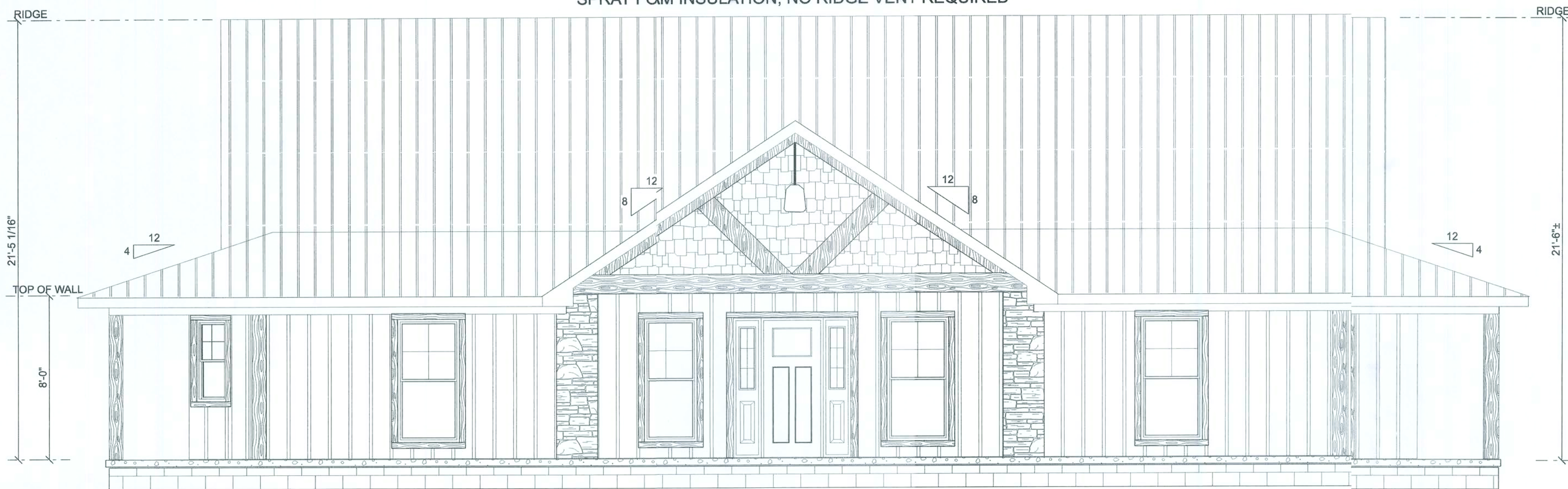


REVISIONS

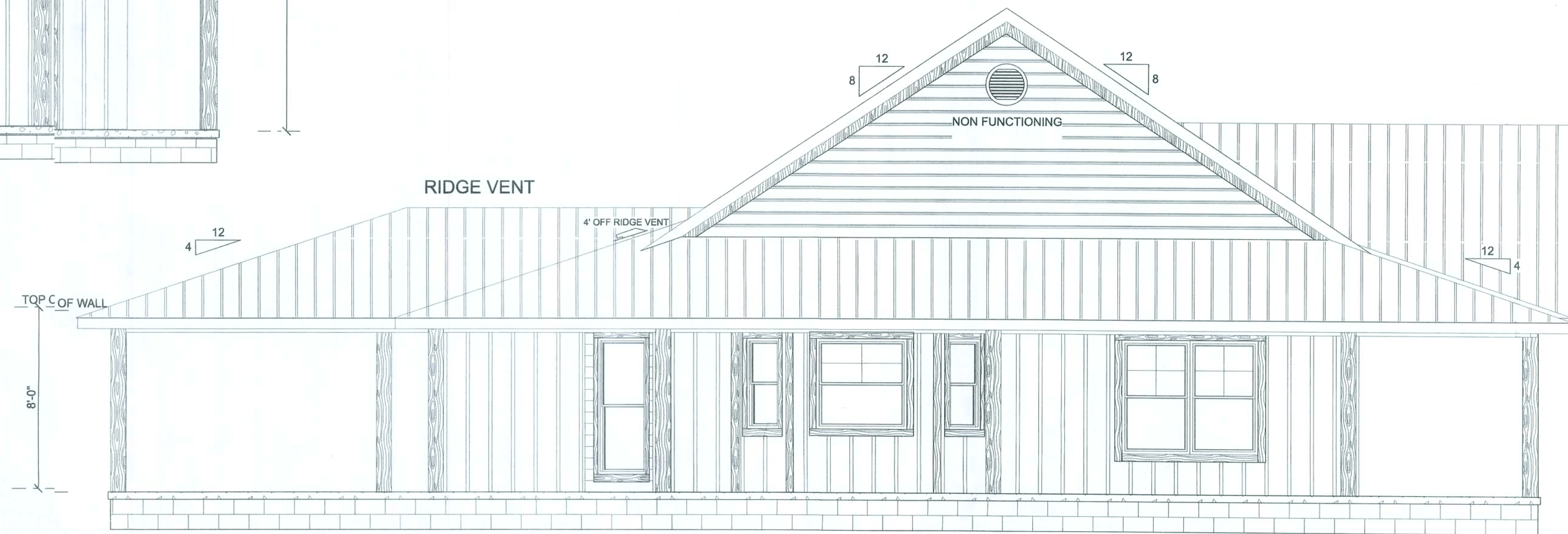
SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE

SPRAY FOM INSULATION, NO RIDGE VENT REQUIRED



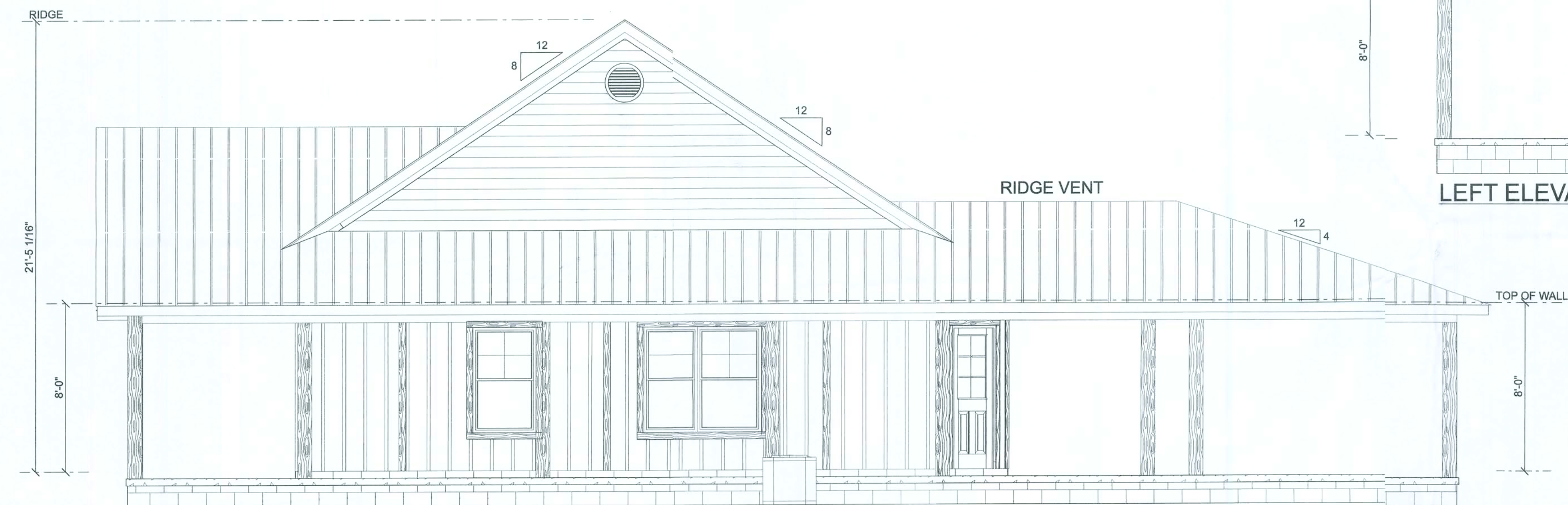
FRONT ELEVATION

RIDGE VENT



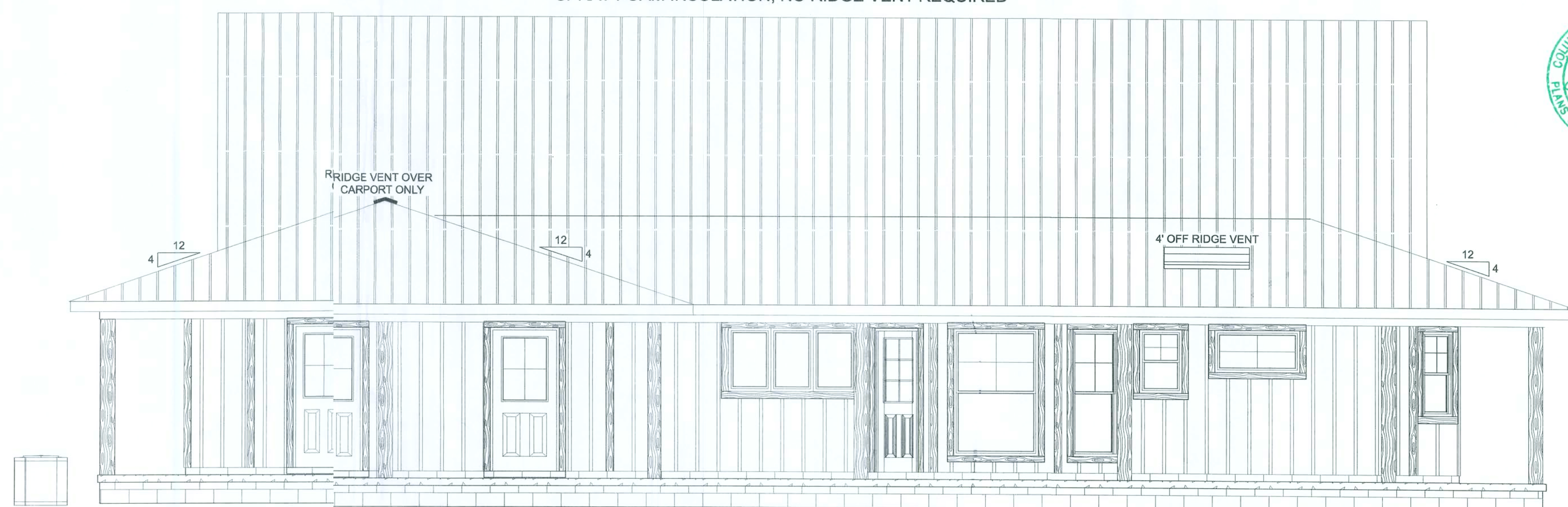
LEFT ELEVATION

RIDGE VENT

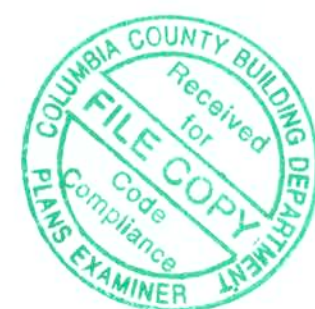


RIGHT ELEVATION

SPRAY FOAM INSULATION, NO RIDGE VENT REQUIRED



REAR ELEVATION



Erkinger Construction
Group

Matthew and Kelly
ERKINGER
Residence

ADDRESS:
222 SW Jewel Court
Fort White FL 32038
Lot #7 Herling Junction
Columbia County, FL
Parcel ID#
07-6S-16-43787-007

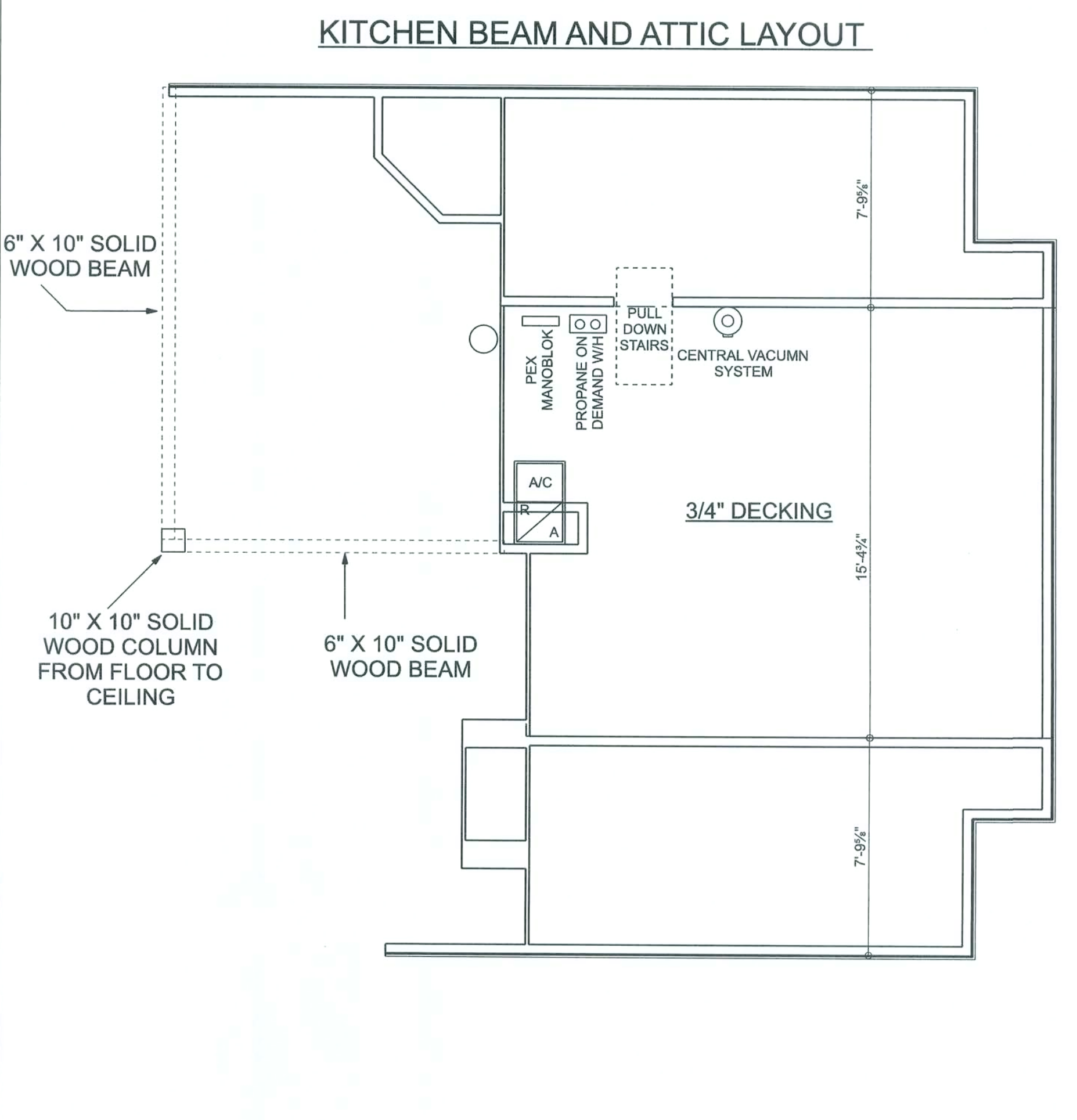
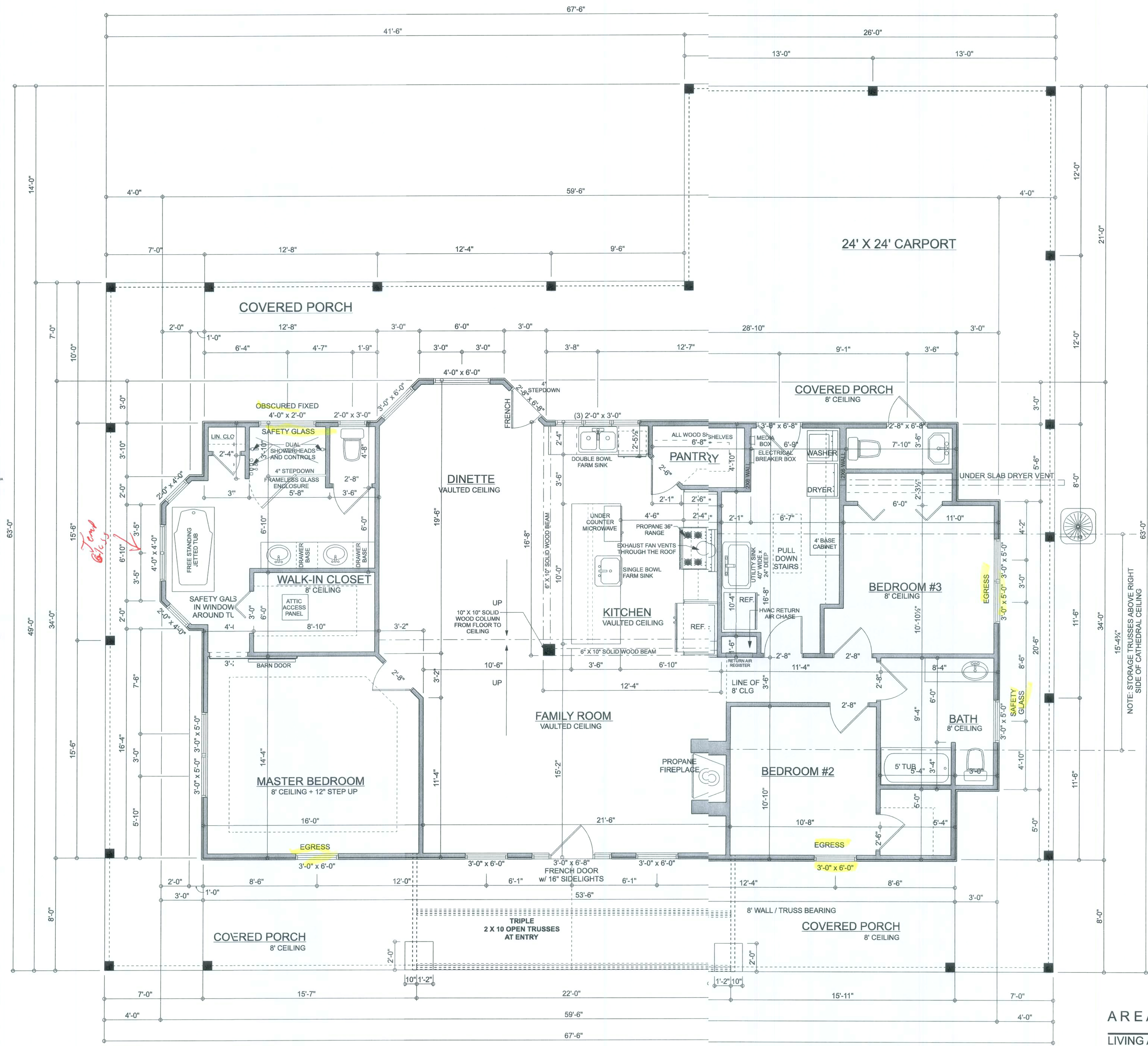
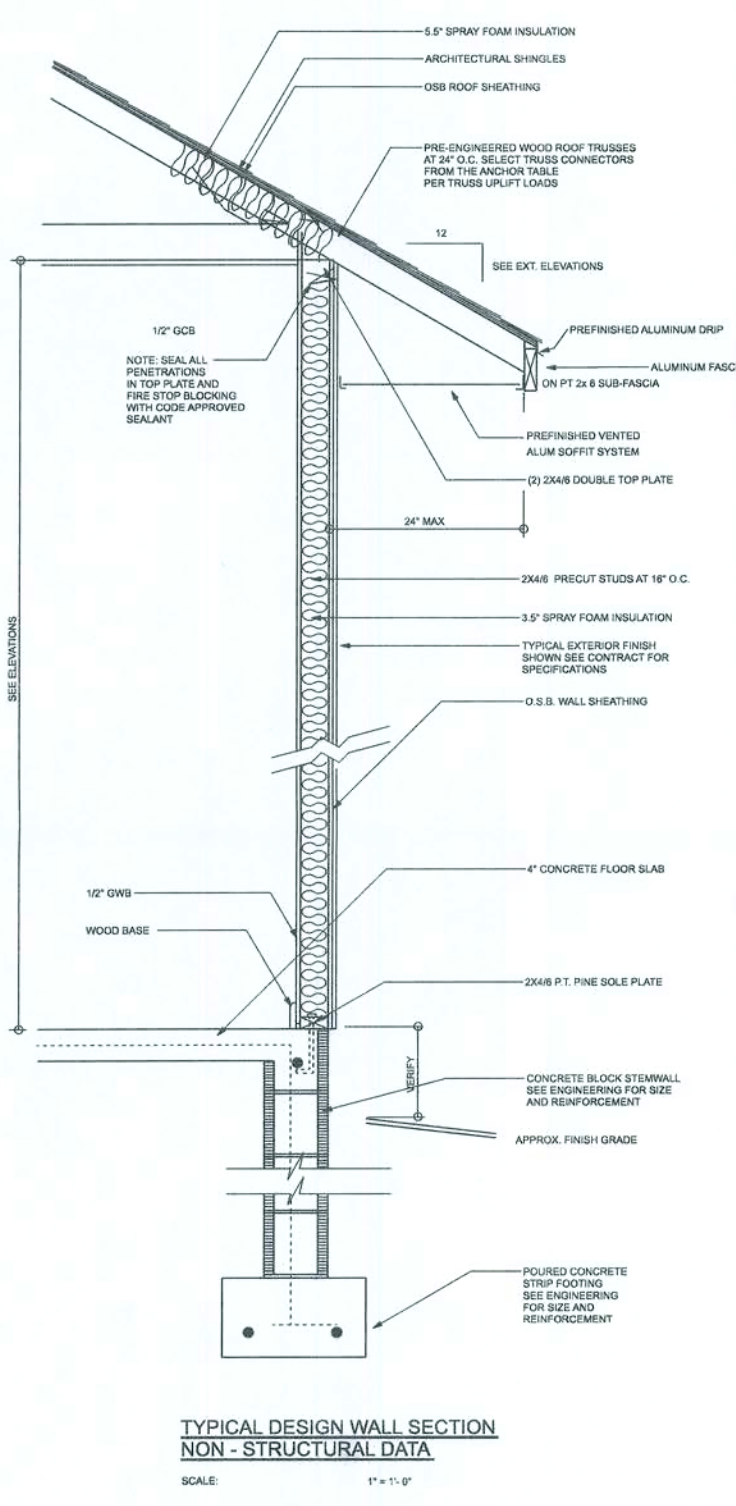
PRINTED DATE:
Monday, July 13, 2020

DRAWN BY: Matthew A. Erkinger Sr.
CHECKED BY:

DRAWING NUMBER

#1

OF 3 SHEETS



AREA SUMMARY	
LIVING AREA	1,801 S. F.
PORCH AREA	1,253 S. F.
CARPORT	614 S. F.
TOTAL AREA	3,668 S. F.

Monday, July 13, 2020
11:56 AM

Erkinger Construction Group

Matthew and Kelly ERKINGER Residence

ADDRESS:
222 SW Jewel Court
Fort White, IL 32038
Lot #7 Herling Junction
Columbia County, FL
Parcel D#
07-6S-16-0787-007

PRINTED DATE:
Monday, Jul 13, 2020

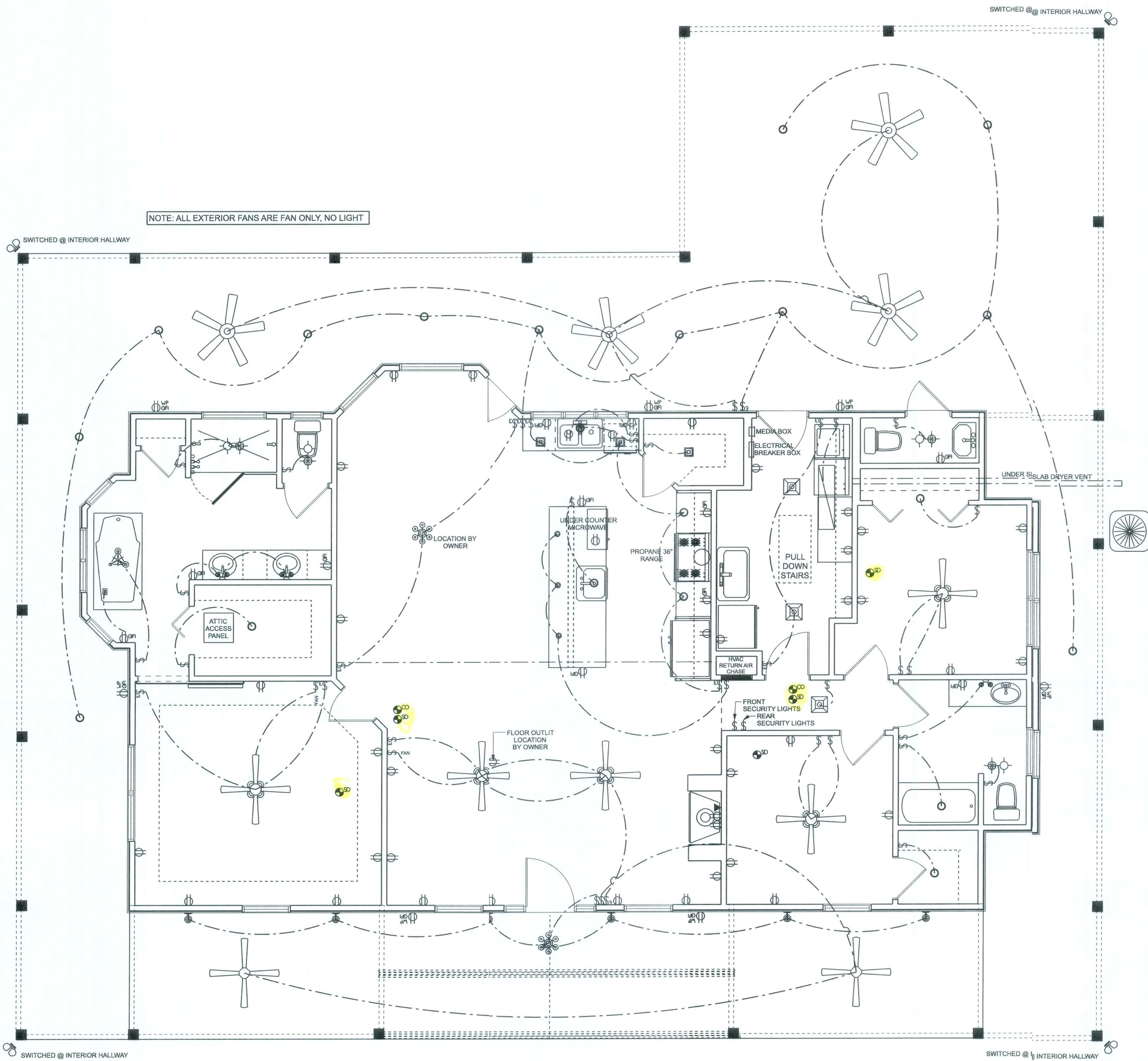
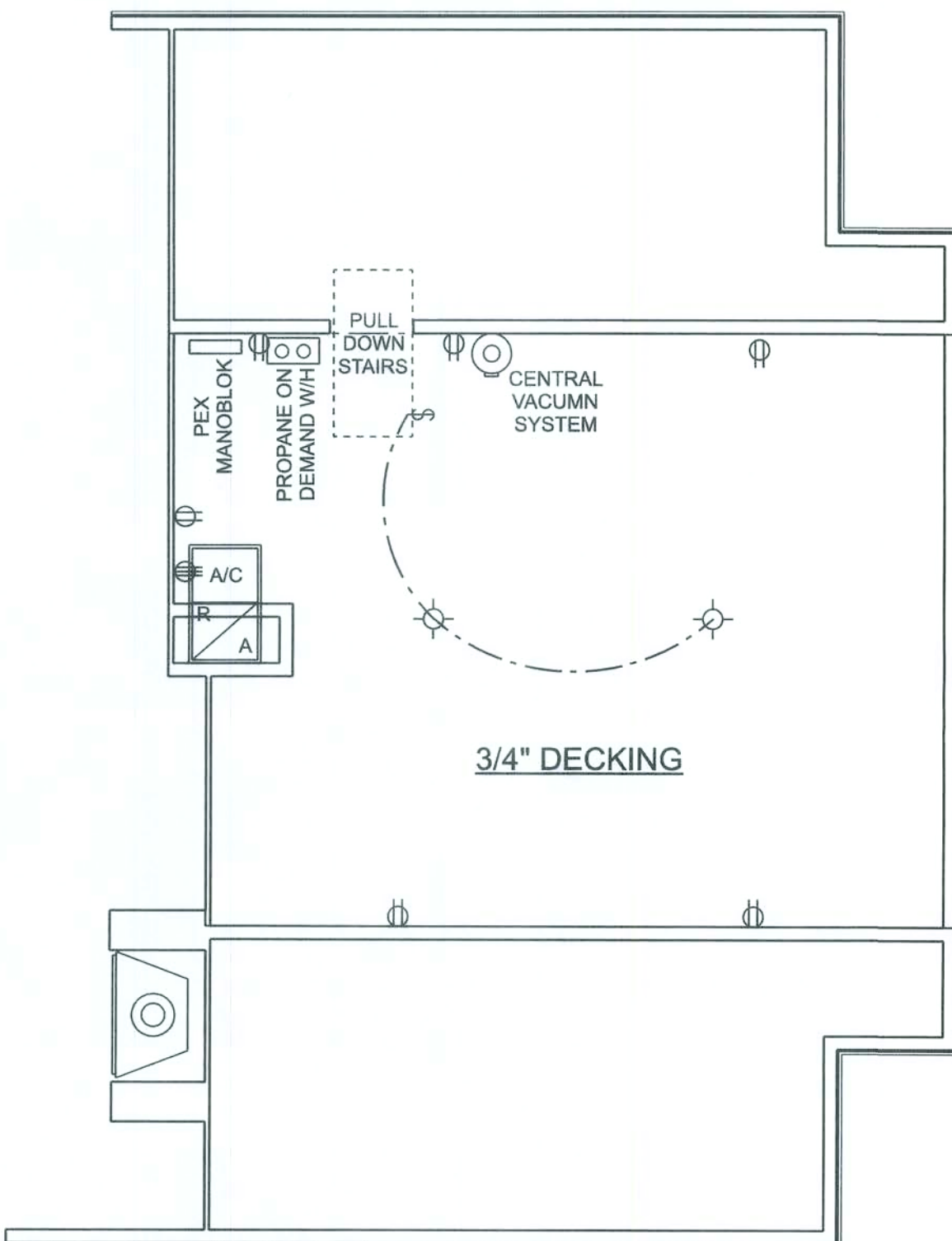
DRAWN BY: Matthew A. Erkinger Sr. CHECKED BY:

DRAWING NUMBER
#1
OF 3 SHEETS

REVISIONS	

SOFTPLAN
ARCHITECTURAL DRAIN SOFTWARE

ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
com - data TV	▼
detector - CO	⦿
detector - smoke	⦿
fan - Bath fan light	⦿
fan - ceiling fan	⦿
light - can light	○
outlet	⦿
outlet - WP	⦿
outlet - gfi	⦿
switch	\$
switch - 3 way	\$
ceiling fan 5 bladed 01	⦿
ceiling fan spotlights 02	⦿
can light 6inch	○
ceiling shade square	⦿
chandelier 01	⦿
chandelier 04	⦿
fluorescent light 1 x 4	⦿
pendant globe	○
pendant large	⦿
pot light	○
spotlight double	⦿
floor outlet single	⦿
floor receptacle duplex	⦿
egitto 2	⦿
wall mounted 03 1 light	⦿



ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

- ELECTRICAL PLAN NOTES:**
- E - 1 WIRE ALL APPLIANCES, HVAC UNITS AND OTHER EQUIPMENT PER MANUF. SPECIFICATIONS.
 - E - 2 CONSULT THE OWNER FOR THE NUMBER OF SEPERATE TELEPHONE LINES TO BE INSTALLED.
 - E - 3 ALL INSTALLATIONS SHALL BE PER NAT'L. ELECTRIC CODE.
 - E - 4 ALL SMOKE DETECTORS SHALL BE 120V W/ BATTERY BACKUP OF THE PHOTOELECTRIC TYPE, AND SHALL BE INTERLOCKED TOGETHER. INSTALL INSIDE AND NEAR ALL BEDROOMS.
 - E - 5 TELEPHONE, TELEVISION AND OTHER LOW VOLTAGE DEVICES OR OUTLETS SHALL BE AS PER THE OWNER'S DIRECTIONS, & IN ACCORDANCE W/ APPLICABLE SECTIONS OF NEC-LATEST EDITION.
 - E - 6 ELECTRICAL CONTR'L SHALL BE RESPONSIBLE FOR THE DESIGN & SIZING OF ELECTRICAL SERVICE AND CIRCUITS.
 - E - 7 ENTRY OF SERVICE (UNDERGROUND OR OVERHEAD) TO BE DETERMINED BY POWER COMPANY.
 - E - 8 ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUN ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
 - E - 9 ALL OUTLETS TO BE LOCATED ABOVE BASE FLOOD ELEVATION.
 - E - 10 A SERVICE DISCONNECT WITH OVER CURRENT PROTECTION SHALL BE INSTALLED OUTSIDE OF THE BUILDING, ON THE LOAD SIDE OF THE METER, AT THE PLACE ELECTRIC CONDUCTORS ENTER THE BUILDING.
 - E - 11 SERVICE ENTRANCE CONDUCTORS MAY NOT BE LOCATED INSIDE OF THE OF THE BUILDING WITHOUT SPECIAL APPROVAL OF THE BUILDING OFFICIAL.
 - E - 12 CARBON MONOXIDE ALARMS SHALL BE REQUIRED WITHIN 10' OF ALL ROOMS FOR SLEEPING PURPOSES IN BUILDINGS HAVING A FOSSIL-FUEL-BURNING HEATER OR APPLIANCE, A FIREPLACE, OR ATTACHED GARAGE.
 - E - 13 ALL OUTLETS LOCATED IN RESIDENTIAL TO BE TAMPER-RESISTANT PER NEC.
 - E - 14 A MINIMUM OF 75% OF PERMANENTLY INSTALLED LAMPS OR LIGHTING FIXTURES SHALL BE HIGH EFFICACY 2017 FBC EC SEC. R404.1

Erkinger Construction
Group

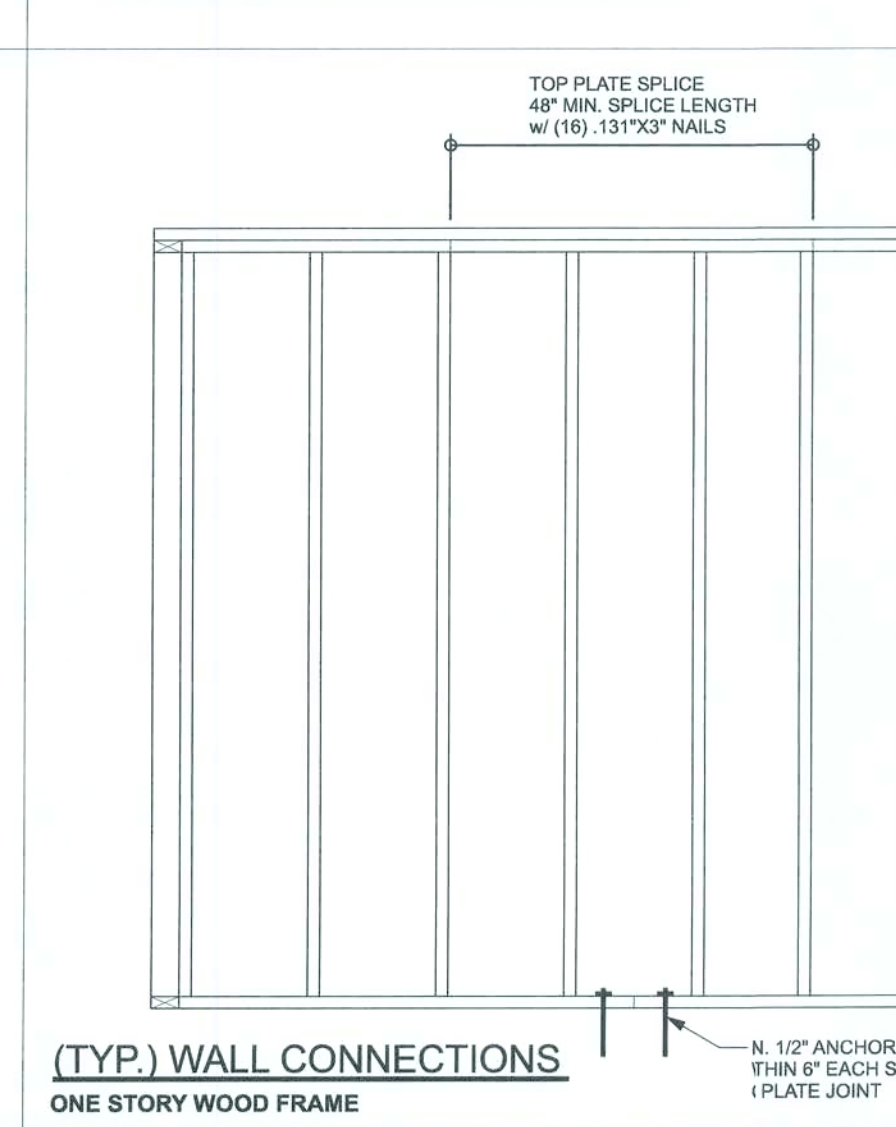
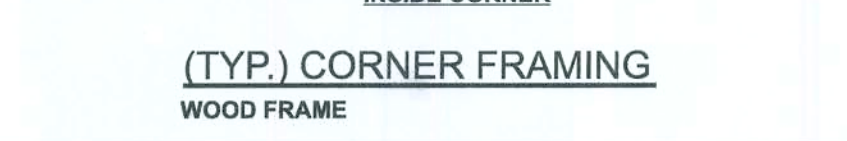
**Matthew and Kelly
ERKINGER
Residence**

ADDRESS:
222 SW Jewel Court
Fort White, FL 32038
Lot #7 Herlog Junction
Columbia County, FL
Parcel D#
07-6S-16-0787-007

PRINTED DATE:
Monday, Jul 13, 2020

DRAWN BY: Matthew A. Erkinger Sr.
CHECKED BY:

DRAWING NUMBER
#3
OF 3 SHEETS



EXTERIOR WALL STUD TABLE FOR SPF #2 STUDS:

GRADE & SPECIES TABLE			
		Fb	E
2x8	SP #2	925	1.4
2x10	SP #2	800	1.4
2x12	SP #2	750	1.4
GLB	24F-V3 SP	2600	1.9
LSL	TIMBERSTRAND	1700	1.7
LVL	MICROLAM	2950	2.0
PSL	PARALAM	2900	2.0



DESIGN CRITERIA & LOADS:			
BUILDING CODE	6TH EDITION FLORIDA BUILDING CODE RESIDENTIAL (2017)		
CODE FOR DESIGN LOADS	ASCE 7-10		
WIND LOADS			
BASIC WIND SPEED (ASCE 7-10, 3S GUST)	130 MPH		
WIND EXPOSURE (BUILDER MUST FIELD VERIFY)	C		
TOPOGRAPHIC FACTOR (BUILDER MUST FIELD VERIFY)	I		
RISK CATEGORY	II		
ENCLOSURE CLASSIFICATION	ENCLOSED		
INTERNAL PRESSURE COEFFICIENT	0.18		
ROOF ANGLE	7-45 DEGREES		
MEAN ROOF HEIGHT	30 FT		
C&C DESIGN PRESSURES	SEE TABLE		
FLOOR LOADING			
ROOMS OTHER THAN SLEEPING ROOM	40 PSF LIVE LOAD		
SLEEPING ROOMS	30 PSF LIVE LOAD		
ROOF LOADING			
FLAT OR < 4:12	20 PSF LIVE LOAD		
4:12 TO < 12:12	18 PSF LIVE LOAD		
12:12 & GREATER	12 PSF LIVE LOAD		
SOIL BEARING CAPACITY	1500 PSF		
FLOOD ZONE	THIS BUILDING IS NOT IN THE FLOOD ZONE		
COMPONENT & CLADDING DESIGN PRESSURES 130 MPH (EXP C)			
ROOF LIVE WIND (F72)	ZONE 4 INTERIOR	ZONE 6 END 4' FROM ALL OUTSIDE CORNER	
0 - 20	+25.6(V _{WIND}) -27.8(V _{WIND})	+25.6(V _{WIND}) -34.2(V _{WIND})	
0 - 20	+42.6(V _{WIND}) -46.2(V _{WIND})	+42.6(V _{WIND}) -57(V _{WIND})	

ERKINGER
CONSTRUCTION GROUP

Matthew and Kelly
ERKINGER
Residence

PROJECT ADDRESS:
222 SW Jewell Court, Fort White, FL 32039
Lot #7 Herndon Junction, Columbia County
Parcel ID# 07-6S-16-03787-007

DIMENSIONS:
 Stated dimensions supercede scaled dimensions. Refer all questions to Mark Disosway, P.E. for resolution.
 Do not proceed without clarification.

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CERTIFICATION: I hereby certify that I have examined this plan, and that the applicable portions of the plan, relating to wind engineering comply with the 6th Edition/Florida Building Code Residential (2017) to the best of my knowledge.

LIMITATION: This design is valid for one building, at specified location.

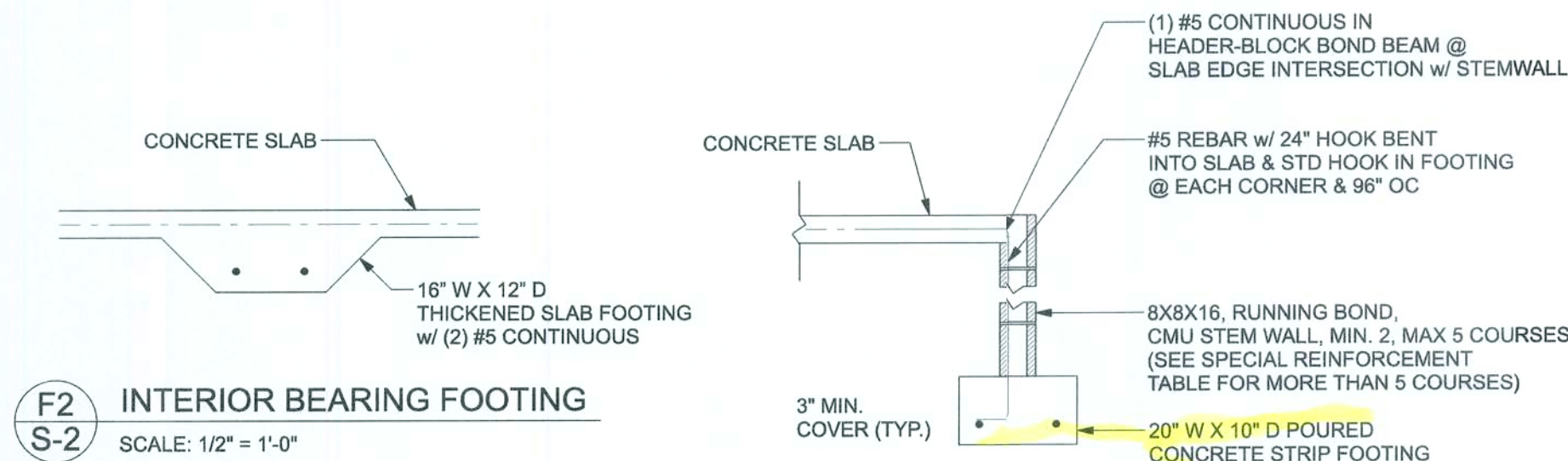
MARK DISOSWAY P.E. 53915



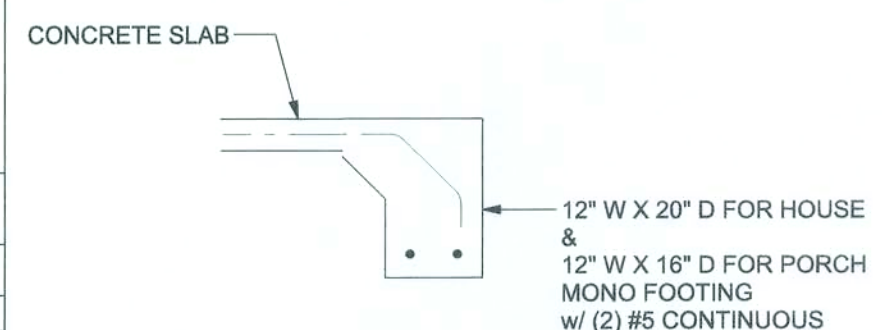
Monday, May 6, 2020

Mark Disosway P.E.
163 SW Midtown Place
Suite 03
Lake City, Florida 32025
386.7545419
disoswaydesign@gmail.com

JOB NUMBER:
200717
Site#



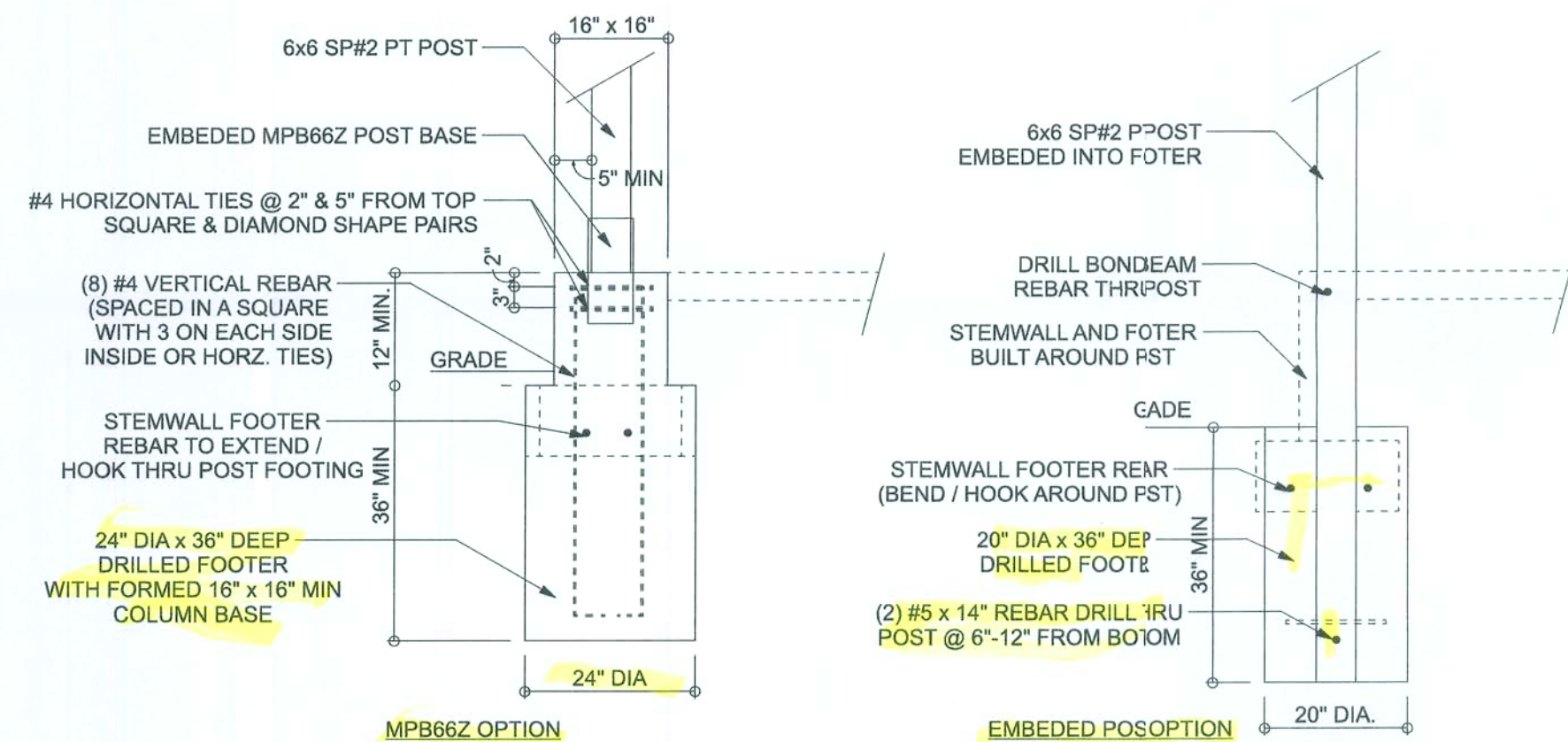
F1 S-2 STEM WALL FOOTING
SCALE: 1/2" = 1'-0"



F1 S-2 OPTIONAL MONOLITHIC FOOTING
SCALE: 1/2" = 1'-0"

TALL STEM WALL TABLE:
The table assumes 40 ksi for #5 rebar and 60 ksi for #7 & #8 rebar with 6" hook in the footing and bent 24" into the reinforced slab at the top. The vertical steel is to be placed toward the tension side of the CMU wall (away from the soil pressure, within 2" of the exterior side of the wall). If the wall is over 8' high, add Duowall ladder reinforcement at 16" OC vertically or a horizontal bond beam with 1#5 continuous at mid height. For higher parts of the wall 12" CMU may be used with reinforcement as shown in the table below.

STEM WALL HEIGHT (FEET)	UNBALANCED BACKFILL HEIGHT	VERTICAL REINFORCEMENT FOR 8" CMU STEMWALL (INCHES O.C.)			VERTICAL REINFORCEMENT FOR 12" CMU STEMWALL (INCHES O.C.)		
		#5	#7	#8	#5	#7	#8
3.3	3.0	96	96	96	96	96	96
4.0	3.7	96	96	96	96	96	96
4.7	4.3	88	96	96	96	96	96
5.3	5.0	56	96	96	96	96	96
6.0	5.7	40	80	96	80	96	96
6.7	6.3	32	56	80	56	96	96
7.3	7.0	24	40	56	40	80	96
8.0	7.7	16	32	48	32	64	80
8.7	8.3	8	24	32	24	48	64
9.3	9.0	8	16	24	16	40	48



F3 S-2 SHEAR POSTS ARE REAR OF CRPOST
SCALE: 1/2" = 1'-0"

MASONRY NOTE:
MASONRY CONSTRUCTION AND MATERIALS FOR THIS PROJECT SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATION FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 8/MS 602). THE CONTRACTOR AND MASON MUST IMMEDIATELY, BEFORE PROCEEDING, NOTIFY THE ENGINEER OF ANY CONFLICTS BETWEEN ACI 530.1-02 AND THESE DESIGN DRAWINGS. ANY EXCEPTIONS TO ACI 530.1-02 MUST BE APPROVED BY THE ENGINEER IN WRITING.

ACI 530.1-02 Section	Specific Requirements
1.4A Compressive strength	8" block bearing walls F'm = 1500 psi
2.1 Mortar	ASTM C 270, Type N, UNO
2.2 Grout	ASTM C 476, admixtures require approval
2.3 CMU standard	ASTM C 90-02, Normal weight, Hollow, medium surface finish, 8"x8"x16" running bond and 12"x12" or 16"x16" column block
2.3 Clay brick standard	ASTM C 216-02, Grade SW, Type FBS, 5.5"x2.75"x11.5"
2.4 Reinforcing bars, #3 - #11	ASTM 615, Grade 40, Fy = 40 ksi. Lap splices min 40 bar dia, (25" for #5)
2.4F Coating for corrosion protection	Anchors, sheet metal ties completely embedded in mortar or grout, ASTM A525, Class G60, 0.60 oz/lb or 304SS
2.4F Coating for corrosion protection	Joint reinforcement in walls exposed to moisture or wire ties, anchors, sheet metal ties not completely embedded in mortar or grout, ASTM A153, Class B2, 1.50 oz/lb or 304SS
3.3.E.2 Pipes, conduits, and accessories	Any not shown on the project drawings require engineering approval.
3.3.E.7 Movement joints	Contractor assumes responsibility for type and location of movement joints if not detailed on project drawings.

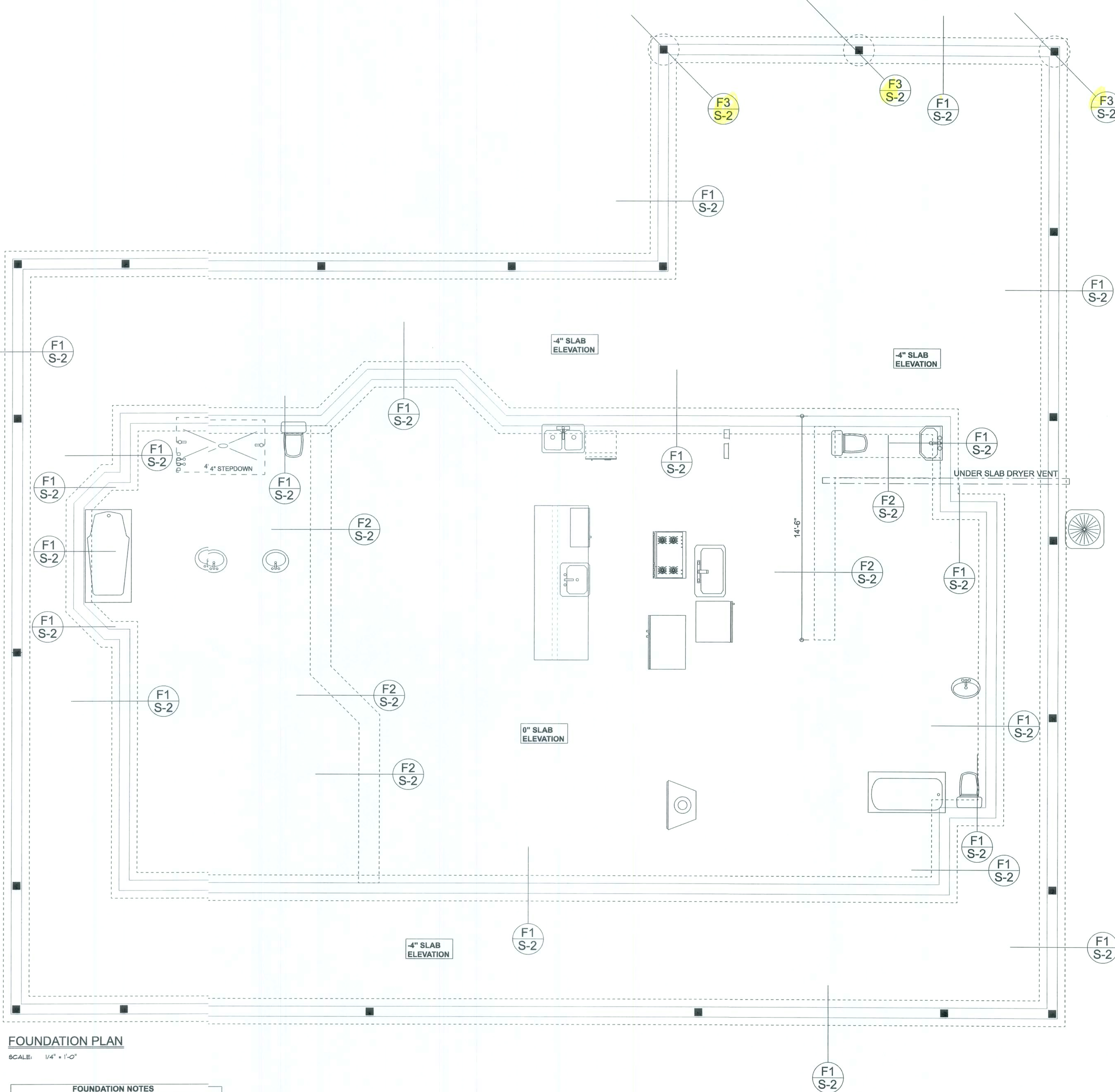
BOTTOM OF EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 12" BELOW UNDISTURBED SOIL OR ENGINEERED FILL PER FBC 2017-RES. SECTION R403.1.4

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION NOTES

1. DIMENSIONS ON FOUNDATION & STRUCTURAL SHEETS ARE NOT EXACT. REFER TO ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS. RECESSES IN SLAB, STEP DOWNS, ETC. DISOSWAY DESIGN GROUP OR MARK DISOSWAY, P.E. IS NOT RESPONSIBLE FOR DIMENSION ERRORS ON THIS PLAN.
2. CONTRACTOR SHALL VERIFY NEED FOR INTERIOR BEARING IN ALL AREAS BY REVIEWING THE ROOF TRUSS PLAN (BY THE SUPPLIER) BEFORE FINALIZING FOUNDATION PLAN.
3. THE SLAB SHALL BE 4" CONCRETE SLAB REINFORCED w/ 10#6-14" x 4" WELDED WIRE MESH PLACED ON CHAIRS @ 1 1/2" DEPTH OR FIBER MESH CONCRETE, 6-MIL POLY VAPOR BARRIER w/ 6" LAPS SEALED w/ POLY TAPE OVER TERMITE-TREATED & COMPACTED FILL.



ERKINGER
CONSTRUCTION GROUP

Matthew and Kelly
ERKINGER
Residence

PROJECT ADDRESS:
222 SW Jewel Court, Fort White, FL 32038
Lot #7 Parcel ID# 07-658-16-03787-007

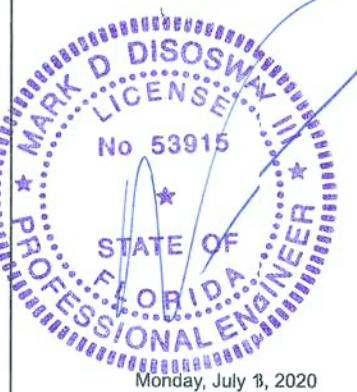
DIMENSIONS:
Stated dimensions supersede scaled dimensions. Refer all questions to Mark Disosway, P.E. for resolution. Do not proceed without clarification.

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CERTIFICATION: I hereby certify that I have examined this plan, and the applicable portions of the plan, relate to wind engineering comply with the 6th Edition Florida Building Code Residential (017) to the best of my knowledge.

LIMITATION: This design is valid for one building, at specified location.

MARK DISOSWAY, P.E. 53915



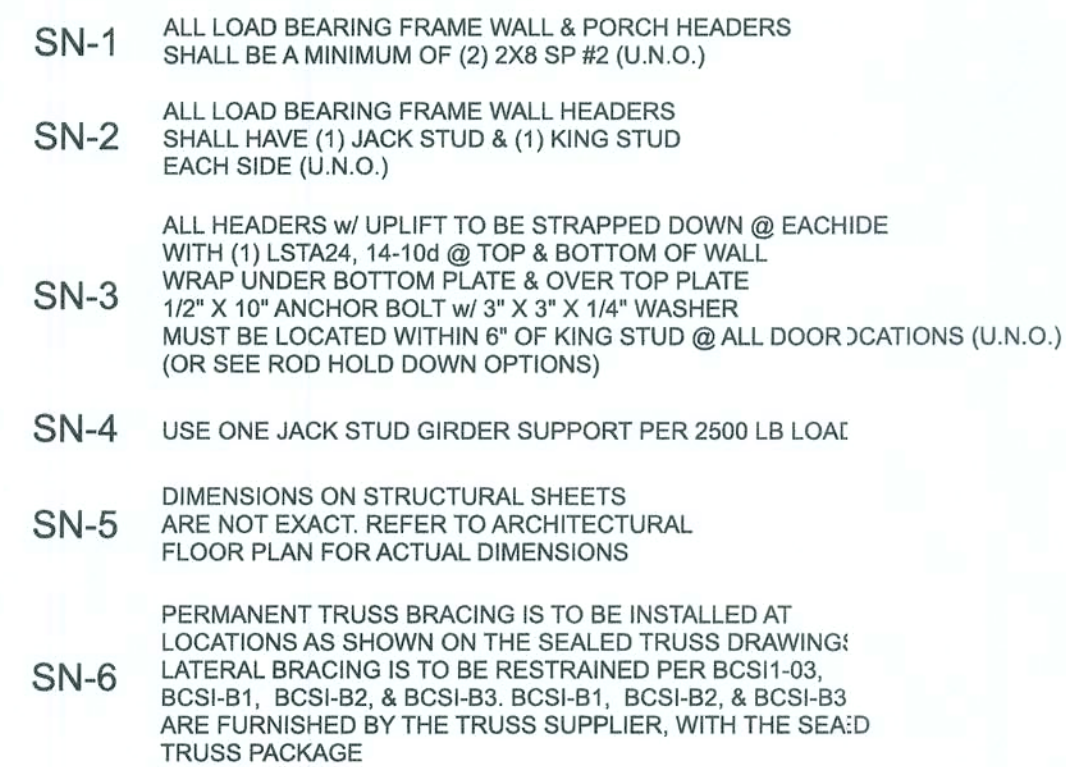
Mark Disosway P.E.
163 SW Midtown Place
Suite 103
Lake City, Florida 32025
386.754.1419
disoswaydesign@gmail.com

JOB NUMBER:

200747

S-2

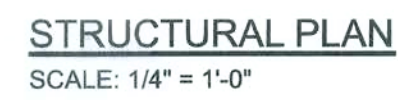
OF 3 SHEETS



(2) 2X10X0, 1J 1K ← **HEADER/BEAM CALL-OUT (U.N.)**

- NUMBER OF KING STUDS (FULL LENGTH)
- NUMBER OF JACK STUDS (UNDER HIDER)
- SPAN OF HEADER
- SIZE OF HEADER MATERIAL
- NUMBER OF PLYS IN HEADER

CONNECTIONS, WALL, & HEADER DESIGN IS BASED
ON REACTIONS & UPLIFTS FROM TRUSS ENGINEERING
FURNISHED BY BUILDER. SEMINOLE TRUSSES, INC
JOB # B51573a



PROJECT ADDRESS:
222 SW Jewel Court, Fort White, FL 32038
Lot #7 Herlong Junction, Columbia County, FL
Parcel ID# 07-6S-16-03787-007

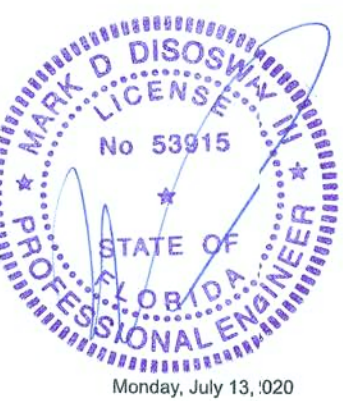
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CERTIFICATION: I hereby certify that I have examined this plan, and that I can applicable portions of the plan, relating to wind engineering comply with the 6th Edition Florida Building Code Residential (207) to the best of my knowledge.

LIMITATION: This design is valid for one building, at specified location.

MARK DISOSWAY FE. 53915



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163 SW Midtown Place
Suite 103
Lake City, Florida 32025
386.754.5419
disoswaydesign@gmail.com

JOB NUMBER:

S-3

OF 3 SHEE'S