

COLUMBIA COUNTY
PLANNING AND ZONING BOARD
June 23, 2016 MEETING AGENDA

COLUMBIA COUNTY SCHOOL BOARD ADMINISTRATIVE COMPLEX
372 WEST DUVAL STREET, LAKE CITY, FLORIDA
6:15 P.M.

Public Hearings

- SDP 16 02** – A request by Daryle Gray of Dewberry|Preble-Rish on behalf of The KINJAC Corporation, owner, for site and development plan approval for a proposed ±2,181 square foot expansion to an existing automotive self-service station and a proposed ±3,010 square foot addition for a restaurant use located in the Commercial, Highway Interchange (“CHI”) Zone District (Tax Parcel Number 02063-000 and a portion of 02063-001).

Staff Matters

Adoption of the May 26, 2016 meeting minutes.

Discussion Items

None

NOTE: All persons are advised that if they decide to appeal any decision made at the above referenced public hearings, they may need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

Planning & Zoning Board Hearing Date:

June 23, 2016

SUBJECT:

SDP 16 03 - A request for Site Plan approval for a proposed $\pm 2,181$ square foot expansion to an existing automotive self-service station and a proposed $\pm 3,010$ square foot addition for a restaurant use as permitted in accordance with Section 4.15.2 of the Land Development Regulations ("LDRs"). The subject property contains ± 3.30 acre subject property.

APPLICANT/AGENT:

Daryle Gray, Project Manager for Dewberry|Preble-Rish

**PROPERTY
OWNER(S):**

The KINJAC Corporation

LOCATION:

North of Interstate Highway-10 (I-10) and Vacant Commercial; South of Vacant Commercial and Quality Equipment & Parts; East of Vacant Commercial; West of U.S. Highway 41, NW Falling Creek Road, and Vacant Commercial; Columbia County, Florida.

**PARCEL ID
NUMBER(S):**

11-3s-16-02063-000 & 11-3s-16-02063-001

ACREAGE:

± 3.30 acres

EXISTING FLUM

Highway Interchange

EXISTING ZONING

Commercial, Highway Interchange ("CHI")

PROJECT PLANNER:

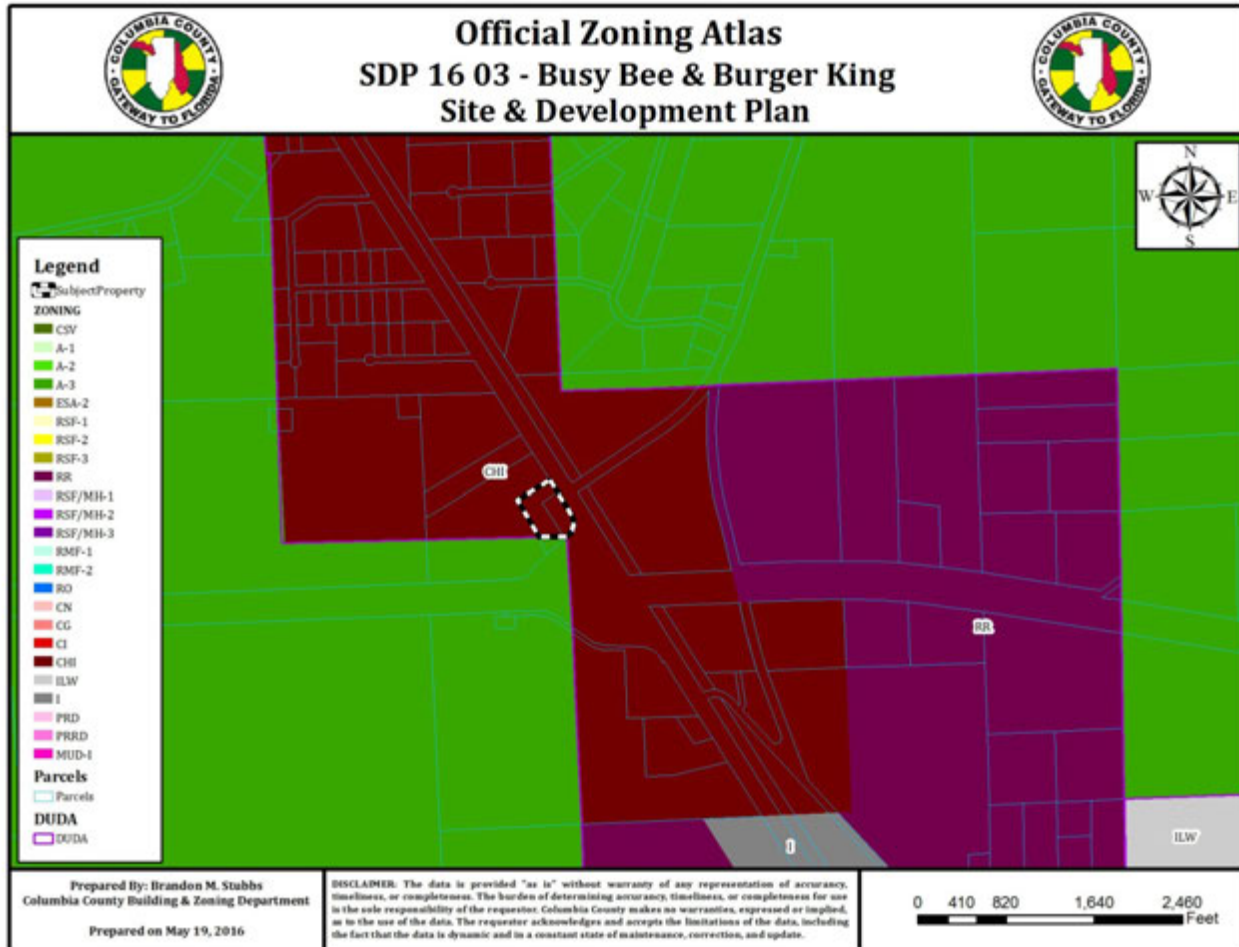
Brandon M. Stubbs

BOARD MEETS THE FIRST THURSDAY AT 5:30 P.M.
AND THIRD THURSDAY AT 5:30 P.M.

SUMMARY

The subject property is currently contains an automotive self-service station (Busy Bee); however, the applicant proposes an additional ±2,181 square foot expansion to an existing automotive self-service station and a proposed ±3,010 square foot addition for a restaurant use with associated parking, landscaping, stormwater, and other amenities. Access to the subject property is via State Road 41. The applicant proposes a new retention basin to contain stormwater runoff.

Map 1. Existing Official Zoning Atlas with Subject Property



The Commercial, Highway Interchange ("CHI") Zone District is described as follows in Section 4.15.1 of the Land Development Regulations ("LDRs"):

"The "CHI" Commercial, Highway Interchange category includes one zone district: CHI. This specialized district is intended for areas where adequate lot depth is available to provide development for vehicular-related uses primarily serving the traveling public. Uses in such district are subject to criteria and standards intended to preserve the character of the district and to minimize adverse impacts with abutting and nearby uses. This district shall only be applied to interstate highway interchange areas."

ZONING DISTRICT COMPARISON

Zoning District:	Commercial, Highway Interchange (“CHI”)
Max. Gross Density:	N/A
Minimum Lot Area	<p>Floor area of 10,000 sq. ft. or greater.</p> <ul style="list-style-type: none"> Minimum site area: One acre. Minimum lot width: 200 feet. <p>Floor area of 5,000 square feet but less than 10,000 square feet.</p> <ul style="list-style-type: none"> Minimum site area: 20,000 square feet. Minimum lot width: 125 feet. <p>Floor area of less than 5,000 square feet.</p> <ul style="list-style-type: none"> Minimum site area: 10,000 square feet. Minimum lot width: 100 feet.
Floor Area Ratio:	0.25
Typical Uses*:	Automotive Service and Self-Service Stations; Rental of Automotive Vehicles, Trailers, and Trucks; Restaurants; Motels; Retail Commercial Outlets; Churches and other Houses of Worship; Facilities for Storage and Distribution of Products, including Wholesale Activities; Warehousing (Including Yards); Business and Professional Offices

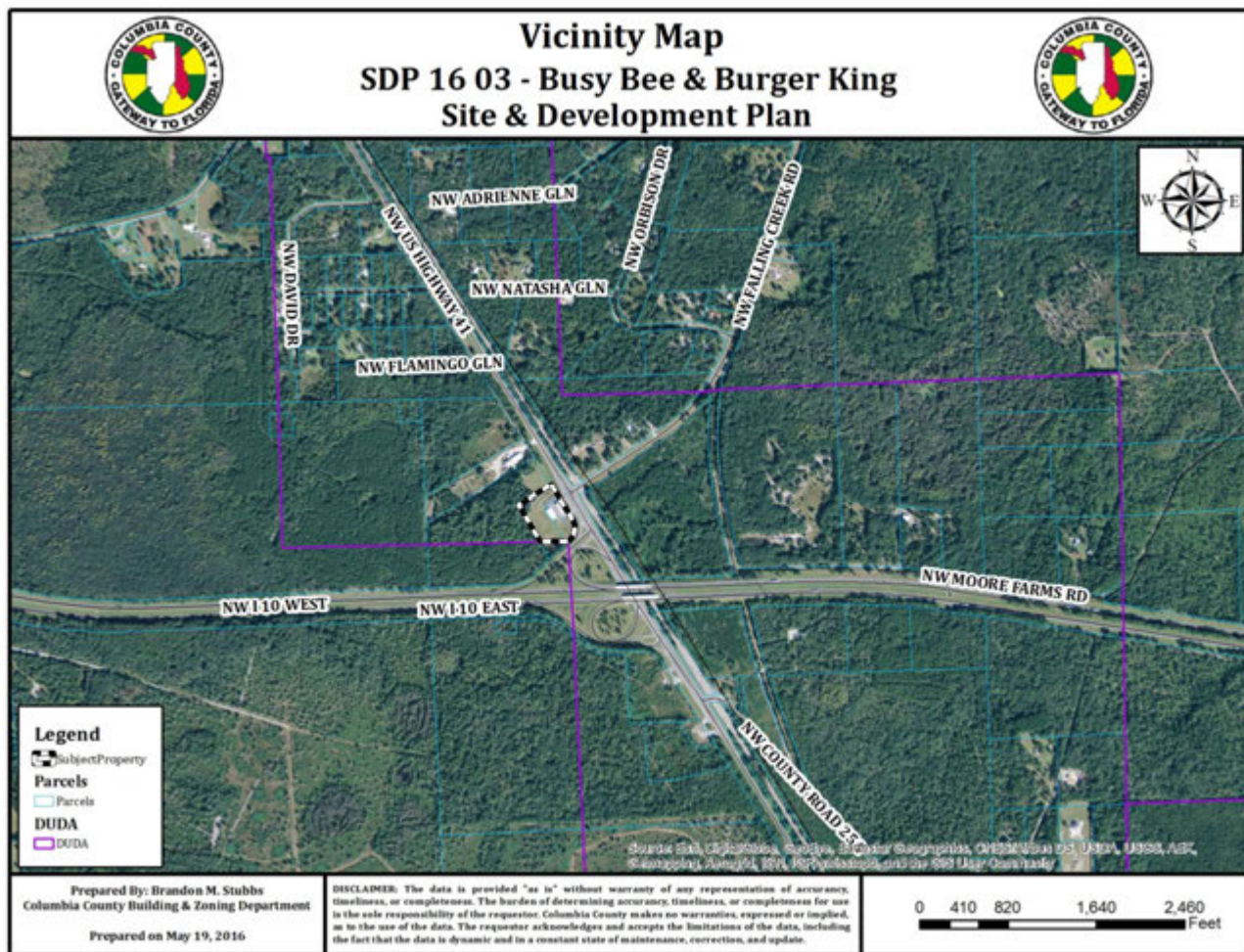
SURROUNDING USES

The existing uses, Future Land Use Map (“FLUM”) Designations, and zone districts of the surrounding area are identified in Table 1. Map 2 provides an overview of the vicinity of the subject property.

Table 1. Surrounding Land Uses

Direction	Existing Use(s)	FLUM Designation(s)	Zoning District(s)
North	Vacant Commercial/Quality Equipment	Highway Interchange	Commercial, Highway Interchange (“CHI”)
South	Vacant Commercial/Vacant Agriculture/ Interstate Highway-10 (“I-10”)	Highway Interchange/ Agriculture	Commercial, Highway Interchange (“CHI”)/ Agriculture-3 (“A-3”)
East	SW State Road 41/NW Falling Creek Rd/Vacant Commercial	Highway Interchange	Commercial, Highway Interchange (“CHI”)
West	Vacant Commercial	Highway Interchange	Commercial, Highway Interchange (“CHI”)

Map 2. Vicinity Map



CONSISTENCY WITH THE COMPREHENSIVE PLAN

The zoning designation is consistent with the underlying Future Land Use Map ("FLUM") Designation. Below is a chart of the existing FLUM Designation and the existing zoning designation.

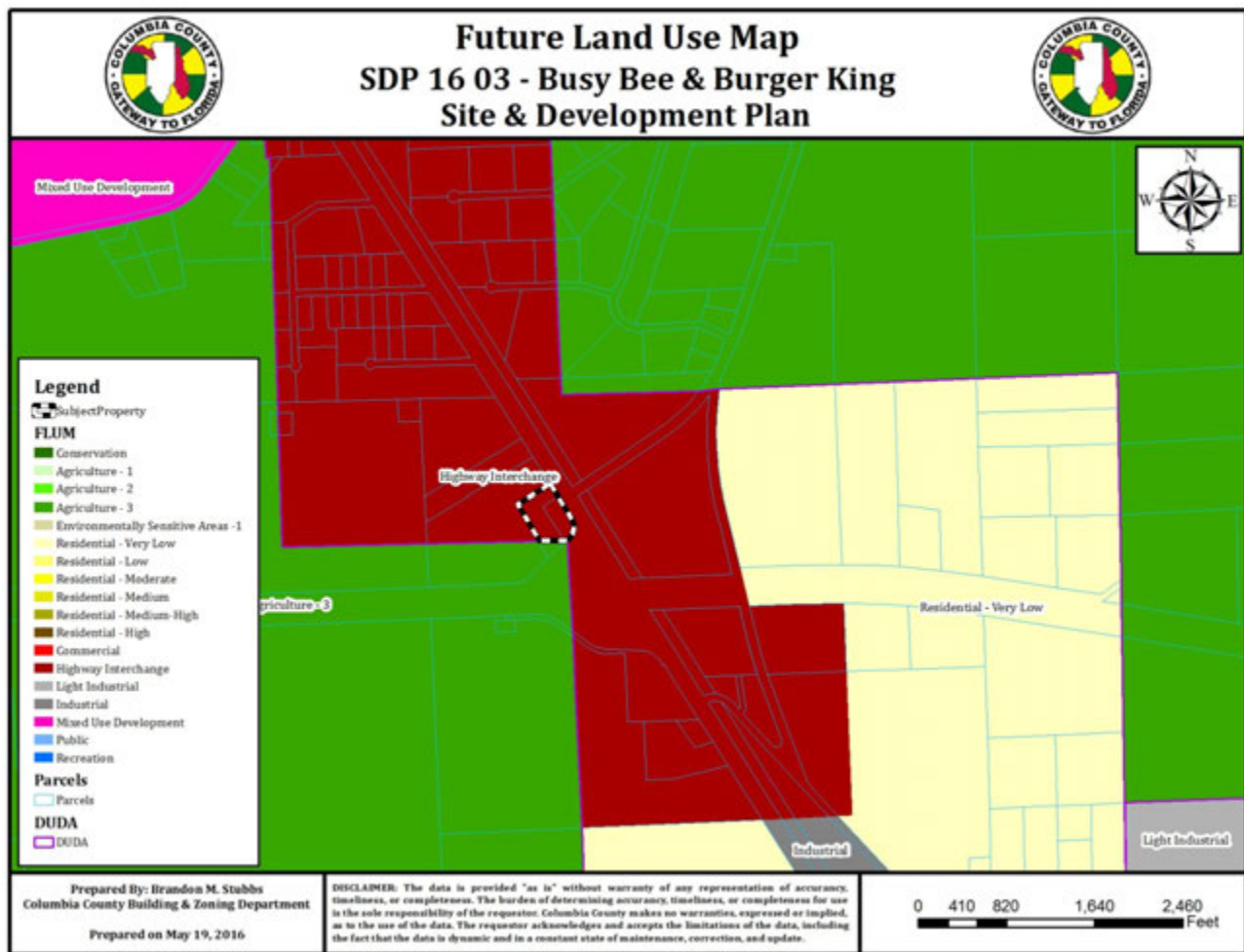
Table 2. Zoning Consistency with Underlying Future Land Use Map Designation

Existing FLUM Designation	Existing Zoning Designation	Consistent
Highway Interchange	Commercial, Highway Interchange ("CHI")	✓

The following Comprehensive Plan Elements have Goals, Objectives, and Policies (GOPs) that support the proposed Site Specific Amendment to the Official Zoning Atlas:

- Future Land Use Element
- Transportation Element
- Sanitary Sewer, Solid Waste, Drainage, Potable Water, and Natural Groundwater Aquifer Recharge Element
- Capital Improvements Element

Map 3. Existing Future Land Use Map Designation



Staff has reviewed the application for Site Plan Approval for consistency with the Comprehensive Plan and finds the application consistent with the Comprehensive Plan and the Goals, Objectives, and Policies (GOPs) therein.

ENVIRONMENTAL CONDITIONS ANALYSIS

Wetlands

According to Illustration A-VI of the Comprehensive Plan, entitled Wetlands Areas, which is based upon the National Wetlands Inventory, dated 1987, and the National Wetlands Reconnaissance Survey, dated 1981, there are no wetlands located on the subject property.

Evaluation: Given no known wetlands are on the subject property, there are no issues related to wetland protection.

Map 4. Wetlands Map



Soil Survey

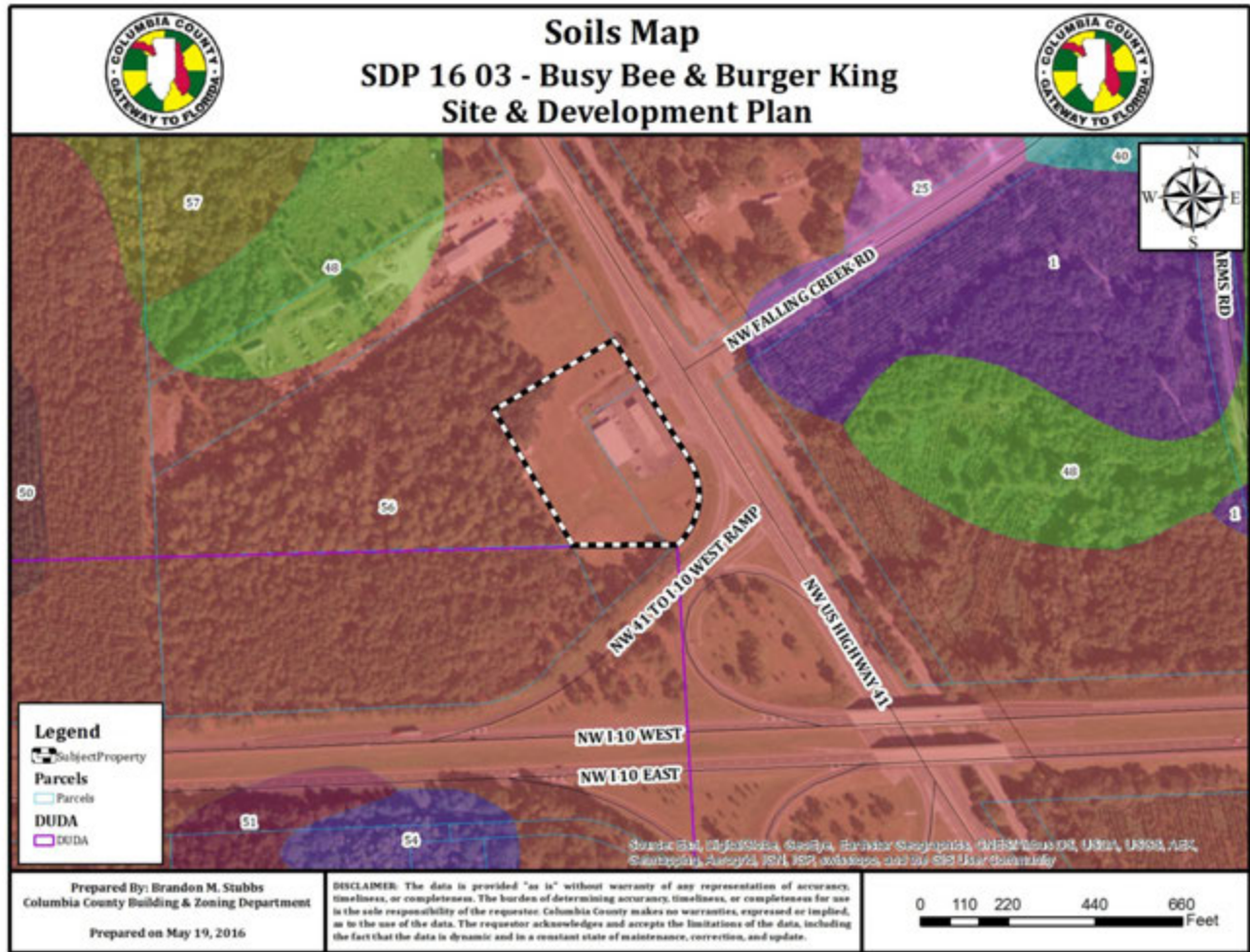
Each soil type found on the subject property is identified below. The hydrologic soil group is an indicator of potential soil limitations. The hydrologic soil group, as defined for each specific soil, refers to a group of soils which have been categorized according to their runoff-producing characteristics. These hydrologic groups are defined by the Soil Survey of Columbia County, Florida, dated October 1984. The chief consideration with respect to runoff potential is the capacity of each soil to permit infiltration (the slope and kind of plant cover are not considered, but are separate factors in predicting runoff). There are four hydrologic groups: A, B, C, and D. "Group A" soils have a higher infiltration rate when thoroughly wet and therefore have a lower runoff potential. "Group D" soils have very lower infiltration rates and therefore a higher runoff potential.

There is one (1) soil type found on the subject property:

- 1) Sapelo fine sand soils are poorly drained, nearly level soils in the flatwoods. The surface and subsurface layers are comprised of fine sand to a depth of 57 inches. The subsoil layer is comprised of sandy clay loam to a depth of 80 inches or more. Sapelo fine sand soils have moderate limitations for building site development and severe limitations for septic tank absorption fields.

Evaluation: The soil type on the subject property is Sapelo fine sand soils. Sapelo fine sand soils pose moderate limitations for building development and severe limitations for septic tank absorption field. The applicant shall be required to obtain a permit from the Florida Department of Environmental Health.

Map 5. Soils Map

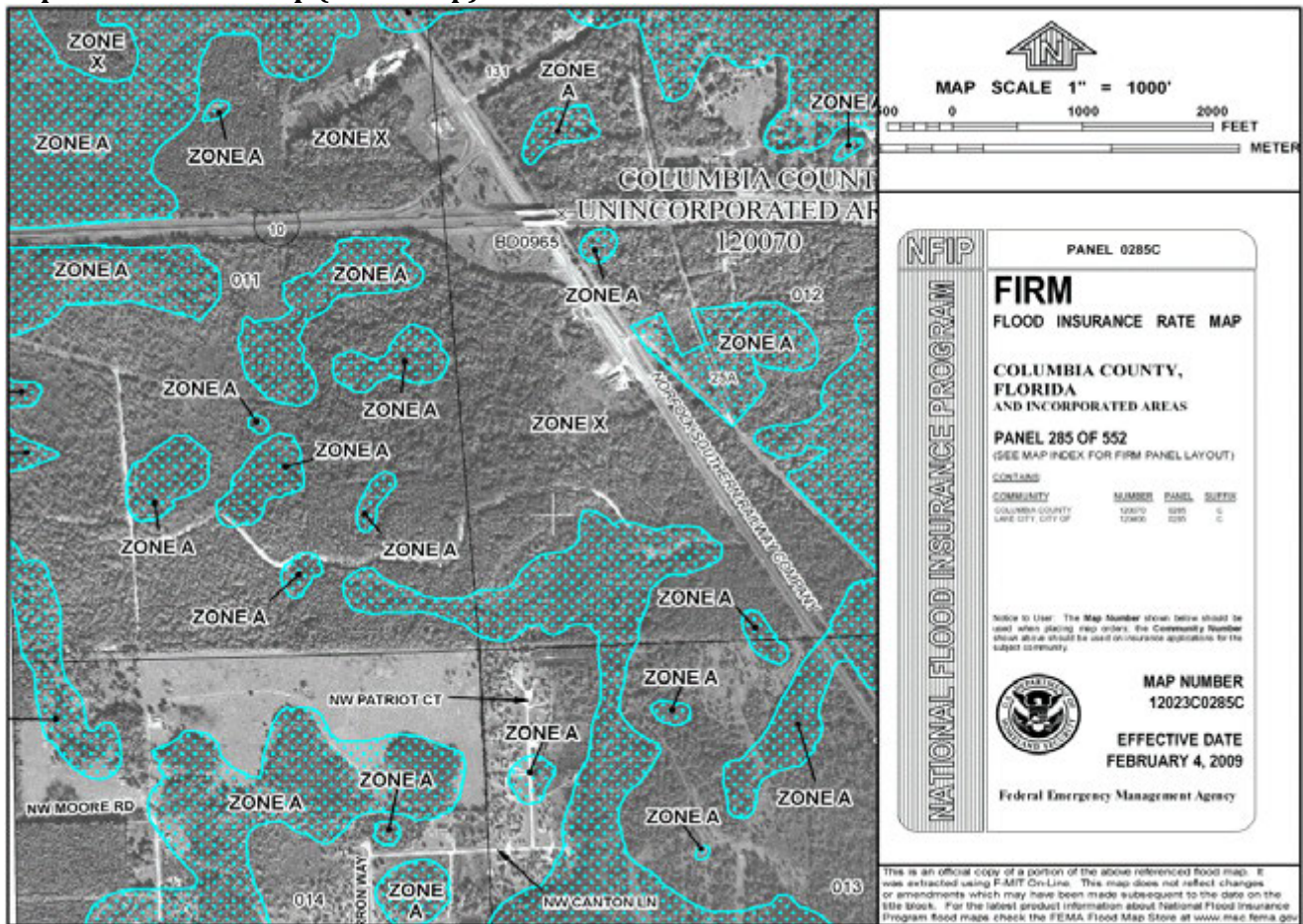


Flood Potential

Panel 0285C of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Series, dated February 4, 2009, indicates that the subject property is in Flood Zone "X" (areas determined to be outside of the 500-year floodplain).

Evaluation: Being the subject property is located in Flood Zone "X", there is no concern of flood on the subject property.

Map 6. FEMA FIRM Map (Flood Map)



Stream to Sink

According to the Stream to Sink Watersheds, prepared by the Suwannee River Water Management District and adopted by the Board of County Commissioners, dated June 2, 2001, the subject property is not located within a stream to sink area.

Evaluation: Section 4.2.38 of the County's LDRs regulates Stream to Sink watershed areas; however, since the subject property is not located in a Stream to Sink Watershed, the requirements in Section 4.2.38 of the LDRs are not applicable.

Minerals

According to Illustration A-VII of the Comprehensive Plan, entitled Minerals, which is based upon Natural Resources, prepared by the Florida Department of Environmental Protection, 2012, the subject property is within an area known to contain Clayey Sand.

Evaluation: There are no issues related to minerals.

Historic Resources

According to Illustration A-II of the Comprehensive Plan, entitled Historic Resources, which is based upon the Florida Division of Historical Resources, Master Site File, dated 2013, there are no known historic resources located on the subject property.

Evaluation: There are no issues related to historic Resources.

Aquifer Vulnerability

According to the Columbia County Floridan Aquifer System Protection Zone Map, prepared by the Advance GeoSpatial Inc., dated September 29, 2009, the subject property is located in a more vulnerable area.

Evaluation: While the subject property is located in a more vulnerable area, there is no issue related to aquifer vulnerability due to the additional requires for areas located in a Stream to Sink watershed area.

Vegetative Communities/Wildlife

According to Illustration V-I of the Data and Analysis Report, entitled Vegetative Communities, the subject property is located within a non-vegetative community.

Evaluation: There is no known wildlife habitats associated with a non-vegetative community; therefore, there is no issue related to vegetative communities or wildlife.

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS

Section 14.13 of the Land Development Regulations (“LDRs”) regulates Site and Development Plans. County Staff has reviewed the proposed Site Plan and has found the Site Plan to be in compliance with Section 14.13.

PUBLIC FACILITIES IMPACT

Traffic Impact

Table 3. Affected Comprehensive Plan Roadway Segments¹

Segment Number ²	Segment Description	Lanes	Functional Classification	Area Type	LOS
12(47)	U.S. Highway 41 (From County's West Boundary to I-10)	2U	Principal Arterial	Highway Rural	D

¹ Source: Columbia County Comprehensive Plan, Capital Improvements Element.
² FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, Columbia County Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.

Table 4. Trip Generation¹

Land Use	AADT	PM Peak Hour
Service Station ² (ITE Code 944)	1,348	111
Restaurant w/ Drive-Thru ³ (ITE Code 934)	1,493	102
Total	2,841	213

¹ Source: ITE Trip Generation, 8th Edition.
² Formulas: AADT – ITE, 8th Edition: ADT – 168.56 trips per fueling station x 8 fueling stations; PM Peak Hour – 13.87 trips per fueling station x 8 fueling stations
³ Formulas: AADT – ITE, 8th Edition: ADT – 496.12 trips per thousand (1,000) sq ft x 3,010 sq ft; PM Peak Hour – 33.84 trips per thousand (1,000) sq ft x 3,010 sq ft

Table 5. Projected Impact on Affected Comprehensive Plan Roadway Segments

Traffic System Category	U.S. 41 Segment 12 ¹
Maximum Service Volume ²	14,200
Existing Traffic ³	4,105
Reserved Trips ⁴	0
Available Capacity ⁴	10,095
Projected Daily Trips ⁵	2,841
Residual Capacity⁶	7,354
PM Peak Hour Traffic Analysis	U.S. 41 Segment 12 ¹
Maximum Service Volume ²	1,350
Existing Traffic ³	390
Reserved Trips ⁴	0
Available Capacity ⁴	960
Projected PM Peak Hour Trips ⁵	213
Residual Capacity⁶	747
¹ FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, Columbia County Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity. ² Source: FDOT 2013 Quality/Level of Service Handbook, Generalized Annual Average Daily Volumes and Generalized Peak Hour Two-Way Volumes for Rural Undeveloped Areas. ³ Florida Department of Transportation, District II, 2014 Annual Average Daily Traffic Report. ⁴ Source: Columbia County June 2015 Concurrency Monitoring Report. ⁵ Trip Distributions ⁶ The application is for a Final Development Order. Facility capacity and concurrency will be reserved.	

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) of the roadway segment identified above; therefore, the demand generated by the development is acceptable.

Potable Water Impacts

The subject property will be served potable water via private well. The proposed private well shall be size to meet or exceed the adopted level of service standard for potable water established within the Comprehensive Plan. **Note: Calculations are based upon Chapter 64E-6.008, F.S.**

Based upon the proposed use of Restaurant (operating 16 hours or less), it is anticipated the proposed use will utilize a total of 2,960 Gallon Per Day ("GPD").

An average Restaurant (operating 16 hours or less) use generates 40 gallon per day per seat: 40GPD x 74 seats = 2,960 Gallons Per Day.

Based upon the proposed use of Service Station, it is anticipated the proposed use will utilize a total of 4,750 Gallon Per Day ("GPD").

An average Service Station use generates 250 gallon per day per water closet: 250GPD x 19 water closets = 4,750 Gallons Per Day.

The total gallons per day of the combined uses = 7,710 GPD

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) for potable water facilities; therefore, the demand generated by the development is acceptable.

Sanitary Sewer Impacts

The site is not located within a community centralized sanitary sewer system. The subject property will be served sanitary sewer via a private septic tank. The private septic tank shall be permitted by the Environmental Health Department based upon the anticipated flows. **Note: Calculations are based upon Chapter 64E-6.003, F.S.**

Based upon the proposed use of Restaurant (operating 16 hours or less), it is anticipated the proposed use will generate a total of 2,960 Gallon Per Day ("GPD").

An average Restaurant (operating 16 hours or less) use generates 40 gallon per day per seat: $40\text{GPD} \times 74 \text{ seats} = 2,960 \text{ Gallons Per Day}$.

Based upon the proposed use of Service Station, it is anticipated the proposed use will generate a total of 4,750 Gallon Per Day ("GPD").

An average Service Station use generates 250 gallon per day per water closet: $250\text{GPD} \times 19 \text{ water closets} = 4,750 \text{ Gallons Per Day}$.

The total gallons per day of the combined uses = 7,710 GPD

Evaluation: The subject property is served via private septic tanks and shall be permitted by the Environmental Health Department. The applicant was issued a variance on June 6, 2016 by the Florida Department of Environmental Health subject to the applicant obtaining and maintaining an annual onsite sewer treatment and disposal system operating permit in accordance with Subsection 64e-6.003(5), Florida Administrative Code; therefore, the impacts generated by the development will not adversely affect the Level of Service (LOS) for sanitary sewer facilities; therefore, the demand generated by the development is acceptable.

Solid Waste Impacts

Solid waste facilities for uses to be located on the site are provided at the sanitary landfill. The level of service standard established within the Comprehensive Plan for the provision of solid waste disposal is currently being met or exceeded.

Based upon 5.5 pounds of solid waste per 1,000 square foot gross floor area per day:

$9.843 \text{ (9,843 square foot gross floor area)} \times 5.5 \text{ (pounds of solid waste 1,000 square foot gross floor area per day)} = 54.14 \text{ pounds of solid waste generated per day}$.

Total County average solid waste disposal per day (including municipalities) = 471,300 pounds per day.

Based upon the annual projections of solid waste disposal at the landfill for 2015, solid waste facilities are anticipated to continue to meet or exceed the adopted level of service standard for solid waste facilities, as provided in the Comprehensive Plan, after adding the solid waste demand generated by a charter public school.

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) of solid waste facilities; therefore, the demand generated by the development is acceptable.

Recreation Facilities

The proposed development is nonresidential in nature; therefore, there are no impacts to recreation facilities. The development will have no impact to the Level of Service (LOS) of recreation facilities.

Public School Facilities

The proposed development is nonresidential in nature; therefore, there are no impacts to public school facilities. The development will have no impact to the Level of Service (LOS) of public school facilities.

RESOLUTION NO. PZ SDP 16-03

A RESOLUTION OF THE PLANNING AND ZONING BOARD OF COLUMBIA COUNTY, FLORIDA, APPROVING A SITE AND DEVELOPMENT PLAN WITH APPROPRIATE CONDITIONS AND SAFEGUARDS FOR AN AUTOMOTIVE SELF-SERVICE STATION AND A RESTAURANT USE LOCATED IN THE COMMERCIAL, HIGHWAY INTERCHANGE ("CHI") ZONING DISTRICT ON CERTAIN LANDS WITHIN THE UNINCORPORATED AREA OF COLUMBIA COUNTY, FLORIDA; REPEALING RESOLUTIONS IN CONFLICT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Ordinance No. 98-1, as amended, entitled Columbia County Land Development Regulations, hereinafter referred to as the Land Development Regulations, empowers the Planning and Zoning Board of Columbia County, Florida, hereinafter referred to as the Planning and Zoning Board, to approve, to approve with conditions, or to deny site and development plans in accordance with the Land Development Regulations;

WHEREAS, an application for a site development plan, as described below, has been filed with the County;

WHEREAS, the Planning and Zoning Board, has determined and found that approval of said site and development plan, as described below, would promote the public health, safety, morals, order, comfort, convenience, appearance, prosperity or general welfare; and

WHEREAS, the Planning and Zoning Board, has studied and considered the items enumerated in Section 14.13 of the Land Development Regulations and based upon said study and consideration has determined and found that:

1. A site and development plan was prepared and submitted to the County in accordance with the provisions of Section 14.13.1 of the Land Development Regulations;
2. Statements on ownership and control of the development and of conditions of ownership or control, use, and permanent maintenance of common open space, common facilities, or common lands to ensure preservation of such lands and facilities for their intended purpose and to ensure that such common facilities will not become a future liability for the Board of County Commissioners are sufficient;
3. Density and/or the intended use of the proposed development with particular attention to its relationship to adjacent and nearby properties and effect on those properties and relationship to the Comprehensive Plan are in accordance with the Comprehensive Plan and Land Development Regulations;
4. Ingress and egress to the development and proposed structures on the development provide for automotive and pedestrian safety, minimization of marginal friction with free movement of traffic on adjacent streets, separation of automotive traffic and pedestrian and other traffic, traffic flow and control, provision of services and servicing of utilities and refuse collection, and access in case of fire, catastrophe, or emergency;
5. Location and relationship of off-street parking and off-street loading facilities to thoroughfares and internal traffic patterns within the proposed development, with particular reference to automotive and pedestrian safety, traffic flow and control, access in case of fire or catastrophe, and screening and landscape are adequate;

6. Proposed screens and buffers sufficiently provide for the preservation of internal and external harmony and compatibility with uses inside and outside the proposed development;
7. Manner of stormwater management will not adversely affect the provisions for stormwater management on adjacent and nearby properties and overall public stormwater management capacities;
8. Provision for sanitary sewers is adequate in relationship to overall sanitary sewer availability and capacities;
9. Utilities, with reference to hook-in locations and availability and capacity for the uses projected are adequate;
10. Recreation facilities and open spaces, with attention to the size, location, and development of the areas as to adequacy, effect on privacy of adjacent and nearby properties and uses within the proposed development, and relationship to community open spaces and recreational facilities are adequate;
11. General amenities and convenience, with particular reference to appearance and general layout of the proposed development will be compatible and harmonious with properties in the general area and will not be in conflict with other development in the area as to cause substantial depreciation of property values; and
12. Said site and development plan conforms to all other standards imposed by the Land Development Regulations.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND ZONING BOARD OF COLUMBIA COUNTY, FLORIDA, THAT:

Section 1. Pursuant to an application, SDP 16-03, an application by Daryle Gray of Dewberry|Preble-Rish on behalf of The KINJAC Corporation, owner, for site and development plan approval for a proposed ±2,181 square foot expansion to an existing automotive self-service station and a proposed ±3,010 square foot addition for a restaurant use located in the Commercial, Highway Interchange ("CHI") Zone District in accordance with a site plan dated June 8, 2016, and submitted as part of an application dated May 13, 2016 to be located on property described, as follows:

A PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 11 AND PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 12, ALL IN TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 16 EAST; THENCE RUN NORTH 01°47'49" WEST ALONG THE WEST LINE OF SAID NORTHEAST 1/4 OF THE NORTHEAST 1/4, A DISTANCE OF 200.30 FEET TO A POINT; THENCE RUN NORTH 58°35'41" EAST, A DISTANCE OF 1175.60 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 25 (U.S. HIGHWAY 41); THENCE RUN SOUTH 32°24'19" EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 430.00 FEET TO A POINT; THENCE RUN SOUTH 57°35'41" WEST, A DISTANCE OF 170.00 FEET ALONG THE NORTHERLY LINE

OF PROPERTY RETAINED BY HUMBLE OIL AND REFINING COMPANY TO A POINT; THENCE SOUTH 37°35'53" EAST, A DISTANCE OF 389.53 FEET ALONG THE WESTERLY LINE OF PROPERTY RETAINED BY HUMBLE OIL AND REFINING COMPANY TO A POINT; THENCE RUN SOUTH 44°57'11" WEST ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF INTERSTATE NO. 10, A DISTANCE OF 233.80 FEET; THENCE RUN NORTH 32°33'09" WEST, A DISTANCE OF 185.30 FEET TO THE SOUTHERLY LINE OF SAID NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 11; THENCE RUN SOUTH 87°48'01" WEST ALONG SAID SOUTHERLY LINE, A DISTANCE OF 1057.53 FEET TO THE POINT OF BEGINNING. THIS DESCRIBED PROPERTY IS SUBJECT TO ALL UTILITY EASEMENTS.

BEING THOSE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 887. PAGES 1565-1567 OF THE PUBLIC RECORDS OF SAID COUNTY.

CONTAINING 3.30 ACRES, MORE OR LESS.

Tax Parcel 02063-000 and a portion of 02063-001

Section 2. The Planning and Zoning Board, hereby approves the above referenced site and development plan subject to any conditions and safeguards, if any, hereinafter attached in Exhibit "A".

Section 3. A site and development plan made a part of this resolution by reference, shall govern the development of the above described property. Any deviation determined to be a major variation from the site and development plan submitted as part of this application shall be deemed a violation of the Land Development Regulations.

Section 4. The Land Development Regulation Administrator is hereby authorized to issue building permits pursuant to this resolution approving with conditions said site and development plan.

Section 5. The use of land approved by this site plan approval shall be in place, or a valid building permit shall be in force for the commencement of such land use within twelve (12) months of the granting of the site plan approval. If such land use is not in place or if a valid permit for the construction of such land use is not in effect, within twelve (12) months of the approval of the site plan, this resolution granting such site plan approval is thereby revoked and of no force and effect.

Section 6. All resolutions in conflict with this resolution are hereby repealed to the extent of such conflict.

DULY ADOPTED in regular session with a quorum present and voting, by the Planning and Zoning Board, this 23rd day of June 2016.

PLANNING AND ZONING BOARD OF
COLUMBIA COUNTY, FLORIDA,

Attest:

Brandon M. Stubbs, Secretary to the
Planning and Zoning Board

Robert F. Jordan, Vice-chairman



May 9, 2016

Attn: Brandon Stubbs
County Planner/LDR Admin.
Building and Zoning
Columbia County
135 NE Hernando Ave
Lake City, FL 32055

RE: Busy Bee Burger King and Restroom Expansion: PN 91567001

Dear Mr. Stubbs,

For the Site Plan Application of the above referenced project we are submitting the following:

- 14 Sets of plans from Dewberry|Preble-Rish (3 sets signed & sealed) for site work showing both additions and stormwater permits.
- 14 Sets of Architectural plans for the Busy Bee Bathroom Expansion (3 sets signed & sealed).
- 14 Sets of Architectural plans for the Burger King Expansion (3 sets signed & sealed).

Also, addressed are the 11 items in the Application labeled, D.ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.

Please see Dewberry|Preble-Rish Plans for Cover Sheet Location Map and Survey for general location and abutting streets, owner is on well and septic drain field, no existing utilities in right-of-way.

2. Site Plan – Including, but not limited to the following:

- a. Name, location, owner, and designer of the proposed development.

Johnson & Johnson, Inc. or KINJAC, is the owner and address is as appear in the application information.

- b. Present zoning for subject site.

CHI

- c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.

Site will use existing ingress and egress.

- d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.

Information is provided on each sheet.

e. Area and dimensions of site (Survey).

Survey is included.

f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.

See existing conditions survey.

g. Access to utilities and points of utility hook-up.

Plans show utility connections to on-site facilities.

h. Location and dimensions of all existing and proposed parking areas and loading areas.

See Plans.

i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).

See Plans.

j. Location and size of any lakes, ponds, canals, or other waters and waterways.

See Plans.

k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.

See Plans.

l. Location of trash receptacles.

See Plans.

m. For multiple-family, hotel, motel, and mobile home park site plans:

N/A

- i. Tabulation of gross acreage.
- ii. Tabulation of density.
- iii. Number of dwelling units proposed.
- iv. Location and percent of total open space and recreation areas.
- v. Percent of lot covered by buildings.
- vi. Floor area of dwelling units.
- vii. Number of proposed parking spaces.
- viii. Street layout.
- ix. Layout of mobile home stands (for mobile home parks only).

See Plans.

3. Stormwater Management Plan—Including the following:

See Plans Report, and Permit attached.

- a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
- b. Proposed finished elevation of each building site and first floor level.
- c. Existing and proposed stormwater management facilities with size and grades.
- d. Proposed orderly disposal of surface water runoff.
- e. Centerline elevations along adjacent streets.
- f. Water management district surface water management permit.

4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office ("ISO") and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.

N/A.

5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.

Please see the attached Concurrency worksheet.

6. Comprehensive Plan Consistency Analysis: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).

The building addition offers no change in Comprehensive Plan goals. Use of site is consistent with zoning.

7. Legal Description with Tax Parcel Number.

Please see the survey in the plan set for the legal description.

8. Proof of Ownership (i.e. deed).

Please see the attached deed.

9. Agent Authorization Form (signed and notarized).

Please see the attached Agent Authorization Form.

10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).

See attached Tax Record status for both parcels.

11. Fee. The application fee for a Site and Development Plan Application is \$500. No application shall be accepted or processed until the required application fee has been paid.

Mr. Stubbs
Busy Bee Burger King and Restroom Addition
PRI PN 91567001
May 9, 2016

Fee Included.

If you have any questions or need additional information, please do not hesitate to call me at (850) 524-0696.

Sincerely,

A handwritten signature in blue ink, appearing to read "Daryle Gray", with a stylized flourish at the end.

Daryle Gray
Project Manager
Dewberry|Preble-Rish



Columbia County Gateway to Florida

FOR PLANNING USE ONLY

Application # SPD _____
Application Fee \$500.00
Receipt No. _____
Filing Date _____
Completeness Date _____

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: Busy Bee Burger King and Restroom expansion
2. Address of Subject Property: 4772 NW Highway 41 Lake City, Florida 32055
3. Parcel ID Number(s): 11-3S-16-02063-000; 11-3S-16-02063-001
4. Future Land Use Map Designation: Commercial Highway Interchange
5. Zoning Designation: CHI
6. Acreage: 3.30 acres
7. Existing Use of Property: Convenience Store
8. Proposed use of Property: Convenience Store
9. Type of Development (Check All That Apply):
 - ☒ Increase of floor area to an existing structure: Total increase of square footage 5,191
 - ☐ New construction: Total square footage _____
 - ☐ Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s): Daryle Gray Title: Project Manager
Company name (if applicable): Dewberry | Preble-Rish
Mailing Address: 654 S E Baya Drive
City: Lake City State: FL Zip: 32025
Telephone: (384) 719-9985 Fax: () Email: grayd@preble-rish.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
Property Owner Name (title holder): KINJAC Corporation (Johnson & Johnson, Inc.) Contact: Melanie Wegner
Mailing Address: PO Box 157
City: Madison State: Florida Zip: 32341
Telephone: (854) 869-0036 Fax: () Email: mwegner@jj-fuel.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

*Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: N/A
If yes, is the contract/option contingent or absolute: ☐ Contingent ☐ Absolute
2. Has a previous application been made on all or part of the subject property:
Future Land Use Map Amendment: ☐ Yes _____ ☒ No _____
Future Land Use Map Amendment Application No. CPA _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐ Yes _____ ☒ No _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. Z _____
Variance: ☐ Yes _____ ☒ No _____
Variance Application No. V _____
Special Exception: ☐ Yes _____ ☒ No _____
Special Exception Application No. SE _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
2. Site Plan – Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
 - vii. Number of proposed parking spaces.
 - viii. Street layout.
 - ix. Layout of mobile home stands (for mobile home parks only).
3. Stormwater Management Plan—including the following:
 - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
 4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office ("ISO") and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
 5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
 6. Comprehensive Plan Consistency Analysis: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
 7. Legal Description with Tax Parcel Number.
 8. Proof of Ownership (i.e. deed).
 9. Agent Authorization Form (signed and notarized).
 10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).
 11. Fee. The application fee for a Site and Development Plan Application is \$500. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of fourteen (14) copies of proposed site plan must be submitted along with the Site and Development Plan Application.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Daryle Gray

Applicant/Agent Name (Type or Print)



Applicant/Agent Signature

4/27/2016

Date

APPLICATION AGENT AUTHORIZATION FORM

TO: Columbia County Zoning Department
135 NE Hernando Avenue
Lake City, FL 32055

Authority to Act as Agent

On my/our behalf, I appoint Daryle Gray Dewberry|Preble-Rish
(Name of Person as Agent) (Company Agent is representing, if applicable)

to act as my/our agent in the preparation and submittal of this application for
Busy Bee Burger King and Restroom Expansion

(Type Application)

I acknowledge that all responsibility for complying with the terms and conditions
for approval of this application, still resides with me as the Applicant.

Applicant Title: Melanie Wegner

On Behalf of: Johnson & Johnson, Inc.
(Company Name, if applicable)

Telephone: 253-293-9557 Date: 5/6/16

Applicant Signature: Melanie Wegner

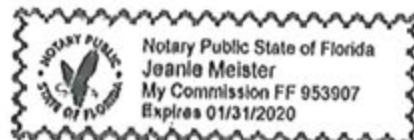
STATE OF FLORIDA

COUNTY OF Madison

The Foregoing instrument was acknowledged before me this 10th day of May, 2016,
by Melanie Wegner, whom is personally known by me X OR
produced identification _____. Type of Identification Produced _____

Jeanie Meister
Notary Signature

(SEAL)



Columbia County Property Appraiser

updated: 5/1/2015

2014 Tax Year

Parcel: 11-3S-16-02063-000

<< Next Lower Parcel Next Higher Parcel >>

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

[Interactive GIS Map](#)

Print

Search Result: 1 of 1

Owner & Property Info

Owner's Name	KINJAC CORPORATION THE		
Mailing Address	P O BOX 157 MADISON, FL 32341-0157		
Site Address	4772 NW US HIGHWAY 41		
Use Desc. (code)	CONV STORE (001126)		
Tax District	3 (County)	Neighborhood	11316
Land Area	1.379 ACRES	Market Area	06
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
COMM SW COR OF NE 1/4 OF NE 1/4, RUN N 200.30 FT, NE 1175.60 FT TO W/R/W US-41, SE ALONG R/W 430 FT FOR POB, RUN SE 220 FT, SW ALONG CURVE 215.32 FT, NW NW 389.53 FT, NE 170 FT TO POB. ORB 546-390, (PART IN SEC 12-3S-16)			



Property & Assessment Values

2014 Certified Values		
Mkt Land Value	cnt: (0)	\$105,196.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (1)	\$243,863.00
XFOB Value	cnt: (3)	\$20,454.00
Total Appraised Value		\$369,513.00
Just Value		\$369,513.00
Class Value		\$0.00
Assessed Value		\$369,513.00
Exempt Value		\$0.00
Total Taxable Value	Cnty: \$369,513 Other: \$369,513 Schl: \$369,513	

2015 Working Values

NOTE:

2015 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
10/1/1978	420/312	03	I	Q		\$31,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	NBHD CONVE (004300)	2003	CONC BLOCK (15)	4500	8300	\$245,939.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0260	PAVEMENT-A	0	\$6,000.00	0000001.000	0 x 0 x 0	(000.00)
0253	LIGHTING	1993	\$2,000.00	0000002.000	0 x 0 x 0	(000.00)
0166	CONC,PAVMT	2003	\$12,454.00	0006227.000	0 x 0 x 0	(000.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
001410	CONV STORE (MKT)	60112 SF - (0000001.379AC)	1.00/1.00/1.00/1.00	\$1.75	\$105,196.00

Columbia County Property Appraiser

updated: 5/1/2015

DISCLAIMER

This information was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

generated on 5/4/2016 3:34:02 PM EDT

Last Update: 5/4/2016 3:34:01 PM EDT

Register for eBill

The information contained herein does not constitute a title search and should not be relied on as such.

Date Paid	Transaction	Receipt	Item	Amount Paid
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11/24/2015	PAYMENT	2200632.0005	2015	\$6,408.60
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Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

Columbia County Tax Collector

generated on 5/4/2016 3:38:31 PM EDT

Legal Desc.

Last Update: 5/4/2016 3:38:31 PM

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R02063-000	REAL ESTATE	2015
Legal Description (click for full description)		
COMM SW COR OF NE1/4 OF NE1/4, RUN N 200.30 FT, NE 1175.60 FT TO W R/W US-41, SE ALONG R/W 430 FT FOR POB, RUN SE 220 FT, SW ALONG CURVE 215.32 FT, NW NW 389.53 FT, NE 170 FT TO POB. ORB 546-390, (PART IN SEC 12-3S-16)		

Columbia County Property Appraiser

updated: 5/1/2015

2014 Tax Year

Parcel: 11-3S-16-02063-001

<< Next Lower Parcel Next Higher Parcel >>

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

[Interactive GIS Map](#)

Print

Search Result: 1 of 1

Owner & Property Info

Owner's Name	KINJAC CORPORATION THE		
Mailing Address	P O BOX 157 MADISON, FL 32341-0157		
Site Address			
Use Desc. (code)	VACANT COM (001000)		
Tax District	3 (County)	Neighborhood	11316
Land Area	14.240 ACRES	Market Area	06
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction. BEG SW COR OF NE1/4 OF NE1/4, RUN N 200.3 FT, NE 1175.6 FT TO W/RW US-41, SE ALONG RW 430 FT, SW 170 FT, SE 389.53 FT TO RW I-75, SW ALONG RW 233.3 FT, NW 185.3 FT TO S LINE OF NE1/4 OF NE1/4, CONT W 1057.53 FT TO POB. ORB 308-373, 887-165,		



Property & Assessment Values

2014 Certified Values		
Mkt Land Value	cnt: (0)	\$142,104.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$142,104.00
Just Value		\$142,104.00
Class Value		\$0.00
Assessed Value		\$142,104.00
Exempt Value		\$0.00
Total Taxable Value	Cnty: \$142,104 Other: \$142,104 Schl: \$142,104	

2015 Working Values

NOTE:

2015 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
8/31/1999	887/1565	WD	V	Q		\$125,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
001000	VACANT COM (MKT)	14.24 AC	1.00/1.00/0.65/1.00	\$9,979.21	\$142,104.00

Columbia County Property Appraiser

updated: 5/1/2015

1 of 1

DISCLAIMER

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generated on 5/4/2016 3:43:15 PM EDT

Last Update: 5/4/2016 3:43:15 PM EDT

Ad Valorem Taxes and Non-Ad Valorem Assessments

Account Number		Tax Type		Tax Year	
R02063-001		REAL ESTATE		2015	
Mailing Address			Property Address		
KINJAC CORPORATION THE P O BOX 157 MADISON FL 32341-0157			GEO Number 113S16-02063-001		
Exempt Amount		Taxable Value			
See Below		See Below			
Exemption Detail		Millage Code		Escrow Code	
NO EXEMPTIONS		003			
<u>Legal Description (click for full description)</u>					
11-3S-16 1000/1000 14.24 Acres BEG SW COR OF NE1/4 OF NE1/4, RUN N 200.3 FT, NE 1175.6 FT TO W R/W US-41, SE ALONG R/W 430 FT, SW 170 FT, SE 389.53 FT TO R/W I-75, SW ALONG R/W 233.3 FT, NW 185.3 FT TO S LINE OF NE1/4 OF NE1/4, CONT W 1057.53 FT TO POB. ORB 306-373, 887-165,					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
BOARD OF COUNTY COMMISSIONERS	8.0150	146,368	0	\$146,368	\$1,173.14
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	146,368	0	\$146,368	\$109.49
LOCAL	4.8510	146,368	0	\$146,368	\$710.03
CAPITAL OUTLAY	1.5000	146,368	0	\$146,368	\$219.55
SUNWANNEE RIVER WATER MGT DIST	0.4104	146,368	0	\$146,368	\$60.07
LAKE SHORE HOSPITAL AUTHORITY	0.9620	146,368	0	\$146,368	\$140.81
Total Millage		16.4864	Total Taxes		\$2,413.09
Non-Ad Valorem Assessments					
Code	Levying Authority				Amount
FFIR	FIRE ASSESSMENTS				\$53.74
Total Assessments					\$53.74
Taxes & Assessments					\$2,466.83
If Paid By					Amount Due
					\$0.00

Date Paid	Transaction	Receipt	Item	Amount Paid
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11/24/2015	PAYMENT	2200632.0004	2015	\$2,368.16
------------	---------	--------------	------	------------

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

Columbia County Tax Collector

generated on 5/4/2016 3:44:25 PM EDT

Legal Desc.

Last Update: 5/4/2016 3:44:25 PM

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R02063-001	REAL ESTATE	2015
Legal Description (click for full description)		
BEG SW COR OF NE1/4 OF NE1/4, RUN N 200.3 FT, NE 1175.6 FT TO W R/W US-41, SE ALONG R/W 430 FT, SW 170 FT, SE 389.53 FT TO R/W I-75, SW ALONG R/W 233.3 FT, NW 185.3 FT TO S LINE OF NE1/4 OF NE1/4, CONT W 1057.53 FT TO POB. ORB 306-373, 887-165,		

Prepared by and Return to:
SOUTHEAST TITLE GROUP, LLP
Address: 2015 So. First Street
Lake City, FL 32056
SI: File #99Y-08100D111

FILED AND RECORDED IN PUBLIC
RECORDS OF COLUMBIA COUNTY, FL

Property Appraiser's Parcel I.D. Number **09-15262**
11-[REDACTED]

1999 SEP -7 PM 3:59

Grantee(s) S.S.#(s): _____

WARRANTY DEED

THIS WARRANTY DEED made and executed the 31st day of August, 1999, by EIGHT HUNDRED ORANGE AVENUE, INC., a corporation existing under the laws of Florida, and having its principal place of business at P.O. BOX 5631, DAYTONA BEACH, FL 32118, hereinafter called the Grantor, to THE KINJAC CORPORATION, a corporation existing under the laws of Florida, with its permanent post office address at: P.O. BOX 157, MADISON, FL 32341, hereinafter called the Grantee:

(Wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH: That the Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee all that certain land situate, lying and being in COLUMBIA County, State of Florida, viz:

**EXHIBIT "A" ATTACHED HERETO
AND BY REFERENCE MADE A PART HEREOF**

Subject to Restrictions, Reservations and Easements of Record.
TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except for taxes accruing subsequent to December 31, 1998.

"CORPORATE
SEAL"

IN WITNESS WHEREOF, the party of the first part has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed, by its proper officers thereunto duly authorized the 31 day of August, A.D., 19 99.

ATTEST: _____

Secretary

EX 0887 PG 1565

OFFICIAL RECORDS

Signed, sealed and delivered
in the presence of:

INC.

EIGHT HUNDRED ORANGE AVENUE,

BY: Shuman R. Weisman
_____, 106 President

Addr: P.O. BOX 5631
DAYTONA BEACH, FL 32118

Witness Signature

Printed Name: Michael H. Cauley

Witness Signature

Printed Name: Elizabeth Orozco

Documentary Stamp
Intangible Tax
P. DeWitt Cason
Clerk of Court
St. John, D.C.

\$ 875.00

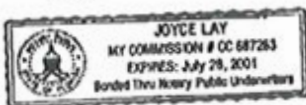
EX 0887 PG 1566

STATE OF Florida
COUNTY OF Volusia

OFFICIAL RECORDS

I hereby certify that on this day, before me, an officer duly authorized in the state aforesaid and in the county aforesaid to take acknowledgements, personally appeared Herman M. Wasser and _____ well known to me to be the _____ President and _____ respectively of the corporation named as Grantor in the foregoing deed, who are personally known to me and who took an oath that they severally acknowledged executing the same in the presence of two subscribing witnesses freely and voluntarily under authority duly vested in them by said corporation, and that the seal affixed thereto is the true corporate seal of said corporation.

Witness my hand and official seal in the county and state aforesaid this 31 day of August, 1999.



Joyce Lay
Notary Public Sign Above
Print Name: Joyce Lay
My Commission #: CC 667263
My Commission expires: 7/28/2001

EXHIBIT "A"

OFFICIAL RECORDS

A PART OF THE E½ OF THE NE¼ OF SECTION 11 AND A PART OF THE W¼ OF THE NW¼ OF SECTION 12, ALL IN TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SW CORNER OF THE NE¼ OF THE NE¼ OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 16 EAST; THENCE RUN N 1°47'49"WEST ALONG THE WEST LINE OF SAID NE¼ OF THE NE¼ A DISTANCE OF 200.30 FEET TO A POINT; THENCE RUN N 58°35'41"EAST A DISTANCE OF 1175.60 FEET TO THE WESTERLY RIGHT OF WAY LINE OF STATE ROAD NO. 25 (U.S. HIGHWAY 41); THENCE RUN SOUTH 32°24'19"EAST ALONG SAID WESTERLY RIGHT OF WAY LINE A DISTANCE OF 430 FEET TO A POINT; THENCE RUN S 57°35'41"WEST A DISTANCE OF 170 FEET ALONG THE NORTHERLY LINE OF PROPERTY RETAINED BY HUMBLE OIL & REFINING COMPANY TO A POINT; THENCE S 37°35'53"EAST A DISTANCE OF 389.53 FEET ALONG THE WESTERLY LINE OF PROPERTY RETAINED BY HUMBLE OIL AND REFINING COMPANY TO A POINT; THENCE RUN S 44°57'11"WEST ALONG THE NORTHERLY RIGHT OF WAY LINE OF INTERSTATE HIGHWAY #10 A DISTANCE OF 233.30 FEET; THENCE RUN N 32°33'09"WEST A DISTANCE OF 185.30 FEET TO THE SOUTHERLY LINE OF SAID NE¼ OF THE NE¼ OF SECTION 11; THENCE RUN S 87°48'01"WEST ALONG SAID SOUTHERLY LINE A DISTANCE OF 1057.53 FEET TO THE POINT OF BEGINNING. THIS DESCRIBED PROPERTY IS SUBJECT TO ALL UTILITY EASEMENTS.



Florida Department of Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Rick Scott
Governor

Carlos Lopez-Cantera
Lt. Governor

Jonathan P. Steverson
Secretary

SELF CERTIFICATION FOR A STORMWATER MANAGEMENT SYSTEM IN UPLANDS SERVING LESS THAN 10 ACRES OF TOTAL PROJECT AREA AND LESS THAN 2 ACRES OF IMPERVIOUS SURFACES

Owner(s)/Permittee(s):	Johnson & Johnson, Inc.
File No:	0343314001EG
File Name:	MARATHON EXPANSION
Site Address:	4772 NW US Highway 41 Lake City FL - 32055 5588
County:	Columbia
Latitude:	30° 14' 49.834"
Longitude:	-82° 40' 35.8109"
Total Project Area:	2.41
Total Impervious Surface Area:	1.42
Approximate Date of Commencement of Construction:	05/16/2016
Registered Florida Professional:	Robert Davis
License No.:	73115
Company:	Preble-Rish, Inc.

Date: April 15, 2016

Robert Davis certified through the Department's Enterprise Self-Service Application portal that the project described above was designed by the above-named Florida registered professional to meet the following requirements:

1. The total project area involves less than 10 acres and less than 2 acres of impervious surface;
2. No activities will impact wetlands or other surface waters;
3. No activities are conducted in, on, or over wetlands or other surface waters;
4. Drainage facilities will not include pipes having diameters greater than 24 inches, or the hydraulic equivalent, and will not use pumps in any manner;
5. The project is not part of a larger common plan, development, or sale; and
6. The project does not:
 1. Cause adverse water quantity or flooding impacts to receiving water and adjacent lands;

2. Cause adverse impacts to existing surface water storage and conveyance capabilities;
3. Cause a violation of state water quality standards; or
4. Cause an adverse impact to the maintenance of surface or ground water levels or surface water flows established pursuant to s. 373.042 or a work of the district established pursuant to s. 373.086, F.S.

This certification was submitted within approximately 30 days after initiation of construction of the above project. As such, construction, alteration, and maintenance of the stormwater management system serving this project is authorized in accordance with s. 403.814(12), F.S., and that there is a rebuttable presumption that the discharge from such system will comply with state water quality standards when the stormwater management system for this project is designed, operated, and maintained in accordance with applicable rules adopted pursuant to part IV of chapter 373, F.S.

Applicants are advised to contact the applicable water management district for requirements that must be followed to properly abandon any existing water wells that need to be removed because they are located where construction is occurring.

In accordance with s. 373.416(2), F.S., if ownership of the property or the stormwater management system is sold or transferred to another party, continued operation of the system is authorized only if notice is provided to the Department within 30 days of the sale or transfer.

This notice can be submitted to:
FDEP Northeast District
8800 Baymeadows Way West Jacksonville 32256

This certification was submitted along with the following electronic documents:

If you have submitted this certification as a Florida Registered Professional, you may wish to sign and seal this certification, and return a copy to the Department, in accordance with your professional practice act requirements under Florida Statutes.

I, Robert Davis, License No. 73115, do hereby certify that the above information is true and accurate, based upon my knowledge, information and belief. In the space below, affix signature, date, seal, company name, address and certificate of authorization (if applicable).

PREBLE-RISH, INC
502 E. PARK AVE
Tallahassee, FL 32301
00006155



This sealed certification may be submitted to the Department, either electronically as an attachment in Adobe PDF or other secure, digital format) at Erp.selfcerts@dep.state.fl.us, or as a hard copy, at the postal address below:

Florida Department of Environmental Protection
Office of Submerged Lands and Environmental Resources
2600 Blair Stone Road MS 2500
Tallahassee FL 32399-2400

MARATHON TRUCK SERVICE AREA EXPANSION

COLUMBIA COUNTY, FLORIDA

STORMWATER MANAGEMENT CALCULATIONS

For Submittal to

SUWANNEE RIVER WATER MANAGEMENT DISTRICT
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

JOHNSON & JOHNSON, INC.

DEWBERRY - PREBLE-RISH, INC.

502 East Park Avenue

Tallahassee, FL 32301

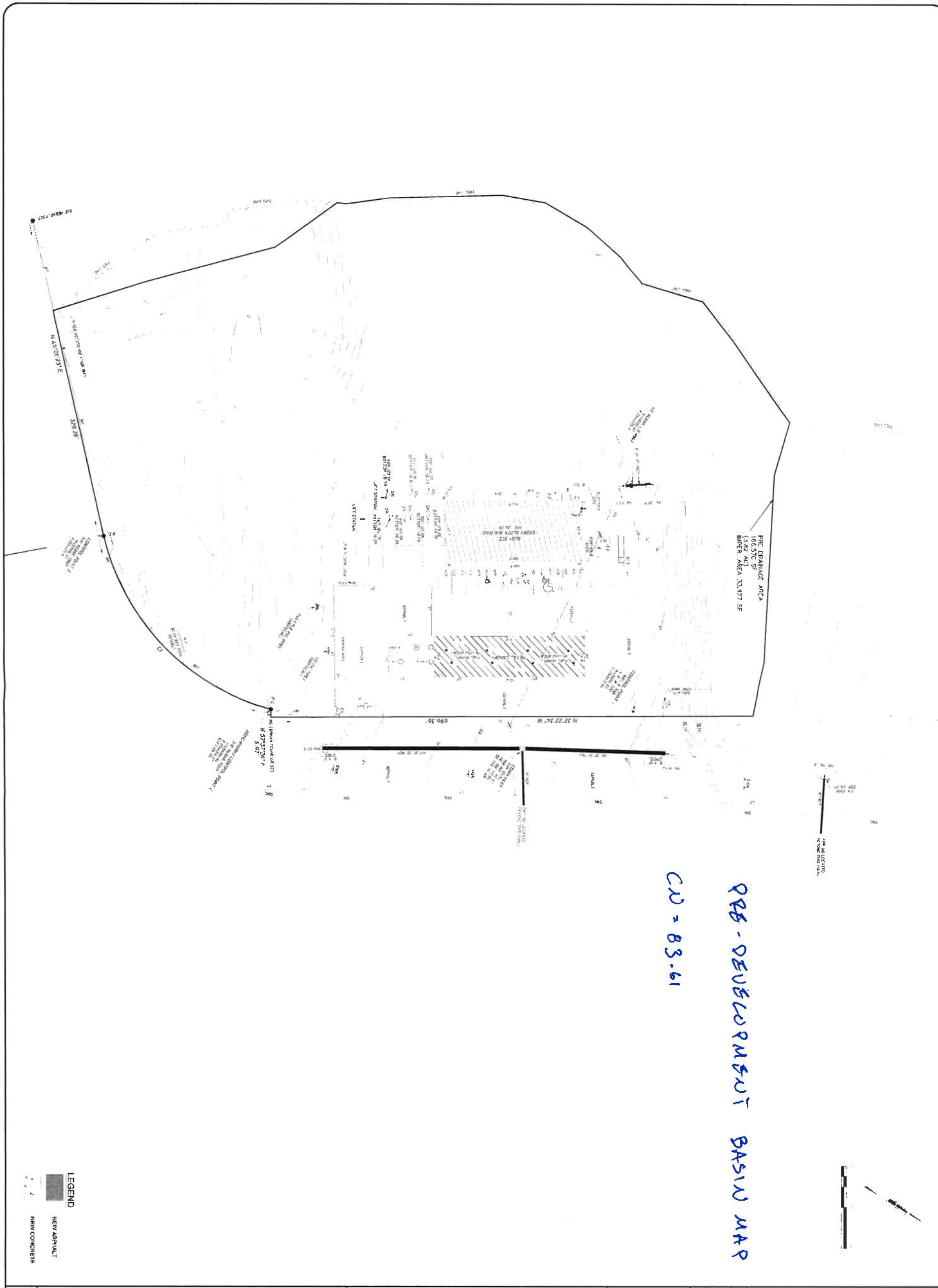
850-523-0062

PRI Project Number 567.001

April 2016



[Handwritten signature]
4/15/2016



PROJECT NO.		SHEET		REVISION	
567.001		C5			
SITE PLAN		Burger King Restaurant			
		Johnson & Johnson, Inc.			
		Columbia County, Florida			
		Dewberry		PREBLE-RISH	
		654 S.E. BAY DRIVE • LAKE CITY, FL 32055 • (386) 719-9985			
		SCALE: 1" = 30'			
		DESIGNED: RJERNIGAN			
		DRAWN: RJERNIGAN			
		CHECKED: DGRAY			
		DATE: April 2018			

PROJECT NAME Marathon Truck Service Area Expansion
 PROJECT NUMBER 567.001
 TASK DESCRIPTION Site Data - Water Quality Volume Calculations

PREPARED BY RHD
 CHECKED BY RHD
 DATE 4/14/2016

	Total Site Area	3.300	acres
PRE-DEVELOPMENT CONDITION			
	Pre-Basin Area	3.824	acres
	Site Impervious Area	0.767	acres
	Site Green Area	3.057	acres
	Runoff Coefficient 'c'	0.390	
	Curve Number 'CN'	83.61	
POST-DEVELOPMENT CONDITION			
	SWMF Basin Area (Basins 1 - 5)	2.405	acres
	SWMF Basin Impervious Area	0.739	acres
	SWMF Basin Pond Area	0.234	acres
	SWMF Basin Green Area	1.432	acres
	Disturbed Area	2.410	acres
	Runoff Coefficient 'c'	0.538	
	Curve Number 'CN'	87.47	
	Offsite Basin Area (Basin 6)	1.41	acres
	Offsite Basin Impervious Area	0.68	acres
	Offsite Basin Green Area	0.73	acres
	Runoff Coefficient 'c'	0.587	
	Curve Number 'CN'	88.67	

Condition 1 - Treat runoff from 1.0 inch of rainfall over the contributing basin. (AH-VII 4.3 (3))

SWMF Basin Area (Basins 1 - 5)	2.405	acres
Runoff Coefficient 'c'	0.538	
Condition 1 Volume Required =	0.108	acre-feet
Condition 1 Volume Required =	4695.21	cu. ft.

Condition 1A - Treat runoff from 1.0 inch of rainfall over the offsite basin. (AH-VII 4.3 (3))

Offsite Basin Area (Basin 6)	1.412	acres
Runoff Coefficient 'c'	0.587	
Condition 1A Volume Required =	0.099	acre-feet
Condition 1A Volume Required =	3010.30	cu. ft.
Total Water Quality Volume Required	7706.51	cu. ft.

STAGE- STORAGE RELATIONSHIP

SWMF - PROPOSED

Elevation (ft.)	Pond Area (acres)	Pond Area (sqft)	Volume (ac-ft.)	Volume (cu-ft)	
123.5	0.256660	11181	0.5016	21859.40	Top of Pond
123	0.233583	10174	0.3793	16520.85	
122	0.189050	8235	0.1680	7318.15	
121	0.146862	6397.3	0.0000	0.00	Bottom of Pond

Treatment Volume Elevation is then	122.13	ft.
Set the WQv Weir at elevation	122.15	ft.
Set the spillway at elevation	123.25	ft.

VOLUME DRAWDOWN CALCULATION

Control Volume	7706.51	cu. ft.
Design Storm	100Y008H	
Time (hrs)	Stage (ft)	Volume (cu-ft)
0	121	0
8	122.284	8,785.68
27.67	121.130	1079.17
30	121	0.00
	8785.68	cu. ft.
		percs in
		22 hours
and the WQv of	7706.51	cu. ft.
		percs in
		19.67 hours

**ICPR Summary Tables
for
Marathon Truck Service Area Expansion**

Rainfall Depth for Each Storm (inches)					
Frequency (Years)	Duration (hours)				
	1	2	4	8	24
1					3.75
2	2.20	2.60	3.00	3.50	4.32
3	2.50	3.00	3.40	4.00	5.04
5	2.70	3.30	3.80	4.50	5.52
10	3.05	3.70	4.40	5.12	6.72
25	3.45	4.30	5.12	6.00	7.92
50	3.75	4.70	5.40	6.50	8.64
100	4.20	5.10	6.08	7.36	9.84

Notes: 1. SCSii rainfall distribution used in model.

Existing Conditions Site Discharge					
Runoff Rates (cfs)					
Frequency (Years)	Duration (hours)				
	1	2	4	8	24
2	6.011	5.126	3.479	3.978	1.216
5	8.620	7.719	4.874	5.671	1.704
10	10.527	9.266	5.938	6.725	2.192
25	12.776	11.647	7.357	8.230	2.679
50	14.491	13.261	7.914	9.083	2.972
100	17.106	14.883	9.268	10.549	3.456

Notes: 1. The critical duration storms are shown in bold.
2. Rates are max inflow to node Pre-Bnd.

Proposed SWMF Facility Design					
Stage vs. Area					
Elev.	Area (S.F.)	Area (Ac.)	Inc. Vol.	Sum. Vol.	Vol. Ac-ft
121	6397.3	0.146862	0	0	0
122	8,235	0.189050	7,316	7,316	0.168
123	10,174	0.233563	9,205	16,521	0.379
123.5	11,181	0.256680	5,339	21,859	0.502

Notes: 1. Bottom of Pond is Elevation 121.0

ICPR Summary Tables for Marathon Truck Service Area Expansion

Post-development - Pond Stages

Elevation (ft)

Frequency (Years)	Duration (hours)				
	1	2	4	8	24
2	122.189	122.320	122.400	122.377	122.272
5	122.415	122.510	122.597	122.590	122.341
10	122.563	122.647	122.769	122.756	122.409
25	122.752	122.876	122.998	123.002	122.457
50	122.900	123.041	123.097	123.151	122.493
100	123.132	123.219	123.304	123.342	122.560

Notes:

1. The maximum stages are shown in boldface.
2. Elevations are from node Pond-Ret.

Post-development Site Discharge

Runoff Rates (cfs)

Frequency (Years)	Duration (hours)				
	1	2	4	8	24
2	2.969	2.501	2.162	1.763	0.739
5	4.030	3.540	3.586	3.960	1.422
10	4.789	4.332	4.561	4.893	2.119
25	6.242	5.854	5.578	6.062	2.586
50	7.268	6.886	5.958	6.638	2.830
100	8.768	7.888	6.743	8.081	3.240

Notes:

1. The peak runoff rates are shown in boldface.
2. Rates are max inflow to node Post-Bnd.

Pre/Post-Development Comparison

Site Discharge (cfs)

Frequency (Years)	Duration (hours)				
	1	2	4	8	24
2 - Pre	6.011	5.126	3.479	3.978	1.216
2 - Post	2.969	2.501	2.162	1.763	0.739
5 - Pre	8.620	7.719	4.874	5.671	1.704
5 - Post	4.030	3.540	3.586	3.960	1.422
10 - Pre	10.527	9.266	5.938	6.725	2.192
10 - Post	4.789	4.332	4.561	4.893	2.119
25 - Pre	12.776	11.647	7.357	8.230	2.679
25 - Post	6.242	5.854	5.578	6.062	2.586
50 - Pre	14.491	13.261	7.914	9.083	2.972
50 - Post	7.268	6.886	5.958	6.638	2.830
100 - Pre	17.106	14.883	9.268	10.549	3.456
100 - Post	8.768	7.888	6.743	8.081	3.240

Notes:

1. Critical Duration Storms are shown in bold.
2. The peak post development discharge is less than or equal to the peak pre-development discharge for the critical duration storm up to and including the 100 year duration.

Marathon Expansion Operating Table and Rating Curve

sf/ac	ft/s	ft/hr	in/hr	in/ft	Micro m/s	ft/m	m/s
43560	0.000015625	0.05625	0.68	12	14	3.2808	0.000014

SWMF - Proposed

Elevation	ac	sf	cfs
123.5	0.256680441	11181	0.174703125
123	0.233562902	10174	0.15896875
122	0.189049587	8235	0.128671875
121	0.1468618	6397.3	0.099957813

Geotechnical Percolation tests found a rate of 2.7 ft/day or 1.35 in/hour (FS = 2)

NODE SCHEMATIC

Marathon Truck Service Area Expansion
Node Schematic

- Nodes
A Stage/Area
V Stage/Volume
T Time/Stage
M Manhole

Basins
G Overland Flow
L SCS Unit GA
S SBU Unit GA
Y SCS Unit GA
Z SBU Unit GA

Links
F Pipe
W Weir
C Channel
D Drop Structure
B Bridge
R Rating Curve
H Reach
E Percolation
F Filter
X Exfil Trench

T: Pre-Brd
C: Pre-Basin

A: SWMF
C: SWMF Basin

W: Spillway
D: OCS

T: Post-Brd
C: Offsite Basin

R: Inf-SWMF

T: Infil-Brd

ATTENUATION REPORT

Received 12 June 2008; accepted 12 June 2008

Marathon Truck Service Area Expansion
Maximum Stage Report

Name	Group	Simulation	Max Time Stage hrs	Max Stage ft	Warning Stage ft	Max Delta Stage ft	Max Surf Area ft2	Max Time Inflow hrs	Max Inflow cfs	Max Time Outflow hrs	Max Outflow cfs
SNMF	BASE	002Y001H	1.49	122.189	123.500	0.0050	8601	0.67	4.745	1.49	0.208
SNMF	BASE	002Y002H	1.95	122.320	123.500	0.0050	8555	0.43	4.005	1.95	0.611
SNMF	BASE	002Y004H	3.16	122.400	123.500	0.0050	9000	2.50	2.446	3.16	1.339
SNMF	BASE	002Y008H	5.00	122.377	123.500	0.0050	8966	4.30	2.833	5.00	1.178
SNMF	BASE	002Y024H	15.68	122.272	123.500	0.0050	8782	11.99	0.856	15.68	0.545
SNMF	BASE	002Y072H	64.00	122.222	123.500	0.0050	8085	60.30	0.555	64.00	0.319
SNMF	BASE	002Y168H	183.94	122.254	123.500	0.0050	8728	159.92	0.482	183.94	0.251
SNMF	BASE	002Y240H	183.94	122.282	123.500	0.0050	8787	183.92	0.601	183.94	0.599
SNMF	BASE	005Y001H	1.20	122.415	123.500	0.0050	9039	0.67	6.013	1.20	1.432
SNMF	BASE	005Y002H	1.58	122.510	123.500	0.0050	9224	0.43	5.745	1.58	1.654
SNMF	BASE	005Y004H	3.00	122.597	123.500	0.0050	9393	2.08	3.455	3.00	2.145
SNMF	BASE	005Y008H	4.36	122.590	123.500	0.0050	9379	4.00	3.307	4.36	2.172
SNMF	BASE	005Y024H	12.29	122.341	123.500	0.0050	8896	12.00	1.162	12.29	0.960
SNMF	BASE	005Y072H	60.30	122.318	123.500	0.0046	8852	59.92	0.506	60.30	0.802
SNMF	BASE	005Y168H	159.97	122.287	123.500	0.0038	8792	159.92	0.627	159.97	0.627
SNMF	BASE	005Y240H	184.00	122.320	123.500	0.0050	8856	183.91	0.514	184.00	0.813
SNMF	BASE	010Y001H	1.15	122.583	123.500	0.0050	9327	0.67	7.790	1.15	2.083
SNMF	BASE	010Y002H	1.53	122.647	123.500	0.0050	9469	0.43	6.170	1.53	2.348
SNMF	BASE	010Y004H	3.00	122.769	123.500	0.0050	9727	2.08	4.205	3.00	2.690
SNMF	BASE	010Y008H	4.32	122.756	123.500	0.0050	9701	4.00	4.071	4.32	2.654
SNMF	BASE	010Y024H	12.09	122.409	123.500	0.0050	9025	11.99	1.469	12.09	1.396
SNMF	BASE	010Y072H	60.30	122.345	123.500	0.0037	8903	59.92	0.564	60.30	0.903
SNMF	BASE	010Y168H	159.95	122.302	123.500	0.0042	8820	159.92	0.737	159.95	0.706
SNMF	BASE	010Y240H	183.98	122.345	123.500	0.0050	8904	183.91	0.967	183.98	0.966
SNMF	BASE	025Y001H	1.13	122.752	123.500	0.0050	8694	0.67	9.273	1.13	2.645
SNMF	BASE	025Y002H	1.50	122.876	123.500	0.0050	8943	0.43	8.323	1.50	2.952
SNMF	BASE	025Y004H	3.06	122.955	123.500	0.0050	10170	2.08	5.139	3.06	3.197
SNMF	BASE	025Y008H	4.32	123.002	123.500	0.0050	10178	4.00	5.312	4.32	3.203
SNMF	BASE	025Y024H	12.09	122.457	123.500	0.0049	9122	11.99	1.772	12.09	1.694
SNMF	BASE	025Y072H	60.30	122.376	123.500	0.0043	8964	59.92	1.172	60.30	1.171
SNMF	BASE	025Y168H	159.93	122.329	123.500	0.0026	8873	159.92	0.865	159.93	0.566
SNMF	BASE	025Y240H	183.96	122.372	123.500	0.0050	8959	183.91	1.153	183.96	1.152
SNMF	BASE	050Y001H	1.13	122.900	123.500	0.0050	9980	0.67	10.244	1.13	3.009
SNMF	BASE	050Y002H	1.50	123.041	123.500	0.0050	10257	0.43	9.366	1.50	3.271
SNMF	BASE	050Y004H	3.06	123.097	123.500	0.0050	10369	2.08	5.460	3.06	3.358
SNMF	BASE	050Y008H	4.33	123.151	123.500	0.0050	10478	4.00	5.044	4.33	3.430
SNMF	BASE	050Y024H	12.11	122.493	123.500	0.0050	9180	11.99	1.924	12.11	1.628
SNMF	BASE	050Y072H	60.00	122.398	123.500	0.0044	9066	59.92	1.425	60.00	1.324
SNMF	BASE	050Y168H	159.93	122.348	123.500	0.0021	8900	159.92	0.987	159.93	0.557
SNMF	BASE	050Y240H	183.93	122.385	123.500	0.0049	8982	183.91	1.237	183.93	1.237
SNMF	BASE	100Y001H	1.13	123.132	123.500	0.0050	10439	0.67	12.092	1.13	3.406
SNMF	BASE	100Y002H	1.51	123.219	123.500	0.0050	10616	0.43	10.406	1.51	3.510
SNMF	BASE	100Y004H	2.97	123.304	123.500	0.0050	10787	2.08	6.313	2.97	4.218
SNMF	BASE	100Y008H	4.19	123.242	123.500	0.0050	10863	4.00	6.857	4.19	5.013
SNMF	BASE	100Y024H	12.13	122.560	123.500	0.0045	9320	11.99	2.256	12.13	2.071
SNMF	BASE	100Y072H	60.00	122.420	123.500	0.0040	9049	59.92	1.462	60.00	1.464
SNMF	BASE	100Y168H	159.93	122.359	123.500	0.0034	8932	159.92	1.358	159.93	1.059
SNMF	BASE	100Y240H	183.94	122.298	123.500	0.0050	9006	183.91	1.330	183.94	1.329

MAX STAGE REPORT

DRAWDOWN REPORT

Cowberry PrebleRist, Inc.

Marathon Truck Service Area Expansion
Drawdown Report

Simulation	Node	Group	Time	Stage	Warning	Surface	Total	Total	Total	Total
			hrs	ft	Stage	Area	Inflow	Outflow	Vol In	Vol Out
					ft	ft ²	cfs	cfs	af	af
100Y003E	SWMF	BASE	6.83	122.374	123.500	9960	0.866	1.158	1.1	0.9
100Y006E	SWMF	BASE	6.92	122.365	123.500	9945	0.865	1.098	1.1	0.9
100Y005E	SWMF	BASE	7.00	122.358	123.500	9929	0.864	1.051	1.1	0.9
100Y008E	SWMF	BASE	7.08	122.352	123.500	9917	0.863	1.009	1.1	0.9
100Y009E	SWMF	BASE	7.17	122.344	123.500	9902	0.862	0.961	1.1	0.9
100Y008E	SWMF	BASE	7.25	122.336	123.500	9886	0.857	0.909	1.1	0.9
100Y008E	SWMF	BASE	7.33	122.327	123.500	9870	0.816	0.858	1.1	0.9
100Y008E	SWMF	BASE	7.42	122.320	123.500	9855	0.757	0.809	1.1	0.9
100Y008E	SWMF	BASE	7.50	122.312	123.500	9841	0.687	0.766	1.1	0.9
100Y008E	SWMF	BASE	7.58	122.306	123.500	9828	0.550	0.729	1.1	0.9
100Y008E	SWMF	BASE	7.67	122.300	123.500	9817	0.438	0.696	1.2	0.9
100Y008E	SWMF	BASE	7.75	122.295	123.500	9807	0.329	0.666	1.2	0.9
100Y008E	SWMF	BASE	7.83	122.291	123.500	9799	0.224	0.624	1.2	0.9
100Y008E	SWMF	BASE	7.92	122.287	123.500	9791	0.121	0.623	1.2	0.9
100Y008E	SWMF	BASE	8.00	122.284	123.500	9785	0.119	0.606	1.2	0.9
100Y008E	SWMF	BASE	8.08	122.280	123.500	9777	0.144	0.585	1.2	0.9
100Y008E	SWMF	BASE	8.17	122.273	123.500	9764	0.302	0.550	1.2	1.0
100Y008E	SWMF	BASE	8.25	122.263	123.500	9746	0.207	0.503	1.2	1.0
100Y008E	SWMF	BASE	8.33	122.253	123.500	9725	0.145	0.453	1.2	1.0
100Y008E	SWMF	BASE	8.42	122.242	123.500	9705	0.102	0.403	1.2	1.0
100Y008E	SWMF	BASE	8.50	122.232	123.500	9685	0.071	0.361	1.2	1.0
100Y008E	SWMF	BASE	8.58	122.222	123.500	9666	0.046	0.322	1.2	1.0
100Y008E	SWMF	BASE	8.67	122.213	123.500	9648	0.027	0.287	1.2	1.0
100Y008E	SWMF	BASE	8.75	122.204	123.500	9631	0.014	0.256	1.2	1.0
100Y008E	SWMF	BASE	8.83	122.196	123.500	9615	0.006	0.229	1.2	1.0
100Y008E	SWMF	BASE	8.92	122.189	123.500	9607	0.002	0.207	1.2	1.0
100Y008E	SWMF	BASE	9.00	122.182	123.500	9597	0.000	0.188	1.2	1.0
100Y008E	SWMF	BASE	9.08	122.175	123.500	9575	0.000	0.173	1.2	1.0
100Y008E	SWMF	BASE	9.17	122.169	123.500	9564	0.000	0.160	1.2	1.0
100Y008E	SWMF	BASE	9.25	122.164	123.500	9553	0.000	0.150	1.2	1.0
100Y008E	SWMF	BASE	9.33	122.159	123.500	9543	0.000	0.142	1.2	1.0
100Y008E	SWMF	BASE	9.42	122.154	123.500	9534	0.000	0.136	1.2	1.0
100Y008E	SWMF	BASE	9.50	122.149	123.500	9525	0.000	0.133	1.2	1.0
100Y008E	SWMF	BASE	9.58	122.145	123.500	9515	0.000	0.133	1.2	1.0
100Y008E	SWMF	BASE	9.67	122.140	123.500	9506	0.000	0.133	1.2	1.0
100Y008E	SWMF	BASE	9.75	122.135	123.500	9497	0.000	0.133	1.2	1.0
100Y008E	SWMF	BASE	9.83	122.131	123.500	9488	0.000	0.133	1.2	1.0
100Y008E	SWMF	BASE	9.92	122.126	123.500	9479	0.000	0.132	1.2	1.0
100Y008E	SWMF	BASE	10.00	122.122	123.500	9470	0.000	0.132	1.2	1.0
100Y008E	SWMF	BASE	10.08	122.117	123.500	9461	0.000	0.132	1.2	1.0
100Y008E	SWMF	BASE	10.17	122.112	123.500	9452	0.000	0.132	1.2	1.0
100Y008E	SWMF	BASE	10.25	122.107	123.500	9443	0.000	0.132	1.2	1.0
100Y008E	SWMF	BASE	10.33	122.102	123.500	9434	0.000	0.132	1.2	1.0
100Y008E	SWMF	BASE	10.42	122.098	123.500	9425	0.000	0.132	1.2	1.0
100Y008E	SWMF	BASE	10.50	122.093	123.500	9416	0.000	0.131	1.2	1.0
100Y008E	SWMF	BASE	10.58	122.089	123.500	9406	0.000	0.131	1.2	1.0
100Y008E	SWMF	BASE	10.67	122.084	123.500	9397	0.000	0.131	1.2	1.0
100Y008E	SWMF	BASE	10.75	122.079	123.500	9388	0.000	0.131	1.2	1.0
100Y008E	SWMF	BASE	10.83	122.074	123.500	9379	0.000	0.131	1.2	1.0
100Y008E	SWMF	BASE	10.92	122.070	123.500	9370	0.000	0.131	1.2	1.0
100Y008E	SWMF	BASE	11.00	122.065	123.500	9361	0.000	0.131	1.2	1.0
100Y008E	SWMF	BASE	11.08	122.060	123.500	9352	0.000	0.130	1.2	1.0
100Y008E	SWMF	BASE	11.17	122.056	123.500	9343	0.000	0.130	1.2	1.0
100Y008E	SWMF	BASE	11.25	122.051	123.500	9334	0.000	0.130	1.2	1.0
100Y008E	SWMF	BASE	11.33	122.046	123.500	9325	0.000	0.130	1.2	1.0
100Y008E	SWMF	BASE	11.42	122.042	123.500	9316	0.000	0.130	1.2	1.0
100Y008E	SWMF	BASE	11.50	122.037	123.500	9306	0.000	0.130	1.2	1.0
100Y008E	SWMF	BASE	11.58	122.032	123.500	9297	0.000	0.130	1.2	1.0
100Y008E	SWMF	BASE	11.67	122.027	123.500	9288	0.000	0.130	1.2	1.0
100Y008E	SWMF	BASE	11.75	122.023	123.500	9279	0.000	0.129	1.2	1.0
100Y008E	SWMF	BASE	11.83	122.018	123.500	9270	0.000	0.129	1.2	1.0
100Y008E	SWMF	BASE	11.92	122.012	123.500	9261	0.000	0.129	1.2	1.0
100Y008E	SWMF	BASE	12.00	122.009	123.500	9252	0.000	0.129	1.2	1.0
100Y008E	SWMF	BASE	12.08	122.004	123.500	9243	0.000	0.129	1.2	1.0
100Y008E	SWMF	BASE	12.17	121.999	123.500	9234	0.000	0.129	1.2	1.0
100Y008E	SWMF	BASE	12.25	121.995	123.500	9225	0.000	0.129	1.2	1.0
100Y008E	SWMF	BASE	12.33	121.990	123.500	9217	0.000	0.128	1.2	1.0
100Y008E	SWMF	BASE	12.42	121.985	123.500	9208	0.000	0.128	1.2	1.0
100Y008E	SWMF	BASE	12.50	121.981	123.500	9199	0.000	0.128	1.2	1.0
100Y008E	SWMF	BASE	12.58	121.976	123.500	9191	0.000	0.128	1.2	1.0
100Y008E	SWMF	BASE	12.67	121.971	123.500	9182	0.000	0.128	1.2	1.0
100Y008E	SWMF	BASE	12.75	121.967	123.500	9173	0.000	0.128	1.2	1.0
100Y008E	SWMF	BASE	12.83	121.962	123.500	9165	0.000	0.128	1.2	1.0
100Y008E	SWMF	BASE	12.92	121.957	123.500	9156	0.000	0.127	1.2	1.0
100Y008E	SWMF	BASE	13.00	121.952	123.500	9148	0.000	0.127	1.2	1.0
100Y008E	SWMF	BASE	13.08	121.948	123.500	9139	0.000	0.127	1.2	1.0
100Y008E	SWMF	BASE	13.17	121.943	123.500	9130	0.000	0.127	1.2	1.0
100Y008E	SWMF	BASE	13.25	121.938	123.500	9122	0.000	0.127	1.2	1.0
100Y008E	SWMF	BASE	13.33	121.934	123.500	9113	0.000	0.127	1.2	1.0
100Y008E	SWMF	BASE	13.42	121.929	123.500	9105	0.000	0.127	1.2	1.0
100Y008E	SWMF	BASE	13.50	121.924	123.500	9096	0.000	0.126	1.2	1.0
100Y008E	SWMF	BASE	13.58	121.920	123.500	9087	0.000	0.126	1.2	1.0

Devberry - Precision, Inc.

Marathon Truck Service Area Expansion
Drawdown Report

Simulation	Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft2	Total Inflow cfs	Total Outflow cfs	Total Vol In af	Total Vol Out af
_COY002H	SWMP	BASE	13.67	121.915	123.500	8073	0.000	0.126	1.2	1.0
_COY002H	SWMP	BASE	13.75	121.910	123.500	8073	0.000	0.126	1.2	1.0
_COY002H	SWMP	BASE	13.83	121.906	123.500	8062	0.000	0.126	1.2	1.0
_COY002H	SWMP	BASE	13.92	121.901	123.500	8053	0.000	0.126	1.2	1.0
_COY002H	SWMP	BASE	14.00	121.896	123.500	8044	0.000	0.126	1.2	1.0
_COY002H	SWMP	BASE	14.08	121.892	123.500	8036	0.000	0.126	1.2	1.0
_COY002H	SWMP	BASE	14.17	121.887	123.500	8027	0.000	0.126	1.2	1.0
_COY002H	SWMP	BASE	14.25	121.882	123.500	8018	0.000	0.125	1.2	1.0
_COY002H	SWMP	BASE	14.33	121.877	123.500	8010	0.000	0.125	1.2	1.0
_COY002H	SWMP	BASE	14.42	121.873	123.500	8001	0.000	0.125	1.2	1.0
_COY002H	SWMP	BASE	14.50	121.869	123.500	7993	0.000	0.125	1.2	1.0
_COY002H	SWMP	BASE	14.58	121.863	123.500	7984	0.000	0.125	1.2	1.0
_COY002H	SWMP	BASE	14.67	121.859	123.500	7975	0.000	0.125	1.2	1.0
_COY002H	SWMP	BASE	14.75	121.854	123.500	7967	0.000	0.124	1.2	1.0
_COY002H	SWMP	BASE	14.83	121.849	123.500	7958	0.000	0.124	1.2	1.0
_COY002H	SWMP	BASE	14.92	121.845	123.500	7950	0.000	0.124	1.2	1.0
_COY002H	SWMP	BASE	15.00	121.840	123.500	7941	0.000	0.124	1.2	1.0
_COY002H	SWMP	BASE	15.08	121.835	123.500	7932	0.000	0.124	1.2	1.0
_COY002H	SWMP	BASE	15.17	121.831	123.500	7924	0.000	0.124	1.2	1.0
_COY002H	SWMP	BASE	15.25	121.826	123.500	7915	0.000	0.124	1.2	1.0
_COY002H	SWMP	BASE	15.33	121.821	123.500	7906	0.000	0.124	1.2	1.0
_COY002H	SWMP	BASE	15.42	121.817	123.500	7898	0.000	0.123	1.2	1.0
_COY002H	SWMP	BASE	15.50	121.812	123.500	7889	0.000	0.123	1.2	1.0
_COY002H	SWMP	BASE	15.58	121.807	123.500	7881	0.000	0.123	1.2	1.0
_COY002H	SWMP	BASE	15.67	121.802	123.500	7872	0.000	0.123	1.2	1.0
_COY002H	SWMP	BASE	15.75	121.795	123.500	7863	0.000	0.123	1.2	1.0
_COY002H	SWMP	BASE	15.83	121.793	123.500	7855	0.000	0.123	1.2	1.0
_COY002H	SWMP	BASE	15.92	121.788	123.500	7846	0.000	0.123	1.2	1.0
_COY002H	SWMP	BASE	16.00	121.784	123.500	7838	0.000	0.122	1.2	1.0
_COY002H	SWMP	BASE	16.08	121.779	123.500	7829	0.000	0.122	1.2	1.0
_COY002H	SWMP	BASE	16.17	121.774	123.500	7820	0.000	0.122	1.2	1.0
_COY002H	SWMP	BASE	16.25	121.770	123.500	7812	0.000	0.122	1.2	1.0
_COY002H	SWMP	BASE	16.33	121.765	123.500	7803	0.000	0.122	1.2	1.0
_COY002H	SWMP	BASE	16.42	121.760	123.500	7794	0.000	0.122	1.2	1.0
_COY002H	SWMP	BASE	16.50	121.756	123.500	7786	0.000	0.122	1.2	1.0
_COY002H	SWMP	BASE	16.58	121.751	123.500	7777	0.000	0.122	1.2	1.0
_COY002H	SWMP	BASE	16.67	121.746	123.500	7769	0.000	0.121	1.2	1.0
_COY002H	SWMP	BASE	16.75	121.742	123.500	7760	0.000	0.121	1.2	1.0
_COY002H	SWMP	BASE	16.83	121.737	123.500	7751	0.000	0.121	1.2	1.0
_COY002H	SWMP	BASE	16.92	121.732	123.500	7743	0.000	0.121	1.2	1.0
_COY002H	SWMP	BASE	17.00	121.727	123.500	7734	0.000	0.121	1.2	1.0
_COY002H	SWMP	BASE	17.08	121.723	123.500	7726	0.000	0.121	1.2	1.0
_COY002H	SWMP	BASE	17.17	121.718	123.500	7717	0.000	0.121	1.2	1.0
_COY002H	SWMP	BASE	17.25	121.713	123.500	7708	0.000	0.120	1.2	1.0
_COY002H	SWMP	BASE	17.33	121.709	123.500	7700	0.000	0.120	1.2	1.0
_COY002H	SWMP	BASE	17.42	121.704	123.500	7691	0.000	0.120	1.2	1.0
_COY002H	SWMP	BASE	17.50	121.699	123.500	7682	0.000	0.120	1.2	1.0
_COY002H	SWMP	BASE	17.58	121.695	123.500	7674	0.000	0.120	1.2	1.0
_COY002H	SWMP	BASE	17.67	121.690	123.500	7665	0.000	0.120	1.2	1.0
_COY002H	SWMP	BASE	17.75	121.685	123.500	7657	0.000	0.120	1.2	1.0
_COY002H	SWMP	BASE	17.83	121.681	123.500	7648	0.000	0.120	1.2	1.0
_COY002H	SWMP	BASE	17.92	121.676	123.500	7639	0.000	0.119	1.2	1.0
_COY002H	SWMP	BASE	18.00	121.671	123.500	7631	0.000	0.119	1.2	1.0
_COY002H	SWMP	BASE	18.08	121.667	123.500	7622	0.000	0.119	1.2	1.0
_COY002H	SWMP	BASE	18.17	121.662	123.500	7614	0.000	0.119	1.2	1.0
_COY002H	SWMP	BASE	18.25	121.657	123.500	7605	0.000	0.119	1.2	1.0
_COY002H	SWMP	BASE	18.33	121.652	123.500	7596	0.000	0.119	1.2	1.0
_COY002H	SWMP	BASE	18.42	121.648	123.500	7588	0.000	0.119	1.2	1.0
_COY002H	SWMP	BASE	18.50	121.643	123.500	7579	0.000	0.118	1.2	1.0
_COY002H	SWMP	BASE	18.58	121.638	123.500	7570	0.000	0.118	1.2	1.0
_COY002H	SWMP	BASE	18.67	121.634	123.500	7562	0.000	0.118	1.2	1.0
_COY002H	SWMP	BASE	18.75	121.629	123.500	7553	0.000	0.118	1.2	1.0
_COY002H	SWMP	BASE	18.83	121.624	123.500	7545	0.000	0.118	1.2	1.0
_COY002H	SWMP	BASE	18.92	121.620	123.500	7536	0.000	0.118	1.2	1.0
_COY002H	SWMP	BASE	19.00	121.615	123.500	7527	0.000	0.118	1.2	1.0
_COY002H	SWMP	BASE	19.08	121.610	123.500	7519	0.000	0.117	1.2	1.0
_COY002H	SWMP	BASE	19.17	121.606	123.500	7510	0.000	0.117	1.2	1.0
_COY002H	SWMP	BASE	19.25	121.601	123.500	7502	0.000	0.117	1.2	1.0
_COY002H	SWMP	BASE	19.33	121.596	123.500	7493	0.000	0.117	1.2	1.0
_COY002H	SWMP	BASE	19.42	121.592	123.500	7484	0.000	0.117	1.2	1.0
_COY002H	SWMP	BASE	19.50	121.587	123.500	7476	0.000	0.117	1.2	1.0
_COY002H	SWMP	BASE	19.58	121.582	123.500	7467	0.000	0.117	1.2	1.0
_COY002H	SWMP	BASE	19.67	121.577	123.500	7459	0.000	0.117	1.2	1.0
_COY002H	SWMP	BASE	19.75	121.573	123.500	7450	0.000	0.116	1.2	1.0
_COY002H	SWMP	BASE	19.83	121.568	123.500	7441	0.000	0.116	1.2	1.0
_COY002H	SWMP	BASE	19.92	121.563	123.500	7433	0.000	0.116	1.2	1.0
_COY002H	SWMP	BASE	20.00	121.559	123.500	7424	0.000	0.116	1.2	1.0
_COY002H	SWMP	BASE	20.08	121.554	123.500	7415	0.000	0.116	1.2	1.0
_COY002H	SWMP	BASE	20.17	121.549	123.500	7407	0.000	0.116	1.2	1.0
_COY002H	SWMP	BASE	20.25	121.545	123.500	7398	0.000	0.116	1.2	1.0
_COY002H	SWMP	BASE	20.33	121.540	123.500	7390	0.000	0.115	1.2	1.0
_COY002H	SWMP	BASE	20.42	121.535	123.500	7381	0.000	0.115	1.2	1.0

Dewberry - PeopleRisk, Inc.

Marathon Truck Service Area Expansion
Drawdown Report

Simulation	Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft ²	Total Inflow cfs	Total Outflow cfs	Total Vol. In at	Total Vol. Out at
100Y0000H	SWMP	BASE	20.50	121.531	123.500	7372	0.000	0.115	1.2	1.1
100Y0000H	SWMP	BASE	20.51	121.526	123.500	7364	0.000	0.115	1.2	1.1
100Y0000H	SWMP	BASE	20.67	121.521	123.500	7355	0.000	0.115	1.2	1.1
100Y0000H	SWMP	BASE	20.73	121.517	123.500	7347	0.000	0.115	1.2	1.1
100Y0000H	SWMP	BASE	20.83	121.514	123.500	7341	0.000	0.115	1.2	1.1
100Y0000H	SWMP	BASE	20.94	121.507	123.500	7329	0.000	0.115	1.2	1.1
100Y0000H	SWMP	BASE	21.00	121.502	123.500	7321	0.000	0.114	1.2	1.1
100Y0000H	SWMP	BASE	21.08	121.498	123.500	7312	0.000	0.114	1.2	1.1
100Y0000H	SWMP	BASE	21.17	121.493	123.500	7303	0.000	0.114	1.2	1.1
100Y0000H	SWMP	BASE	21.25	121.488	123.500	7294	0.000	0.114	1.2	1.1
100Y0000H	SWMP	BASE	21.33	121.484	123.500	7286	0.000	0.114	1.2	1.1
100Y0000H	SWMP	BASE	21.47	121.479	123.500	7278	0.000	0.114	1.2	1.1
100Y0000H	SWMP	BASE	21.50	121.474	123.500	7265	0.000	0.114	1.2	1.1
100Y0000H	SWMP	BASE	21.58	121.470	123.500	7260	0.000	0.115	1.2	1.1
100Y0000H	SWMP	BASE	21.67	121.465	123.500	7252	0.000	0.115	1.2	1.1
100Y0000H	SWMP	BASE	21.75	121.460	123.500	7243	0.000	0.115	1.2	1.1
100Y0000H	SWMP	BASE	21.83	121.456	123.500	7234	0.000	0.113	1.2	1.1
100Y0000H	SWMP	BASE	21.92	121.451	123.500	7226	0.000	0.113	1.2	1.1
100Y0000H	SWMP	BASE	22.00	121.446	123.500	7217	0.000	0.113	1.2	1.1
100Y0000H	SWMP	BASE	22.08	121.442	123.500	7209	0.000	0.113	1.2	1.1
100Y0000H	SWMP	BASE	22.17	121.437	123.500	7200	0.000	0.113	1.2	1.1
100Y0000H	SWMP	BASE	22.25	121.432	123.500	7191	0.000	0.112	1.2	1.1
100Y0000H	SWMP	BASE	22.33	121.427	123.500	7183	0.000	0.112	1.2	1.1
100Y0000H	SWMP	BASE	22.42	121.423	123.500	7174	0.000	0.112	1.2	1.1
100Y0000H	SWMP	BASE	22.50	121.418	123.500	7166	0.000	0.112	1.2	1.1
100Y0000H	SWMP	BASE	22.55	121.413	123.500	7157	0.000	0.112	1.2	1.1
100Y0000H	SWMP	BASE	22.67	121.409	123.500	7148	0.000	0.112	1.2	1.1
100Y0000H	SWMP	BASE	22.75	121.404	123.500	7140	0.000	0.112	1.2	1.1
100Y0000H	SWMP	BASE	22.83	121.399	123.500	7131	0.000	0.111	1.2	1.1
100Y0000H	SWMP	BASE	22.92	121.395	123.500	7123	0.000	0.111	1.2	1.1
100Y0000H	SWMP	BASE	23.00	121.390	123.500	7114	0.000	0.111	1.2	1.1
100Y0000H	SWMP	BASE	23.08	121.385	123.500	7105	0.000	0.111	1.2	1.1
100Y0000H	SWMP	BASE	23.17	121.381	123.500	7097	0.000	0.111	1.2	1.1
100Y0000H	SWMP	BASE	23.25	121.376	123.500	7088	0.000	0.111	1.2	1.1
100Y0000H	SWMP	BASE	23.33	121.371	123.500	7079	0.000	0.111	1.2	1.1
100Y0000H	SWMP	BASE	23.42	121.367	123.500	7071	0.000	0.110	1.2	1.1
100Y0000H	SWMP	BASE	23.50	121.362	123.500	7062	0.000	0.110	1.2	1.1
100Y0000H	SWMP	BASE	23.58	121.357	123.500	7054	0.000	0.110	1.2	1.1
100Y0000H	SWMP	BASE	23.67	121.352	123.500	7045	0.000	0.110	1.2	1.1
100Y0000H	SWMP	BASE	23.75	121.348	123.500	7036	0.000	0.110	1.2	1.1
100Y0000H	SWMP	BASE	23.83	121.343	123.500	7028	0.000	0.110	1.2	1.1
100Y0000H	SWMP	BASE	23.92	121.338	123.500	7019	0.000	0.110	1.2	1.1
100Y0000H	SWMP	BASE	24.00	121.334	123.500	7011	0.000	0.110	1.2	1.1
100Y0000H	SWMP	BASE	24.08	121.329	123.500	7002	0.000	0.109	1.2	1.1
100Y0000H	SWMP	BASE	24.17	121.324	123.500	6993	0.000	0.109	1.2	1.1
100Y0000H	SWMP	BASE	24.25	121.320	123.500	6985	0.000	0.109	1.2	1.1
100Y0000H	SWMP	BASE	24.33	121.315	123.500	6976	0.000	0.109	1.2	1.1
100Y0000H	SWMP	BASE	24.47	121.310	123.500	6967	0.000	0.109	1.2	1.1
100Y0000H	SWMP	BASE	24.50	121.306	123.500	6959	0.000	0.109	1.2	1.1
100Y0000H	SWMP	BASE	24.58	121.301	123.500	6950	0.000	0.109	1.2	1.1
100Y0000H	SWMP	BASE	24.67	121.296	123.500	6942	0.000	0.108	1.2	1.1
100Y0000H	SWMP	BASE	24.75	121.292	123.500	6933	0.000	0.108	1.2	1.1
100Y0000H	SWMP	BASE	24.83	121.287	123.500	6924	0.000	0.108	1.2	1.1
100Y0000H	SWMP	BASE	24.92	121.282	123.500	6916	0.000	0.108	1.2	1.1
100Y0000H	SWMP	BASE	25.00	121.277	123.500	6907	0.000	0.108	1.2	1.1
100Y0000H	SWMP	BASE	25.08	121.273	123.500	6899	0.000	0.108	1.2	1.1
100Y0000H	SWMP	BASE	25.17	121.268	123.500	6890	0.000	0.108	1.2	1.1
100Y0000H	SWMP	BASE	25.25	121.263	123.500	6881	0.000	0.108	1.2	1.1
100Y0000H	SWMP	BASE	25.33	121.259	123.500	6873	0.000	0.107	1.2	1.1
100Y0000H	SWMP	BASE	25.42	121.254	123.500	6864	0.000	0.107	1.2	1.1
100Y0000H	SWMP	BASE	25.50	121.249	123.500	6856	0.000	0.107	1.2	1.1
100Y0000H	SWMP	BASE	25.58	121.245	123.500	6847	0.000	0.107	1.2	1.1
100Y0000H	SWMP	BASE	25.67	121.240	123.500	6838	0.000	0.107	1.2	1.1
100Y0000H	SWMP	BASE	25.75	121.235	123.500	6830	0.000	0.107	1.2	1.1
100Y0000H	SWMP	BASE	25.83	121.231	123.500	6821	0.000	0.107	1.2	1.1
100Y0000H	SWMP	BASE	25.92	121.226	123.500	6812	0.000	0.106	1.2	1.1
100Y0000H	SWMP	BASE	26.00	121.222	123.500	6804	0.000	0.106	1.2	1.1
100Y0000H	SWMP	BASE	26.08	121.217	123.500	6795	0.000	0.106	1.2	1.1
100Y0000H	SWMP	BASE	26.17	121.212	123.500	6787	0.000	0.106	1.2	1.1
100Y0000H	SWMP	BASE	26.25	121.207	123.500	6778	0.000	0.106	1.2	1.1
100Y0000H	SWMP	BASE	26.33	121.202	123.500	6769	0.000	0.106	1.2	1.1
100Y0000H	SWMP	BASE	26.42	121.198	123.500	6761	0.000	0.106	1.2	1.1
100Y0000H	SWMP	BASE	26.50	121.193	123.500	6752	0.000	0.106	1.2	1.1
100Y0000H	SWMP	BASE	26.58	121.189	123.500	6744	0.000	0.105	1.2	1.1
100Y0000H	SWMP	BASE	26.67	121.184	123.500	6735	0.000	0.105	1.2	1.2
100Y0000H	SWMP	BASE	26.75	121.179	123.500	6726	0.000	0.105	1.2	1.2
100Y0000H	SWMP	BASE	26.83	121.174	123.500	6718	0.000	0.105	1.2	1.2
100Y0000H	SWMP	BASE	26.92	121.170	123.500	6709	0.000	0.105	1.2	1.2
100Y0000H	SWMP	BASE	27.00	121.165	123.500	6700	0.000	0.105	1.2	1.2
100Y0000H	SWMP	BASE	27.08	121.160	123.500	6692	0.000	0.105	1.2	1.2
100Y0000H	SWMP	BASE	27.17	121.156	123.500	6683	0.000	0.104	1.2	1.2
100Y0000H	SWMP	BASE	27.25	121.151	123.500	6675	0.000	0.104	1.2	1.2

Drawdown : FrenchieRisk, Inc.

Marathon Truck Service Area Expansion
Drawdown Report

Simulation	Note	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft ²	Total Inflow cfs	Total Outflow cfs	Total Vol Tn af	Total Vol Out af
10CY008E	SWMP	BASE	27.33	121.146	123.500	6666	0.000	0.104	1.2	1.2
10CY008E	SWMP	BASE	27.42	121.142	123.500	6657	0.000	0.104	1.2	1.2
10CY008E	SWMP	BASE	27.50	121.137	123.500	6649	0.000	0.104	1.2	1.2
10CY008E	SWMP	BASE	27.58	121.132	123.500	6640	0.000	0.104	1.2	1.2
10CY008E	SWMP	BASE	27.67	121.127	123.500	6632	0.000	0.104	1.2	1.2
10CY008E	SWMP	BASE	27.75	121.123	123.500	6623	0.000	0.103	1.2	1.2
10CY008E	SWMP	BASE	27.83	121.118	123.500	6614	0.000	0.103	1.2	1.2
10CY008E	SWMP	BASE	27.92	121.113	123.500	6606	0.000	0.102	1.2	1.2
10CY008E	SWMP	BASE	28.00	121.109	123.500	6597	0.000	0.103	1.2	1.2
10CY008E	SWMP	BASE	28.08	121.104	123.500	6588	0.000	0.103	1.2	1.2
10CY008E	SWMP	BASE	28.17	121.099	123.500	6580	0.000	0.103	1.2	1.2
10CY008E	SWMP	BASE	28.25	121.095	123.500	6571	0.000	0.103	1.2	1.2
10CY008E	SWMP	BASE	28.33	121.090	123.500	6563	0.000	0.103	1.2	1.2
10CY008E	SWMP	BASE	28.42	121.085	123.500	6554	0.000	0.102	1.2	1.2
10CY008E	SWMP	BASE	28.50	121.081	123.500	6545	0.000	0.102	1.2	1.2
10CY008E	SWMP	BASE	28.58	121.076	123.500	6537	0.000	0.102	1.2	1.2
10CY008E	SWMP	BASE	28.67	121.071	123.500	6528	0.000	0.102	1.2	1.2
10CY008E	SWMP	BASE	28.75	121.067	123.500	6520	0.000	0.102	1.2	1.2
10CY008E	SWMP	BASE	28.83	121.062	123.500	6511	0.000	0.102	1.2	1.2
10CY008E	SWMP	BASE	28.92	121.057	123.500	6502	0.000	0.102	1.2	1.2
10CY008E	SWMP	BASE	29.00	121.052	123.500	6494	0.000	0.101	1.2	1.2
10CY008E	SWMP	BASE	29.08	121.048	123.500	6485	0.000	0.101	1.2	1.2
10CY008E	SWMP	BASE	29.17	121.043	123.500	6476	0.000	0.101	1.2	1.2
10CY008E	SWMP	BASE	29.25	121.038	123.500	6468	0.000	0.101	1.2	1.2
10CY008E	SWMP	BASE	29.33	121.034	123.500	6459	0.000	0.101	1.2	1.2
10CY008E	SWMP	BASE	29.42	121.029	123.500	6451	0.000	0.101	1.2	1.2
10CY008E	SWMP	BASE	29.50	121.024	123.500	6442	0.000	0.101	1.2	1.2
10CY008E	SWMP	BASE	29.58	121.020	123.500	6433	0.000	0.101	1.2	1.2
10CY008E	SWMP	BASE	29.67	121.015	123.500	6425	0.000	0.100	1.2	1.2
10CY008E	SWMP	BASE	29.75	121.010	123.500	6416	0.000	0.100	1.2	1.2
10CY008E	SWMP	BASE	29.83	121.006	123.500	6408	0.000	0.100	1.2	1.2
10CY008E	SWMP	BASE	29.92	121.001	123.500	6399	0.000	0.100	1.2	1.2
10CY008E	SWMP	BASE	30.00	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	30.08	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	30.17	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	30.25	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	30.33	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	30.42	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	30.50	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	30.58	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	30.67	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	30.75	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	30.83	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	30.92	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	31.00	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	31.08	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	31.17	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	31.25	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	31.33	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	31.42	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	31.50	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	31.58	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	31.67	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	31.75	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	31.83	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	31.92	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	32.00	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	32.08	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	32.17	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	32.25	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	32.33	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	32.42	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	32.50	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	32.58	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	32.67	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	32.75	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	32.83	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	32.92	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	33.00	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	33.08	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	33.17	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	33.25	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	33.33	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	33.42	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	33.50	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	33.58	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	33.67	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	33.75	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	33.83	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	33.92	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	34.00	121.000	123.500	6397	0.000	0.000	1.2	1.2
10CY008E	SWMP	BASE	34.08	121.000	123.500	6397	0.000	0.000	1.2	1.2

Dewberry - Proberts, Inc.

Karaköy Tünel Service Area Expansion
 Brundage Report

Simulation	Code	Group	Time min	Storage cfs	Warding Stage ft	Surface Area sq ft	Total Inflow cfs	Total Outflow cfs	Channel Vol. In af	Channel Vol. Out af
100Y000E	SWRZ	BASE	34.17	21,000	121,500	6397	0.000	0.000	1.2	1.2
100Y000E	SWRZ	BASE	34.25	21,000	121,500	6397	0.000	0.000	1.2	1.2
100Y000E	SWRZ	BASE	34.33	21,000	121,500	6397	0.000	0.000	1.2	1.2
100Y000E	SWRZ	BASE	34.42	21,000	121,500	6397	0.000	0.000	1.2	1.2
100Y000E	SWRZ	BASE	34.50	21,000	121,500	6397	0.000	0.000	1.2	1.2
100Y000E	SWRZ	BASE	34.58	21,000	121,500	6397	0.000	0.000	1.2	1.2
100Y000E	SWRZ	BASE	34.67	21,000	121,500	6397	0.000	0.000	1.2	1.2
100Y000E	SWRZ	BASE	34.75	21,000	121,500	6397	0.000	0.000	1.2	1.2
100Y000E	SWRZ	BASE	34.83	21,000	121,500	6397	0.000	0.000	1.2	1.2
100Y000E	SWRZ	BASE	34.92	21,000	121,500	6397	0.000	0.000	1.2	1.2

Basin

Name: Gravelin Basin
Group: BASE
Unit Hydrograph: uhs256
Rainfall File:
Rainfall Amount(in): 0.000
Area(ac): 1.410
Curve Number: 88.07
DCTA(i): 0.00
Model: Post-End
Type: SCS Unit Hydrograph CN
Status: Onsite
Peaking Factor: 256.0
Storm Duration(hrs): 0.00
Time of Conc(min): 10.00
Time Shift(hrs): 0.00
Max Allowable Q(cfs): 999999.000

Name: Fire Basin
Group: BASE
Unit Hydrograph: uhs256
Rainfall File:
Rainfall Amount(in): 0.000
Area(ac): 3.824
Curve Number: 88.07
DCTA(i): 0.00
Model: Pre-End
Type: SCS Unit Hydrograph CN
Status: Onsite
Peaking Factor: 256.0
Storm Duration(hrs): 0.00
Time of Conc(min): 10.00
Time Shift(hrs): 0.00
Max Allowable Q(cfs): 999999.000

Name: SHMF Basin
Group: BASE
Unit Hydrograph: uhs256
Rainfall File:
Rainfall Amount(in): 0.000
Area(ac): 2.405
Curve Number: 87.47
DCTA(i): 0.00
Model: SHMF
Type: SCS Unit Hydrograph CN
Status: Onsite
Peaking Factor: 256.0
Storm Duration(hrs): 0.00
Time of Conc(min): 10.00
Time Shift(hrs): 0.00
Max Allowable Q(cfs): 999999.000

Nodes

Name: Infil-End
Group: BASE
Type: Time/Stage
Base Flow(cfs): 0.000
Init Stage(ft): 100.000
Warn Stage(ft): 100.000

Time(hrs)	Stage(ft)
0.00	100.000
999.00	100.000

Name: Post-End
Group: BASE
Type: Time/Stage
Base Flow(cfs): 0.000
Init Stage(ft): 100.000
Warn Stage(ft): 100.000

Time(hrs)	Stage(ft)
0.00	100.000
999.00	100.000

Name: Pre-End
Group: BASE
Type: Time/Stage
Base Flow(cfs): 0.000
Init Stage(ft): 100.000
Warn Stage(ft): 100.000

Time(hrs)	Stage(ft)
0.00	100.000
999.00	100.000

Name: SHMF
Group: BASE
Type: Stage/Area
Base Flow(cfs): 0.000
Init Stage(ft): 121.000
Warn Stage(ft): 123.500

Stage(ft)	Area(ac)
121.000	0.1469
122.000	0.1891
123.000	0.2316
123.500	0.2567

Operating Tables

Name: OT-Inf-SHMF
Group: BASE
Type: Rating Curve
Function: US Stage vs. Discharge

US Stage(ft)	Discharge(cfs)
121.000	0.10
122.000	0.13
123.000	0.16
123.500	0.17

Drop Structures

Name: OCS From Node: SHMF Length(ft): 30.00

[illegible]

*** Page 1 of 2 for Deep Structure OCS ***

TABLE

*** Weir 2 of 2 for Drop Structure R08 ***

TABLE

```

Name: Spillway                               From Node: SMCW
Acoup: BASE                                  To Node: Post-Brd
Flow: Both                                    Count: 1
Type: Vertical: Mevls                        Geometry: Trapezoidal

    Bottom Width(ft): 15.00
    Left Side Slope(h/v): 3.00
    Right Side Slope(h/v): 3.00
    Invert(ft): 123.350
    Control Elevation(ft): 123.250
    Struct Opening Size(ft): 9999.00

TABLE

    Bottom clip(ft): 0.000
    Top clip(ft): 0.000
    Weir Discharge Coef: 3.200
    Orifice Discharge Coef: 0.600

```

TABLE

Rating Curves

Name: inf-inf	From Mode: DMF	Counts: 1
Group: BASE	To Mode: Infil-Bnd	Flows: 84th
TABLE		
#1: UT-Inf DMF	LEV OFF(1)	LEV OFF(1)
#2:	W1.000	121.000
#3:	0.000	0.000
#4:	0.000	0.000
#5:	0.000	0.000
#6:	0.000	0.000

Open Hydrology Simulations

Name: 002y001H
Filename: K:\467.001 Marathon Truck Service Area Expansion\Engineering\SL\Subworkr Calca\ICPR\002y001H.w3

```

Override Defaults: Yes
Storm Duration(hrs): 1.00
Rainfall File: Fdot-1
Rainfall Amount(in): 2.20

```

Time(h:m)	Print Inc(min)
3.000	5.00

Name: 002Y002H
Filename: K:\567.001 Marathon Truck Service Area Expansion\engineering\Bioswales_Culm\ICPA\002Y002H.R33

```

Override Defaults: Yes
Storm Duration(hrs): 2.00
Rainfall File: Pdot-2
Rainfall Amount(in): 2.60

```

Time (hrs)	Print Time (min)
5.000	5.00

Name: 002Y004H
Filename: E:\567.001 Marathon Truck Service Area Expansion\Engineering\stormwater Calcs\ICPR\002Y004H.R3

```

Overall S-Factor: Yoo
Stage Duration(hrs): 4.00
Mainfall File: Fdot 4
Mainfall Amount(lit): 3.00

```

Time (hr)	Print Inc (mm)
-----------	----------------

Denshary Publishing, Inc.

Marathon Truck Service Area Expansion
Input Report

10.000 5.00

Name: 002Y000H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\002Y000H.R32
Override Defaults: Yes
Storm Duration(hrs): 6.00
Rainfall File: Pdot-9
Rainfall Amount(in): 3.50

Time(hrs) Print Inc(min)
10.000 5.00

Name: 002Y020H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\002Y020H.R32
Override Defaults: Yes
Storm Duration(hrs): 24.00
Rainfall File: Pdot-24
Rainfall Amount(in): 4.32

Time(hrs) Print Inc(min)
40.000 5.00

Name: 002Y072H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\002Y072H.R32
Override Defaults: Yes
Storm Duration(hrs): 72.00
Rainfall File: Pdot-72
Rainfall Amount(in): 5.00

Time(hrs) Print Inc(min)
100.000 5.00

Name: 002Y168H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\002Y168H.R32
Override Defaults: Yes
Storm Duration(hrs): 168.00
Rainfall File: Pdot-168
Rainfall Amount(in): 7.00

Time(hrs) Print Inc(min)
200.000 5.00

Name: 002Y240H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\002Y240H.R32
Override Defaults: Yes
Storm Duration(hrs): 240.00
Rainfall File: Pdot-240
Rainfall Amount(in): 7.50

Time(hrs) Print Inc(min)
300.000 5.00

Name: 005Y000H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\005Y000H.R32
Override Defaults: Yes
Storm Duration(hrs): 1.00
Rainfall File: Pdot-1
Rainfall Amount(in): 2.70

Time(hrs) Print Inc(min)
3.000 3.00

Name: 005Y002H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\005Y002H.R32
Override Defaults: Yes
Storm Duration(hrs): 2.00
Rainfall File: Pdot-2
Rainfall Amount(in): 3.10

Time(hrs) Print Inc(min)
5.000 3.00

Name: 005Y004H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\005Y004H.R32
Override Defaults: Yes
Storm Duration(hrs): 4.00
Rainfall File: Pdot-4
Rainfall Amount(in): 3.80

Time(hrs) Print Inc(min)
10.000 5.00

Name: 005Y006H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\005Y006H.R32
Override Defaults: Yes
Storm Duration(hrs): 6.00
Rainfall File: Pdot-6
Rainfall Amount(in): 4.50

Time(hrs) Print Inc(min)
20.000 5.00

Dewberry Probinkish, Inc.

Marathon Trunk Service Area Expansion
Input Report

```

-----
Name: 005Y024N
Filename: K:\605.187 Mt. Sebo Baptist Church\Engineering\Stormwater Calcs\ICPR\005Y024N.R32

Override Defaults: Yes
Storm Duration(hrs): 24.00
Rainfall File: Fdot-24
Rainfall Amount(in): 3.32

Time(hrs)      Print Inc(min)
-----
48.000        5.00

-----
Name: 005Y072N
Filename: K:\567.001 Marathon Trunk Service Area Expansion\Engineering\Stormwater Calcs\ICPR\005Y072N.R32

Override Defaults: Yes
Storm Duration(hrs): 72.00
Rainfall File: Fdot-72
Rainfall Amount(in): 7.00

Time(hrs)      Print Inc(min)
-----
100.000       5.00

-----
Name: 005Y168N
Filename: K:\567.001 Marathon Trunk Service Area Expansion\Engineering\Stormwater Calcs\ICPR\005Y168N.R32

Override Defaults: Yes
Storm Duration(hrs): 168.00
Rainfall File: Fdot-168
Rainfall Amount(in): 9.00

Time(hrs)      Print Inc(min)
-----
200.000       5.00

-----
Name: 005Y240N
Filename: K:\567.001 Marathon Trunk Service Area Expansion\Engineering\Stormwater Calcs\ICPR\005Y240N.R32

Override Defaults: Yes
Storm Duration(hrs): 240.00
Rainfall File: Fdot-240
Rainfall Amount(in): 10.00

Time(hrs)      Print Inc(min)
-----
300.000       5.00

-----
Name: 010Y001N
Filename: K:\567.001 Marathon Trunk Service Area Expansion\Engineering\Stormwater Calcs\ICPR\010Y001N.R32

Override Defaults: Yes
Storm Duration(hrs): 1.00
Rainfall File: Fdot-1
Rainfall Amount(in): 3.03

Time(hrs)      Print Inc(min)
-----
3.000         5.00

-----
Name: 010Y002N
Filename: K:\567.001 Marathon Trunk Service Area Expansion\Engineering\Stormwater Calcs\ICPR\010Y002N.R32

Override Defaults: Yes
Storm Duration(hrs): 2.00
Rainfall File: Fdot-2
Rainfall Amount(in): 3.70

Time(hrs)      Print Inc(min)
-----
5.000         5.00

-----
Name: 010Y004N
Filename: K:\567.001 Marathon Trunk Service Area Expansion\Engineering\Stormwater Calcs\ICPR\010Y004N.R32

Override Defaults: Yes
Storm Duration(hrs): 4.00
Rainfall File: Fdot-4
Rainfall Amount(in): 4.40

Time(hrs)      Print Inc(min)
-----
10.000        5.00

-----
Name: 010Y008N
Filename: K:\567.001 Marathon Trunk Service Area Expansion\Engineering\Stormwater Calcs\ICPR\010Y008N.R32

Override Defaults: Yes
Storm Duration(hrs): 8.00
Rainfall File: Fdot-8
Rainfall Amount(in): 5.12

Time(hrs)      Print Inc(min)
-----
20.000        5.00

-----
Name: 010Y024N
Filename: K:\567.001 Marathon Trunk Service Area Expansion\Engineering\Stormwater Calcs\ICPR\010Y024N.R32

Override Defaults: Yes
Storm Duration(hrs): 24.00
Rainfall File: Fdot-24
Rainfall Amount(in): 6.73

Time(hrs)      Print Inc(min)
-----
48.000        5.00

```

Demberry - Pieblies, Inc.

Marathon Truck Service Area Expansion
Input Report

Name: 010Y072H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\010Y072H.R32

Override Defaults: Yes
Storm Duration(hrs): 72.00
Rainfall File: Pdot-72
Rainfall Amount(in): 8.30

Time(hrs)	Print Inc(min)
100.000	5.00

Name: 010Y164H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\010Y164H.R32

Override Defaults: Yes
Storm Duration(hrs): 168.00
Rainfall File: Pdot-168
Rainfall Amount(in): 10.10

Time(hrs)	Print Inc(min)
200.000	5.00

Name: 010Y240H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\010Y240H.R32

Override Defaults: Yes
Storm Duration(hrs): 240.00
Rainfall File: Pdot-240
Rainfall Amount(in): 11.80

Time(hrs)	Print Inc(min)
300.000	5.00

Name: 025Y001H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\025Y001H.R32

Override Defaults: Yes
Storm Duration(hrs): 1.00
Rainfall File: Pdot-1
Rainfall Amount(in): 3.45

Time(hrs)	Print Inc(min)
3.000	5.00

Name: 025Y002H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\025Y002H.R32

Override Defaults: Yes
Storm Duration(hrs): 2.00
Rainfall File: Pdot-2
Rainfall Amount(in): 4.30

Time(hrs)	Print Inc(min)
5.000	5.00

Name: 025Y004H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\025Y004H.R32

Override Defaults: Yes
Storm Duration(hrs): 4.00
Rainfall File: Pdot-4
Rainfall Amount(in): 5.12

Time(hrs)	Print Inc(min)
10.000	5.00

Name: 025Y008H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\025Y008H.R32

Override Defaults: Yes
Storm Duration(hrs): 8.00
Rainfall File: Pdot-8
Rainfall Amount(in): 6.00

Time(hrs)	Print Inc(min)
20.000	5.00

Name: 025Y024H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\025Y024H.R32

Override Defaults: Yes
Storm Duration(hrs): 24.00
Rainfall File: Pdot-24
Rainfall Amount(in): 7.82

Time(hrs)	Print Inc(min)
40.000	5.00

Name: 025Y072H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\025Y072H.R32

Override Defaults: Yes
Storm Duration(hrs): 72.00
Rainfall File: Pdot-72
Rainfall Amount(in): 10.09

Time(hrs)	Print Inc(min)
100.000	5.00

Sanberry - creek@Gib, Inc.

Marathon Truck Service Area Expansion
Input Report

Name: 025Y240H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\025Y240H.R32
Override Defaults: Yes
Storm Duration(hrs): 168.00
Rainfall File: Pdot-168
Rainfall Amount(in): 11.30
Time(hrs) Print Inc(min)

100.000 5.00

Name: 025Y240H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\025Y240H.R32
Override Defaults: Yes
Storm Duration(hrs): 240.00
Rainfall File: Pdot-240
Rainfall Amount(in): 14.00
Time(hrs) Print Inc(min)

100.000 5.00

Name: 050Y001H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\050Y001H.R32
Override Defaults: Yes
Storm Duration(hrs): 1.00
Rainfall File: Pdot-1
Rainfall Amount(in): 3.75
Time(hrs) Print Inc(min)

3.000 5.00

Name: 050Y002H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\050Y002H.R32
Override Defaults: Yes
Storm Duration(hrs): 2.00
Rainfall File: Pdot-2
Rainfall Amount(in): 4.70
Time(hrs) Print Inc(min)

5.000 5.00

Name: 050Y004H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\050Y004H.R32
Override Defaults: Yes
Storm Duration(hrs): 4.00
Rainfall File: Pdot-4
Rainfall Amount(in): 5.60
Time(hrs) Print Inc(min)

10.000 5.00

Name: 050Y006H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\050Y006H.R32
Override Defaults: Yes
Storm Duration(hrs): 6.00
Rainfall File: Pdot-6
Rainfall Amount(in): 6.50
Time(hrs) Print Inc(min)

20.000 5.00

Name: 050Y024H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\050Y024H.R32
Override Defaults: Yes
Storm Duration(hrs): 24.00
Rainfall File: Pdot-24
Rainfall Amount(in): 7.64
Time(hrs) Print Inc(min)

50.000 5.00

Name: 050Y072H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\050Y072H.R32
Override Defaults: Yes
Storm Duration(hrs): 72.00
Rainfall File: Pdot-72
Rainfall Amount(in): 11.25
Time(hrs) Print Inc(min)

100.000 5.00

Name: 050Y168H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\050Y168H.R32
Override Defaults: Yes
Storm Duration(hrs): 168.00
Rainfall File: Pdot-168
Rainfall Amount(in): 11.00
Time(hrs) Print Inc(min)

200.000 5.00

Name: 050Y240H

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Marathon Truck Service Area Expansion
Input Report

Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\100Y001N.R32

Override Defaults: Yes
Storm Duration(hrs): 240.00
Rainfall File: Fdot-240
Rainfall Amount(in): 15.00

Time(hrs)	Print Inc(min)
300.000	5.00

Name: 100Y002N
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\100Y002N.R32

Override Defaults: Yes
Storm Duration(hrs): 1.00
Rainfall File: Fdot-1
Rainfall Amount(in): 4.20

Time(hrs)	Print Inc(min)
3.000	5.00

Name: 100Y002H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\100Y002H.R32

Override Defaults: Yes
Storm Duration(hrs): 2.00
Rainfall File: Fdot-2
Rainfall Amount(in): 5.10

Time(hrs)	Print Inc(min)
5.000	5.00

Name: 100Y004H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\100Y004H.R32

Override Defaults: Yes
Storm Duration(hrs): 4.00
Rainfall File: Fdot-4
Rainfall Amount(in): 6.00

Time(hrs)	Print Inc(min)
10.000	5.00

Name: 100Y008H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\100Y008H.R32

Override Defaults: Yes
Storm Duration(hrs): 8.00
Rainfall File: Fdot-8
Rainfall Amount(in): 7.35

Time(hrs)	Print Inc(min)
20.000	5.00

Name: 100Y024H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\100Y024H.R32

Override Defaults: Yes
Storm Duration(hrs): 25.00
Rainfall File: Fdot-24
Rainfall Amount(in): 9.63

Time(hrs)	Print Inc(min)
50.000	5.00

Name: 100Y072H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\100Y072H.R32

Override Defaults: Yes
Storm Duration(hrs): 72.00
Rainfall File: Fdot-72
Rainfall Amount(in): 12.40

Time(hrs)	Print Inc(min)
100.000	5.00

Name: 100Y168H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\100Y168H.R32

Override Defaults: Yes
Storm Duration(hrs): 168.00
Rainfall File: Fdot-168
Rainfall Amount(in): 15.00

Time(hrs)	Print Inc(min)
200.000	5.00

Name: 100Y240H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\100Y240H.R32

Override Defaults: Yes
Storm Duration(hrs): 240.00
Rainfall File: Fdot-240
Rainfall Amount(in): 15.10

Time(hrs)	Print Inc(min)
300.000	5.00

==== Routing Simulations =====

Bowberry - Peeblesish, Inc.

Marathon Truck Service Area Expansion
Input Report

Name: 002Y001H Hydrology Sim: 002Y001H
 Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\002Y001H.I32
 Execute: No Restart: No Patch: No
 Alternative: No
 Max Delta S(ft): 1.00 Delta S Factor: 0.00500
 Time Step Optimizer: 10.000
 Start Time(hrs): 0.000 End Time(hrs): 3.00
 Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
 Boundary Stages:
 Boundary Flows:
 Time(hrs) Print Int(min)
 3.000 5.000
 Group Run
 BASE Yes

Name: 002Y002H Hydrology Sim: 002Y002H
 Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\002Y002H.I32
 Execute: No Restart: No Patch: No
 Alternative: No
 Max Delta S(ft): 1.00 Delta S Factor: 0.00500
 Time Step Optimizer: 10.000
 Start Time(hrs): 0.000 End Time(hrs): 3.00
 Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
 Boundary Stages:
 Boundary Flows:
 Time(hrs) Print Int(min)
 5.000 5.000
 Group Run
 BASE Yes

Name: 002Y004H Hydrology Sim: 002Y004H
 Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\002Y004H.I32
 Execute: No Restart: No Patch: No
 Alternative: No
 Max Delta S(ft): 1.00 Delta S Factor: 0.00500
 Time Step Optimizer: 10.000
 Start Time(hrs): 0.000 End Time(hrs): 10.00
 Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
 Boundary Stages:
 Boundary Flows:
 Time(hrs) Print Int(min)
 10.000 5.000
 Group Run
 BASE Yes

Name: 002Y005H Hydrology Sim: 002Y005H
 Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\002Y005H.I32
 Execute: No Restart: No Patch: No
 Alternative: No
 Max Delta S(ft): 1.00 Delta S Factor: 0.00500
 Time Step Optimizer: 10.000
 Start Time(hrs): 0.000 End Time(hrs): 20.00
 Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
 Boundary Stages:
 Boundary Flows:
 Time(hrs) Print Int(min)
 20.000 5.000
 Group Run
 BASE Yes

Name: 002Y024H Hydrology Sim: 002Y024H
 Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\002Y024H.I32
 Execute: No Restart: No Patch: No
 Alternative: No
 Max Delta S(ft): 1.00 Delta S Factor: 0.00500
 Time Step Optimizer: 10.000
 Start Time(hrs): 0.000 End Time(hrs): 48.00
 Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
 Boundary Stages:
 Boundary Flows:
 Time(hrs) Print Int(min)
 48.000 5.000
 Group Run
 BASE Yes

Sanberry PwellsRich, Inc.

Marathon Truck Service Area Expansion
Input Report

Name: 002Y072H Hydrology Sim: 002Y072H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\002Y072H.I32

Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 100.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)

100.000 5.000
Group Run

BASE Yes

Name: 002Y168H Hydrology Sim: 002Y168H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\002Y168H.I32

Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 200.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)

200.000 5.000
Group Run

BASE Yes

Name: 002Y240H Hydrology Sim: 002Y240H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\002Y240H.I32

Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 300.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)

300.000 5.000
Group Run

BASE Yes

Name: 005Y001H Hydrology Sim: 005Y001H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\005Y001H.I32

Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 3.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)

3.000 5.000
Group Run

BASE Yes

Name: 005Y002H Hydrology Sim: 005Y002H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\005Y002H.I32

Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 5.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)

5.000 5.000
Group Run

Deshaury - Frabletash, Inc.

Marathon Truck Service Area Expansion
Input Report

NAME: Yes

Name: 005Y004R Hydrology Sim: 005Y004R
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\005Y004R.I12
Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 10.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)
10.000 5.000

Group: Run
BASE: Yes

Name: 005Y008H Hydrology Sim: 005Y008H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\005Y008H.I12
Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 20.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)
20.000 5.000

Group: Run
BASE: Yes

Name: 005Y024H Hydrology Sim: 005Y024H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\005Y024H.I12
Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 48.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)
48.000 5.000

Group: Run
BASE: Yes

Name: 005Y072H Hydrology Sim: 005Y072H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\005Y072H.I12
Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 100.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)
100.000 5.000

Group: Run
BASE: Yes

Name: 005Y168H Hydrology Sim: 005Y168H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\005Y168H.I12
Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 200.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)
200.000 5.000

Demberry - Pritchard, Inc.

Marathon Truck Service Area Expansion
Input Report

Group Run
BASE Yes

Name: 005Y240H Hydrology Sim: 005Y240H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calc\ICPR\005Y240H.T32

Execute: No Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 300.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)
100.000 5.000

Group Run
BASE Yes

Name: 010Y001H Hydrology Sim: 010Y001H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calc\ICPR\010Y001H.T32

Execute: No Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 3.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)
3.000 5.000

Group Run
BASE Yes

Name: 010Y002H Hydrology Sim: 010Y002H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calc\ICPR\010Y002H.T32

Execute: No Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 5.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)
5.000 5.000

Group Run
BASE Yes

Name: 010Y004H Hydrology Sim: 010Y004H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calc\ICPR\010Y004H.T32

Execute: No Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 10.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)
10.000 5.000

Group Run
BASE Yes

Name: 010Y006H Hydrology Sim: 010Y006H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calc\ICPR\010Y006H.T32

Execute: No Restart: No Patch: No
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 20.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

Deberry - TrebleHwy, Inc.

Marathon Truck Service Area Expansion
Report Report:

TS.000 5.000
Group Run
BASE Yes

Name: 010Y024H Hydrology Sim: 010Y024H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\010Y024H.T32
Executor: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 48.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)
48.000 5.000
Group Run
BASE Yes

Name: 010Y072H Hydrology Sim: 010Y072H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\010Y072H.T32
Executor: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 100.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)
100.000 5.000
Group Run
BASE Yes

Name: 010Y168H Hydrology Sim: 010Y168H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\010Y168H.T32
Executor: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 200.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)
200.000 5.000
Group Run
BASE Yes

Name: 010Y248H Hydrology Sim: 010Y248H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\010Y248H.T32
Executor: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 300.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)
300.000 5.000
Group Run
BASE Yes

Name: 025Y001H Hydrology Sim: 025Y001H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\025Y001H.T32
Executor: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 3.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Marathon Truck Service Area Expansion
Input Report

Time(hrs) Print Inc(min)

3.000 5.000
Group Run

BASE Yes

Name: 025Y002H Hydrology Sim: 025Y002H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\025Y002H.I32
Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 5.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

3.000 5.000
Group Run

BASE Yes

Name: 025Y004H Hydrology Sim: 025Y004H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\025Y004H.I32
Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 10.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

10.000 5.000
Group Run

BASE Yes

Name: 025Y006H Hydrology Sim: 025Y006H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\025Y006H.I32
Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 20.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

20.000 5.000
Group Run

BASE Yes

Name: 025Y024H Hydrology Sim: 025Y024H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\025Y024H.I32
Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 48.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

48.000 5.000
Group Run

BASE Yes

Name: 025Y072H Hydrology Sim: 025Y072H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\025Y072H.I32
Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 100.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Demerzy - Prebich, Inc.

Marathon Truck Service Area Expansion
Input Report

Time(hrs) Print Int(min)

100.000 5.000
Group Run

BASE Yes

Name: 025Y168H Hydrology Sim: 025Y168H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\025Y168H.I32
Executed: No Restart: No Patch: No
Alternative: No
Max Delta S(ft): 1.00 Delta S Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 200.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)

200.000 5.000
Group Run

BASE Yes

Name: 025Y240H Hydrology Sim: 025Y240H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\025Y240H.I32
Executed: No Restart: No Patch: No
Alternative: No
Max Delta S(ft): 1.00 Delta S Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 300.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)

300.000 5.000
Group Run

BASE Yes

Name: 050Y001H Hydrology Sim: 050Y001H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\050Y001H.I32
Executed: No Restart: No Patch: No
Alternative: No
Max Delta S(ft): 1.00 Delta S Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 2.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)

3.000 5.000
Group Run

BASE Yes

Name: 050Y002H Hydrology Sim: 050Y002H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\050Y002H.I32
Executed: No Restart: No Patch: No
Alternative: No
Max Delta S(ft): 1.00 Delta S Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 5.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(min)

5.000 5.000
Group Run

BASE Yes

Name: 050Y004H Hydrology Sim: 050Y004H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\050Y004H.I32
Executed: No Restart: No Patch: No
Alternative: No
Max Delta S(ft): 1.00 Delta S Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 10.00

Demberry - Prehlerish, Inc.

Marathon Truck Service Area Expansion
Input Report

Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(mn)

10.000 5.000
Group Run

BASE Yes

Name: 050Y008H Hydrology Sim: 050Y008H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\050Y008H.I32
Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00509
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 20.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(mn)

20.000 5.000
Group Run

BASE Yes

Name: 050Y024H Hydrology Sim: 050Y024H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\050Y024H.I32
Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 40.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(mn)

40.000 5.000
Group Run

BASE Yes

Name: 050Y072H Hydrology Sim: 050Y072H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\050Y072H.I32
Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00508
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 100.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(mn)

100.000 5.000
Group Run

BASE Yes

Name: 050Y140H Hydrology Sim: 050Y140H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\050Y140H.I32
Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 200.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Int(mn)

200.000 5.000
Group Run

BASE Yes

Name: 050Y240H Hydrology Sim: 050Y240H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calcs\ICPR\050Y240H.I32
Execute: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500

Donbercy - Freeblesh, Inc.

Marathon Truck Service Area Expansion
Input Report

Time Step Optimizer: 10.000
Start Time(hrs): 0.000
Min Calc Time(sec): 0.5000
Boundary Stages:
End Time(hrs): 300.00
Max Calc Time(sec): 60.0000
Boundary Flows:

Time(hrs) Print Inc(min)

300.000 5.000

Group Run

BASE Yes

Name: 100Y001H Hydrology Sim: 100Y001H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calc\ICPR\100Y001H.T32
Executor: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 1.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

3.000 5.000

Group Run

BASE Yes

Name: 100Y002H Hydrology Sim: 100Y002H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calc\ICPR\100Y002H.T32
Executor: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 1.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

3.000 5.000

Group Run

BASE Yes

Name: 100Y004H Hydrology Sim: 100Y004H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calc\ICPR\100Y004H.T32
Executor: No Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 10.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

10.000 5.000

Group Run

BASE Yes

Name: 100Y008H Hydrology Sim: 100Y008H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calc\ICPR\100Y008H.T32
Executor: Yes Restart: No Patch: No
Alternative: No
Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500
Time Step Optimizer: 10.000
Start Time(hrs): 0.000 End Time(hrs): 300.00
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)

300.000 5.000

Group Run

BASE Yes

Name: 100Y024H Hydrology Sim: 100Y024H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calc\ICPR\100Y024H.T32
Executor: No Restart: No Patch: No
Alternative: No

Delaware - Project 1018, Inc.

Marathon Truck Service Area Expansion
Input Report

Max Delta S(f): 1.00
Time Step Optimizer: 10.000
Start Time(hrs): 0.000
Min Calc Time(sec): 0.5000
Boundary Stages:

Delta S Factor: 0.00500
End Time(hrs): 48.00
Max Calc Time(sec): 60.0000
Boundary Flows:

Time(hrs) Print Inc(min)

48.000 5.000

Group Run

BASE Yes

Name: 100Y072H Hydrology Sim: 100Y072H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calc\ICPR\100Y072H.I32

Execute: No Restart: No Patch: No
Alternative: No

Max Delta S(f): 1.00
Time Step Optimizer: 10.000
Start Time(hrs): 0.000
Min Calc Time(sec): 0.5000
Boundary Stages:

Delta S Factor: 0.00500
End Time(hrs): 108.00
Max Calc Time(sec): 60.0000
Boundary Flows:

Time(hrs) Print Inc(min)

108.000 5.000

Group Run

BASE Yes

Name: 100Y168H Hydrology Sim: 100Y168H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calc\ICPR\100Y168H.I32

Execute: No Restart: No Patch: No
Alternative: No

Max Delta S(f): 1.00
Time Step Optimizer: 10.000
Start Time(hrs): 0.000
Min Calc Time(sec): 0.5000
Boundary Stages:

Delta S Factor: 0.00500
End Time(hrs): 208.00
Max Calc Time(sec): 60.0000
Boundary Flows:

Time(hrs) Print Inc(min)

208.000 5.000

Group Run

BASE Yes

Name: 100Y240H Hydrology Sim: 100Y240H
Filename: K:\567.001 Marathon Truck Service Area Expansion\Engineering\Stormwater Calc\ICPR\100Y240H.I32

Execute: No Restart: No Patch: No
Alternative: No

Max Delta S(f): 1.00
Time Step Optimizer: 10.000
Start Time(hrs): 0.000
Min Calc Time(sec): 0.5000
Boundary Stages:

Delta S Factor: 0.00500
End Time(hrs): 308.00
Max Calc Time(sec): 60.0000
Boundary Flows:

Time(hrs) Print Inc(min)

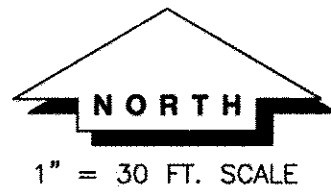
308.000 5.000

Group Run

BASE Yes

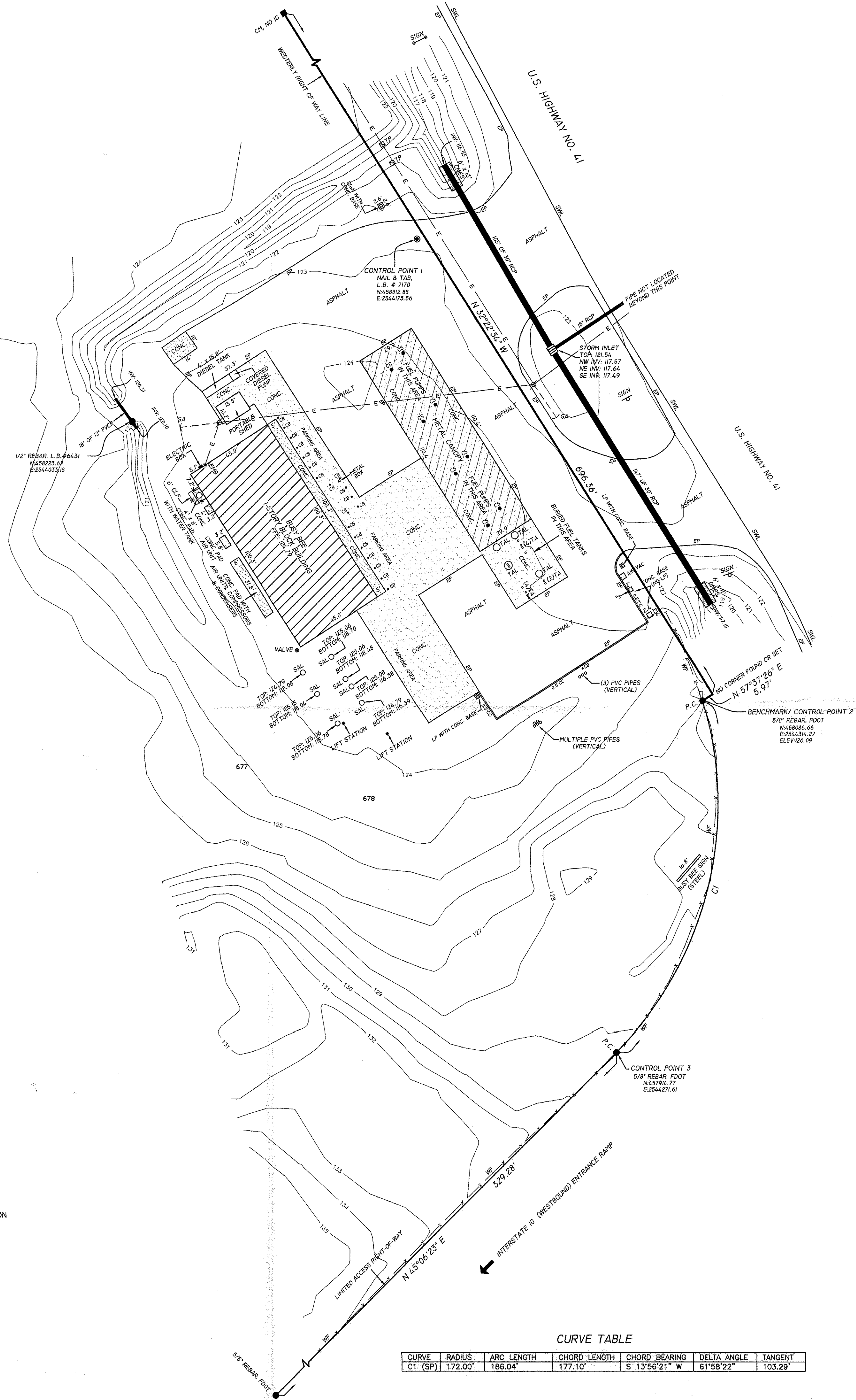
DEWBERRY - PREBLE RISH, INC.

502 East Park Avenue • Tallahassee, Florida 32301
(850) 523-0062 • Fax # (850) 522-1011



SPECIAL PURPOSE TOPOGRAPHICAL SURVEY OF
THE "BUSY BEE" SITE AT THE INTERSECTION OF
U.S. HIGHWAY NO. 41 AND INTERSTATE NO. 10

SITUATED IN
SECTIONS 11 AND 12
COLUMBIA COUNTY, FLORIDA.
TOWNSHIP 03 SOUTH, RANGE 16 EAST



ABBREVIATIONS

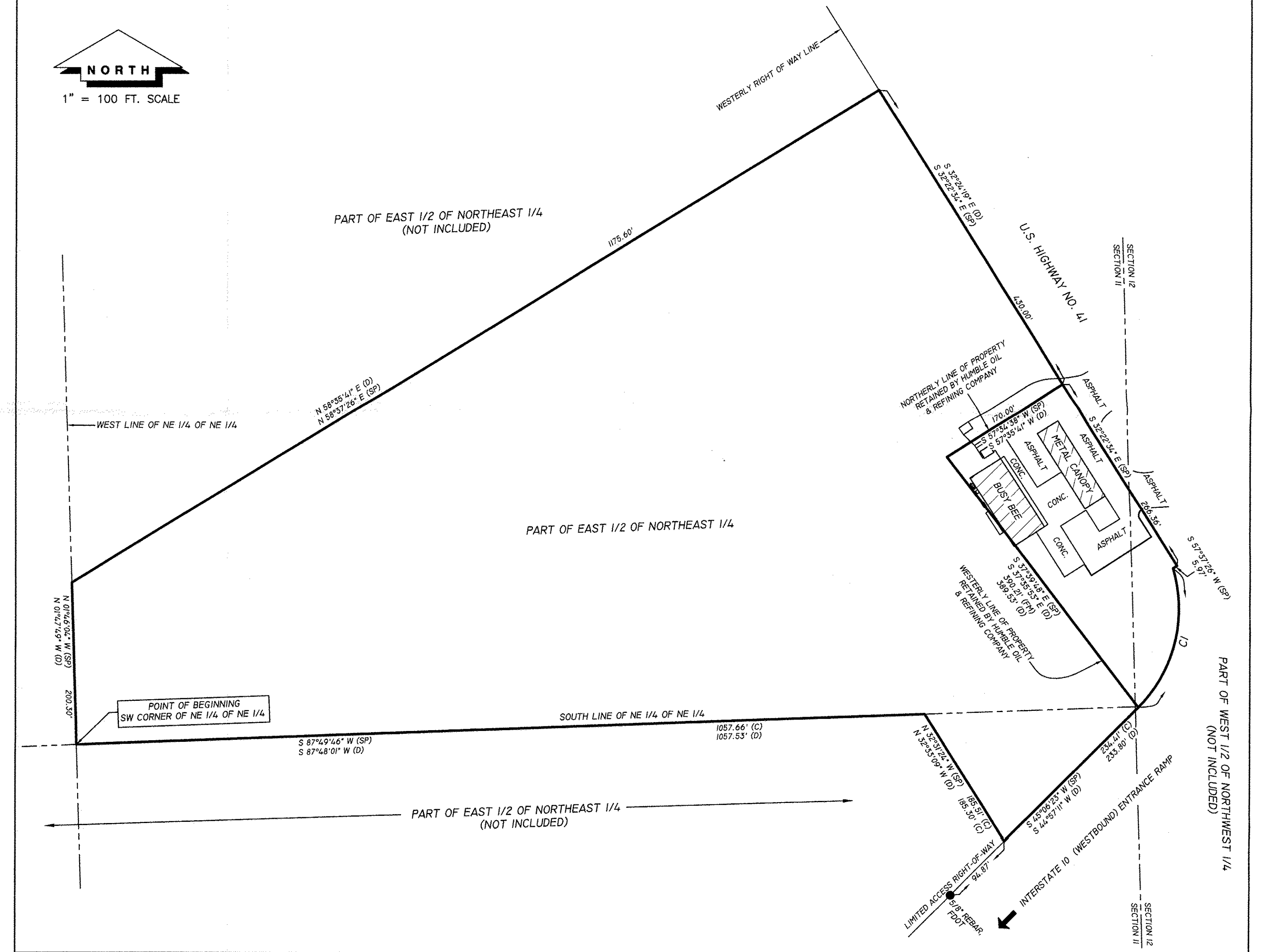
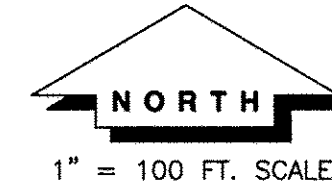
CONC. - CONCRETE
IP - IRON PIPE
REB. - REBAR
ST. - STREET
AVE. - AVENUE
NO ID - NO IDENTIFICATION
FD. - FOUND
CM - CONCRETE MONUMENT
± - MORE OR LESS
ORB - OFFICIAL RECORDS BOOK
PG - PAGE(S)
(FM) - MEASURED
(P) - PLAT
(D) - DEED
(C) - CALCULATED
(R) - RECORD
SAL - SEPTIC ACCESS LID
CC - CONCRETE CURB
CB - CONCRETE BOLLARD
TA - TANK ACCESS
TAL - TANK ACCESS LID
EP - EDGE OF PAVE
INV - INVERT
GA - GUY ANCHOR
LP - LIGHT POLE
CMES - CONCRETE MITERED END SECTION
RCP - REINFORCED CONCRETE PIPE
PVC - POLYVINYLCHLORIDE
PVCP - POLYVINYLCHLORIDE PIPE
CS - CANOPY SUPPORT
O/S - OFFSET
FDOT - FLORIDA DEPARTMENT OF TRANSPORTATION
P.C. - POINT OF CURVATURE
P.T. - POINT OF TANGENCY
P.I. - POINT OF INTERSECTION
P.R.C. - POINT OF REVERSE CURVATURE
P.C.C. - POINT OF COMPOUND CURVATURE
R - RADIUS
R/W - RIGHT-OF-WAY
P.C.P. - PERMANENT CONTROL POINT
P.R.M. - PERMANENT REFERENCE MONUMENT
EP - EDGE OF PAVEMENT
EO - EDGE OF GRADE
C&G - CURB AND GUTTER
ST. MH - STORM MANHOLE
SE. MH - SANITARY SEWER MANHOLE
ELEV. - ELEVATION
B.M. - BENCHMARK
C - CENTERLINE

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1 (SP)	172.00'	186.04'	177.10'	S 13°56'21" W	61°58'22"	103.29'

SKETCH OF BOUNDARY

A PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 11 AND PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 12, ALL IN TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 16 EAST; THENCE RUN NORTH 01°47'48" WEST ALONG THE WEST LINE OF SAID NORTHEAST 1/4 OF THE NORTHEAST 1/4, A DISTANCE OF 200.30 FEET TO A POINT; THENCE RUN NORTH 58°35'41" EAST, A DISTANCE OF 1175.60 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 25 (U.S. HIGHWAY 41); THENCE RUN SOUTH 32°24'19" EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 430.00 FEET TO A POINT; THENCE RUN SOUTH 57°35'41" WEST, A DISTANCE OF 170.00 FEET ALONG THE NORTHERLY LINE OF PROPERTY RETAINED BY HUMBLE OIL AND REFINING COMPANY TO A POINT; THENCE SOUTH 57°35'53" EAST, A DISTANCE OF 389.53 FEET ALONG THE WESTERLY LINE OF PROPERTY RETAINED BY HUMBLE OIL AND REFINING COMPANY TO A POINT; THENCE RUN SOUTH 44°57'11" WEST ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF INTERSTATE NO. 10, A DISTANCE OF 233.80 FEET; THENCE RUN NORTH 32°33'09" WEST, A DISTANCE OF 185.30 FEET TO THE SOUTHERLY LINE OF SAID NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 11; THENCE RUN SOUTH 87°48'01" WEST ALONG SAID SOUTHERLY LINE, A DISTANCE OF 1057.53 FEET TO THE POINT OF BEGINNING. THIS DESCRIBED PROPERTY IS SUBJECT TO ALL UTILITY EASEMENTS. BEING THOSE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 887, PAGES 1565-1567 OF THE PUBLIC RECORDS OF SAID COUNTY.



LEGEND & NOTES

- 1) FENCE, ROAD AND OVERHEAD ELECTRIC DIMENSIONS MAY NOT BE TO SCALE.
- 2) NO RESEARCH DONE ON ADJOINING PROPERTY DEEDS TO DETERMINE DEED OVERLAPS OR BOUNDARY LINE DISPUTES. PROPERTY SURVEYED AS PER DESCRIPTION PROVIDED BY CLIENT, NO ABSTRACT PROVIDED.
- 3) COORDINATES AND BEARINGS BASED ON NAD83. (CONTROL - FDOT GPS 41, CONCRETE MONUMENT WITH BRASS CAP STAMPED "2917004 GPS 41") (WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 41 - S 31°53'05" E).
- 4) NO UNDERGROUND IMPROVEMENTS, IF ANY, LOCATED BY THIS SURVEY.
- 5) FENCE TIES TAKEN ONLY AT LOCATIONS SHOWN AND DEPICTED HEREON.
- 6) DISTANCES MEASURED IN U.S. FEET.
- 7) ELEVATIONS AND CONTOURS BASED ON NAVD83. (CONTROL - FDOT GPS 41, CONCRETE MONUMENT WITH BRASS CAP STAMPED "2917004 GPS 41").
- 8) REVISED: 05-09-16 TO SHOW SKETCH.

TIMOTHY B. ALCORN
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATE NO. 6332
DATE: MAY 9, 2016
"NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER"

FOR: THE KINJAC CORPORATION			
ORDERED BY: PREBLE-RISH, INC./DARYLE GRAY, P.E.			
SCALE: 1" = 30'	DATE SURVEYED: 02-08-16	DATE DRAWN: 02-17-16	
REVISED: 05-09-16	APPROVED BY:	DRAWN BY: SH	
J. SHERMAN FRIER & ASSOCIATES, INC.			
LAND SURVEYORS CERTIFICATE OF AUTHORIZATION - LB# 7170			
130 W. HOWARD STREET, LIVE OAK, FL 32064			
PHONE: 386-362-4629			
FAX: 386-362-5270			
DRAWING NUMBER: 119-2015			



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

May 18, 2016

VIA ELECTRONIC MAIL

Dewberry/Preble-Rish
Attn: Daryle Gray
654 SE Baya Drive
Lake City, FL 32025

Re: SDP 16 03 "Busy Bee/Burger King"
Completeness Review

Dear Gray,

On May 12, 2016, the Columbia County Building and Zoning Department received your application for a Site & Development Plan Review for "Busy Bee/Burger King" (Tax Parcel Numbers 02063-000 and 02063-001).

Upon receipt of an application, a review for completeness is conducted. The Building and Zoning Department has conducted a review of the aforementioned application for completeness. The comments below are based solely on a preliminary review of the aforementioned application for completeness. A detailed review will be preformed once all requirements of completeness have been met.

Please address the following:

- 1) The applicant must provide a list of eligible member(s) who are authorized to sign on behalf of The Kinjac Corporation.
- 2) If the applicant has an agent acting on its behalf, the applicant must provide an agent authorization letter from the property owner (The Kinjac Corporation).
- 3) The applicant has not provided a fire department access and water supply plan in accordance with Chapter 18 of the Florida Fire Prevention Code. See required attachment 4 of the Site & Development Plan Application for details.
- 4) The applicant has not provided a Comprehensive Plan Consistency Analysis. The applicant must provide a Comprehensive Plan Consistency Analysis.

BOARD MEETS THE FIRST THURSDAY AT 5:30 P.M.
AND THIRD THURSDAY AT 5:30 P.M.

- 5) The applicant has not provided a legal description with Tax Parcel Number in a Microsoft Word format. The applicant must provide the legal description with Tax Parcel Number in a Microsoft Word format.

Please provide the required submittals. The application cannot be processed until all submittal requirements have been met. If you have any questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read "B. M. Stubbs", with a long horizontal flourish extending to the right.

Brandon M. Stubbs
County Planner/LDR Admin.
Building & Zoning
Ph: (386) 754-7119
bstubbs@columbiacountyfla.com

June 2, 2016

Columbia County Building and Zoning
Attn: Brandon M. Stubbs, County Planner/LDR Admin
P.O. Box 1529
Lake City, FL 32056-1529
Via email: bstubbs@columbiacountyfla.gov

RE: SDP 16 03 "Busy Bee/Burger King" Comment Response Letter

Mr. Stubbs:

Per your review comments for the referenced project, the following is attached:

- Florida Department of State information for The Kinjac Corporation
- Agent Authorization Letter from The Kinjac Corporation
- AutoTURN plan showing BUS 45 and WB-50
- Legal Description in Microsoft Word format

Following are the responses to the review comments:

1. **COMMENT:** The applicant must provide a list of eligible member(s) who are authorized to sign on behalf of The Kinjac Corporation.
RESPONSE: Please see the attached Florida Department of State filing information for The Kinjac Corporation.
2. **COMMENT:** If the applicant has an agent acting on its behalf, the applicant must provide an agent authorization letter from the property owner (The Kinjac Corporation).
RESPONSE: Please see the attached Agent Authorization Letter signed and notarized.
3. **COMMENT:** The applicant has not provided a fire department access and water supply plan in accordance with Chapter 18 of the Florida Fire Prevention Code. See required attachment 4 of the Site & Development Plan Application for details.
RESPONSE: According to NFPA 101 the Burger King has an occupant load of less than 300 (12.3.5.2) and the building is less than 12,000 SF (12.3.5.3). Although the Burger King is considered an assembly occupancy, section 12.3.5.2 requires a supervised automatic sprinkler system only for assembly occupant loads over 300 and section 12.3.5.2 requires a sprinkler system for single multipurpose room greater than 12,000 SF. Therefore there is no proposed supervised automatic sprinkler system, except for fire extinguishers throughout the building, as shown on the plans. It should also be noted that no potable water mains are located near the development.
Please see the attached AutoTURN exhibits showing both a BUS-45 and WB-50 vehicle, modeling a fire truck, entering and exiting the project site without backing up.
4. **COMMENT:** The applicant has not provided a Comprehensive Plan Consistency Analysis. The applicant must provide a Comprehensive Plan Consistency Analysis.
RESPONSE: The project site is located in the Highway Interchange Classification of the Future Land Use Map within the Urban Development Area. Per the Zoning Atlas Map the project site is zoned Commercial-Highway Interchange (CHI). The Comprehensive Plan denotes that sites zoned in the Highway Interchange classification shall be located around Interstates 10 and 75 and one of the limited uses

stations. The proposed development consists of an addition of bathrooms to a service station and a Burger King restaurant in a site located adjacent to Interstate 10, and is therefore consistent with the Columbia County Comprehensive Plan.

5. **COMMENT:** The applicant has not provided a legal description with Tax Parcel Number in a Microsoft Word format. The applicant must provide the legal description with Tax Parcel Number in a Microsoft Word format.

RESPONSE: Please see the attached Legal Description in Microsoft Word format.

If you have any questions or require additional information needed to expedite your review, please do not hesitate to contact me at (850) 523-0062.

Sincerely,



Daryle Gray, P.E.
Project Manager

2016 FLORIDA PROFIT CORPORATION ANNUAL REPORT

DOCUMENT# H14215

Entity Name: THE KINJAC CORPORATION**Current Principal Place of Business:**1607 US HWY 90 EAST
MADISON, FL 32340**Current Mailing Address:**PO BOX 157
MADISON, FL 32341 US**FEI Number:** 59-2475169**Certificate of Status Desired:** No**Name and Address of Current Registered Agent:**JOHNSON, JACOB KSR
1607 US HWY 90 EAST
MADISON, FL 32340 US*The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.***SIGNATURE:**

Electronic Signature of Registered Agent

Date

Officer/Director Detail :

Title	VP
Name	JOHNSON, JACOB KSR
Address	437 NE FRALEIGH DRIVE
City-State-Zip:	MADISON FL 32340

Title	P
Name	JOHNSON, JACQUELINE P
Address	437 NE FRALEIGH DR
City-State-Zip:	MADISON FL 32340

Title	S
Name	WARING, ELIZABETH J
Address	2830 NE COLIN KELLY HWY
City-State-Zip:	MADISON FL 32340

Title	T
Name	ESTATE OF JACOB K JOHNSON, JR
Address	4773 US HWY 90 W
City-State-Zip:	MADISON FL 32340

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath, that I am an officer or director of the corporation or the receiver or trustee empowered to execute this report as required by Chapter 607, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: JACOB K JOHNSON, SR

VP

04/25/2016

Electronic Signature of Signing Officer/Director Detail

Date

FLORIDA DEPARTMENT OF STATE
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Detail by Entity Name

Florida Profit Corporation

THE KINJAC CORPORATION

Filing Information

Document Number	H14215
FEI/EIN Number	59-2475169
Date Filed	07/27/1984
State	FL
Status	ACTIVE

Principal Address

1607 US HWY 90 EAST
MADISON, FL 32340

Changed: 04/06/2004

Mailing Address

PO BOX 157
MADISON, FL 32341

Changed: 01/27/1994

Registered Agent Name & Address

JOHNSON, JACOB KSR
1607 US HWY 90 EAST
MADISON, FL 32340

Name Changed: 04/06/2004

Address Changed: 04/06/2004

Officer/Director Detail

Name & Address

Title VP

JOHNSON, JACOB KSR
437 NE FRALEIGH DRIVE
MADISON, FL 32340

JOHNSON, JACQUELINE P
437 NE FRALEIGH DR
MADISON, FL 32340

Title S

WARING, ELIZABETH J
2830 NE COLIN KELLY HWY
MADISON, FL 32340

Title T

Estate of Jacob K Johnson, JR
4773 US HWY 90 W
MADISON, FL 32340

Annual Reports

Report Year	Filed Date
2014	01/22/2014
2015	01/07/2015
2016	04/25/2016

Document Images

04/25/2016 -- ANNUAL REPORT	View image in PDF format
01/07/2015 -- ANNUAL REPORT	View image in PDF format
01/22/2014 -- ANNUAL REPORT	View image in PDF format
02/02/2013 -- ANNUAL REPORT	View image in PDF format
01/26/2012 -- ANNUAL REPORT	View image in PDF format
01/18/2011 -- ANNUAL REPORT	View image in PDF format
01/04/2010 -- ANNUAL REPORT	View image in PDF format
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04/27/1999 -- ANNUAL REPORT	View image in PDF format
03/16/1998 -- ANNUAL REPORT	View image in PDF format

APPLICATION AGENT AUTHORIZATION FORM

TO: Columbia County Zoning Department
135 NE Hernando Avenue
Lake City, FL 32055

Authority to Act as Agent

On my/our behalf, I appoint Daryle Gray Dewberry|Preble-Rish
(Name of Person as Agent) (Company Agent is representing, if applicable)

to act as my/our agent in the preparation and submittal of this application for
Busy Bee Burger King and Restroom Expansion
(Type Application)

I acknowledge that all responsibility for complying with the terms and conditions
for approval of this application, still resides with me as the Applicant.

Applicant Title: Elizabeth Waring, Secretary

On Behalf of: The Kinjac Corporation
(Company Name, if applicable)

Telephone: 850-973-7772 Date: 6/2/16

Applicant Signature: Elizabeth J. Waring

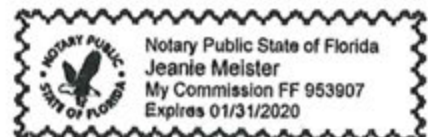
STATE OF FLORIDA

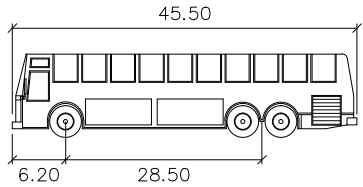
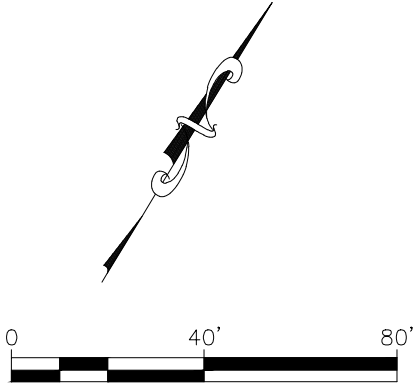
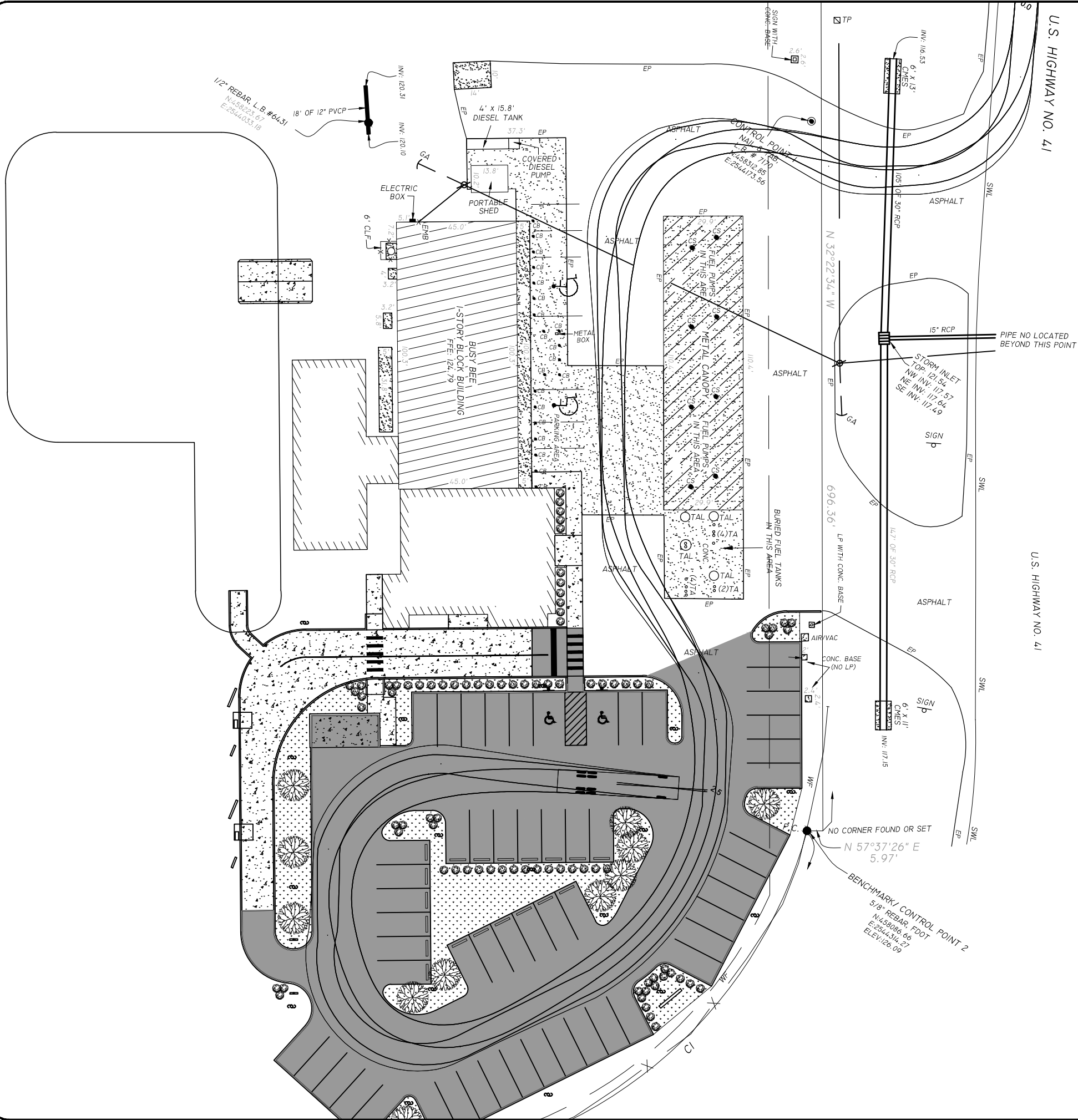
COUNTY OF Madison

The Foregoing instrument was acknowledged before me this 2nd day of June, 2016,
by Elizabeth J. Waring, whom is personally known by me X OR
produced identification _____. Type of Identification Produced _____

Jeanie Meister
Notary Signature

(SEAL)





BUS-45		feet
Width	:	8.50
Track	:	8.50
Lock to Lock Time	:	6.0
Steering Angle	:	45.2

AUTOTURN EXHIBIT

BURGER KING RESTAURANT
JOHNSON & JOHNSON, INC.
COLUMBIA COUNTY, FLORIDA



654 S.E. BAYA DR. • LAKE CITY, FL 32025 • (386) 719-9985

NOT PROVIDED FOR CONSTRUCTION OF THIS PROJECT. THE INFORMATION IS FOR INFORMATIONAL PURPOSES ONLY.

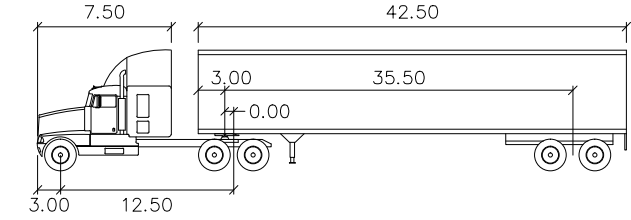
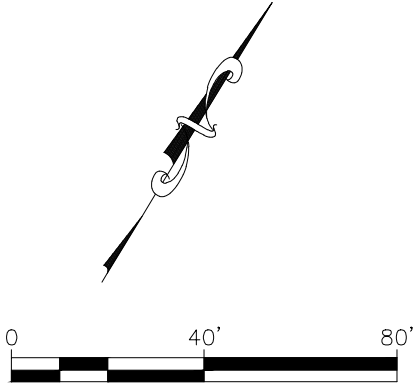
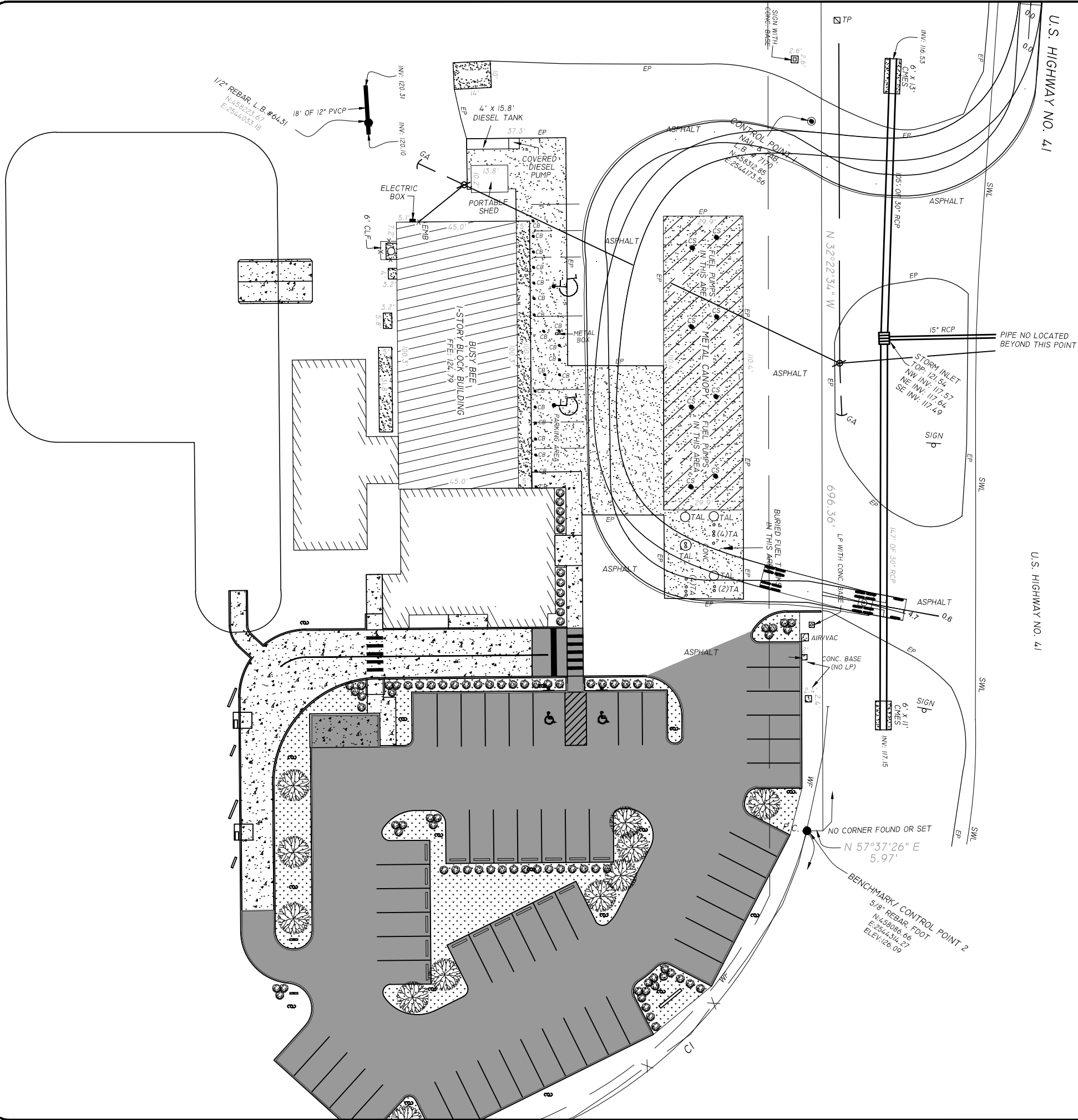
NO.	DATE	APPROVAL
1		
2		
3		
4		
5		
6		

EB 0008794

ROBERT DAVIS JR., P.E. NO. 73115

PROJECT NO:
567.001

SHEET:
AUTO-2



WB-50	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 17.7
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		

AUTOTURN EXHIBIT

BURGER KING RESTAURANT
JOHNSON & JOHNSON, INC.
COLUMBIA COUNTY, FLORIDA

PROJECT NO: 567.001

SHEET: AUTO-1

Dewberry | **PREBLE-RISH**

654 S.E. BAYA DR. • LAKE CITY, FL 32025 • (386) 719-9985

SCALE: 1" = 40'

DESIGNED: R. JERNIGAN

DRAWN: R. JERNIGAN

CHECKED: D. GRAY

DATE: May 2016

NOT PROVIDED FOR CONSTRUCTION OF THIS PROJECT. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF PREBLE-RISH, INC.

EB 0008794

REVISION:

NO.	DATE	APPROVED
1		
2		
3		
4		
5		
6		

ROBERT DAVIS JR., P.E. NO. 73115



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

June 2, 2016

VIA ELECTRONIC MAIL

Dewberry/Preble-Rish
Attn: Daryle Gray
654 SE Baya Drive
Lake City, FL 32025

Re: SDP 16 03 "Busy Bee/Burger King"
Review Comments

Dear Gray,

The above referenced application was review for sufficiency in accordance with Columbia County's Comprehensive Plan and Land Development Regulations ("LDRs"). Please address all insufficiencies detailed below in writing and provide detail as to how each insufficiency has been addressed by 11:00 AM on Thursday, June 9, 2016. A total of ten (10) copies (3 signed & sealed) of the revised site plan must be submitted. Further, one (1) copy of the site plan must be submitted on a CD in PDF format.

Please address the following insufficiencies:

- 1) The applicant states the site plan is 99% Construction Documents. Site plan must be final construction documents. Any changes may result in the applicant being required to submit a new application, fee, and obtaining Planning & Zoning Board Approval.
- 2) The applicant is expanding an existing Automotive Self-Service Station. The applicant must address the use-specific standards for Automotive Self-Service Stations in Section 4.2.6 of the LDRs.
- 3) The applicant indicates two lanes in the drive-thru area for the proposed restaurant; however, the proposed lanes do not meet the minimum width requirements established in Section 4.2.17.2 of the Land Development Regulations ("LDRs").
- 4) The applicant has not provided an off-street loading zone in accordance with Section 4.2.17.15 of the LDRs. The applicant must provide off-street loading in accordance with Section 4.2.17.15 of the LDRs.
- 5) The applicant proposes lighting in the parking lot area; however, the applicant has not indicated the pole height or provided fixture type and fixture details. Per Section 4.2.17.2 of the LDRs, lighting for parking lots must be designed as to prevent glare or excessive light on adjacent property. The applicant must provide the pole height, fixture type, and fixture details. Fixture should be full cut-off fixtures to prevent glare or excessive light on adjacent properties.
- 6) The applicant makes reference to FDOT Index 304 for the crosswalks and ramp areas; however, the applicant has not provided a detail for FDOT Index 304. The applicant must provide a detail of FDOT Index 304.
- 7) The applicant has not provided detectible warning strips with truncated domes at crosswalk areas. The applicant must provide detectible warning strips with truncated domes at crosswalk areas.

BOARD MEETS THE FIRST THURSDAY AT 5:30 P.M.
AND THIRD THURSDAY AT 5:30 P.M.

- 8) Concurrency Impact Analysis: The applicant provides a concurrency impact analysis; however, the analysis is not complete. The applicant proposes to expand an existing Automobile Self-Service Station and an addition for a proposed Restaurant. The applicant must provide separate analysis for each use and provide a total calculation of all proposed uses combined.

Given the level of deficiencies, the application may be delayed or tabled to a later Planning & Zoning Board hearing if all items are not sufficiently addressed and submitted on or before the resubmittal date.

Sincerely,



Brandon M. Stubbs
County Planner/LDR Admin

June 6, 2016

Columbia County Building and Zoning
Attn: Brandon M. Stubbs, County Planner/LDR Admin
P.O. Box 1529
Lake City, FL 32056-1529
Via email: bstubbs@columbiacountyfla.com

RE: SDP 16 03 "Busy Bee/ Burger King" Comment Response Letter

Mr. Stubbs:

Per your review comments for the referenced project, the following is attached:

- Ten (10) sets of revised construction drawings (with three (3) sets signed and sealed)
- One copy of submittal package in CD-ROM format
- Revised Concurrency Impact Analysis

Following are the responses to the review comments:

- COMMENT:** The applicant states the site plan is 99% Construction Documents. Site plan must be final construction documents. Any changes may result in the applicant being required to submit a new application, fee, and obtaining Planning & Zoning Board Approval.

RESPONSE: **The intent was to submit 99% Construction Documents and take the Building and Zoning comments to bring the set to 100%. No changes to the drawings have been made other than detailed in this letter. The cover sheet is revised to indicate 100% Construction Documents.**
- COMMENT:** The applicant is expanding an existing Automotive Self-Service Station. The applicant must address the use-specific standards for Automotive Self-Service Stations in Section 4.2.6 of the LDRs.

RESPONSE: **The project site is a corner lot with a minimum of 150' of frontage on street sides and a minimum area of at least 20,000 square feet. There is no residential district in the vicinity of the project site. No gasoline pump is located within 15 feet of any street ROW line. The number of curb breaks for the automotive service station do not exceed two for each 150 feet of street frontage, are located not closer than 15 feet of right-of-way lines for any intersection. The curb breaks are not closer than 15 feet to any other property line. There is a minimum distance of 20 feet between curb breaks. Each break does have a width of more than 30 feet, however these curb breaks are existing and no work is proposed to alter the driveway connections. We would prefer to not alter the existing curb cuts.**
- COMMENT:** The applicant indicates two lanes in the drive-thru area for the proposed restaurant; however, the proposed lanes do not meet the minimum width requirements established in Section 4.2.17.2 of the Land Development Regulations ("LDRs").

RESPONSE: **The plan shows one 10' lane and one 8' thru lane. Please see sheet C5 for revision to show the required two (2) 12' lane widths.**
- COMMENT:** The applicant has not provided an off-street loading zone in accordance with Section 4.2.17.15 of the LDRs. The applicant must provide off-street loading in accordance with Section 4.2.17.15 of the LDRs.

RESPONSE: Believe the reviewer means 4.2.17.12. Currently the off-street loading space is located in the northern portion of the existing asphalt parking lot. However striping and "LOADING ZONE" text will be added to delineate the area providing clear horizontal dimensions of 12 feet by 30 feet. The area is not covered and therefore will have a clear vertical dimension of 14 feet. Please see sheet C5.

5. **COMMENT:** The applicant proposes lighting in the parking lot area; however, the applicant has not indicated the pole height or provided fixture type and fixture details. Per Section 4.2.17.2 of the LDRs, lighting for parking lots must be designed as to prevent glare or excessive light on adjacent property. The applicant must provide the pole height, fixture type, and fixture details. Fixture should be full cut-off fixtures to prevent glare or excessive light on adjacent properties.

RESPONSE: Please see sheet C6 for the proposed pole height, fixture type and fixture details. Fixtures are full cut off fixtures to prevent glare or excessive light on adjacent properties.

6. **COMMENT:** The applicant makes reference to FDOT Index 304 for the crosswalks and ramp areas; however, the applicant has not provided a detail for FDOT Index 304. The applicant must provide a detail of FDOT Index 304.

RESPONSE: There are notes referring Contractor to FDOT Standard Index, see General Note 3 on sheet C2. We would prefer to refer to the FDOT Index rather than providing explicitly in plans.

7. **COMMENT:** The applicant has not provided detectible warning strips with truncated domes at crosswalk areas. The applicant must provide detectible warning strips with truncated domes at crosswalk areas.

RESPONSE: The two crosswalks located south of the Burger King are now shown with detectable warning strips with truncated domes. Please see sheet C5.

8. **COMMENT:** Concurrency Impact Analysis: The applicant provides a concurrency impact analysis; however, the analysis is not complete. The applicant proposes to expand an existing Automobile Self-Service Station and an addition for a proposed Restaurant. The applicant must provide separate analysis for each use and provide a total calculation of all proposed uses combined.

RESPONSE: Please see the attached.

If you have any questions or require additional information needed to expedite your review, please do not hesitate to contact me at (850) 523-0062.

Sincerely,



Daryle Gray, P.E.
Project Manager

**CONCURRENCY
WORKSHEET**

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	Total Floor Area*	Total ADT	Total PM Peak
934	Restaurant w/ Drive Thru	496.12	33.84	3.01	1493.32	101.86

*Per thousand square feet (i.e. 3,560 sq ft / 1,000 = 3.56)

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	Per Fueling Station	Total ADT	Total PM Peak
944	Gasoline / Service Station	168.56	13.87	8.00	1348.48	110.96

*Per Fueling Station

TOTAL PM Peak	212.82
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CONCURRENCY WORKSHEET

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Restaurant operating 16 hours or less per day (per seat)	40.00	74.00	2960.00

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Service Stations (per water closet)	250.00	19.00	4750.00

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

**TOTAL Potable
Water (GPD)**

7710.00

CONCURRENCY WORKSHEET

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Restaurant operating 16 hours or less per day (per seat)	40.00	74.00	2960.00

* Multiplier is based upon Ch. 64E.6008, F.A.C. and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons	Ch. 64E- 6.008, F.A.C.	Total (Gallons Per Day)
Service Stations (per water	250.00	19.00	4750.00

* Multiplier is based upon Ch. 64E.6008, F.A.C. and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine

Total Sanitary Sewer (GPD)	7710.00
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CONCURRENCY WORKSHEET

Solid Waste Analysis

Use	Pounds Per Thousand Sq Ft	Total Floor Area*	Total (Lbs Per Day)
Restaurant w/ Drive Thru	5.50	3.01	16.56

*Per thousand square feet (i.e. 3,560 sq ft / 1,000 = 3.56)

Solid Waste Analysis

Use	Pounds Per Thousand Sq Ft	Total Floor Area*	Total (Lbs Per Day)
Gasoline / Service Station	5.50	6.69	36.80

*Per thousand square feet (i.e. 3,560 sq ft / 1,000 = 3.56)

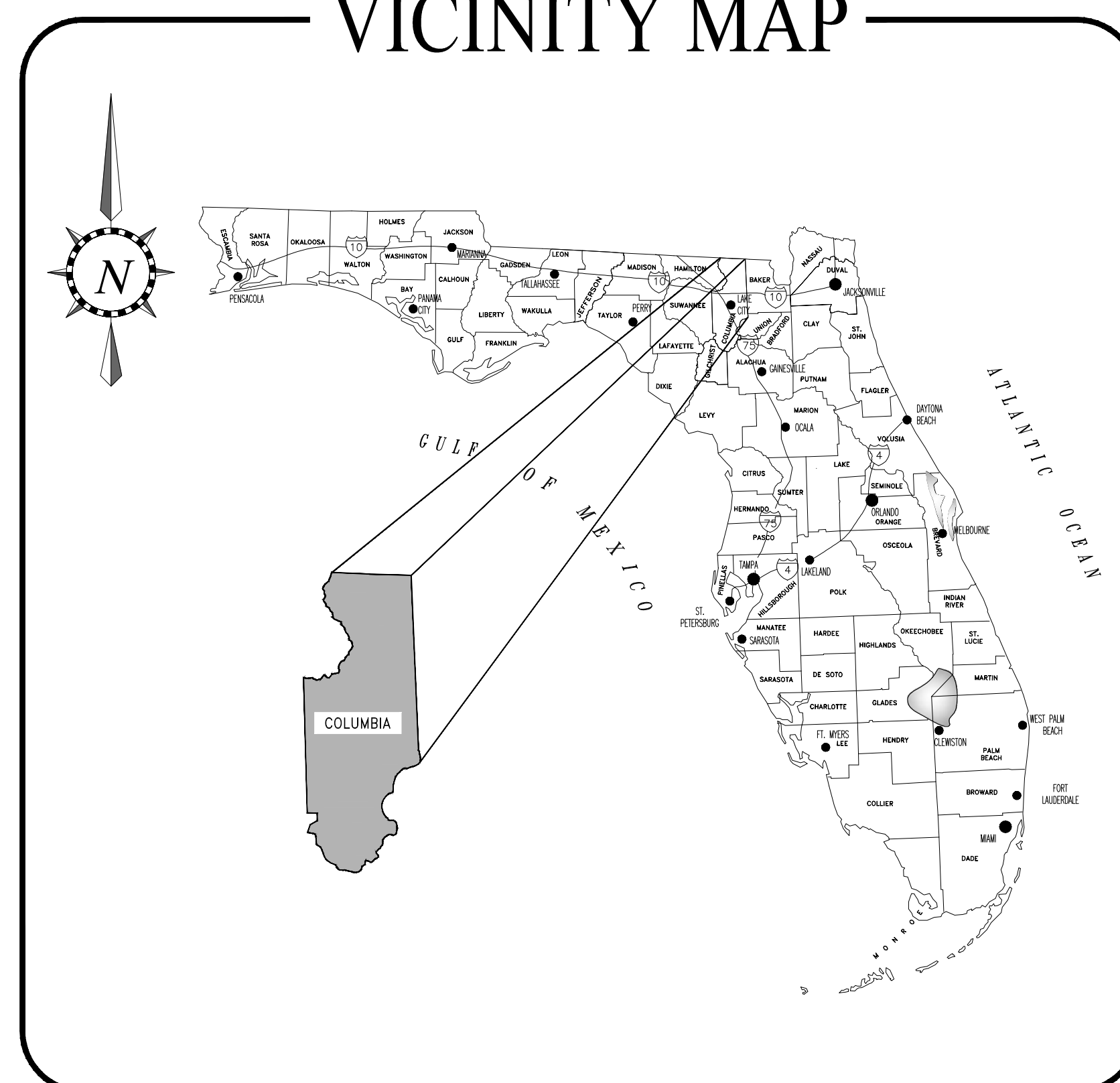
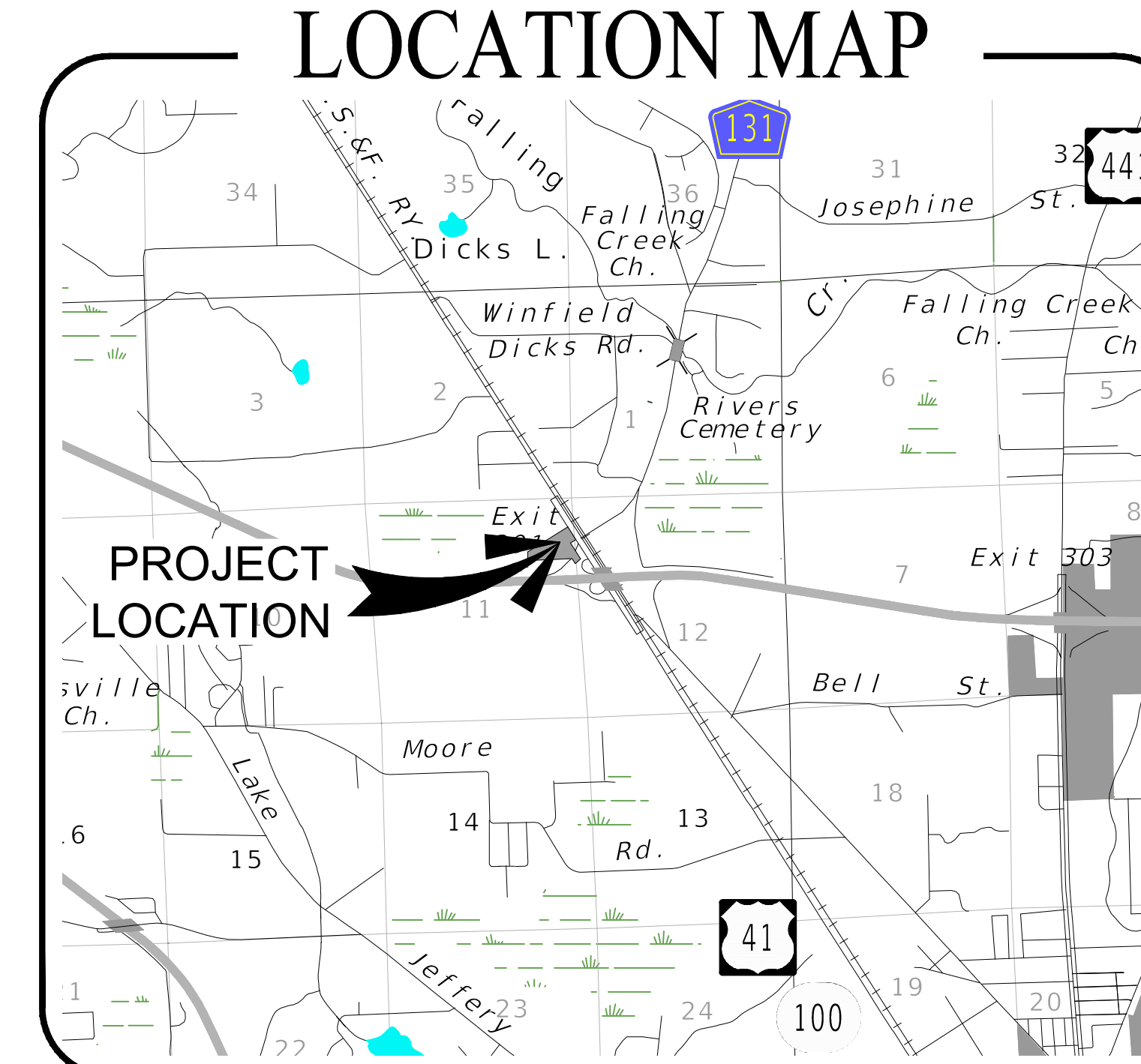
Total Solid Waste (lbs per day) 53.35



JOHNSON & JOHNSON, INC.
COLUMBIA COUNTY, FLORIDA



LOCATION MAP

[illegible]

GOVERNING STANDARDS AND SPECIFICATIONS: FLORIDA DEPARTMENT OF TRANSPORTATION, DESIGN STANDARDS LATEST EDITION, AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION, AS AMENDED BY CONTRACT DOCUMENTS. For Design Standards Modifications click on "Design Standards" at the following web site:
<http://www.dot.state.fl.us/rddesign/>

4772 NW US HIGHWAY 41
LAKE CITY, FL 32055

Dewberry® PREBLE-RISH

EB# 0008794

DATE: _____

GENERAL NOTES

- 1) THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITIES, PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY AND ALL UTILITIES, AS REQUIRED BY THE PLANS AND UTILITY COMPANIES, TO CONSTRUCT THE PROPOSED IMPROVEMENTS, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COST OF SAID RELOCATION. CONTRACTOR SHALL ALSO NOTIFY UTILITY OWNERS THROUGH SUNSHINE ONE CALL (800-432-4770) AT LEAST 2 FULL DAYS PRIOR TO EXCAVATION OR DEMOLITION, AND UTILITY OWNERS NOT COVERED BY THIS PROGRAM.
- 2) MINIMUM COMPACTION SHALL BE PROVIDED FOR THE PROPOSED BUILDING LOCATIONS AND SURROUNDING AREAS BY THE GEOTECHNICAL ENGINEER. ANY BORROW MATERIAL SHALL, IF REQUIRED, BE PROVIDED BY THE CONTRACTOR BASED ON GEOTECHNICAL FINDINGS AND RECOMMENDATIONS. CONTRACTOR SHALL UTILIZE SUITABLE SOIL ON SITE FOR ANY BORROW MATERIAL. FOLLOWING FINAL GRADING, ANY STOCKPILED TOPSOIL SHALL BE SPREAD OVER DISTURBED AREAS OR OWNERS PROPERTY AS NEEDED. THE SOIL SHALL BE STABILIZED AS SPECIFIED IN SWPPP TO PREVENT EROSION ON SITE. GEOTECHNICAL INVESTIGATION CONDUCTED BY NB GEO SERVICES, LLC, LAKE CITY, FL, #16-00002.
- 3) WHERE REFERENCE IS MADE TO A STANDARD INDEX OR DETAIL, THE FDOT DESIGN STANDARDS, 2016 EDITION, SHALL BE UTILIZED AS IF A PART OF THESE PLANS. CONTRACTOR MAY SUBSTITUTE FDOT ITEMS FOR THE INFRASTRUCTURE CONSTRUCTION; ANY SUBSTITUTIONS SHALL HAVE A 50 YEAR LIFESPAN. CONTRACTOR/OWNER WILL BE REQUIRED TO PROVIDE DESIGNS OR VERIFICATION OF SUBSTITUTE. ALL SIGNS REFERRED TO IN THE PLANS SHALL BE IN ACCORDANCE WITH MUTCD (MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES) LATEST EDITION.
- 4) UNLESS OTHERWISE NOTED OR DETAILED ON THE PLANS OR IN THE SPECIFICATIONS, THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, SHALL BE THE GOVERNING SPECIFICATIONS FOR MATERIALS AND CONSTRUCTION FOR SITE WORK.
- 5) NO MUNICIPAL WATER OR SEWER SYSTEM IS AVAILABLE. THE DEVELOPMENT SHALL UTILIZE AN ON-SITE WELL FOR DOMESTIC WATER AND A SEPTIC TANK AND DRAINFIELD FOR SANITARY WASTE AND TREATMENT. CONSTRUCTION SHALL COMPLY WITH COLUMBIA COUNTY SPECIFICATIONS, AS WELL AS THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND COUNTY DEPARTMENT OF HEALTH.
- 6) THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL ALSO MAINTAIN EROSION CONTROL DEVICES DURING CONSTRUCTION TO PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE AND ENTERING THE STORMWATER POND. THE EROSION CONTROL DEVICES SHOWN ON THE EROSION CONTROL (SWPPP) PLANS ARE THE MINIMUM REQUIRED AND SHALL BE MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. ADDITIONAL EROSION CONTROLS MAY BE REQUIRED BY THE INSPECTOR TO CONTROL SEDIMENTS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL STORMWATER RUNOFF SHALL BE CONTROLLED DURING THE COURSE OF CONSTRUCTION IN SUCH A MANNER AS TO PREVENT DAMAGE OR DETRIMENTAL HARM TO OFFSITE PROPERTIES. THE CONTRACTOR SHALL REFER TO THE "FLORIDA STORMWATER EROSION AND SEDIMENT CONTROL INSPECTORS MANUAL" FOR ADDITIONAL EROSION CONTROL MEASURE AND ALTERNATIVES. CONTRACTOR SHALL SEEK APPROVAL FROM THE ENGINEER OF RECORD FOR ANY SUBSTITUTIONS TO THE EROSION CONTROL MEASURES.
- 7) ALL DISTURBED AREAS SHALL BE STABILIZED PER THE SWPPP. DISTURBED AREAS OUTSIDE THE SILT FENCED PERIMETER SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADE IS ACHIEVED. ALL DISTURBED AREAS TO BE LEFT IDE FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH QUICK GROW GRASS SEED AND MULCH. THE CONTRACTOR SHALL WARRANTY LANDSCAPING FOR A MINIMUM OF 1 YEAR AFTER ACCEPTANCE UNLESS OTHERWISE NOTED.
- 8) AS-BUILTS ARE THE RESPONSIBILITY OF THE CONTRACTOR. IF THE AS-BUILT SURVEY INDICATES AN AREA OF INCOMPLETE OR UNACCEPTABLE WORK, THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING THE NECESSARY REPAIRS, AS DIRECTED BY THE ENGINEER, OR COLUMBIA COUNTY. CONTRACTOR WILL BE REQUIRED TO PROVIDE UPDATED AS-BUILTS TO DEMONSTRATE COMPLIANCE WITH THE PLANS AND PERMITS. ALL FINAL AS-BUILT SURVEYS ARE REQUIRED TO BE CERTIFIED BY A FLORIDA REGISTERED PROFESSIONAL. AS-BUILTS ARE REQUIRED TO RECEIVE FINAL C.O.S. TEMPORARY C.O.S. MAY BE ISSUED PRIOR TO FINAL CLOSE OUT. IF THE CONTRACTOR IS SEEKING TEMPORARY C.O.S. ALL ASSOCIATED INFRASTRUCTURE, LANDSCAPING, PARKING ETC., SHALL BE COMPLETED.

CONSTRUCTION SEQUENCE

1. CONTRACTOR WILL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, COLUMBIA COUNTY, ENGINEER AND ALL OTHER PARTIES REQUIRED FOR COMMENCEMENT OF PROJECT. THIS MEETING SHALL TAKE PLACE PRIOR TO COMMENCEMENT OF ANY PROJECT RELATED ACTIVITIES. PRIOR TO ANY CONSTRUCTION THE PERMIT MUST BE POSTED WITHOUT NAILING TO ANY TREE ON SITE. THE NAME AND PHONE NUMBER OF THE SEDIMENT AND EROSION CONTROL OFFICER SHALL BE PROVIDED AT THE PRE CONSTRUCTION MEETING.
2. THE CONTRACTOR SHALL ENSURE THAT A FOREMAN OR SUPERVISOR WHO HAS BEEN CERTIFIED UNDER FLORIDA STORMWATER, EROSION, AND SEDIMENTATION CONTROL INSPECTOR TRAINING PROGRAM IS AVAILABLE IN PERSON OR BY TELEPHONE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES. CONSTRUCTION SHALL NOT COMMENCE UNTIL INFORMATION (NAME AND PHONE NUMBER) OF CERTIFIED STORMWATER EROSION AND SEDIMENT CONTROL INSPECTOR HAS BEEN PROVIDED TO THE ENGINEER.
3. PRIOR TO DISTURBANCE, A SILT FENCE BACKED WITH 4' HOG WIRE FENCE (TRENCHED 8 INCHES DEEP AND BACKFILLED ON THE UPHILL SIDE), SHALL BE INSTALLED AS SHOWN ON THE PLANS. SILT FENCE MUST NOT BE TRENCHED WITHIN THE CPZ OF ANY TREES TO BE PROTECTED. EROSION CONTROL SHOWN ON PLANS IS REQUIRED. ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED DURING ANY PHASE OF THE DEVELOPMENT. AT THE DISCRETION OF COLUMBIA COUNTY, COLUMBIA COUNTY MAY REQUIRE ADDITIONAL MEASURES TO PREVENT ADDITIONAL EROSION CONTROL. CONTRACTOR SHALL PROVIDE OUTLET PROTECTIONS FOR SEDIMENTS THAT MAY ENTER THE STORMWATER FACILITY. CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING THE POND AFTER CONSTRUCTION TO REMOVE ALL SEDIMENT AND GRADE TO PROPOSED ELEVATIONS. CONTRACTOR WILL BE RESPONSIBLE FOR THE CONDITION OF THE POND DURING CONSTRUCTION AND SHALL USE A TURBIDITY BARRIER AT EACH POND CONNECTION TO PREVENT SEDIMENTATION ENTERING THE POND.
4. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED SHALL BE STABILIZED WITH PERMANENT SOD OR OTHER PERMANENT STABILIZATION METHODS.
5. CREATE DIVERSION CHANNELS IF NECESSARY TO DIRECT STORM WATER FLOW TO THE CONVEYANCE SYSTEM. CONSTRUCT HAY BALE CHECK DAMS WHERE NEEDED TO TRAP SEDIMENT BEFORE IT REACHES THE CONVEYANCE SYSTEM OR POND. DO NOT BLOCK ACCESS DRIVES.
6. CARE SHALL BE TAKEN TO ASSURE THE REMOVAL OF ACCUMULATED FINE SEDIMENTS FROM THE POND AND THAT THE EXCESSIVE COMPACTION OF SOIL BY CONSTRUCTION MACHINERY IS AVOIDED. INLET(S)/OUTFALLS SHALL BE PROTECTED WITH FILTER FABRIC AND PROPERLY INSTALLED HAY BALES.
7. ALL SEDIMENT IS TO BE CAPTURED ON THE PROJECT SITE. ANY SEDIMENT ESCAPING THE PROJECT SITE WILL BE REQUIRED TO BE REMOVED AND RESTORED INCLUDING THE TRACKING OF SOIL ON STREETS. THIS INCLUDES SEDIMENT INTO COUNTY & STATE WATERS AND THE POND. CONTRACTOR WILL BE RESPONSIBLE FOR ANY SEDIMENT ENTERING THE COUNTY AND STATE WATERS OR POND AND WILL BE RESPONSIBLE FOR ITS REMOVAL.
8. DAILY SWEEPING WILL BE REQUIRED ON THE SITE AND IMMEDIATELY AFTER STORM EVENTS TO PREVENT TRACKING OF SEDIMENT ON TO STREETS AND RIGHT OF WAY OR POND.
9. TWO WEEKS PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL HAVE A WALK THROUGH WITH THE ENGINEER AND A PUNCH LIST SHALL BE PREPARED. ONCE ALL PUNCH LIST ITEMS ARE ADDRESSED TO SATISFY THE PERMIT CONTRACTOR SHALL ALSO SCHEDULE A WALK THROUGH WITH THE OWNER, ENGINEER AND COLUMBIA COUNTY UPON COMPLETION.
10. CONTRACTOR SHALL PAY FOR AND PROVIDE THE ENGINEER WITH MINIMUM OF TWO (2) COPIES OF A SIGNED AND SEALED AS-BUILT SURVEY OF ALL INFRASTRUCTURE, STORMWATER FACILITY AND ASSOCIATED CONVEYANCES, INCLUDING LANDSCAPE IMPROVEMENTS AND ELECTRONIC CAD FILE.

MAINTENANCE AND INSPECTION SCHEDULE

- 1) EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 1/2" OF RAINFALL. REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- 2) SYNTHETIC HAY BALES SHALL BE USED IN AREAS WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS. INSPECTION OF THE SYNTHETIC HAY BALES SHALL TAKE PLACE IMMEDIATELY AFTER EACH RAINFALL AND ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SYNTHETIC HAY BALES SHALL BE PER FDOT SPECIFICATIONS.
- 3) INLET(S)/OUTFALLS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAIN EVENT AND ANY REQUIRED REPAIRS TO THE HAY BALES, SILT FENCE, OR FILTER FABRIC SHALL BE PERFORMED IMMEDIATELY.
- 4) BARE AREAS OF THE SITE THAT WERE PREVIOUSLY SEEDED OR SODDED SHALL BE RESEEDD OR RESODDED PER MANUFACTURES' INSTRUCTIONS.
- 5) MULCH AND SOD THAT HAS BEEN WASHED OUT SHALL BE REPLACED IMMEDIATELY. CONTRACTOR SHALL PIN SOD ON SLOPES STEEPER THAN 3:1
- 6) MAINTAIN ALL AREAS OF THE SITE WITH PROPER CONTROLS AS NECESSARY OR REQUIRED BY COLUMBIA COUNTY.
- 7) IF PROPOSED EROSION AND SEDIMENTATION CONTROLS ARE FOUND INEFFECTIVE OR IN NEED OF MAINTENANCE, THE COUNTY MAY DIRECT INSTALLATION OF ADDITIONAL MEASURES TO PROTECT THE ENVIRONMENT. THE ENGINEER SHALL FURNISH THE CONTRACTOR WITH INFORMATION PERTAINING TO THE CONSTRUCTION, OPERATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL PRACTICES PER FLORIDA ADMINISTRATIVE CODE CHAPTER 62-25.025(7).

CONTRACTOR SHALL CONTROL EROSION WITHIN THE PROJECT LIMITS SUCH THAT THERE ARE NO NEGATIVE IMPACTS DOWNSTREAM OF THE PROJECT DUE TO UNCONTROLLED EROSION OR SEDIMENTATION. SHOULD ADDITIONAL BMP'S BE REQUIRED TO CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR SHALL PROVIDE A SUPPLEMENTARY STORMWATER POLLUTION PROTECTION PLAN WITH APPROPRIATE BMP'S PLACED AS NEEDED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESCAPE OF SEDIMENT FROM THE SITE AND SHALL BE HELD RESPONSIBLE FOR ANY AND ALL IMPACTS RESULTING FROM SUCH EVENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF DOWNSTREAM IMPACTS DUE TO THE RELEASE OF SEDIMENTS FROM THE SITE INCLUDING BUT NOT LIMITED TO SEDIMENTATION AND EROSION THAT MAY RESULT FROM THE BUILDUP OF SUCH SEDIMENTS DOWNSTREAM OF THE PROJECT. CONTRACTOR SHALL FULLY BEAR THE FINANCIAL COST OF ANY PENALTIES OR FINES RESULTING FROM SUCH EVENTS.

ONSITE SEWAGE DISPOSAL SYSTEM:

1. ONSITE SEWAGE DISPOSAL SYSTEM SHALL BE IN ACCORDANCE W/ COLUMBIA COUNTY DEPARTMENT OF HEALTH AND F.A.C. 64E-6.
2. CONTACT COLUMBIA COUNTY DEPARTMENT OF HEALTH AT (386) 758-1068 FOR MORE INFORMATION.


CIVIL SHOP DRAWINGS

1. THE CONTRACTOR SHALL SUBMIT THE FOLLOWING SHOP DRAWINGS FOR APPROVAL TO THE CIVIL ENGINEER. HARD COPIES MAY BE SENT TO DARYLE GRAY, P.E. AT 502 EAST PARK AVENUE, TALLAHASSEE, FL 32301. ELECTRONIC COPIES ARE ALSO ACCEPTABLE AND MAY BE SENT TO DAVISR@PREBLE-RISH.COM. PLEASE CONFIRM RECEIPT OF ELECTRONIC COPIES WITH ENGINEER. IT SHOULD BE NOTED ADDITIONAL SHOP DRAWINGS MAY BE REQUIRED BY OTHER DISCIPLINES.

- A) ASPHALT MIX DESIGN
- B) CONCRETE MIX DESIGN
- C) DRIVE THRU EQUIPMENT INCLUDING LAYOUT
- D) WATER DISTRIBUTION SYSTEM PIPING
- E) BACKFLOW PREVENTION DEVICES
- F) SANITARY AND GREASE WASTE SYSTEM DISTRIBUTION PIPING
- G) STORM OUTFALL CONTROL STRUCTURE AND STORM PIPING
- H) PROVIDE RESULTS OF COMPACTION TESTING IN PAVEMENT AREAS, ONE TEST PER 5,000 SF

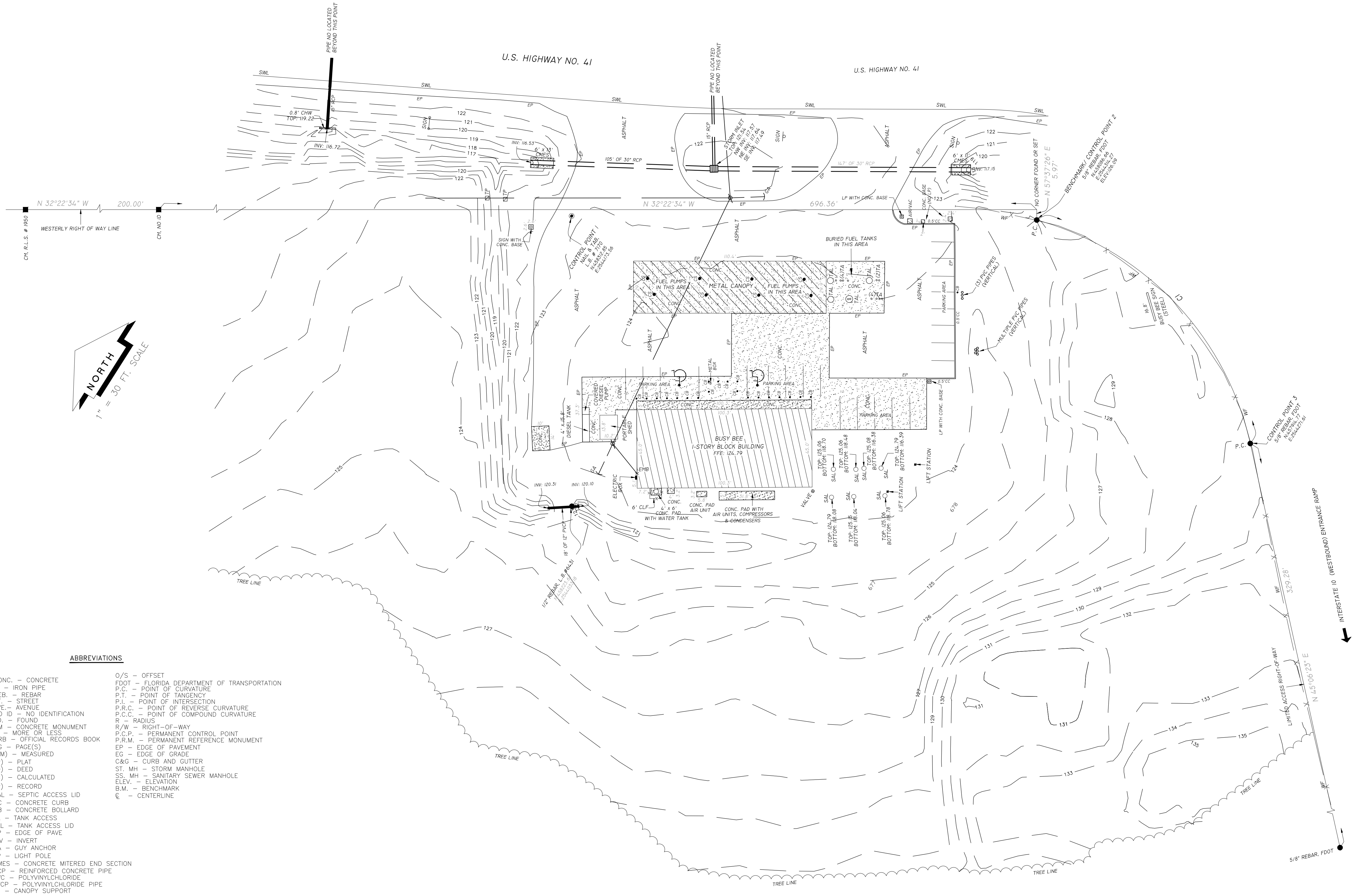
CIVIL GEOTECHNICAL REQUIREMENTS

1. CONTACT PREBLE-RISH AT 850-523-0062 TO OBTAIN AN ELECTRONIC COPY OF THE GEOTECHNICAL REPORT. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF UNSUITABLE MATERIALS.
2. ALL SOILS WITHIN PAVED AREAS (INCLUDING A MINIMUM OF 5 FEET OUTSIDE THE PERIMETER) SHOULD BE DENSIFIED WITH OVERLAPPING PASSES OF APPROPRIATE COMPACTION EQUIPMENT. EXPOSED SURFACES WITHIN THE PAVEMENT AREAS SHOULD BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557).
3. INITIAL SITE PREPARATIONS SHOULD INCLUDE THE COMPLETE REMOVAL OF TOPSOIL, MUCK, CONCRETE PAVEMENT AND ANY OTHER DELETERIOUS MATERIAL ASSOCIATED WITH BURIED UTILITIES. THE REMOVAL OF UNSUITABLE MATERIALS SHALL EXTEND A MINIMUM FIVE FEET OUTSIDE THE LIMIT OF ALL STRUCTURE AND PAVED AREAS. ONCE REMOVED ALL EXPOSED SURFACES SHOULD BE DENSIFIED PRIOR TO PLACEMENT OF ANY SUBSEQUENT FILL REQUIRED TO RE-ESTABLISH THE SUBGRADE.
4. STRUCTURAL FILL SHOULD BE PLACED IN THIN LAYERS NOT EXCEEDING 12 INCHES IN THICKNESS AND COMPACTED WITH APPROPRIATE EQUIPMENT TO ACHIEVE THE REQUIRED COMPACTION. EACH LIFT OF STRUCTURAL FILL SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) WITHIN THE PAVEMENT AREAS. STRUCTURAL FILL SHALL CONSIST OF INORGANIC, NON-PLASTIC, GRANULAR SOIL CONTAINING LESS THAN 12 PERCENT MATERIAL PASSING THE NO. 200 SIEVE (UNIFIED SOIL CLASSIFICATION OF SP OR SP-SM).
5. TO ALLEVIATE ADVERSE EFFECTS OF DIFFERENTIAL SETTLEMENT THE NEW STRUCTURAL FILL PLACED WITHIN THE DEMUCKED DRAINAGE DITCH BE BENCHMARKED IN TO THE EXCAVATION DITCH SIDES. THIS MAY BE ACCOMPLISHED BY CUTTING A MINIMUM 5 FOOT WIDE HORIZONTAL BENCH INTO THE EXISTING SOILS FOR EVERY 12 INCH LIFT OF NEW FILL. THE BENCHMARKING REQUIREMENT MAY BE DISREGARDED WHEN PLACING FILL WITHIN THREE FEET OF THE EXISTING BUILDING.
6. REMOVAL OF TOPSOIL, WET AND SOFT/LOOSE SOILS SHOULD BE EXPECTED DURING THE SUBGRADE PREPARATIONS WITHIN PAVEMENT AREAS. IN ADDITION, THE PAVEMENT AREA IS PROPOSED WITHIN THE LIMITS OF THE EXISTING DRAINAGE MOUND LOCATED ON THE SOUTH SIDE OF THE SUBJECT PROPERTY. AFTER REMOVAL OF ALL UNSUITABLE MATERIAL FROM THE PAVEMENT AREA ALL EXPOSED SURFACES SHALL BE THOROUGHLY PROFFROLLED BY A QUALIFIED PROFESSIONAL TO DELINEATE AREAS OF UNSUITABLE SUBGRADE.

GENERAL NOTES		 PREBLE-RISH																													
BURGER KING RESTAURANT JOHNSON & JOHNSON, INC. COLUMBIA COUNTY, FLORIDA		654 S.E. BAYA DRIVE • LAKE CITY, FL 32025 • (386) 719-9985																													
PROJECT NO: 567.001		SHEET: C2																													
		<table><tr><td>SCALE:</td><td>DESIGNED:</td><td>DRAWN:</td><td>CHECKED:</td><td>DATE:</td></tr><tr><td>N.T.S.</td><td>RJERNIGAN</td><td>RJERNIGAN</td><td>DGRAY</td><td>June 2016</td></tr></table> <p><small>PREBLE & RISH, INC., ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT CAN BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF PREBLE & RISH, INC.</small></p>		SCALE:	DESIGNED:	DRAWN:	CHECKED:	DATE:	N.T.S.	RJERNIGAN	RJERNIGAN	DGRAY	June 2016																		
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SPECIAL PURPOSE TOPOGRAPHICAL SURVEY OF
THE "BUSY BEE" SITE AT THE INTERSECTION OF
U.S. HIGHWAY NO. 41 AND INTERSTATE NO. 10
SITUATED IN
SECTIONS 11 AND 12
TOWNSHIP 03 SOUTH, RANGE 16 EAST
COLUMBIA COUNTY, FLORIDA.

" NO BOUNDARY INFORMATION PROVIDED BY THIS SURVEY"



- LEGEND & NOTES**
- DENOTES 4"x4" CONCRETE MONUMENT SET, L.B. # 7170
 - DENOTES 4"x4" CONCRETE MONUMENT FOUND, NUMBER NOTED.
 - DENOTES 5/8" REBAR WITH CAP SET, L.B. # 7170.
 - DENOTES 5/8" REBAR FOUND, FDOT.
 - ⊗ DENOTES 5/8" REBAR WITH CAP FOUND, NUMBER NOTED.
 - ⋈ DENOTES ANGLE POINT ONLY, NO CORNER FOUND OR SET.
 - ⊙ DENOTES RAILROAD SPIKE FOUND.
 - DENOTES NAIL AND TAB SET, L.B. # 7170.
 - ⚡ DENOTES POWER POLE
 - ⌵ DENOTES GUY ANCHOR
 - X-----X-----X DENOTES EXISTING FENCE.
 - E-----E-----E DENOTES OVERHEAD ELECTRIC.
 - 123---123--- DENOTES CONTOUR LINE BASED ON NAVD88.
- 1) FENCE, ROAD AND OVERHEAD ELECTRIC DIMENSIONS MAY NOT BE TO SCALE.
- 2) NO RESEARCH DONE ON ADJOINING PROPERTY DEEDS TO DETERMINE DEED OVERLAPS OR BOUNDARY LINE DISPUTES. PROPERTY SURVEYED AS PER DESCRIPTION PROVIDED BY CLIENT, NO ABSTRACT PROVIDED.
- 3) COORDINATES AND BEARINGS BASED ON NAD83. (CONTROL - FDOT GPS 41, CONCRETE MONUMENT WITH BRASS CAP STAMPED "2917004 GPS 41") (WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 41 - S 31°53'05" E).
- 4) NO UNDERGROUND IMPROVEMENTS, IF ANY, LOCATED BY THIS SURVEY.
- 5) FENCE TIES TAKEN ONLY AT LOCATIONS SHOWN AND DEPICTED HEREON.
- 6) DISTANCES MEASURED IN U.S. FEET.
- 7) ELEVATIONS AND CONTOURS BASED ON NAVD88. (CONTROL - FDOT GPS 41, CONCRETE MONUMENT WITH BRASS CAP STAMPED "2917004 GPS 41").
- 8) REVISED: 03-24-16 TO SHOW PARKING SPACES AND ADDITIONAL TOPOGRAPHICAL INFORMATION.

ABBREVIATIONS

- CONC. - CONCRETE
IP - IRON PIPE
REB. - REBAR
ST. - STREET
AVE. - AVENUE
NO ID - NO IDENTIFICATION
FD. - FOUND
CM - CONCRETE MONUMENT
+ - MORE OR LESS
ORB - OFFICIAL RECORDS BOOK
PG - PAGE(S)
(FM) - MEASURED
(P) - PLAT
(D) - DEED
(C) - CALCULATED
(R) - RECORD
SAL - SEPTIC ACCESS LID
CC - CONCRETE CURB
CB - CONCRETE BOLLARD
TA - TANK ACCESS
TAL - TANK ACCESS LID
EP - EDGE OF PAVE
INV - INVERT
GA - GUY ANCHOR
LP - LIGHT POLE
CMES - CONCRETE MITERED END SECTION
RCP - REINFORCED CONCRETE PIPE
PVC - POLYVINYLCHLORIDE
PVCP - POLYVINYLCHLORIDE PIPE
CS - CANOPY SUPPORT
- O/S - OFFSET
FDOT - FLORIDA DEPARTMENT OF TRANSPORTATION
P.C. - POINT OF CURVATURE
P.T. - POINT OF TANGENCY
P.I. - POINT OF INTERSECTION
P.R.C. - POINT OF REVERSE CURVATURE
P.C.C. - POINT OF COMPOUND CURVATURE
R - RADIUS
R/W - RIGHT-OF-WAY
P.C.P. - PERMANENT CONTROL POINT
P.R.M. - PERMANENT REFERENCE MONUMENT
EP - EDGE OF PAVEMENT
EG - EDGE OF GRADE
C&G - CURB AND GUTTER
ST. MH - STORM MANHOLE
SS. MH - SANITARY SEWER MANHOLE
ELEV. - ELEVATION
B.M. - BENCHMARK
CL - CENTERLINE

CURVE TABLE

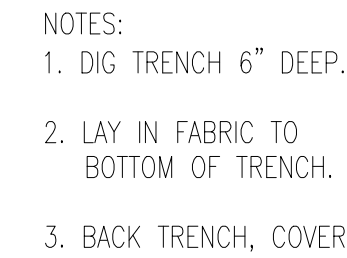
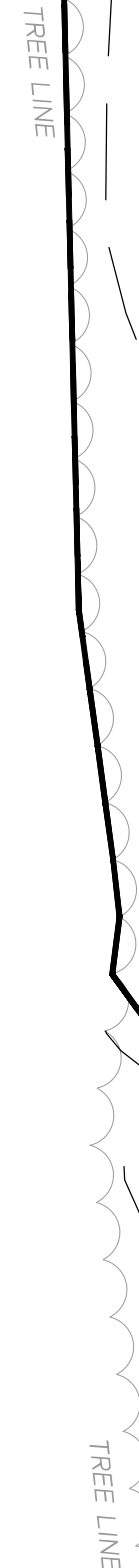
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	172.00'	186.04'	177.10'	S 13°56'21" W	61°58'22"	103.29'

FOR: THE KINJAC CORPORATION
ORDERED BY: PREBLE-RISH, INC./DARYLE GRAY, P.E.


SCALE: 1"= 30'	DATE SURVEYED: 02-08-16	DATE DRAWN: 02-17-16
REVISED: 03-24-16	APPROVED BY:	DRAWN BY: SH

J. SHERMAN FRIER & ASSOCIATES, INC.
LAND SURVEYORS
CERTIFICATE OF AUTHORIZATION - LB# 7170

130 W. HOWARD STREET, LIVE OAK, FL 32064 PHONE: 386-362-4629 FAX: 386-362-5270	EMAIL: jfrier@windstream.net timcorn@windstream.net	DRAWING NUMBER: 119-2015
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SILT FENCE
N.T.S.



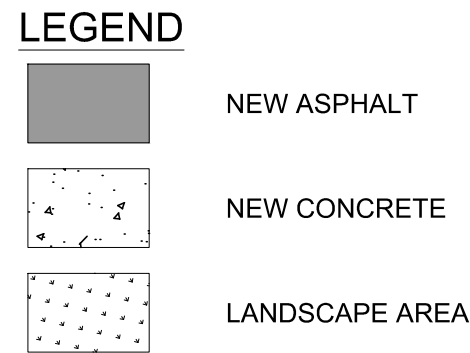
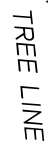
Dewberry

PREBLE-RISH

654 S.E. BAYA DRIVE • LAKE CITY, FL 32025 • (386) 719-9985

SCALE:	DESIGNED:	DRAWN:	CHECKED:	DATE:
1" = 20'	RJERNIGAN	RJERNIGAN	RDAVIS	June 2016

PREPARED BY: N. ALI, LICENSED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA, NO. 12404. THIS DOCUMENT IS THE PROPERTY OF PREBLE, RISH & ASSOCIATES, INC. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM PREBLE, RISH & ASSOCIATES, INC.



General Information

Area Data			
Total Site Area (SF):		143,671.00 SF	3.30 Ac.
Existing Impervious Area (SF):		33,427.00 SF	23.27 %
Building(s) Footprint:		4,652.00 SF	3.24 %
Existing Asphalt:		17,348.00 SF	12.07 %
Existing Conc:		11,427.00 SF	7.95 %
Post Construction Impervious Area (SF):		62,536.00 SF	43.53 %
Existing Building(s) Footprint:		4,652.00 SF	3.24 %
Existing Building(s) Addition Footprint:		2,181.00 SF	1.52 %
Proposed Building(s) Footprint:		3,011.00 SF	2.10 %
	Building Total	9,844.00 SF	6.85 %
Existing Asphalt to remain:		15,526.00 SF	10.81 %
Proposed Asphalt:		22,360.00 SF	15.56 %
	Asphalt Total	37,886.00 SF	26.37 %
Existing Concrete to Remain		9,143.00 SF	6.36 %
Proposed Concrete		5,663.00 SF	3.94 %
	Concrete Total	14,806.00 SF	10.31 %

Landscape Area Required (10% of parking area)	2,236.00	SF	10.00 %
(Parking area used is proposed asphalt #)			
Landscape Area Provided	4,822.00	SF	21.57 %
Trees Provided	11	EA	
Shurbs provided			
Parking Area	74	EA	
Burger King (infront)	10	EA	

Utility Providers


Potable Water	On-site Well
Natural Gas	None
Sanitary	On-Site Sewer
Electric	Suwannee Valley Electric

Parking

Existing Spaces (Pre Development)	21 Reg & 2 ADA
Required (Post Development)	59 Reg & 4 ADA
Proposed Spaces	
Existing Spaces (to remain Post Construction)	5 Reg & 2 ADA
Existing Spaces Replacement	16 Reg
Burger King	24 Reg & 1 ADA
Existing Building Addition	14 Reg & 1 ADA
Total Provided	59 Reg & 4 ADA

2. WHERE TREES OR SHRUBS ARE PLANTED, A MULCH RING SHALL ACCOMPANY THE PLANTING. THE REMAINDER OF THE LANDSCAPE AREA SHALL BE SODDED.

3. ALL DIMS ARE TO FACE OF CURB



Dewberry

PREBLE-RISH

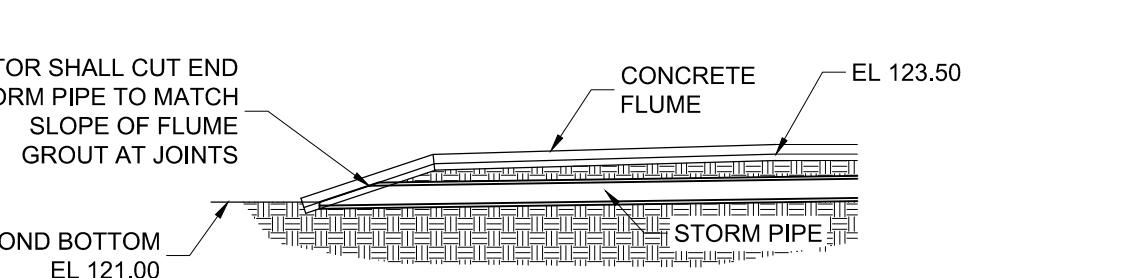
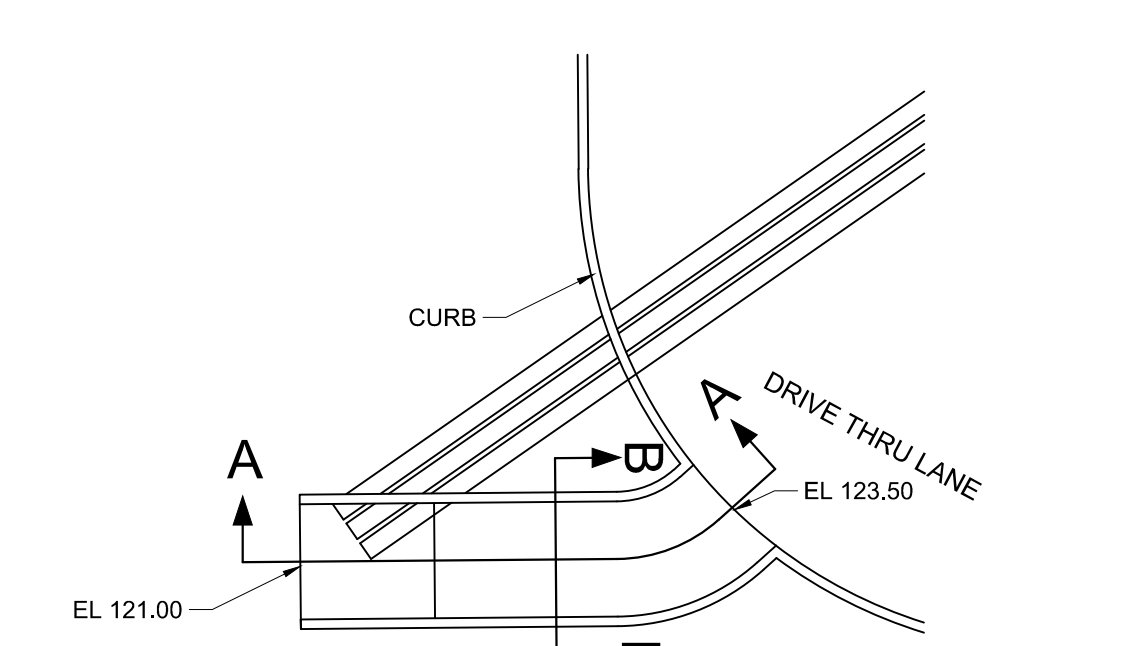
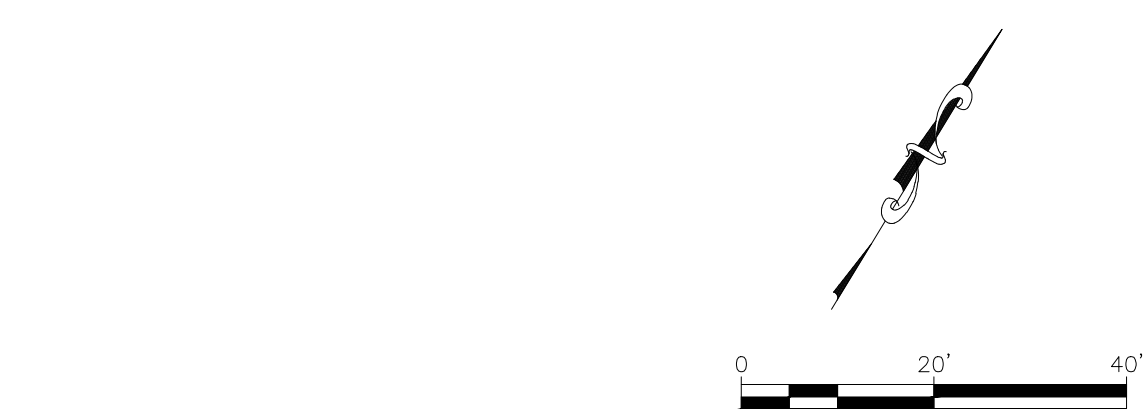
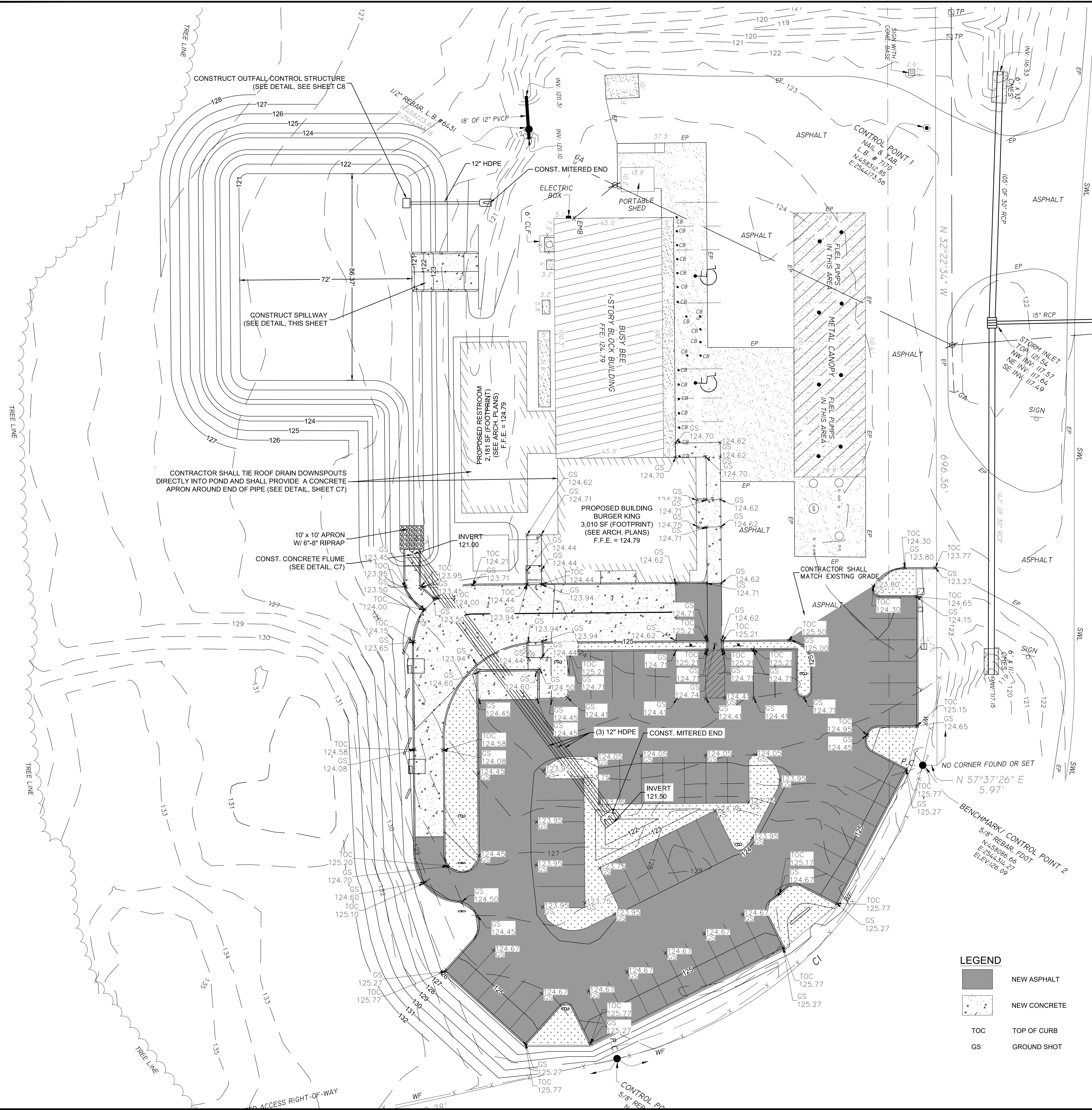
654 S.E. BAY A DRIVE • LAKE CITY, FL 32025 • (386) 719-9885

SCALE: 1" = 20'	DESIGNED: RUERNIGAN	DRAWN: RUERNIGAN	CHECKED: RDAVIS	DATE: June 2016
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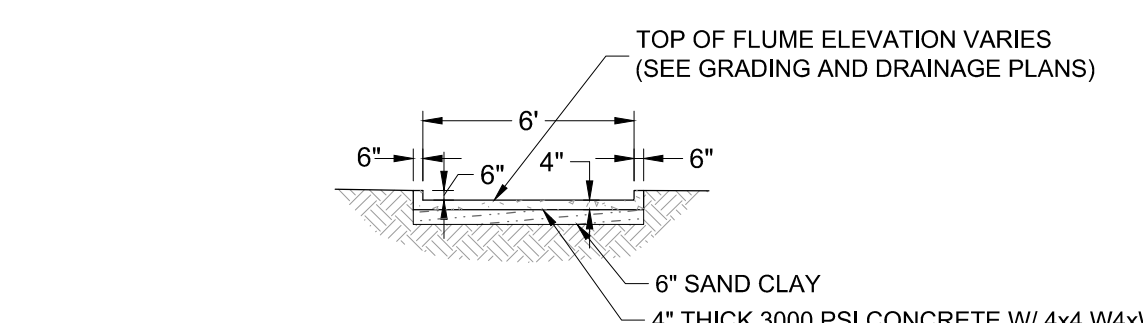
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**B&B #34 SITE MODIFICATIONS
JOHNSON & JOHNSON, INC
COLUMBIA COUNTY, FLORIDA**

PROJECT NO: 567.002	SHEET: C5
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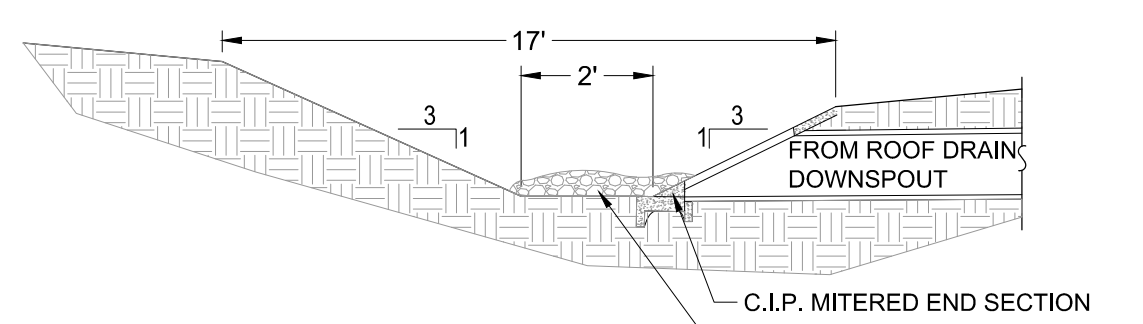


SECTION A-A

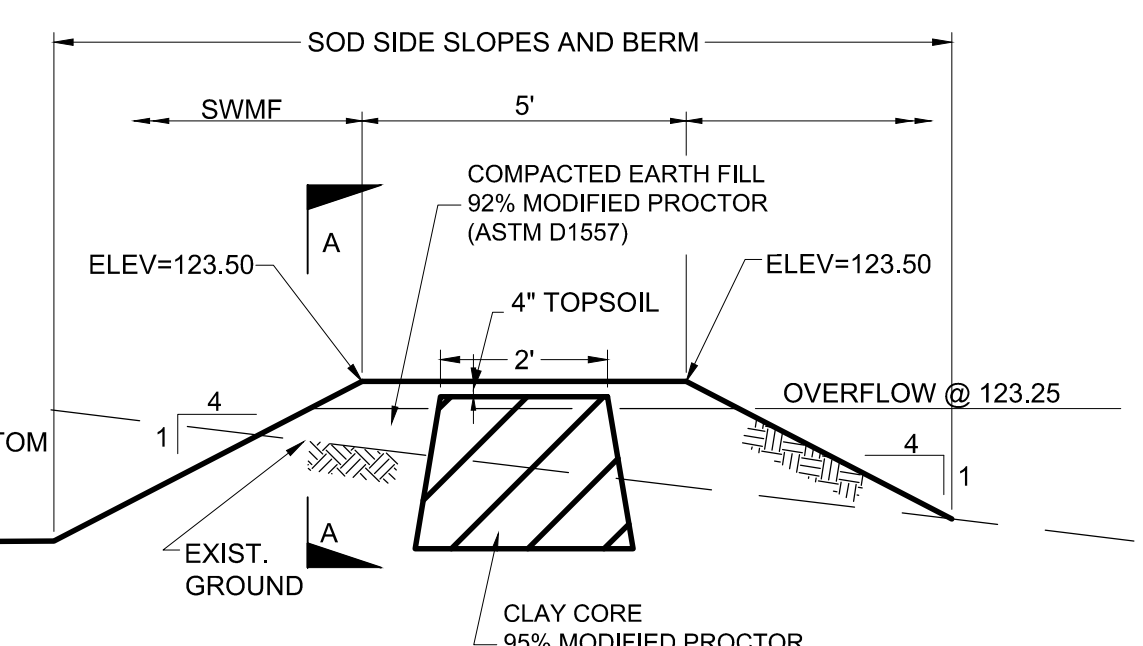


SECTION B-B

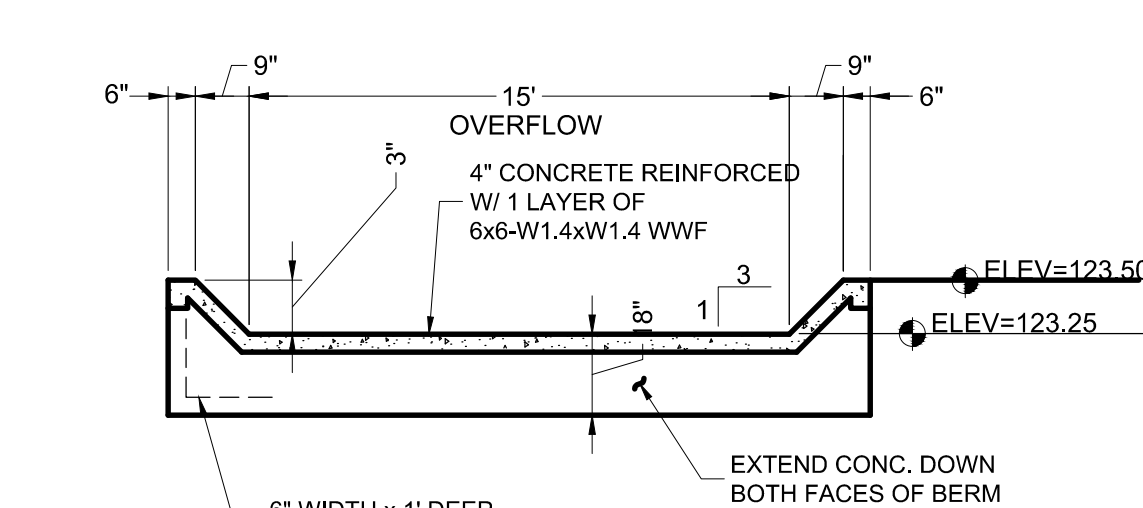
CONCRETE FLUME DETAIL



DOWNSPOUT INTO POND DET




SECTION THRU POND BERM & SP



PILLWAY ELEVATION - SECTION

STATE OF TEXAS COMPTROLLER OF PUBLIC ACCOUNTS		REVISION:	
NO.	DATE:	APPR.	
1			
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3			
4			
5			
6			

ROBERT H. DAVIS, JR., P.E. NO. 73115	DARLE STARN, P.E. NO. 64612
COMPTROL	



Dewberry

PREBLE-RISH


654 S.E. BAY DRIVE • LAKE CITY, FL 32025 • (386) 719-9985

SCALE: 1" = 20'	DESIGNED: RJERNIGAN	DRAWN: RJERNIGAN	CHECKED: RDAVIS	DATE: June 2016
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<h1 style="text-align: center;">SITE GRADING</h1>	
<h2 style="text-align: center;">B&B #34 SITE MODIFICATIONS JOHNSON & JOHNSON, INC COLUMBIA COUNTY, FLORIDA</h2>	
PROJECT NO: <h3 style="text-align: center;">567.002</h3>	SHEET: <h3 style="text-align: center;">C7</h3>





Dewberry

PREBLE-RISH

654 S.E. BAYA DRIVE • LAKE CITY, FL 32025 • (386) 719-9985

SCALE: N.T.S.	DESIGNED: RUEHRIGAN	DRAWN: RUEHRIGAN	CHECKED: DGRAY	DATE: June 2016
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PROJECT NO: 567.001	SHEET: C8
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Mission:

To protect, promote & improve the health of all people in Florida through integrated state, county & community efforts.



Rick Scott
Governor

Celeste Philip, MD, MPH
State Surgeon General

Vision: To be the Healthiest State in the Nation

June 6, 2016

Mr. Rocky Ford, Agent for:
The KINJAC Corporation, Applicant
546 SW Dortch Street
Fort White, Florida 32038

RE: Variance Request for an Onsite Sewage Treatment and Disposal System
Variance Application #12886
Florida Department of Health in Columbia County Reference #16-0232-M
Parcel Number: 11-3S-16-02063-000/11-3S-16-020663-001
4772 NW US Highway 41, Columbia County
Variance from Section: 381.0065(3)(b), FS; 381.0065(4)(e)2., FS; 64E-6.005(1)(c), FAC; 64E-6.005(9)(b), FAC

Dear Mr. Ford:

Please disregard the letter dated May 31, 2016 tabling the above referenced application. After additional discussion, the applicant has requested that the Florida Department of Health act on the current application for variance. After reviewing your request and considering the committee's recommendation, I have approved your request for variance subject to the following requirement:

The applicant shall obtain and maintain an annual onsite sewage treatment and disposal system operating permit in accordance with subsection 64E-6.003(5), FAC.

This variance, as approved, applies only to those sections of the law or rules referenced above and in no way exempts compliance with other state and local regulations. This variance will expire one year from the date of this letter unless an onsite sewage treatment and disposal system construction permit is issued by the Florida Department of Health in Columbia County, in which case the variance will run concurrent with the system construction permit.

If you have any questions please call Ed Williams at (850) 245-4444 ext. 2793.

Sincerely,

Kendra F. Goff, PhD, DABT, QPM
State Toxicologist & Chief

KFG/ew
Enclosure

cc: Florida Department of Health in Columbia County

Florida Department of Health

Division of Disease Control & Health Protection • Bureau of Environmental Health
4052 Bald Cypress Way, Bin A-08 • Tallahassee, FL 32399-1710
PHONE: 850/245-4250 • FAX: 850/487-0864

FloridaHealth.gov



Accredited Health Department
Public Health Accreditation Board

NOTICE OF RIGHTS

A party whose substantial interest is affected by this action may petition for an administrative hearing pursuant to sections 120.569 and 120.57, Florida Statutes. Chapter 28-106, Florida Administrative Code, governs such proceedings. A petition for hearing must be in writing and must be received by the Agency Clerk for the Department within twenty-one (21) days from receipt of this notice. The petition may be mailed to the Agency Clerk, Department of Health, 4052 Bald Cypress Way, BIN #A-02, Tallahassee, FL 32399-1703; hand delivered to the Agency Clerk, Department of Health, 2585 Merchants Row Blvd., Prather Building, Suite 110, Tallahassee, FL; or sent by facsimile to (850) 413-8743.

Mediation is not available as an alternative remedy.

The failure of any person to file a petition for hearing within 21 days from receipt of this notice will constitute a waiver of that person's right to an administrative hearing, and this notice shall become a Final Order.

Should this notice become a Final Order, a party who is adversely affected by it is entitled to judicial review pursuant to section 120.68, Florida Statutes. Review proceedings are governed by the Florida Rules of Appellate Procedure. Such Proceedings may be commenced by filing one copy of a Notice of Appeal with the Agency Clerk of the Department of Health and a second copy, accompanied by the filing fees required by law, with the Court of Appeal in the appropriate District Court. The notice must be filed within 30 days of the filing of the Final Order.

**MINUTES
PLANNING & ZONING BOARD
May 26, 2016**

School Board Auditorium, Lake City, Florida at 6:15 pm

A. ROLL CALL

MEMBERS PRESENT: Robert Jordan (Acting Chair), Teena Ruffo, Earl Peeler, and Roger Busscher

MEMBERS ABSENT: None

STAFF: Brandon Stubbs, County Planner and Joel Foreman, County Attorney

B. PLEDGE OF ALLEGIANCE & INVOCATION

Robert Jordan called the meeting to order.

C. PUBLIC COMMENT SECTION (Items Not on Agenda – Per FL Statute)

None

D. OPEN CONSIDERATION OF AGENDA ITEMS

SD 0175 – Windswept Land Trust – Minor Subdivision “Windswept Industrial Sub, Unit 3”

BOARD DISCUSSION

None

MOTION

Earl Peeler – Motion to approve SD 0175.

SECOND

Roger Busscher

MOTION PASSED UNANIMOUSLY

SDP 16 02 – BBL Management, Inc. – Site & Development Plan for N.F.P.S.

BOARD DISCUSSION

None

MOTION

Teena Ruffo – Motion to approve SDP 16 02.

SECOND

Earl Peeler

MOTION PASSED UNANIMOUSLY

Z 0565 – Oaks of Lake City, LLC. – Site Specific Amendment to the Official Zoning Atlas
Brad Dicks is sworn in and presented item.

Robert Jordan, Chair, asked questions regarding access to SW Conner Glen.

Brad Dicks addressed the Chair’s questions

Brad Dicks requested the Board approve the proposed amendment subject to removing the multi-family and reinstating the Commercial, Neighborhood.

Robert Jordan, Chair, asked Brandon Stubbs, County Planner, questions regarding density allotment within the PRRD.

Brandon Stubbs, County Planner, addressed Mr. Jordan's questions.

Edward Corson, sworn in, expressed concerns about the multi-family and requested the multi-family be amended back to Commercial, Neighborhood.

Richard Matter, sworn in, expressed concerns about the multi-family portion of the PRRD.

BOARD DISCUSSION

None

MOTION

Teena Ruffo – Motion to approve Z 0565, contingent upon the multi-family being amended back to Commercial, Neighborhood.

SECOND

Earl Peeler

MOTION PASSED UNANIMOUSLY

Z 0562 – BCC – Site Specific Amendment to the Official Zoning Atlas

Robert Jordan, Chair, expressed concerns about the vacated plat.

BOARD DISCUSSION

None

MOTION

Earl Peeler – Motion to approve Z 0562.

SECOND

Teena Ruffo

MOTION PASSED UNANIMOUSLY

Z 0563 – BCC – Site Specific Amendment to the Official Zoning Atlas

BOARD DISCUSSION

None

MOTION

Earl Peeler – Motion to approve Z 0563.

SECOND

Roger Busscher

MOTION PASSED UNANIMOUSLY

Z 0564 – BCC – Site Specific Amendment to the Official Zoning Atlas

BOARD DISCUSSION

None

MOTION

Roger Busscher – Motion to approve Z 0564.

SECOND

Teena Ruffo

MOTION PASSED UNANIMOUSLY

E. OLD BUSINESS

None

F. NEW BUSINESS

None

G. STAFF UPDATE

None

H. MINUTES

Robert Jordan – Requested a motion

MOTION

Teena Ruffo – Motion to approve the May 26, 2016 Minutes

SECOND

Earl Peeler

MOTION PASSED UNANIMOUSLY

I. BOARD DISCUSSION

None

ADJOURNED THE PLANNING AND ZONING BOARD

THE MAY 26, 2016 PLANNING AND ZONING BOARD MINUTES ARE HEREBY ADOPTED ON THIS 23rd DAY OF JUNE 2016.

Attest:

PLANNING AND ZONING BOARD OF
COLUMBIA COUNTY, FLORIDA

Brandon M. Stubbs, Secretary to the
Board of Adjustment

Robert F. Jordan, Chairman