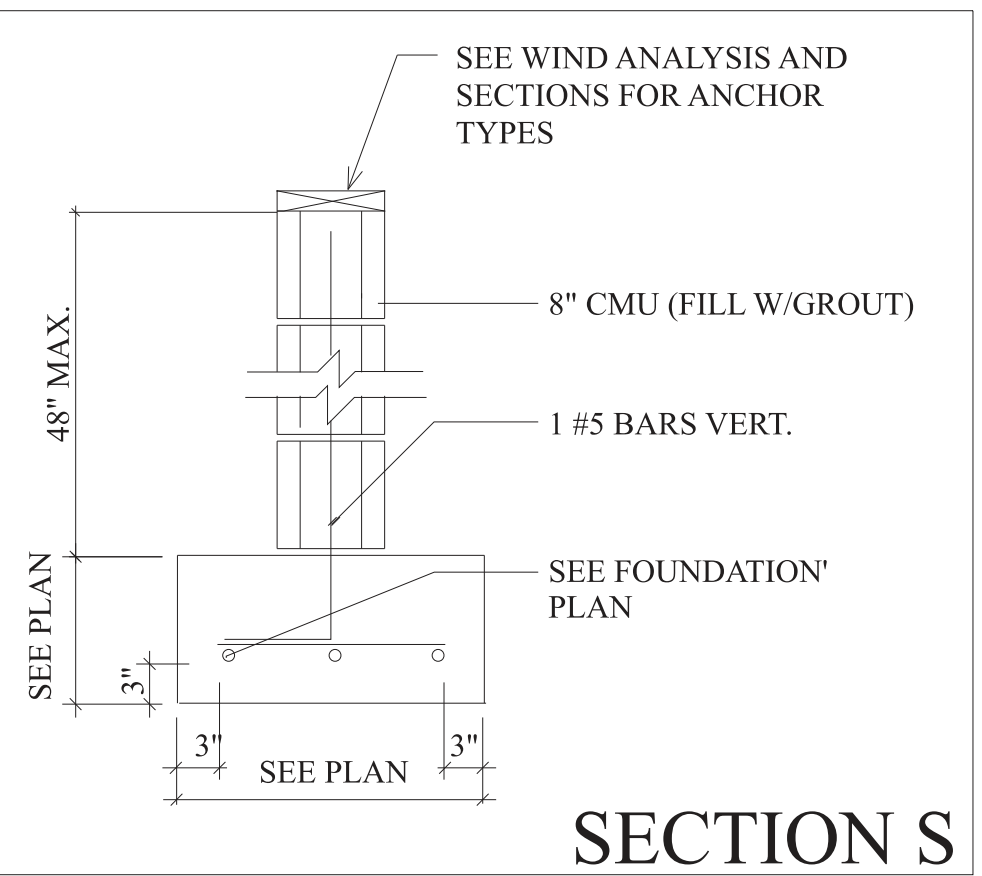
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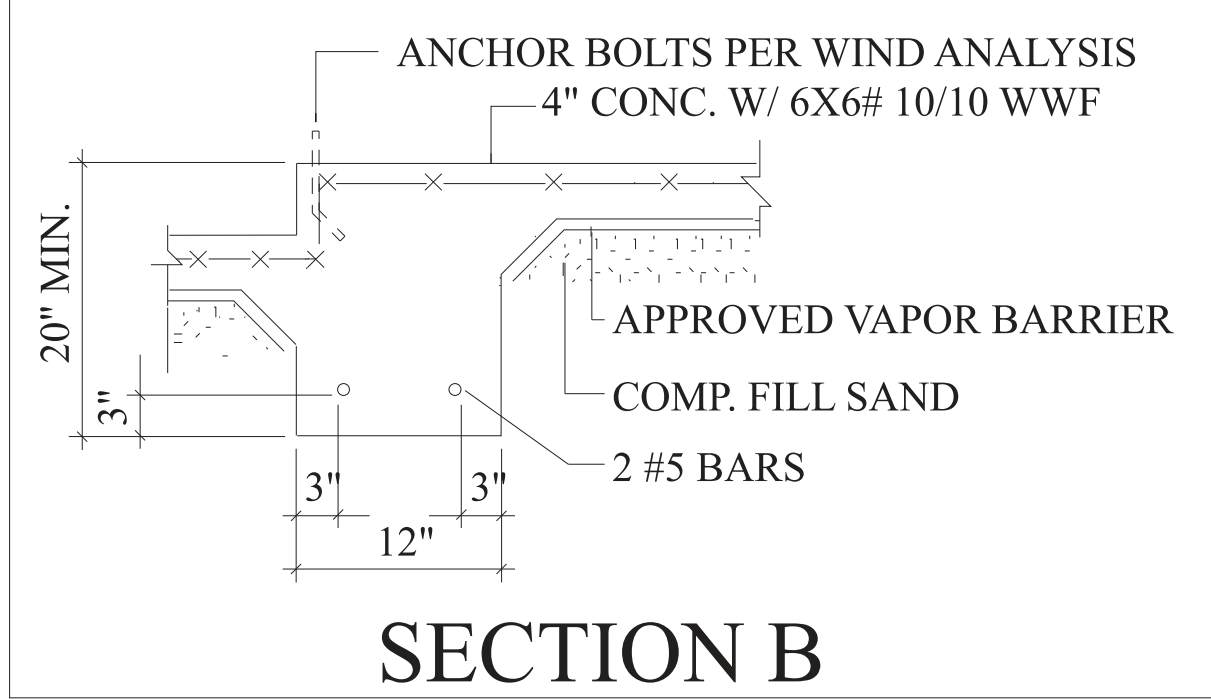
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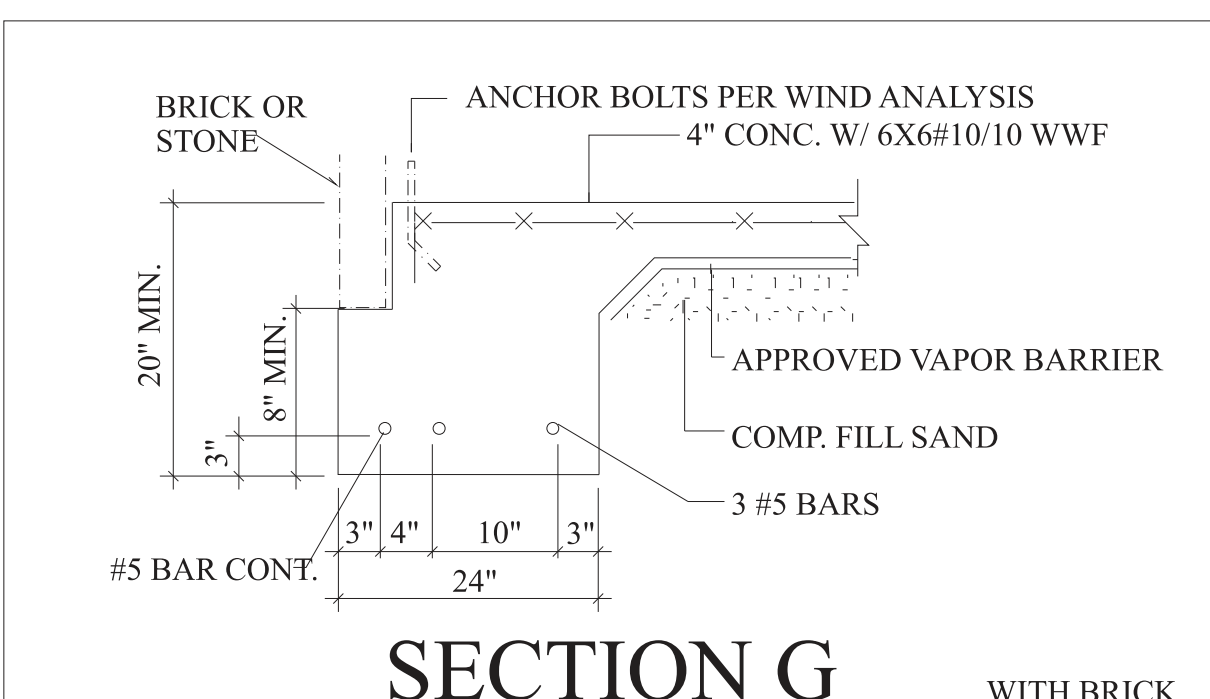
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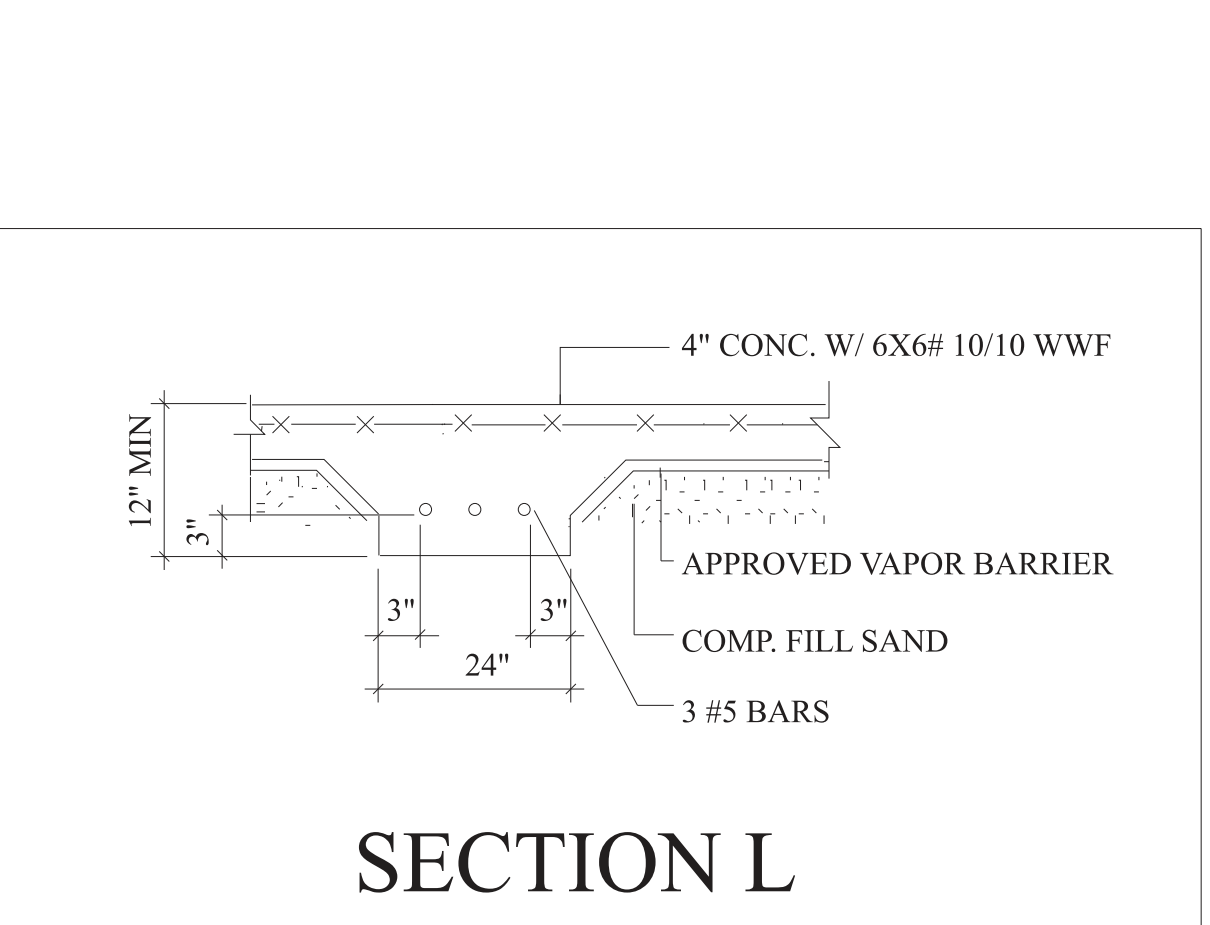
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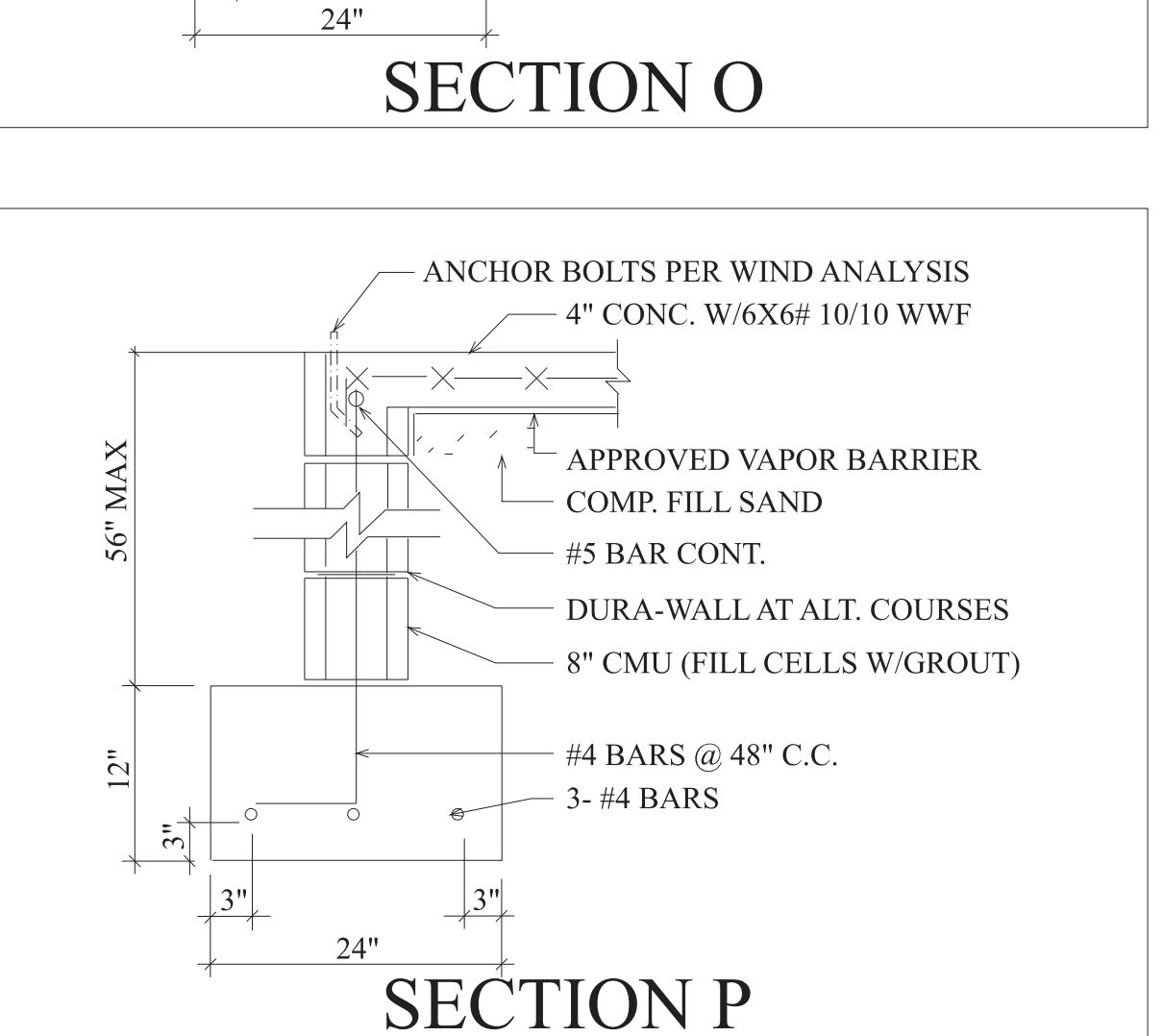
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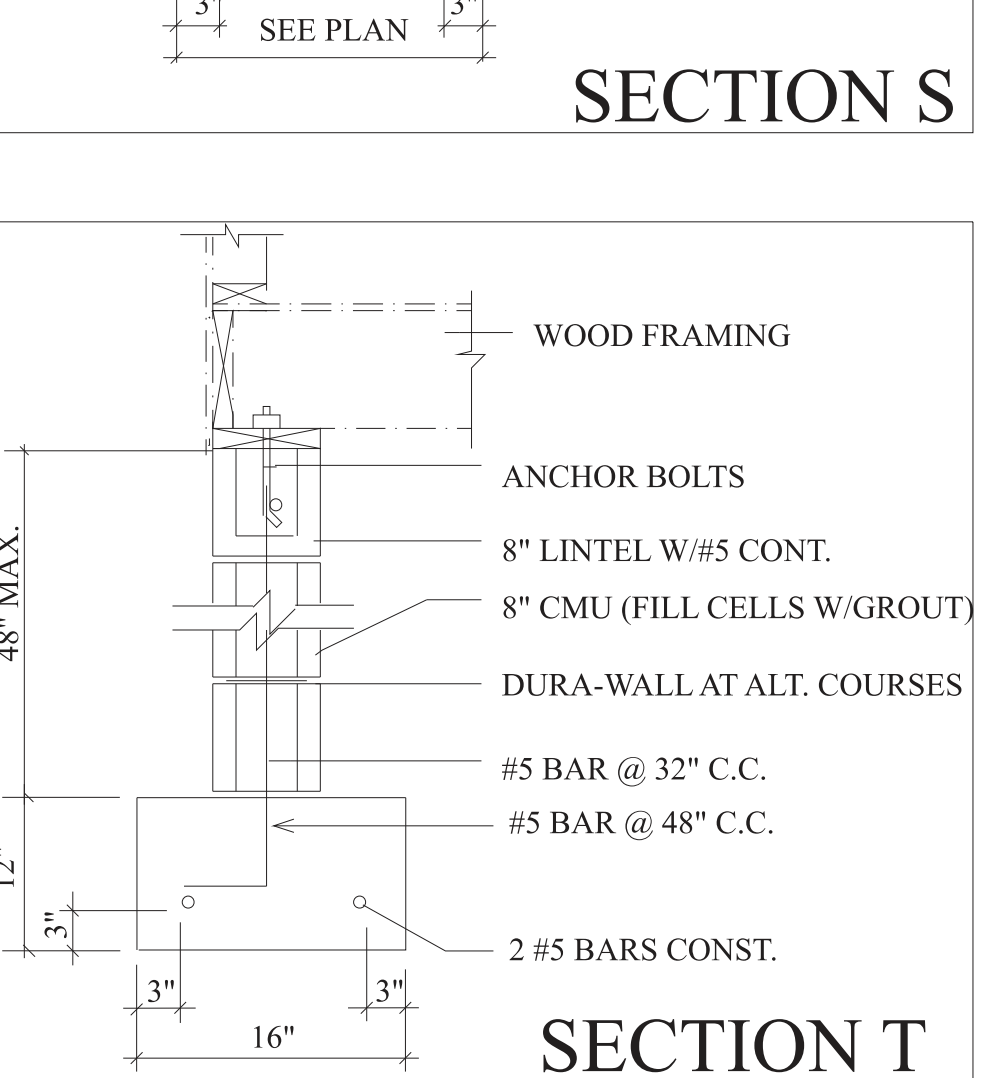
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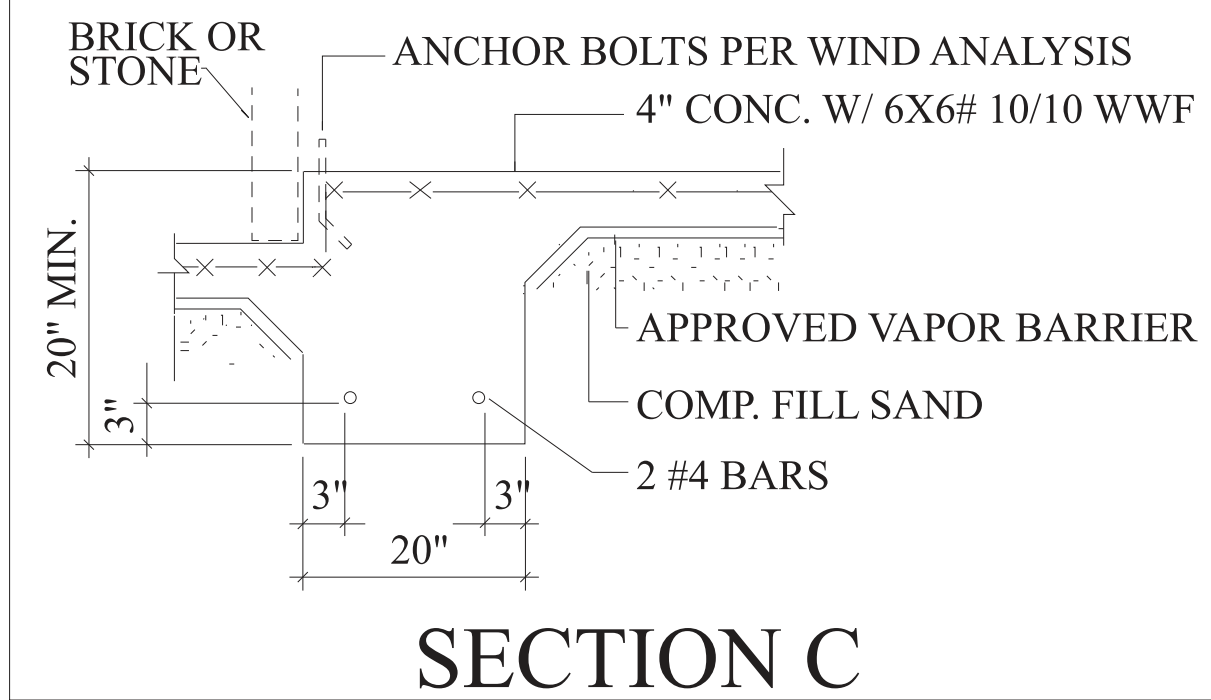
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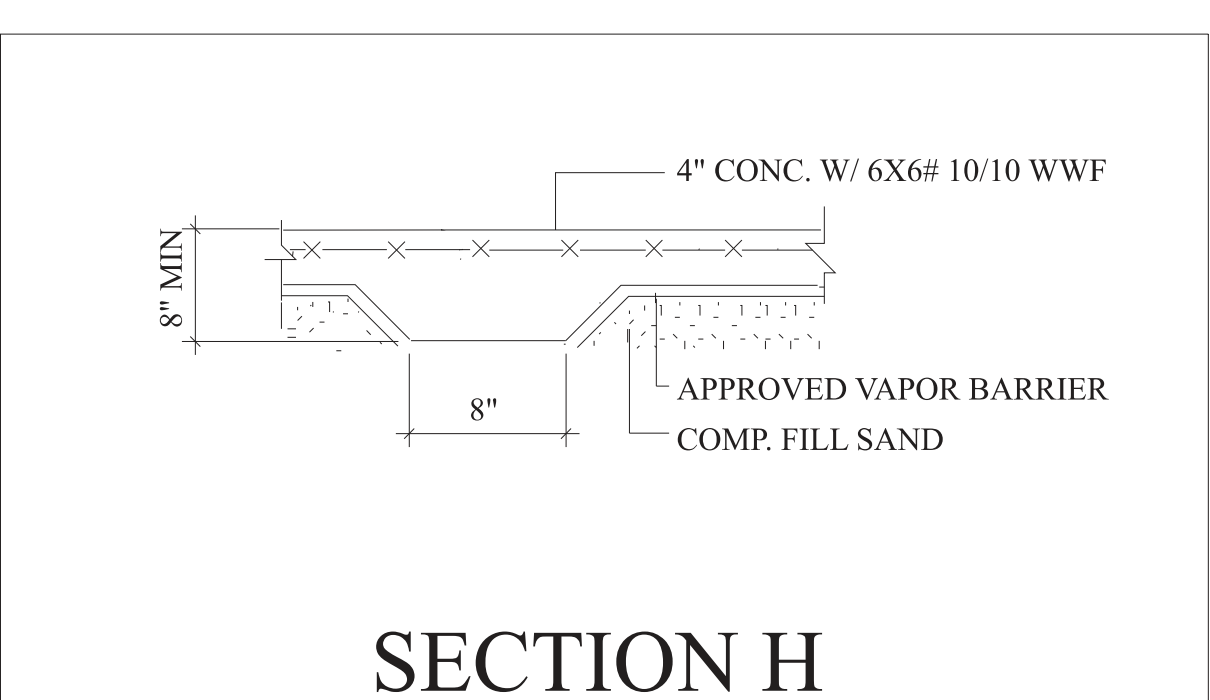
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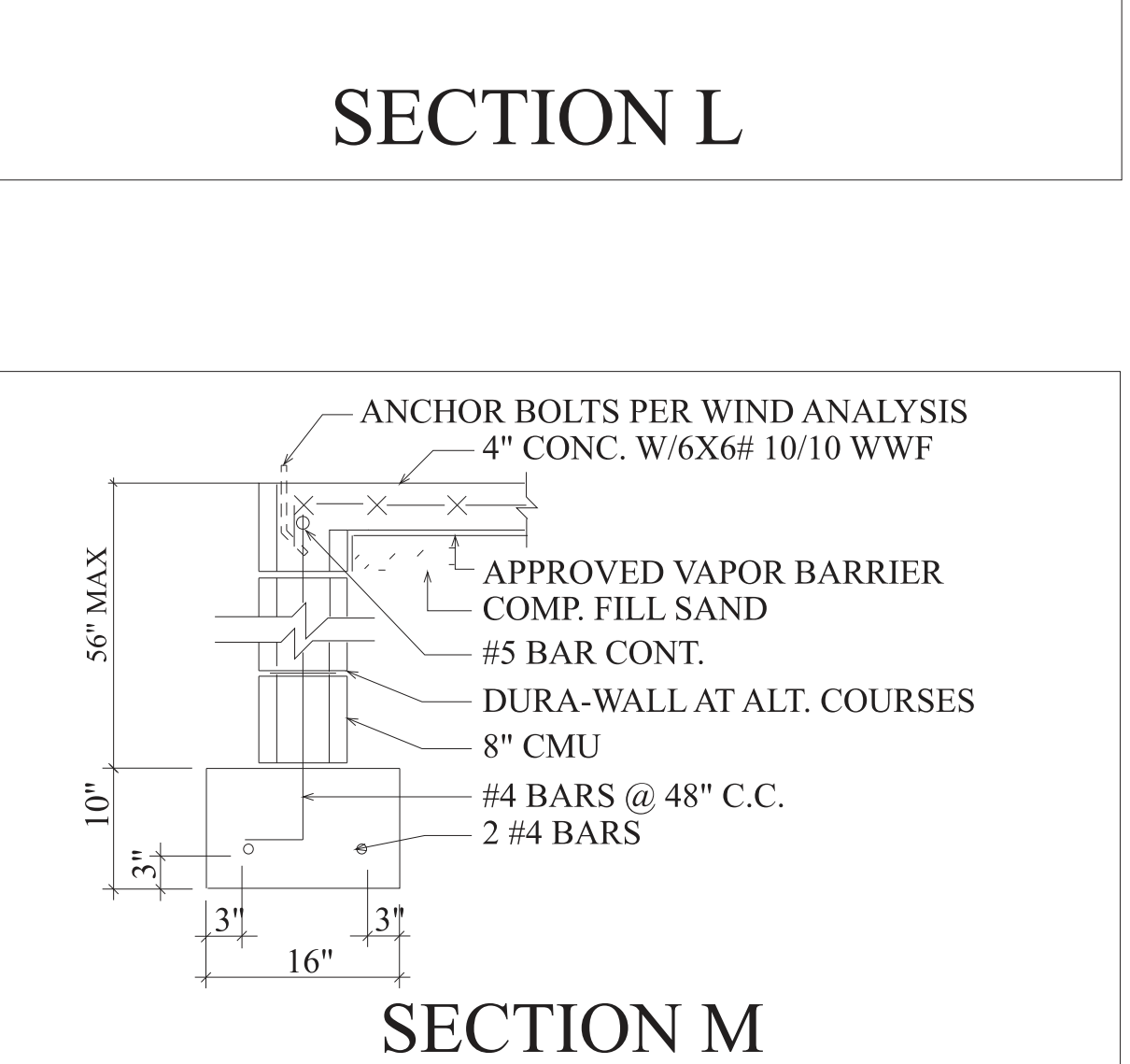
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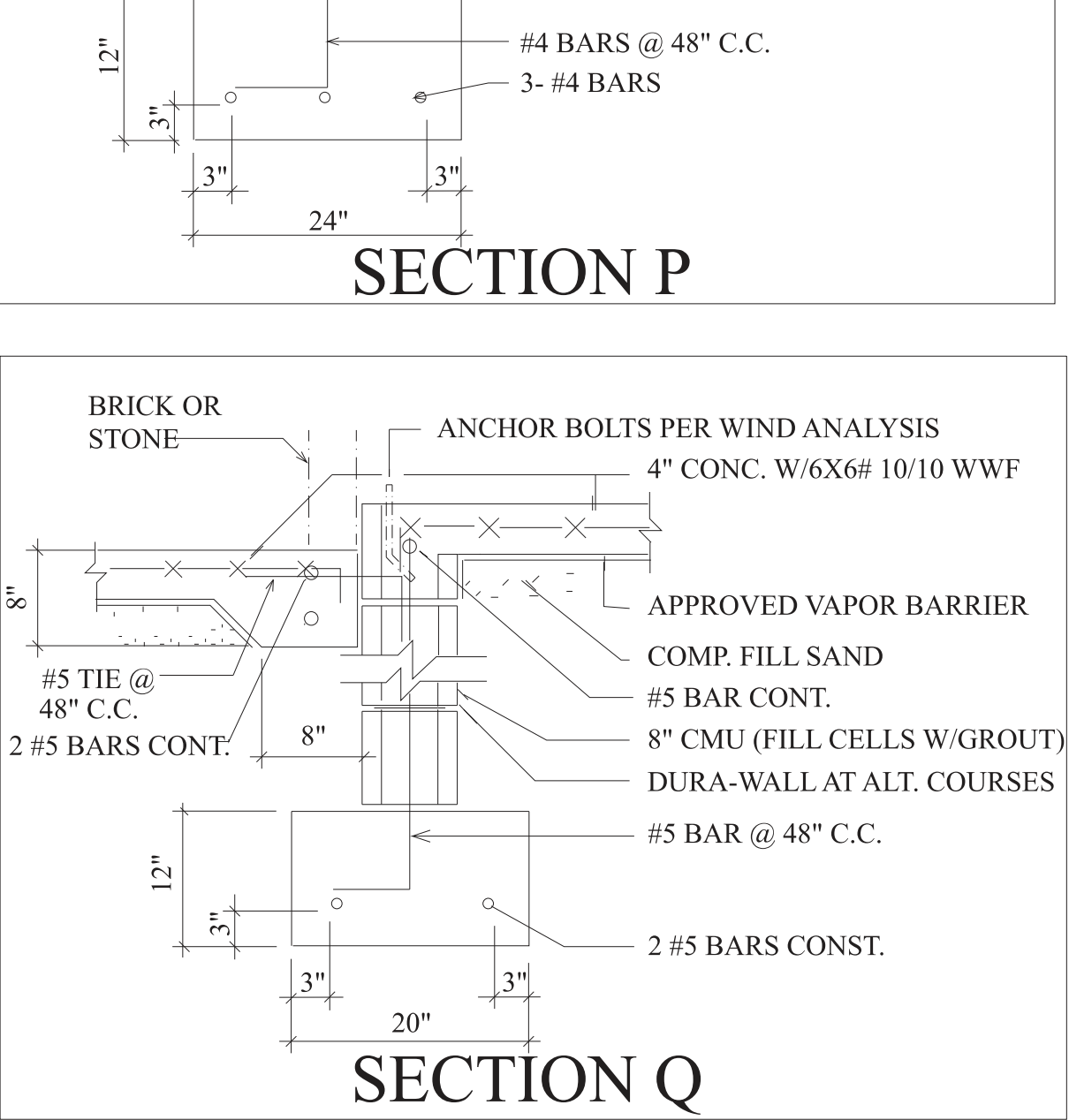
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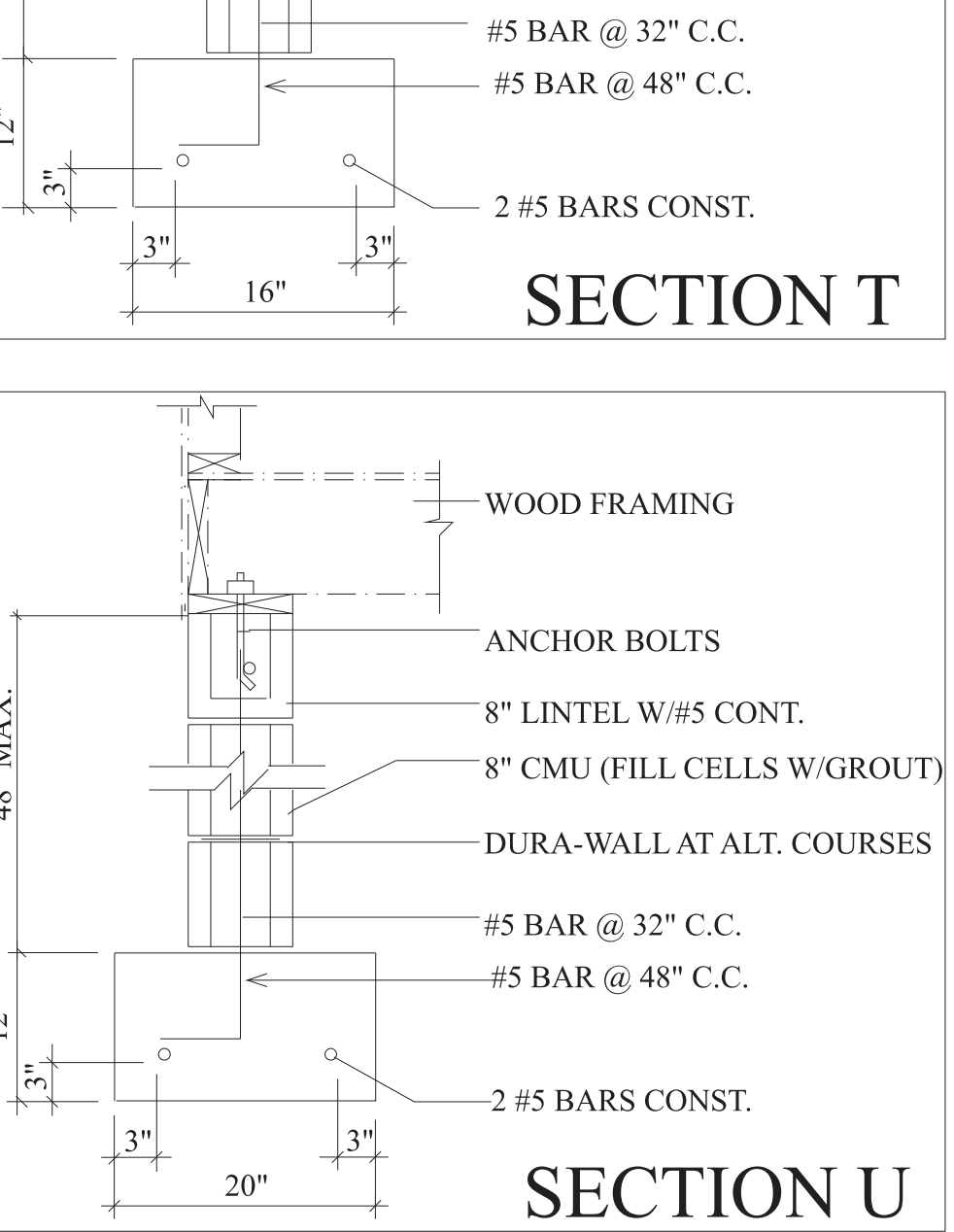
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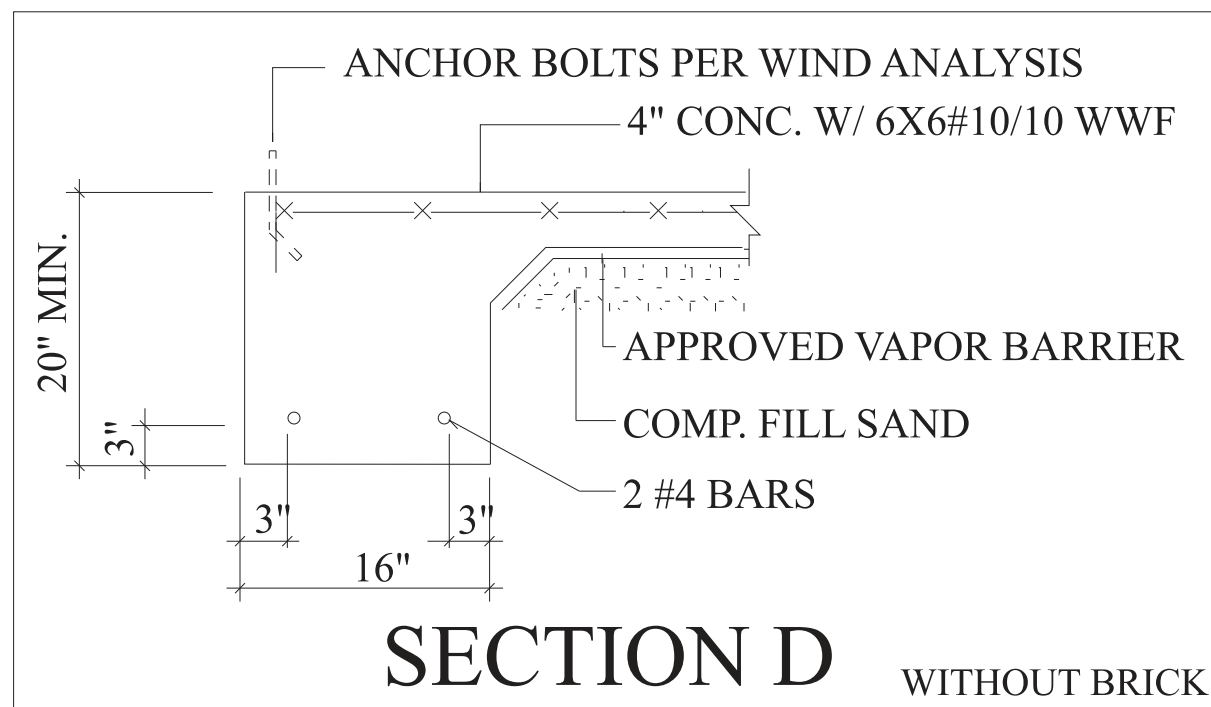
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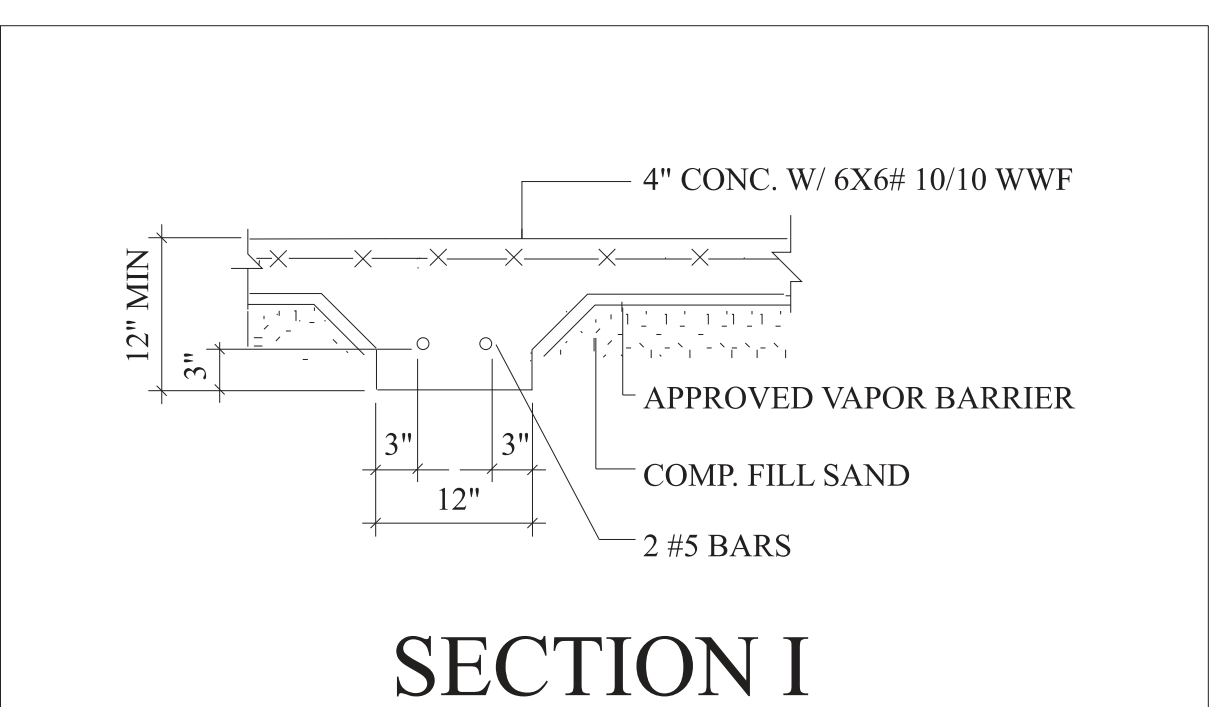
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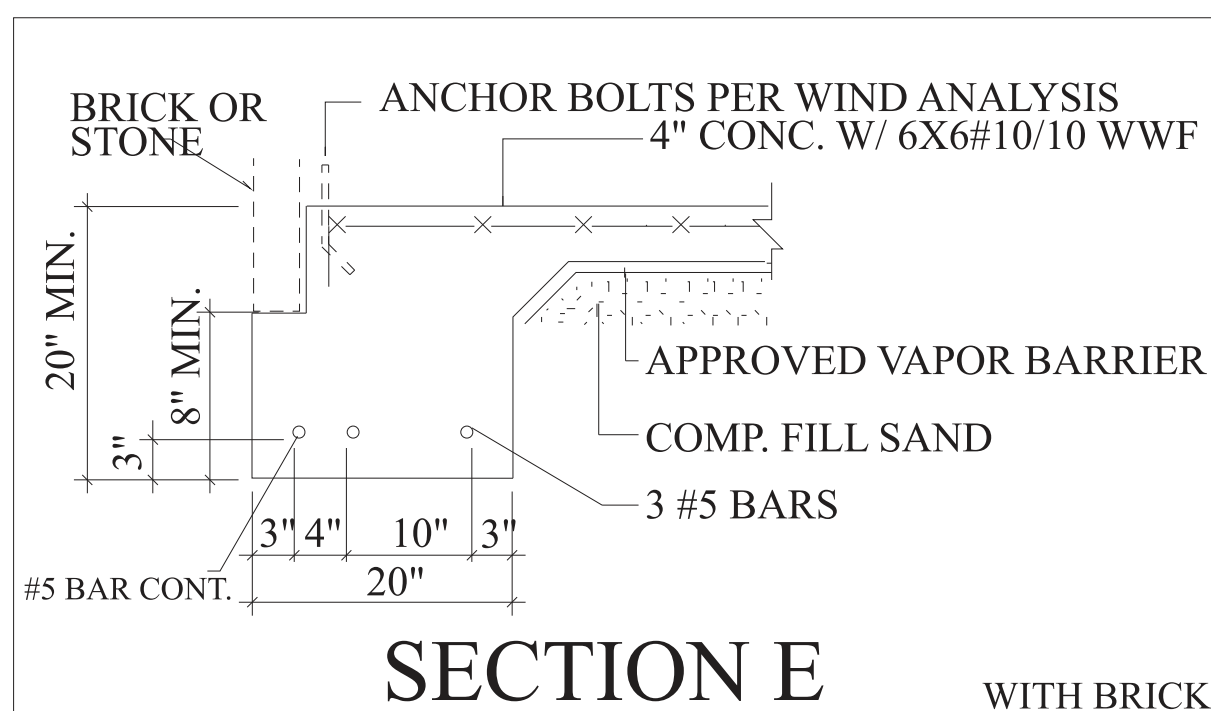
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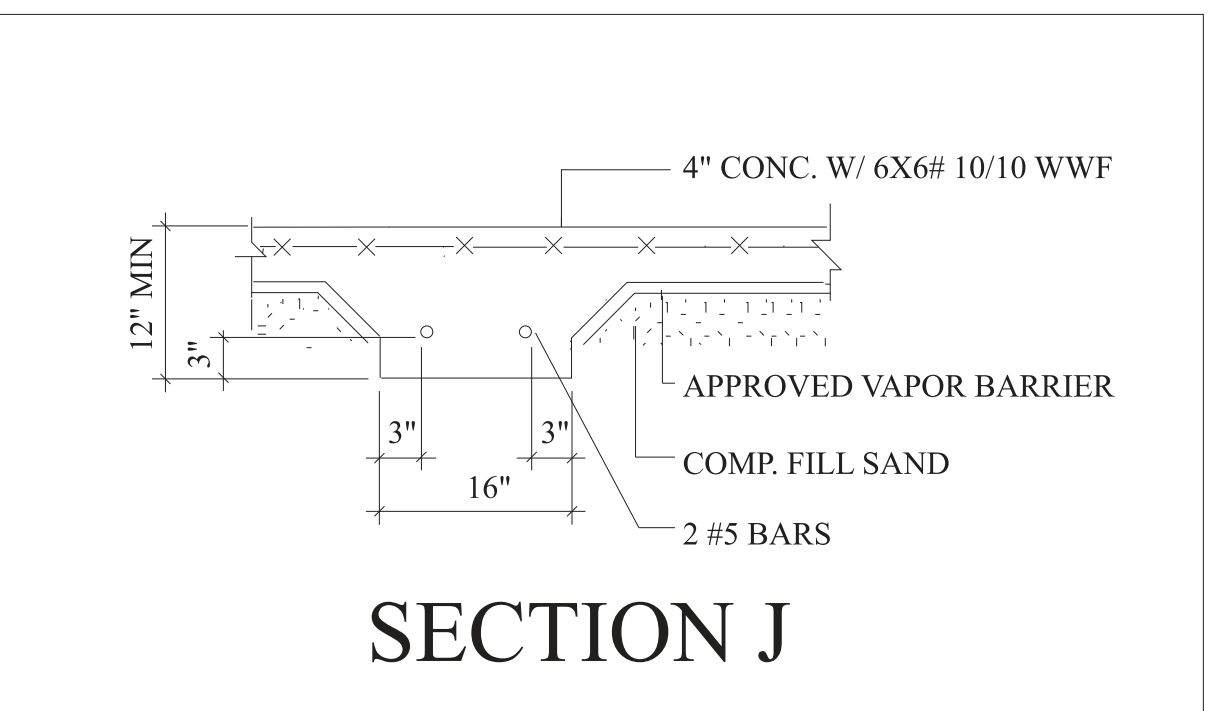
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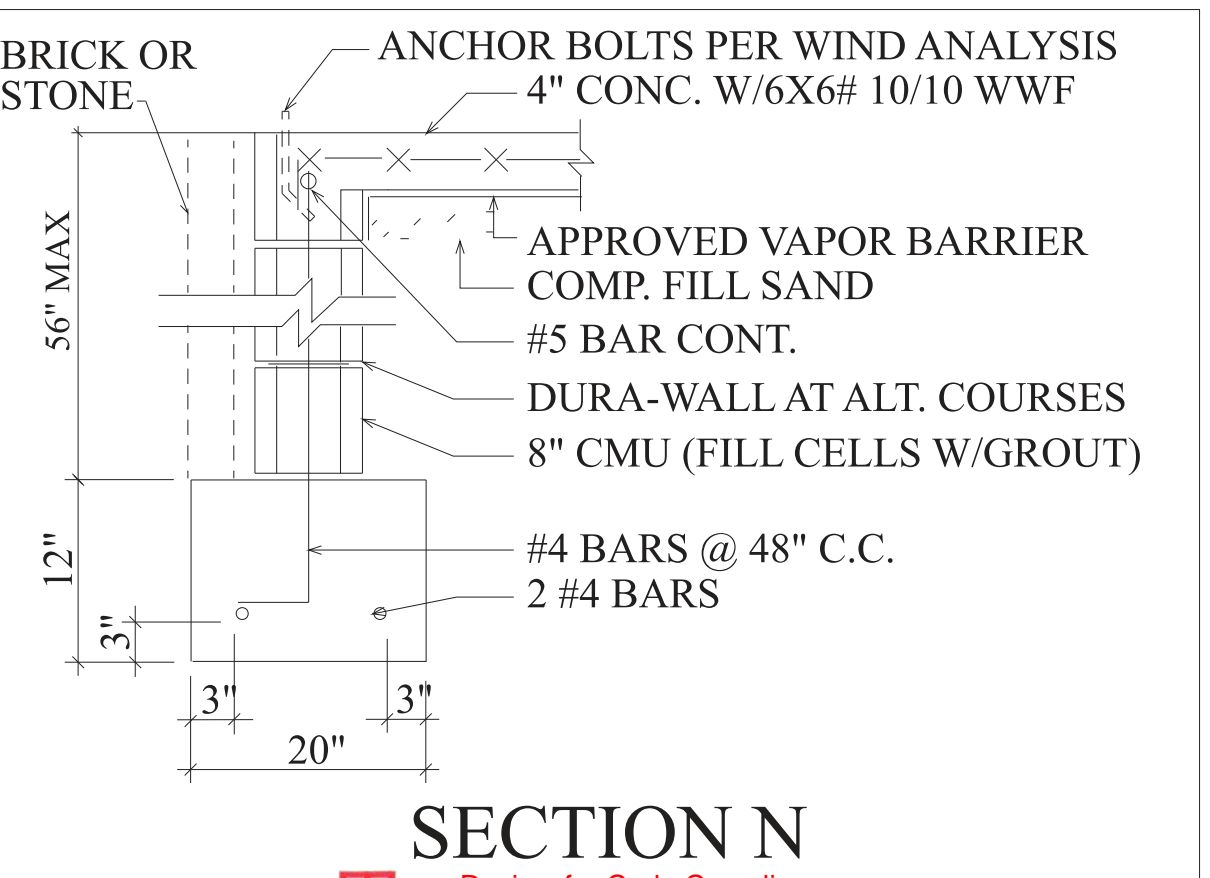
SECTION I



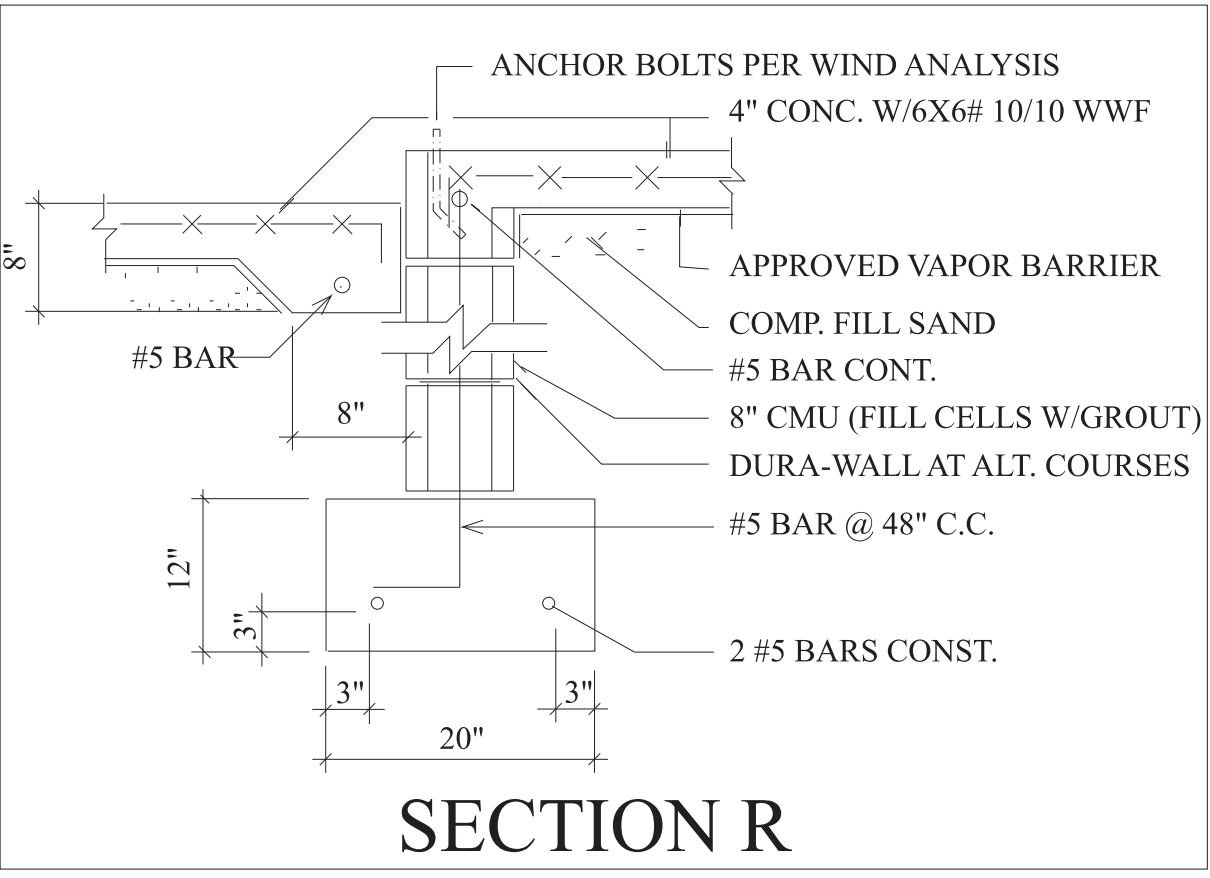
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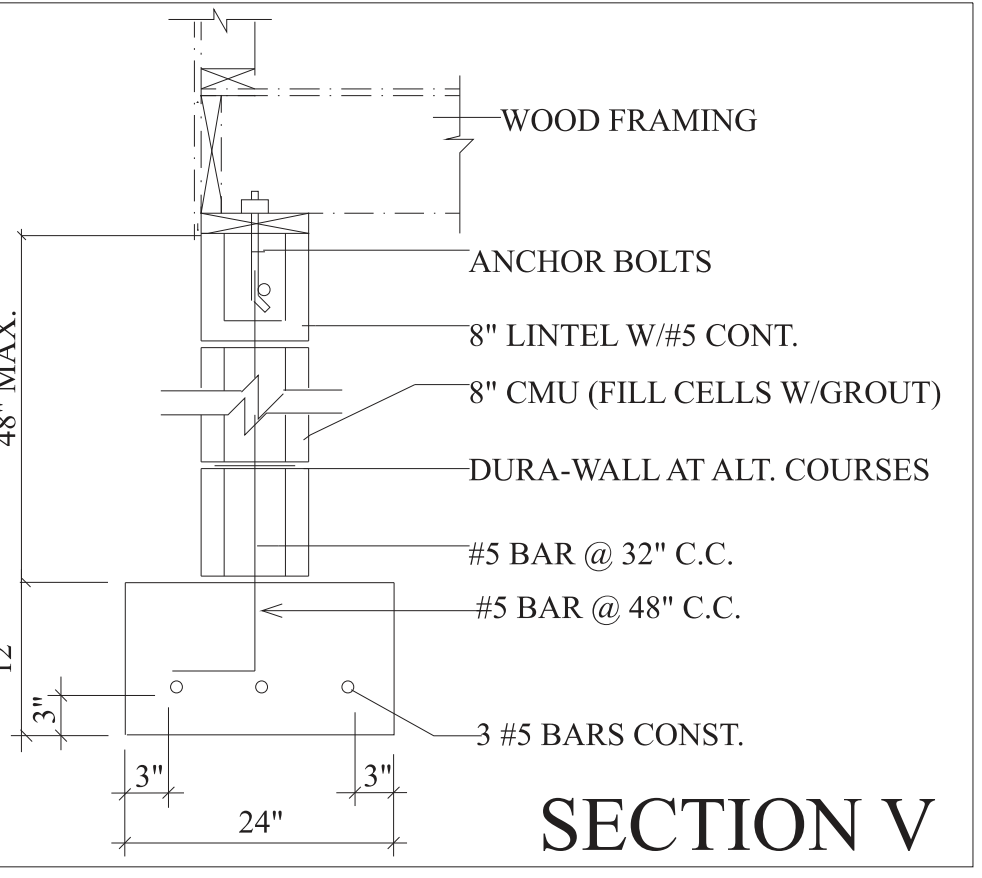
SECTION J



SECTION N



SECTION R

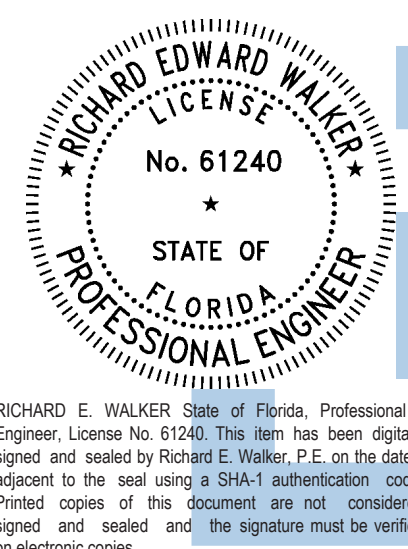


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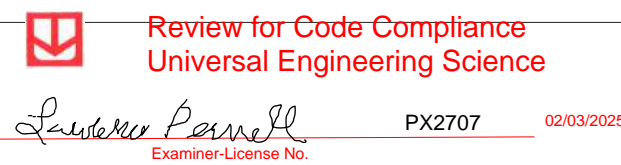
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CODE (FBC) 8th EDITION (2023) ACI-318-19, ACI-ASCE 7-22

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APPLICABLE STATE, & LOCAL BUILDING CODES



Digitally signed
by Richard E
Walker
Date:
2025.01.29
11:14:21-05'00'



NOTE: SECTION DETAILS NOT TO SCALE

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COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD.

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1400 Village Square Blvd, #3-326
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DESIGNED EXCLUSIVELY FOR:
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design | build | live

SQ FOOTAGE	
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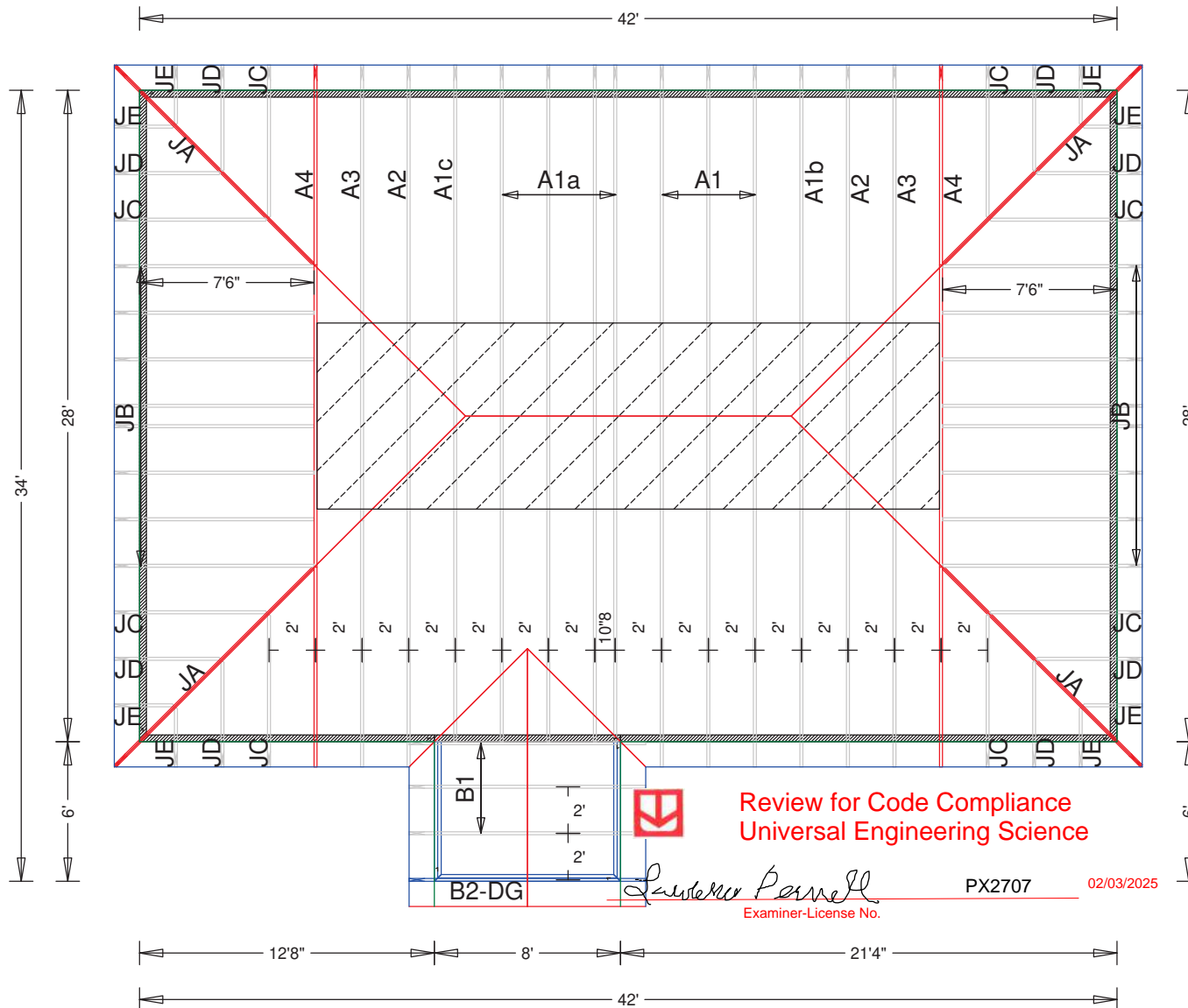
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S4

ALL WALLS SHOWN TO BE BEARING
84 LUMBER CO.
QUALITY FAMILY HOMES ~ DEANE

Digitally signed
by Richard E Walker
Date:
2025.01.29
11:13:59-05'00'



SEMINOLE TRUSSES INC.
30726 Bluestar Memorial Hwy.
MIDWAY FL 32343
Phone (850) 575-0102
Fax (850) 575-4413
Design By Robert J. Little

Roof Plane Sheathing Area = 1558 sq. ft
Gable Sheathing Area = 11 sq. ft
Total Sheathing Area = 1569 sq. ft
Fascia Material = 150 linear ft
Valley Flashing Material = 15 linear ft
Ridge Cap Material = 25 linear ft
Hip Ridge Material = 91 linear ft

BEARING LEGEND

08'01"02 ELEVATION

GENERAL NOTES:

- THE CONTRACTOR/OWNER IS TO VERIFY ALL SITE CONDITIONS, PROPERTY DIMENSIONS, AND PRODUCT AVAILABILITY, OPENINGS FOR WINDOWS AND DOORS AND ATTACHMENT REQUIREMENTS, DIMENSIONS OF PRODUCTS, INCLUDING APPLIANCES ARE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- ALL STRUCTURAL DESIGN HAS BEEN CARRIED OUT PER THE PROVISIONS OF CHAPTER 16 OF THE BUILDING CODE, AS WELL AS ASCE 7.
- ENGINEERING DESIGNS PROVIDED IN THESE DETAIL SPECIFICATIONS REPRESENT THE MINIMUM DESIGN CRITERIA FOR CONSTRUCTION TO THE CODES IDENTIFIED ABOVE.
- ANY PRODUCT OR MATERIAL SUBSTITUTION IS PERMITTED AS LONG AS THE SUBSTITUTION IS EQUAL TO OR GREATER THAN THE ORIGINAL SPECIFIED PRODUCT ALL TESTING DATA OR PRODUCT VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR THE ENGINEER HAS NOT PROVIDED REVIEW OF SUCH MATERIAL UNLESS OTHERWISE SPECIFIED.
- THE PRESUMPTIVE LOAD-BEARING VALUES OF THE FOUNDATION SOIL IS TO BE 2000PSF BASED ON THE TABLE R401.4.1, OF THE BUILDING CODE.
- ENGINEER HAS NOT PROVIDED ANY JOB SITE INSPECTIONS UNLESS SPECIFICALLY ARRANGED.
- CLADDING PRODUCTS ARE TO BE INSTALLED TO THE MANUFACTURERS SPECIFICATIONS, AND TO COMPLY WITH THE BUILDING CODE, AND ASCE7 THE CONTRACTOR IS TO PROVIDE ANY INSTALLATION GUIDELINES OR PRODUCT TESTING REQUIRED BY THE BUILDING OFFICIAL IF REQUESTED.
- ALL CONSTRUCTION WORK AND DESIGN IS SUBJECT TO THE REVIEW AND INTERPRETATION OF THE BUILDING OFFICIALS. CONTRACTOR ACKNOWLEDGES THAT ADDITIONAL ENGINEERING DETAILS, AND/OR REQUIREMENTS MAY BE REQUESTED/REQUIRED BY THE PERMITTING AUTHORITY HAVING JURISDICTION, AND SUCH REQUIREMENTS MAY ALTER THE ORIGINAL PROPOSED DESIGN THESE ADJUSTMENTS COULD SUBJECT THE CONTRACTOR TO ADDITIONAL EXPENSES AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- HOMEOWNER ASSOCIATION, DEED RESTRICTIONS AND ZONING REQUIREMENTS, ETC ARE THE RESPONSIBILITY OF THE CONTRACTOR AND NO VERIFICATION OR COMPLIANCE IS EXPRESSED OR IMPLIED BY THE ENGINEER
- THE STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE WHEN CONSTRUCTION IS COMPLETE THE CONTRACTOR IS RESPONSIBLE FOR ERECTION PROCEDURES AND SEQUENCE OF SUCH TO PROVIDE SAFETY OF WORKERS, THE BUILDING AND ALL COMPONENTS OF THE BUILDING ALL TEMPORARY BRACING IS THE RESPONSIBILITY OF THE CONTRACTOR
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE POSITIVE DRAINAGE FROM THE STRUCTURE OR BUILDING TO ALL APPLICABLE CODES AND ORDINANCES. SITE DRAINAGE IS ALSO THE CONTRACTORS RESPONSIBILITY THE ENGINEER HAS ACKNOWLEDGED NO REVIEW, COMMENT OR COMPLIANCE.
- NO ENVIRONMENTAL STUDIES HAVE BEEN PERFORMED BY THE ENGINEER, AND IF REQUIRED ARE THE RESPONSIBILITY OF THE CONTRACT.
- THE DESIGN OF ALL PRE-ENGINEERED ROOF TRUSSES INCLUDING GIRDERS FLOOR TRUSSES, AND ALL BEAMS ARE TO BE DESIGNED TO MEET THE BUILDING CODE WITH SUPPLEMENTS, AND ASCE 7. THE DESIGN IS TO INDICATE THE ENGINEER OF RECORD AND BEAR THE SEAL OF SUCH ENGINEER. ALL LATERAL AND CROSS BRACING REQUIRED IS TO BE SPECIFIED BY THE DESIGNER. THE TRUSS OR FLOOR SYSTEM DESIGN SHALL NOT EXERT LATERAL LOADS ON ANY WALL SYSTEM, INTERIOR OR EXTERIOR. THE DESIGN IS TO ALSO INDICATE THE MAGNITUDE OF THE LOADS AND ANY PROVISIONS REQUIRED. THE CONTRACTOR ASSUMES THE RESPONSIBILITY OF REVIEW OF THE PRE-ENGINEERED SYSTEMS AND ANY COMPLIANCE NECESSARY. ANY DEVIATION FROM THE PROPOSED DESIGNS MAY REQUIRE ADDITIONAL REVIEW AND MODIFICATION.
- ALL PERMANENT TRUSS BRACING, IN ADDITION TO TRUSS BRACING SPECIFIED BY THE TRUSS ENGINEER SHALL BE INSTALLED PER THE DETAIL IN THESE SHEETS, AND IN ACCORDANCE TO BWT-76 AND HIB-91
- ALL MATERIAL INSTALLATIONS ARE TO BE PER THE CODES AND STANDARDS REFERENCED

FASCIA & SOFFIT VENTING:

- MINIMUM 2"x4" SUB FASCIA NAILED TO TRUSS TAILS W/ (2) 16D NAILS AT EACH TRUSS - (EACH PLY WHEN MULTIPLE TRUSS.
- TYPICAL DRIP EDGE & SOFFIT FASCIA INSTALLED TO MFG. SPECIFICATIONS
- SEE ALUMINUM ENGINEERING SPECIFICATIONS SUPPLIED BY OTHERS FOR FASCIA OR OVERHANG REQUIREMENTS WHEN SCREEN ENCLOSURES OR STRUCTURAL GUTTERS ARE DESIGNED TO BE ATTACHED TO FASCIA. NO VENTING IF USING SPRAY FOAM INSULATION
- SOFFITS SHALL BE CAPABLE OF RESISTING THE DESIGN PRESSURES SPECIFIED IN TABLE R301.2(2).
- ENTRY LANAI CEILING SPECIFICATION OPTIONS:
 - 1" SAG RESISTANT GYPSUM BOARD OVER 1"x4" P.T. FURRING STRIPS NAILED @ 16" O.C. W/ (2) 8D NAILS EACH TRUSS
 - 3/4" NOMINAL PLYWOOD OR OSB FASTENED W/ 8D NAILS 6" O.C. OR 3/8" X 1 1/2" STAPLES 4" O.C.
 - 5/8" SAG RESISTANT EXTERIOR DRYWALL.

GENERAL STRUCTURAL NOTES:

- THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE DRAWINGS OF ALL OTHER DISCIPLINES AND THE SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF THE TRADES AS TO SLEEVES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES, AND OTHER ITEMS TO BE PLACED OR SET IN THE STRUCTURAL WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING WORK. THE ENGINEER WILL NOT ADVISE ON NOR ISSUE DIRECTION AS TO SAFETY PRECAUTIONS AND PROGRAMS.
- THE STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHODS OR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL WORK AND CONNECTIONS HAVE BEEN COMPLETED. THE INVESTIGATION, SAFETY, DESIGN ADEQUACY AND INSPECTION OR ERECTION BRACING, TEMPORARY SUPPORTS ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE METHODS, TECHNIQUES AND SEQUENCES OR PROCEDURES TO PERFORM THE WORK. THE SUPERVISION OF THE WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, THE STANDARD DETAILS CONTAINED IN THE ENGINEER OF RECORD DETAIL SHEETS SHALL BE USED.
- LOADING APPLIES TO THE STRUCTURE DURING THE PROCESS OF CONSTRUCTION SHALL NOT EXCEED THE SAFE LOAD CARRYING CAPACITY OF THE STRUCTURAL MEMBERS. THE LIVE LOAD USED IN THE DESIGN OF THIS STRUCTURE ARE INDICATED IN THE "DESIGN CRITERIA NOTES". DO NOT APPLY ANY CONSTRUCTION LOADS UNTIL THE STRUCTURAL FRAMING IS PROPERLY CONNECTED TOGETHER AND UNTIL ALL TEMPORARY BRACING IS IN PLACE.
- GARAGE TO LIVING DOOR TO BE SOLID W/ 20 MINUTE FIRE RATING & SELF CLOSING HINGES.
- GARAGE TO DWELLING SEPARATION TO HAVE 3/4" GYPSUM BOARD ON GARAGE SIDE WALLS & 5/8" TYPE "X" ON CEILINGS W/ HABITABLE ROOMS ABOVE PER FBC 2023 R302.6.
- WALL SECTIONS 4 FOOT OR GREATER IN LENGTH W/ VERTICAL REBAR IN A FILLED CELL AT EACH END SHALL BE CONSIDERED A SHEAR WALL. FILLED CELLS ARE REQUIRED W/ VERTICAL #5 REBAR ON EACH SIDE OF WINDOWS, DOORS & OPENINGS ALSO AT ALL CORNERS & UNDER ALL GIRDER TRUSSES & BEAMS.

SITE PREPARATION NOTES:

- THE BUILDING SHALL BE PREPARED AND TESTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- IF THE SITE PREPARATION REQUIREMENTS ARE NOT SPECIFIED BY A GEOTECHNICAL REPORT THE FOLLOWING PROCEDURES SHOULD BE USED AS A MINIMUM.
 - 2.1. WITHIN AN AREA A MINIMUM OF 5 FEET BEYOND THE BUILDING LIMITS EXCAVATE A MINIMUM OF 4" OF EXISTING SOIL. REMOVE ALL ORGANICS, PAVEMENT, ROOTS, DEBRIS AND OTHERWISE UNSUITABLE MATERIAL
 - 2.2. THE SURFACE OF THE EXPOSED SUBGRADE SHALL BE INSPECTED FOR POCKETS OF SOFT OR UNSUITABLE MATERIAL. EXCAVATE UNSUITABLE SOIL AS DIRECTED BY THE GEOTECHNICAL ENGINEER/TESTING AGENCY
 - 2.3. FILL ALL EXCAVATED AREAS WITH APPROVED CONTROLLED FILL PLACE IN 8-INCH LIFTS AND COMPACT TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY BASED ON THE MODIFIED PROCTOR TEST
 - 2.4. ALL CONTROLLED FILL MATERIAL SHALL BE A SELECT GRANULAR MATERIAL FREE FROM ALL ORGANICS OR OTHERWISE DELETERIOUS MATERIAL
 - 2.5. PROVIDE FILED DENSITY TESTS FOR EACH 1,500 SF OF BUILDING AREA FOR EACH LIFT OF CONTROLLED FILL

APPLICABLE CODES :

2023 FLORIDA BUILDING CODE, 8th EDITION
2023 FLORIDA BUILDING CODE, 8th EDITION, BUILDING
2023 FLORIDA BUILDING CODE, 8th EDITION, RESIDENTIAL
2023 FLORIDA BUILDING CODE, 8th EDITION, EXISTING BUILDING
2023 FLORIDA BUILDING CODE, 8th EDITION, MECHANICAL
2023 FLORIDA BUILDING CODE, 8th EDITION, PLUMBING
2023 FLORIDA BUILDING CODE, 8th EDITION, FUEL GAS
2023 FLORIDA BUILDING CODE, 8th EDITION, ACCESSIBILITY CODE
2023 FLORIDA BUILDING CODE, 8th EDITION, ENERGY CONSERVATION
2020 NATIONAL ELECTRIC CODE
2023 FPPC 8th EDITION
2021 NFPA 101-LIFE SAFETY CODE

APPLICABLE STANDARDS:

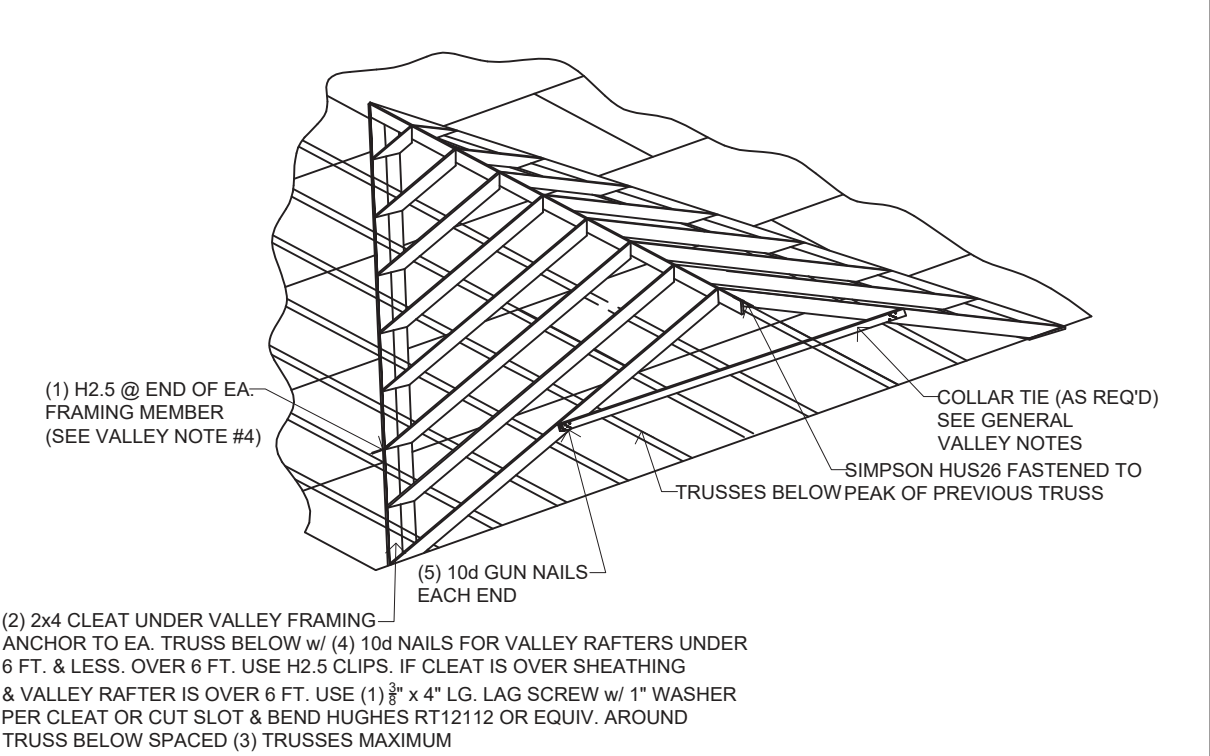
ASCE 7-22: MIN. DESIGN LOADS ON BUILDINGS AND OTHER STRUCTURES
ACI 318-19: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
AISC STEEL CONSTRUCTION MANUAL (LATEST EDITION)
TMS 402/602-16: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES
AWC 2018 NATIONAL DESIGN SPECIFICATION FOR WOOD W/ ALL SUPPLEMENTS
AWC 2018 SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC W/ COMMENTARY
AWS D1.1 STRUCTURAL WELDING CODE FOR STEEL (2020)
ALUMINUM DESIGN MANUAL 2020

TRUSS CONNECTION NOTES:

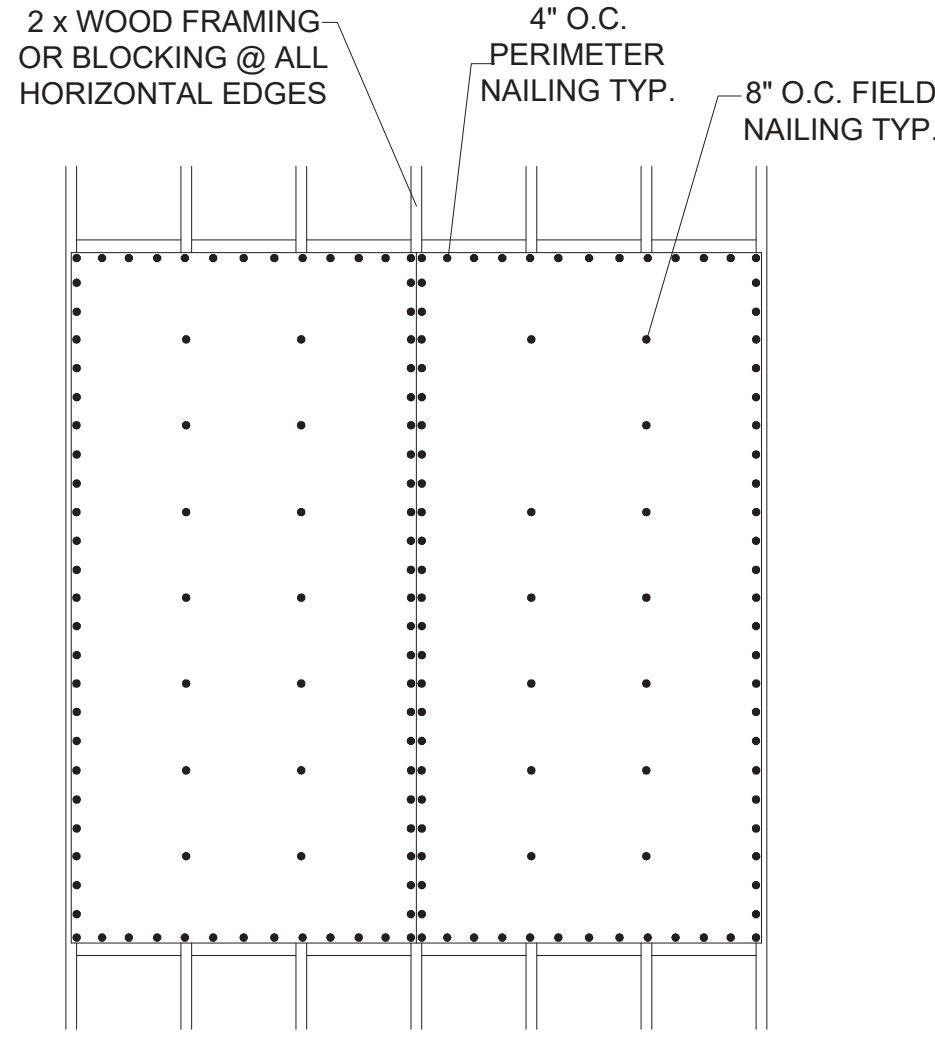
TRUSS TO MASONRY w/ UPLIFT UP TO 1,810# USE (1) SIMPSON HETA20 OR EQ. U.N.O.
TRUSS TO MASONRY w/ UPLIFT FROM 1,811# TO 2,365# USE (2) SIMPSON HETA20 OR EQ. U.N.O.
GIRDER TO MASONRY USE (2) SIMPSON HETA20 OR EQ. UNLESS NOTED OTHERWISE
TRUSS TO WOOD w/ UPLIFT UP TO 1,310# USE (1) SIMPSON HTS20 OR EQ. U.N.O.
TRUSS TO WOOD w/ UPLIFT FROM 1,311# TO 2,620# USE (2) SIMPSON HTS20 OR EQ. U.N.O.
***IF HETA20 IS MISSED OR SKIPPED ON MASONRY, (2) HTSM20 MAY BE USED.

GENERAL VALLEY NOTES:

- RAFTERS TO BE 2x4 SPACED 24" O.C. UP TO 8 FT., USE 2x6 UP TO 12 FT.
- RAFTER LENGTHS (FROM RIDGE TO CLEAT) OVER 12'-0" TO HAVE 2x4 COLLAR TIE OR KICKER @ 1/3 RAFTER SPAN (UP TO 24 FT. MAX. RAFTER LENGTH)
- EDGE BOARD SHALL BE 2x6 MIN. OR 2x4 RAFTERS & 2x8 MIN. FOR 2x6 RAFTERS.
- ATTACH RAFTERS 4 FT. OR LONGER TO RIDGE BOARD & CLEAT USING (1) SIMPSON H2.5 CONNECTOR, NAILED W/ (8) 8d & ALL OTHERS TOE-NAIL W/ 10d.



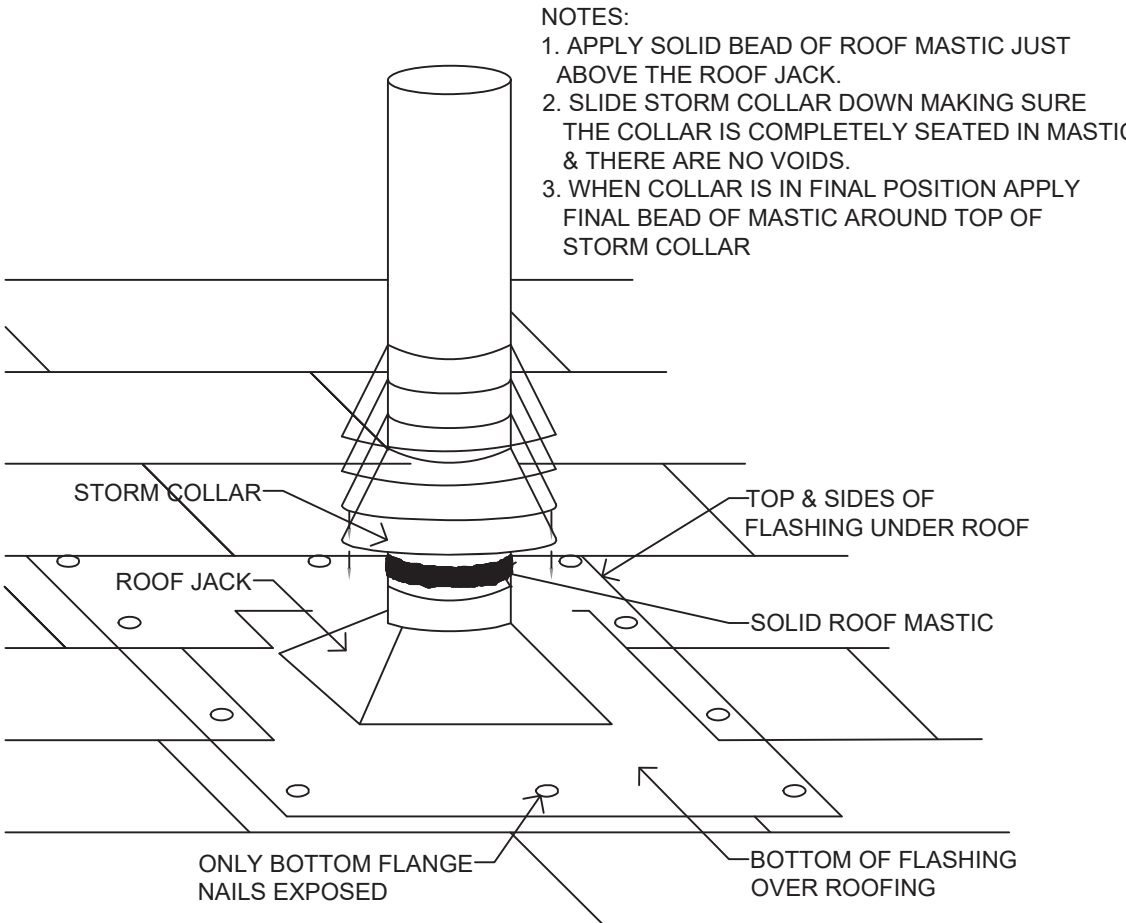
VALLEY FRAMING DETAIL
SCALE: N.T.S.



- PROVIDE MIN. 7/16\"
- SHEATHING SHALL BE INSTALLED W/ FACE GRAIN PARALLEL TO STUDS.
- ALL HORIZONTAL JOINTS SHALL BE INSTALLED OVER FRAMING OR BLOCKING.
- SINGLE STORY APPLICATION: SHEATHING SHALL BE ATTACHED TO BOTTOM PLATE & TOP MEMBER OF DOUBLE TOP PLATE.

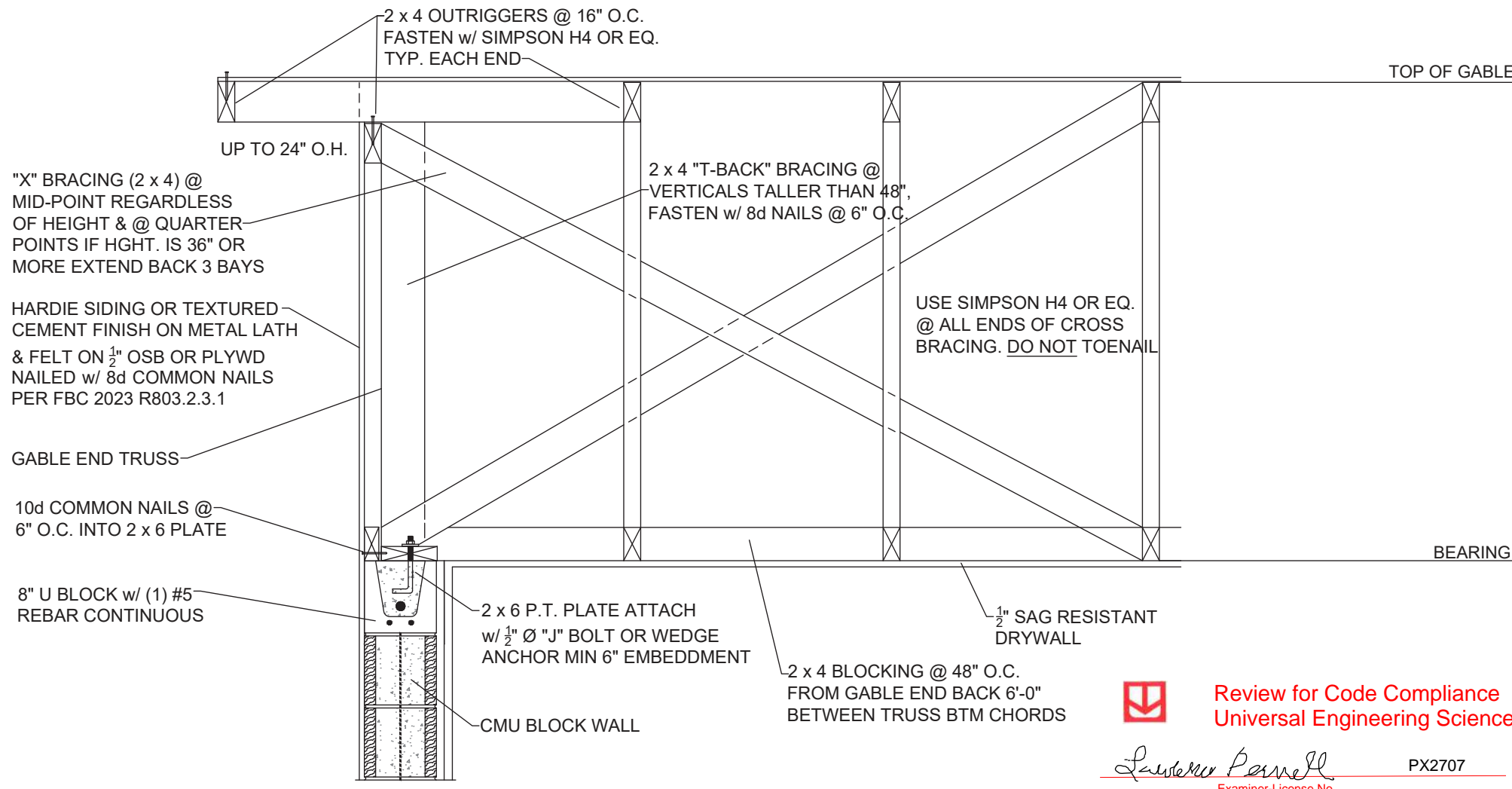
NOTE:
WALL SHEATHING TO BE USED AS SHEAR WALL & UPLIFT RESISTANCE.
SEE FLOOR PLANS FOR SHEAR WALL SEGMENT ANCHOR REQUIREMENTS.

TYPE II WALL SHEATHING
NAILING REQUIREMENTS
SCALE: N.T.S.



VENT PIPE PENETRATION
SCALE: N.T.S.

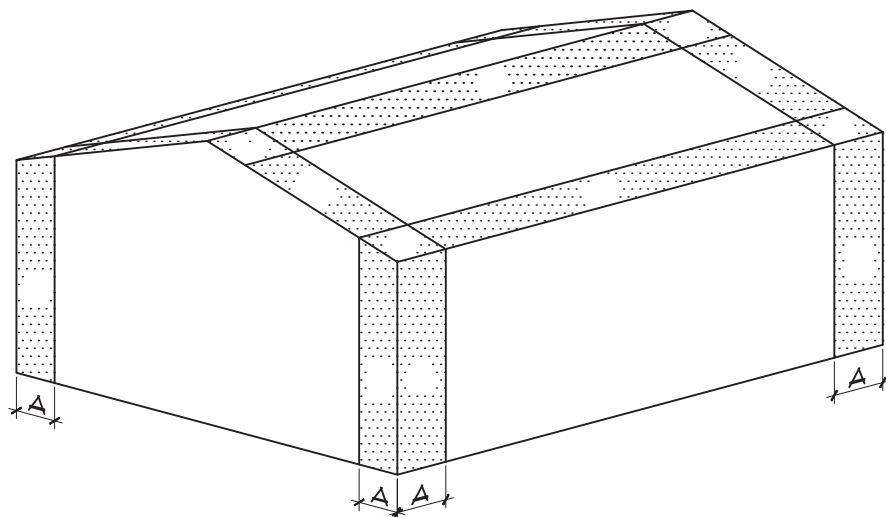
ALL STRUCTURAL LUMBER TO BE SYP NO 2 OR BETTER



GABLE END CONNECTION
N.T.S.

ROOF PLAN NOTES

- MINIMUM PRE-FABRICATED ROOF TRUSS DESIGN LOADS TO BE:
TOP CHORD LIVE LOAD: 20 P.S.F.
TOP CHORD DEAD LOAD: 20 P.S.F.
BOTTOM CHORD: 10 P.S.F.
TOTAL OF 50 P.S.F.
- TRUSS ENGINEER IS RESPONSIBLE FOR THE DESIGN OF TRUSS SYSTEM, ROOF FRAMING PLAN & MUST PROVIDE ENGINEERING FOR ALL TRUSSES, TRUSS TO TRUSS CONNECTORS, BEAM BUCKETS/HANGER & UPLIFT DESIGN LOADS. ALL OF WHICH SHALL BE CLEARLY & COMPLETELY SPECIFIED ON TRUSS MANUFACTURER'S ENGINEERING DOCUMENTS.
- ALL FLASHING & EAVE METAL TO BE 26 GAUGE, G-90 GALV. STEEL. FLASHING TO BE INSTALLED AT ALL WALL/ ROOF INTERSECTIONS, GUTTERS (IF APPLICABLE) WHEREVER THERE IS A CHANGE IN ROOF SLOPE / DIRECTION EXCEPT HIP & RIDGE JUNCTIONS & ALL AROUND ROOF OPENINGS.



FOR COMPONENT AND CLADDING PRESSURE ZONES, REFER TO FBC2023 8TH EDITION R301.2(7).

ATTIC VENTILATION REQUIREMENTS

1/300 RATIO REQUIRED ATTIC VENTILATION 50% OF REQUIRED VENTS TO BE PLACED IN UPPER PORTION OF ATTIC AT LEAST 3 FT. ABOVE EAVE VENTS.

- RIDGE VENT & OFF RIDGE VENTS ARE TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS WITH 2x4 BLOCKING BETWEEN TRUSSES AT EACH SIDE OF VENT.
- BLOCKING NAILED W/ (2) 16d NAILS AT EACH END, EACH PIECE TYPICAL
- OFF RIDGE VENT INSTALLED A MINIMUM OF 12" FROM ROOF PEAK
- RIDGE BLOCKING IS NOT REQUIRED WHEN A MINIMUM 24/16 SHEETING.

R905.1.1 UNDERLAYMENT.

UNDERLAYMENT FOR ROOF SLOPES 2:12 AND GREATER SHALL CONFORM TO THE APPLICABLE STANDARDS LISTED IN THIS CHAPTER. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869, D6757, OR ASTM D8257, SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED. UNDERLAYMENT FOR ROOF SLOPES 2:12 AND GREATER SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH SECTION R905.1.1.1 OR R905.1.1.2 AS APPLICABLE.

TABLE R803.2.2 MINIMUM ROOF SHEATHING THICKNESS

RAFTER/TRUSS SPACING 24" O.C	WIND SPEED (MPH)							
	115	120	130	140	150	160	170	180
MIN. SPAN SHEATHING THICKNESS, INCHES (PANEL SPAN RATING) EXPOSURE B	7/16 (24/16)	7/16 (24/16)	7/16 (24/16)	7/16 (24/16)	15/32 (32/16)	19/32 (40/20)	19/32 (40/20)	19/32 (40/20)
MIN. SPAN SHEATHING THICKNESS, INCHES (PANEL SPAN RATING) EXPOSURE C	7/16 (24/16)	7/16 (24/16)	15/32 (32/16)	19/32 (40/20)	19/32 (40/20)	19/32 (40/20)	19/32 (40/20)	23/32 (48/24)
MIN. SPAN SHEATHING THICKNESS, INCHES (PANEL SPAN RATING) EXPOSURE D	15/32 (32/16)	19/32 (40/20)	19/32 (40/20)	19/32 (40/20)	19/32 (40/20)	19/32 (40/20)	23/32 (48/24)	23/32 (48/24)

WOOD STRUCTURAL PANEL SHEATHING SHALL BE FASTENED TO ROOF FRAMING IN ACCORDANCE WITH TABLE R803.2.3.1. SHEATHING SHALL BE FASTENED WITH ASTM F1667 RSRs-03 (21/2" x 0.131" x 0.281 HEAD DIAMETER) NAILS EXCEPT THAT ASTM F1667 RSRs-01 (23/8" x 0.113") NAILS OR ASTM F1667 RSRs-04 (3" x 0.120" x 0.281 HEAD DIAMETER) NAILS SHALL BE PERMITTED WHERE SHEATHING THICKNESS IS 15/32 INCHES AND LESS. RSRs-01, RSRs-03 AND RSRs-04 ARE RING SHANK NAILS MEETING THE SPECIFICATIONS IN ASTM F1667.

TABLE R803.2.3.1 ROOF SHEATHING ATTACHMENT^{a,b}

RAFTER/TRUSS SPACING 24" O.C	WIND SPEED (MPH)															
	115		120		130		140		150		160		170		180	
	E	F	E	F	E	F	E	F	E	F	E	F	E	F	E	F
EXPOSURE B																
RAFTER/TRUSS SG = 0.42	6	6	6	6	6	6	6	6	6	6	4	4	4	4	4	4
RAFTER/TRUSS SG = 0.49	6	12	6	12	6	6	6	6	6	6	6	6	6	6	6	6
EXPOSURE C																
RAFTER/TRUSS SG = 0.42	6	6	6	6	6	6	4	4	4	4	4	4	3	3	3	3
RAFTER/TRUSS SG = 0.49	6	6	6	6	6	6	6	6	6	6	6	6	4	4	4	4
EXPOSURE D																
RAFTER/TRUSS SG = 0.42	6	6	6	6	4	4	4	4	4	4	3	3	3	3	3	3
RAFTER/TRUSS SG = 0.49	6	6	6	6	6	6	4	4	4	4	4	4	4	4	4	4

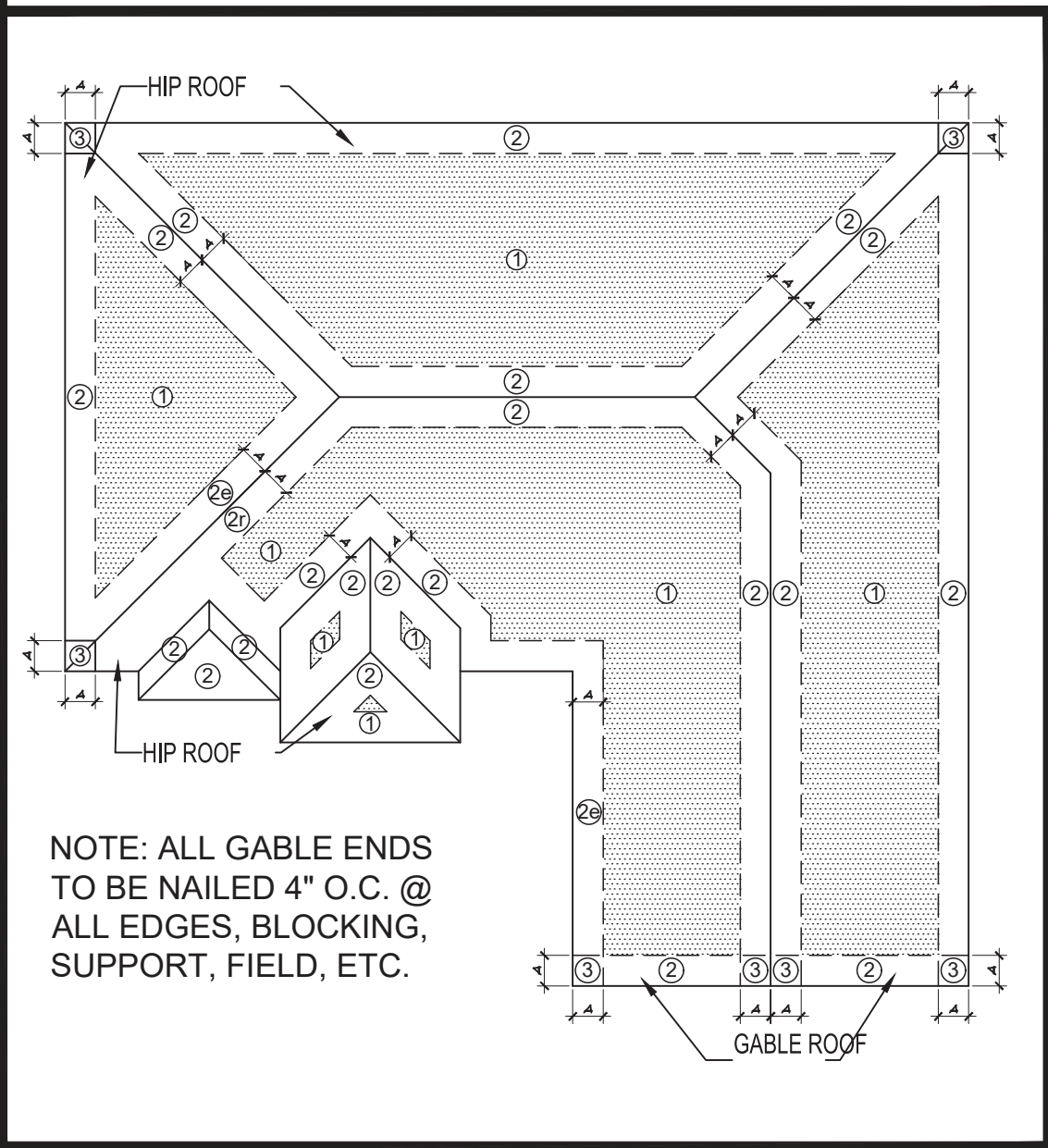
E = NAIL SPACING ALONG PANEL EDGES (INCHES)

F = NAIL SPACING ALONG INTERMEDIATE SUPPORTS IN THE PANEL FIELD (INCHES)

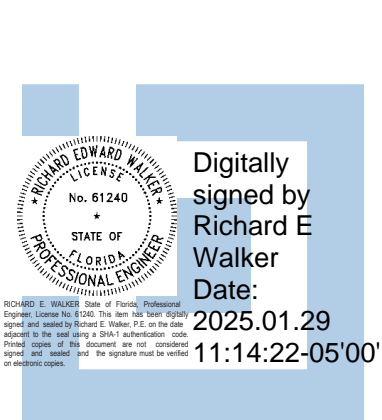
A. FOR SHEATHING LOCATED A MINIMUM OF 4 FEET FROM THE PERIMETER EDGE OF THE ROOF, INCLUDING 4 FEET ON EACH SIDE OF RIDGES AND HIPS, NAIL SPACING IS PERMITTED TO BE 6 INCHES ON CENTER ALONG PANEL EDGES AND 6 INCHES ON CENTER ALONG INTERMEDIATE SUPPORTS IN THE PANEL FIELD.

B. WHERE RAFTER/TRUSS SPACING IS LESS THAN 24 INCHES ON CENTER OR FOR SPECIFIC GRAVITIES (SG) OTHER THAN THOSE SHOWN, ROOF SHEATHING FASTENING IS PERMITTED TO BE IN ACCORDANCE WITH THE AWC WFCM OR THE AWC NDS PROVIDED NAIL SPACING DOES NOT EXCEED 6 INCHES ON CENTER ALONG PANEL EDGES AND 12 INCHES ON CENTER ALONG INTERMEDIATE SUPPORTS IN THE PANEL FIELD.

THE ENGINEER OF RECORD MUST REVIEW AND APPROVE TRUSS PLANS PRIOR TO THE START OF ANY CONSTRUCTION. FOUNDATION, BEARING WALLS, BEAMS, POSTS & TRUSS CONNECTORS ARE SUBJECT TO CHANGE BASED ON FINAL TRUSS PLANS



NOTE: ALL GABLE ENDS TO BE NAILED 4" O.C. @ ALL EDGES, BLOCKING, SUPPORT, FIELD, ETC.



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I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA AND AS ACCOMPANIED BY DESIGN & SUPPORT DOCUMENTS THAT THIS CERTIFICATION DOES NOT VIOLATE THE PROFESSIONAL ENGINEERING CODE OF ETHICS. I AM NOT PROVIDING ANY DESIGN OR CONSTRUCTION SERVICES FOR WHICH THE TRUSS DESIGN ENGINEER IS THE RESPONSIBLE PARTY. THIS PLAN HAS BEEN PREPARED IN COMPLIANCE WITH THE 2023 8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

SEE COVER SHEET

PROJECT NAME & ADDRESS:

No.	Description	Date
△	X	X
△	X	X
△	X	X

DRAWN BY: CG

REVIEWED BY:

PROJECT NO:

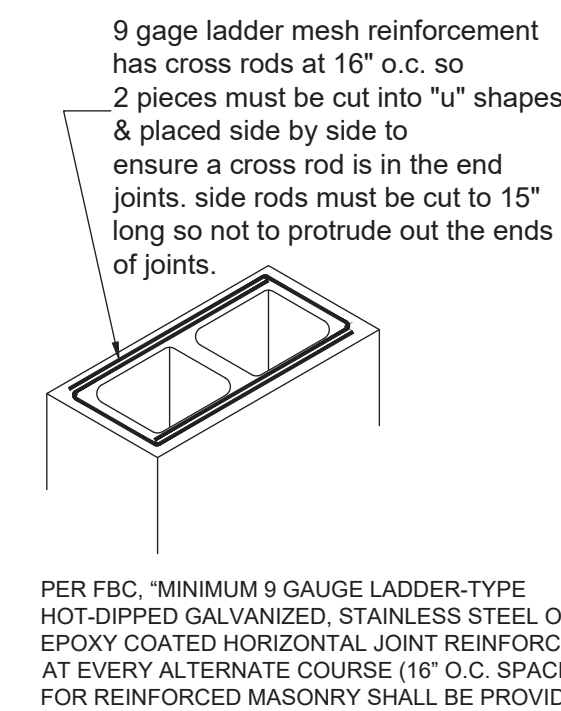
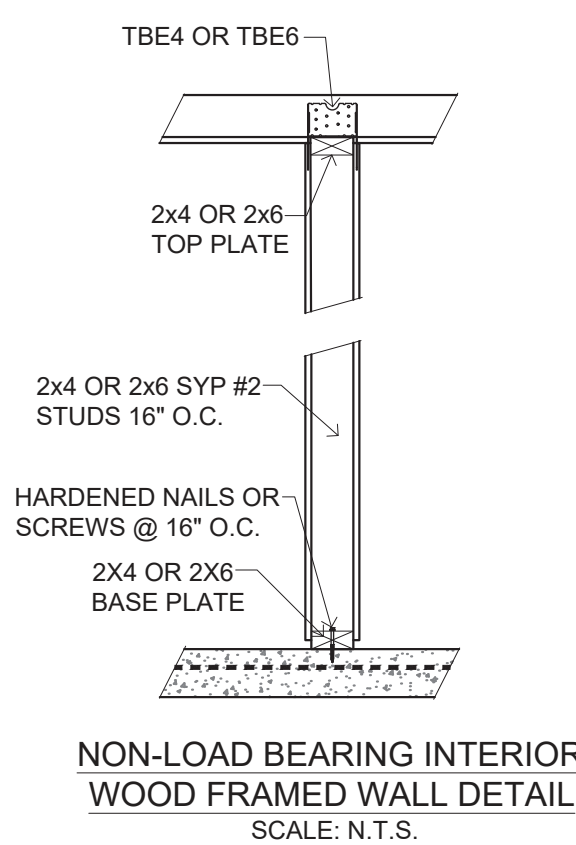
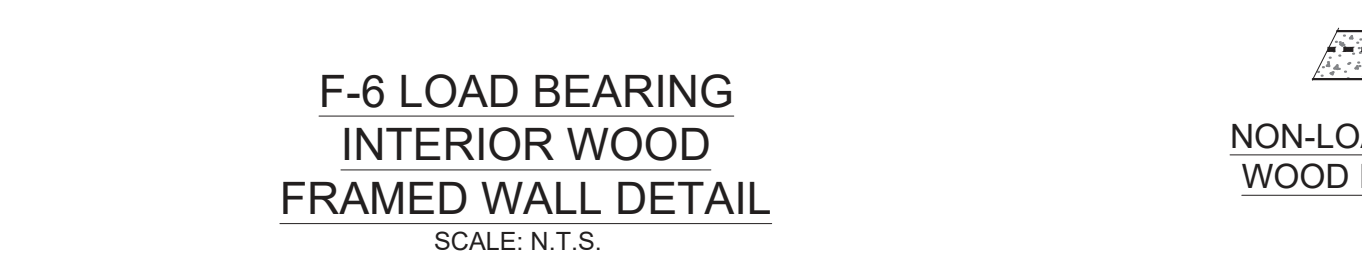
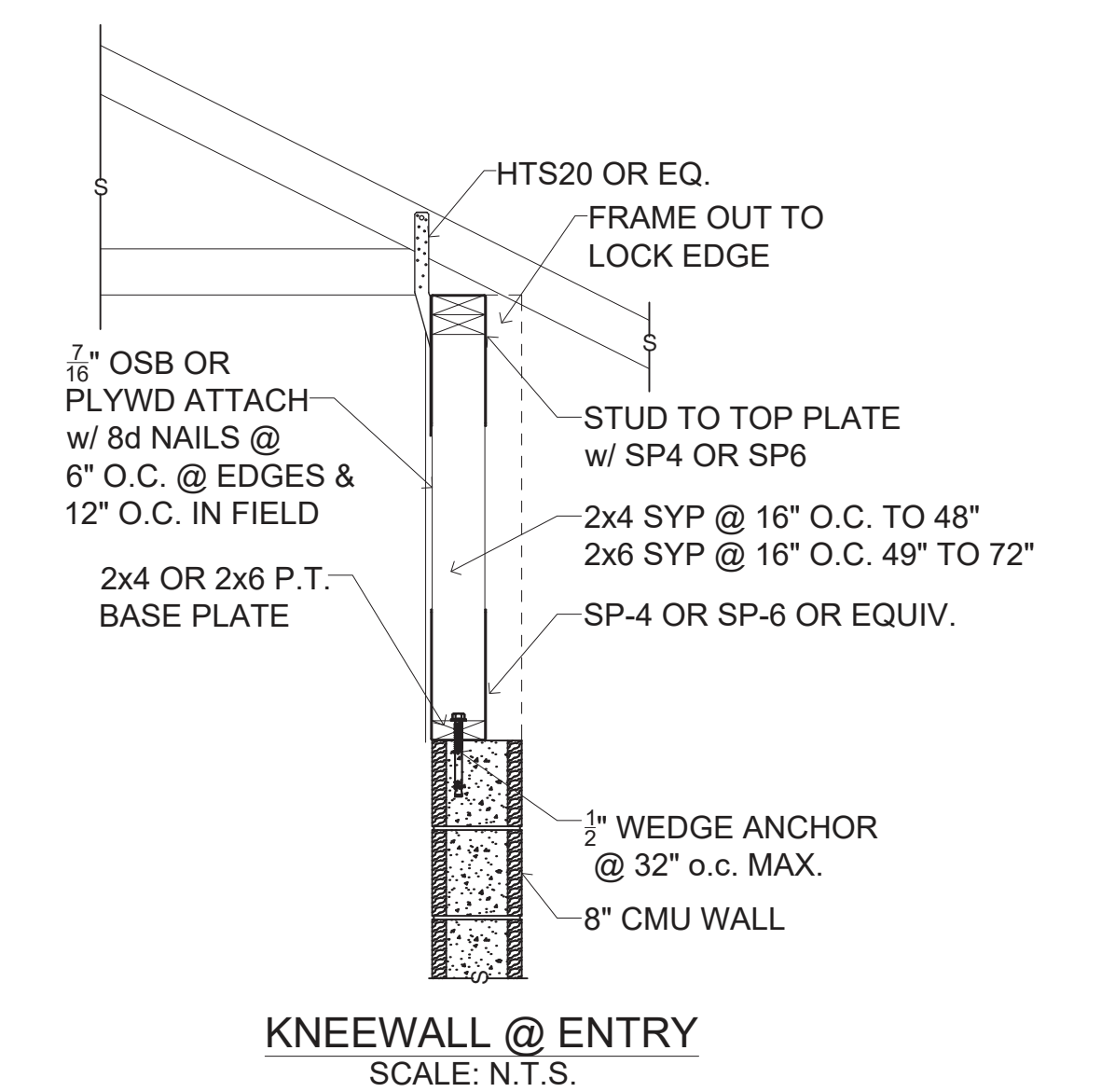
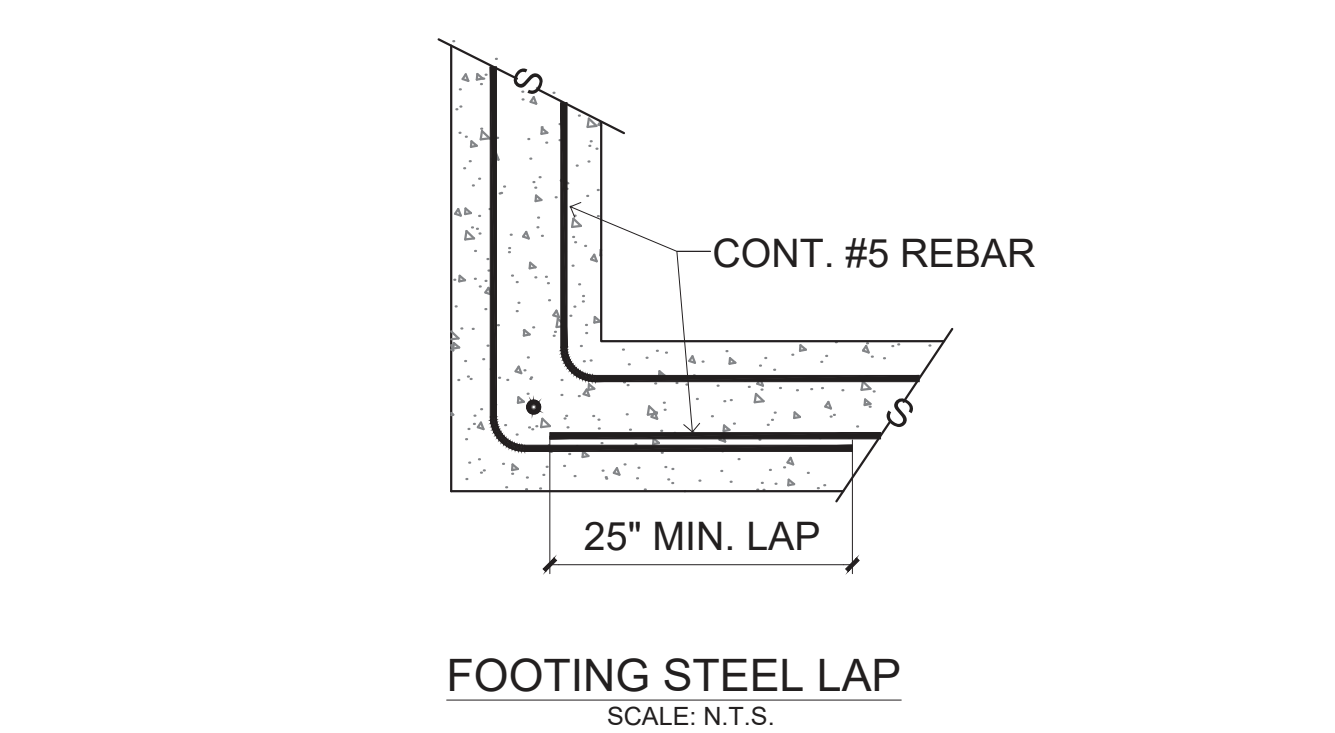
SCALE: PER PLAN

SHEET TITLE:

STRUCTURAL DETAILS

SHEET NUMBER:

S-1



Courses	Height (in ft)	Reinforcing size	Spacing	Grout Spacing	Footer depth	Footer width	Footer reinforcement	Max. Factored Load (plf)
4	2.667	#5	48" O.C	48" O.C	16"	16"	#5 @ 8" O.C / (2) #5	2400
6	4.000	#5	32" O.C	32" O.C	16"	30"	#5 @ 8" O.C / (3) #5	3000
8	5.333	#5	32" O.C	32" O.C	20"	42"	#5 @ 8" O.C / (3) #5	4000

GARAGE DOOR			FLOOR LIVE LOAD = 40 PSF
9 X 7	17.7	-20.0	ROOF LIVE LOAD = 20 PSF
16 X 7	16.9	-18.9	SOIL BEARING CAPACITY = 2000 PSF

ROOF TRUSS CONNECTORS		
CONNECTOR	MAX. UPLIFT (LBS)	NOTES
HETA16/20	1810	TRUSS TO CONCRETE BEAM
DETAL20	2480	TRUSS TO CONCRETE BEAM
HTSM20	955	TRUSS TO CONCRETE BEAM RETROFIT
(2) VGT	7185	2-PLY GIRDER TO MASONRY/WOOD
(2) VGT	8890	3-PLY GIRDER TO MASONRY/WOOD
FGTR	8885	GIRDER TO MASONRY RETROFIT
HGT-2	10345	2-PLY GIRDER TO WOOD COLUMN
HGT-3	10440	3-PLY GIRDER TO WOOD COLUMN
LGUM26-2-SDS	1430	2 PLY GIRDER TO MASONRY FACE MOUNTED
H2.5A	595	TRUSS TO DBL TOP PLATE
HTS 16/20	1310	TRUSS TO WOOD BEAM/HEADER
H10A	1040	TRUSS TO DBL TOP PLATE
HUS26	1320	TRUSS TO LEDGERBOARD FACE MOUNTED
(2) HTSM20	1850	USE IN LIEU OF MISSED HETA20

REFER TO FOUNDATION PLAN FOR SIZE AND REINFORCEMENT OF ALL FOUNDATIONS INCLUDING STEM WALLS, MONOLITHIC, AND INTERIOR BEARING FOOTERS.

No.	Description	Date
△	X	X
△	X	X
△	X	X

DRAWN BY: CG

REVIEWED BY:

PROJECT NO.

SCALE: PER PLAN

SHEET TITLE

STRUCTURAL DETAILS

SHEET NUMBER: