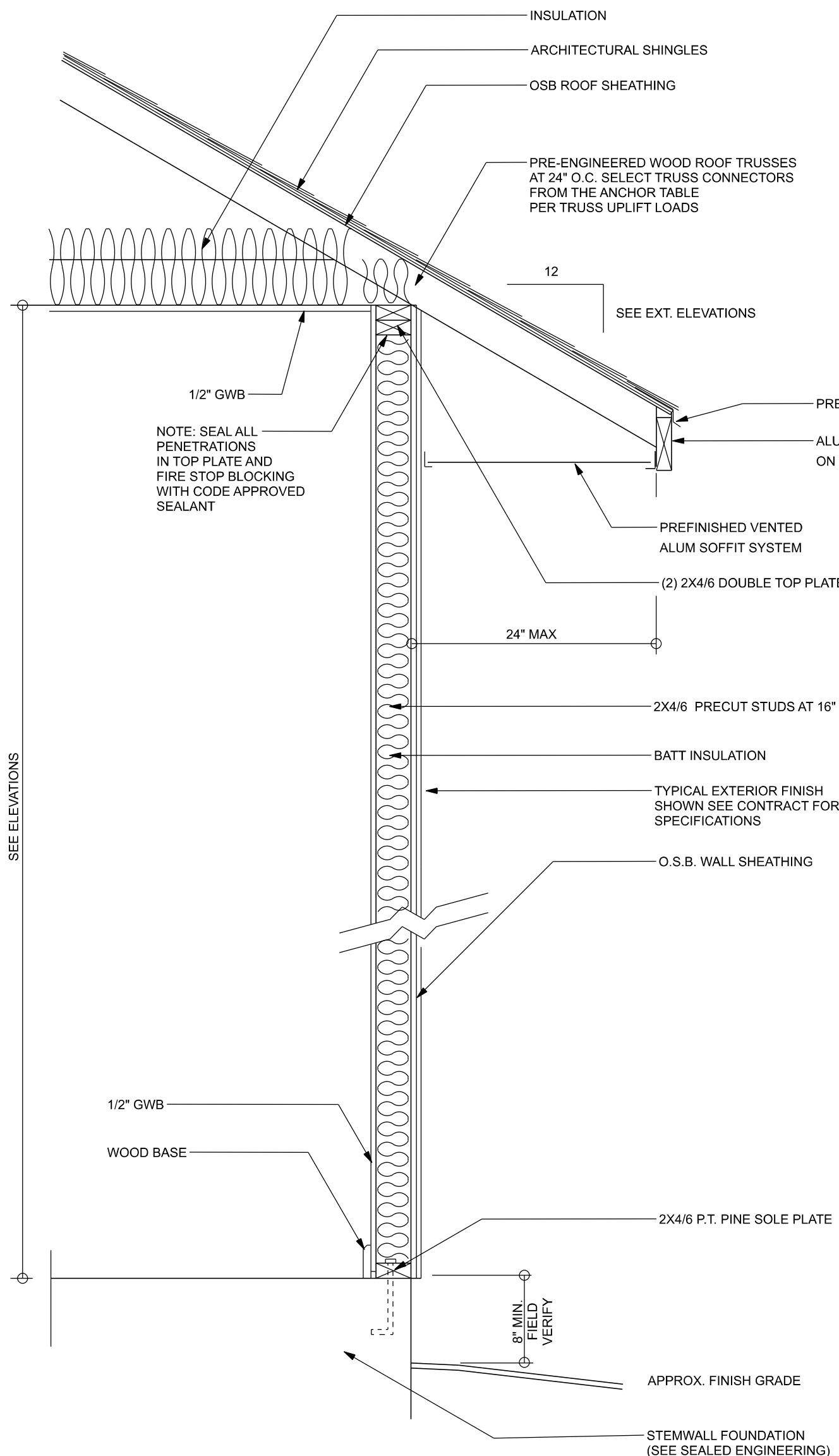


**ROOF VENT / ACCESS NOTES:**

**REQUIRED ATTIC ACCESS:**  
 BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE ATTIC ACCESS OPENING TO ATTIC AREAS THAT EXCEED 30 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 30" OR GREATER. THE VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS. THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22" x 30" AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. WHEN LOCATED IN A WALL, THE OPENING SHALL BE A MIN. OF 22" WIDE x 30" HIGH. WHEN THE ACCESS IS LOCATED IN A CEILING, MIN. UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE 30" AT SOME POINT ABOVE THE ACCESS MEASURED VERTICALLY FROM THE BOTTOM OF CEILING FRAMING MEMBERS.  
 SEE SECTION M1205.1.3 FROM ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED IN ATTICS

**REQUIRED ROOF VENTILATION:**  
 ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES FROMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENING PROTECTED AGAINST THE ENTRANCE OF RAIN. VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSION OF 1/16" MIN. AND 1/4" MAX. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4" SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16" MIN. AND 1/4" MAX. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQUIREMENTS OF SEC. R802.1.8. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO OUTSIDE AIR

**MINIMUM ROOF VENT AREA:**  
 THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.  
 EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:  
 1. IN CLIMATE ZONES 6, 7 AND 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.  
 2. AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

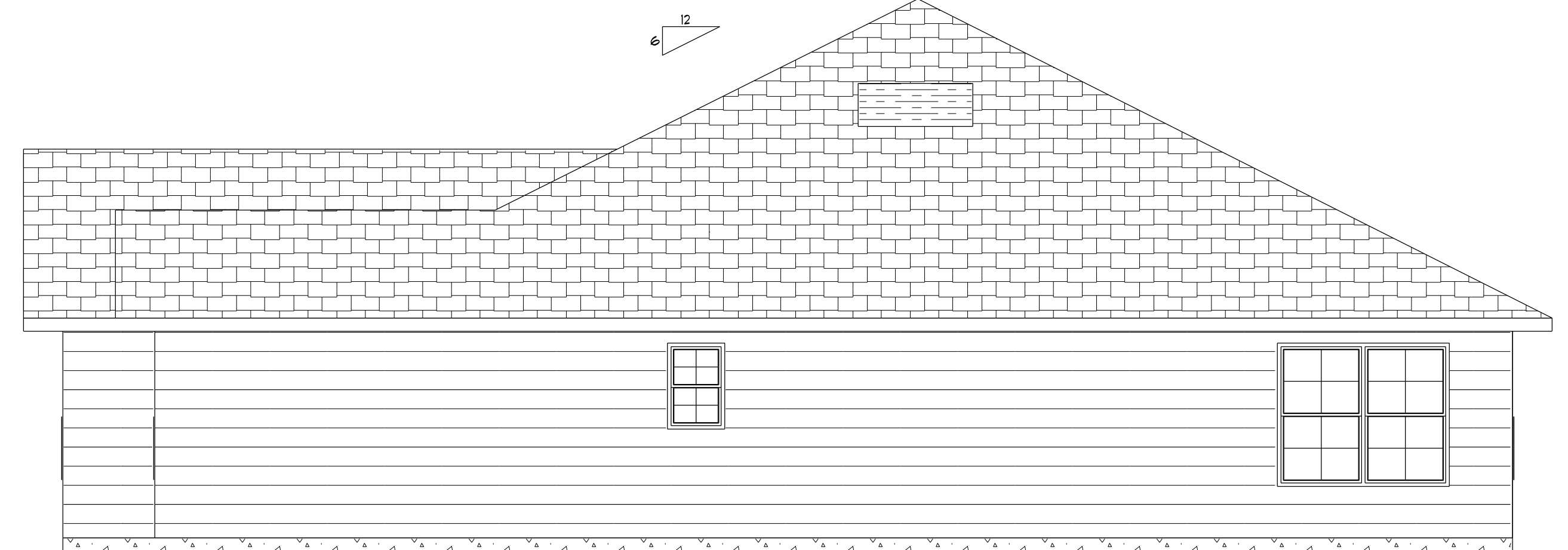


**TYPICAL DESIGN WALL SECTION**  
**NON - STRUCTURAL DATA**  
 SCALE: 3/4" = 1'-0"



**FRONT ELEVATION**

NOTE: 24" OVERHANG ON EAVES  
 12" OVERHANG ON GABLE ENDS



**RIGHT SIDE ELEVATION**



**REAR ELEVATION**



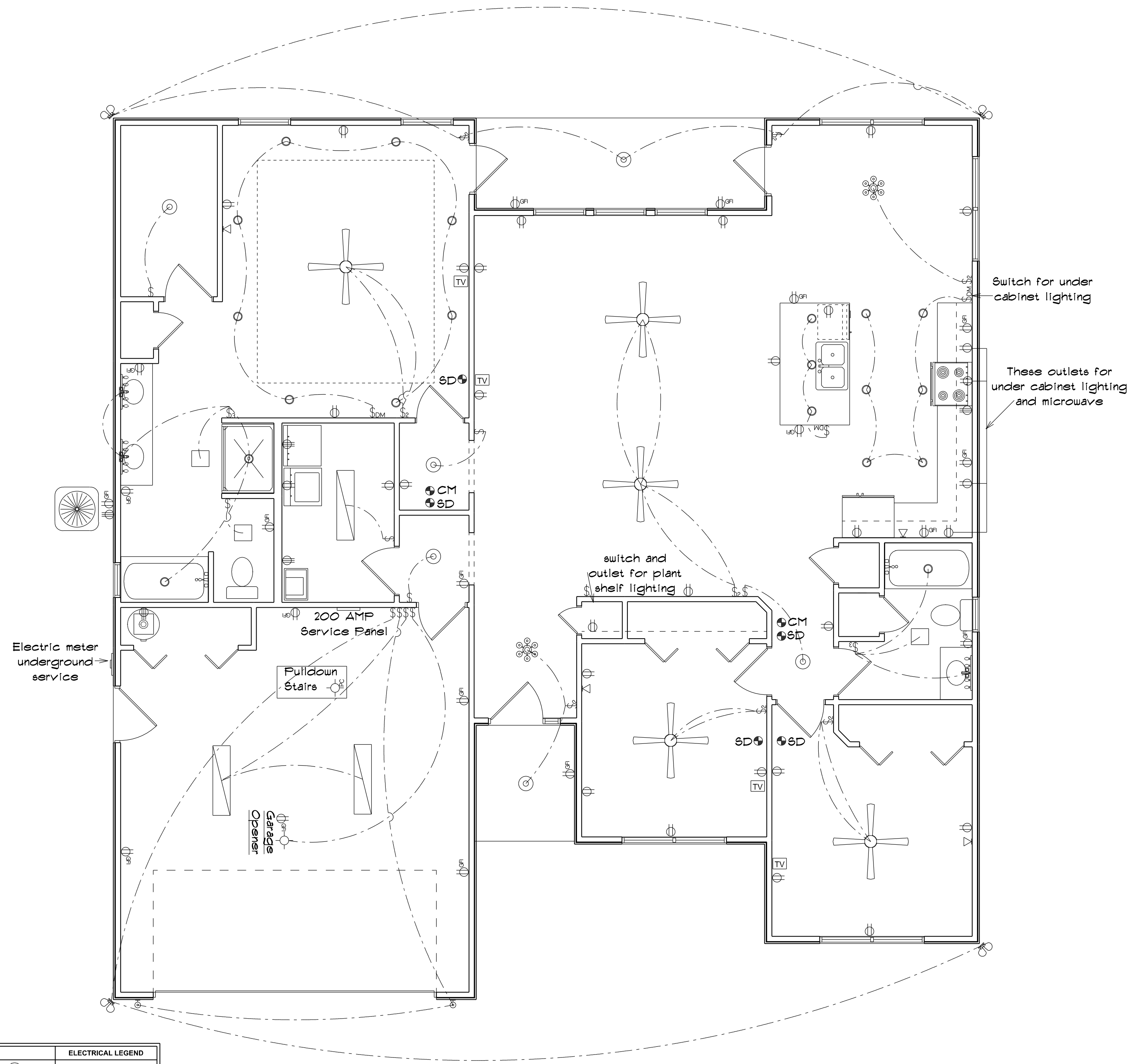
**LEFT SIDE ELEVATION**

**1740 Model**  
 - Left -

Lot #12, Cannon Creek Place  
 630 SW Gerald Corner Drive  
 Lake City, Florida

PRINTED DATE:  
 Wednesday, September 20, 2023

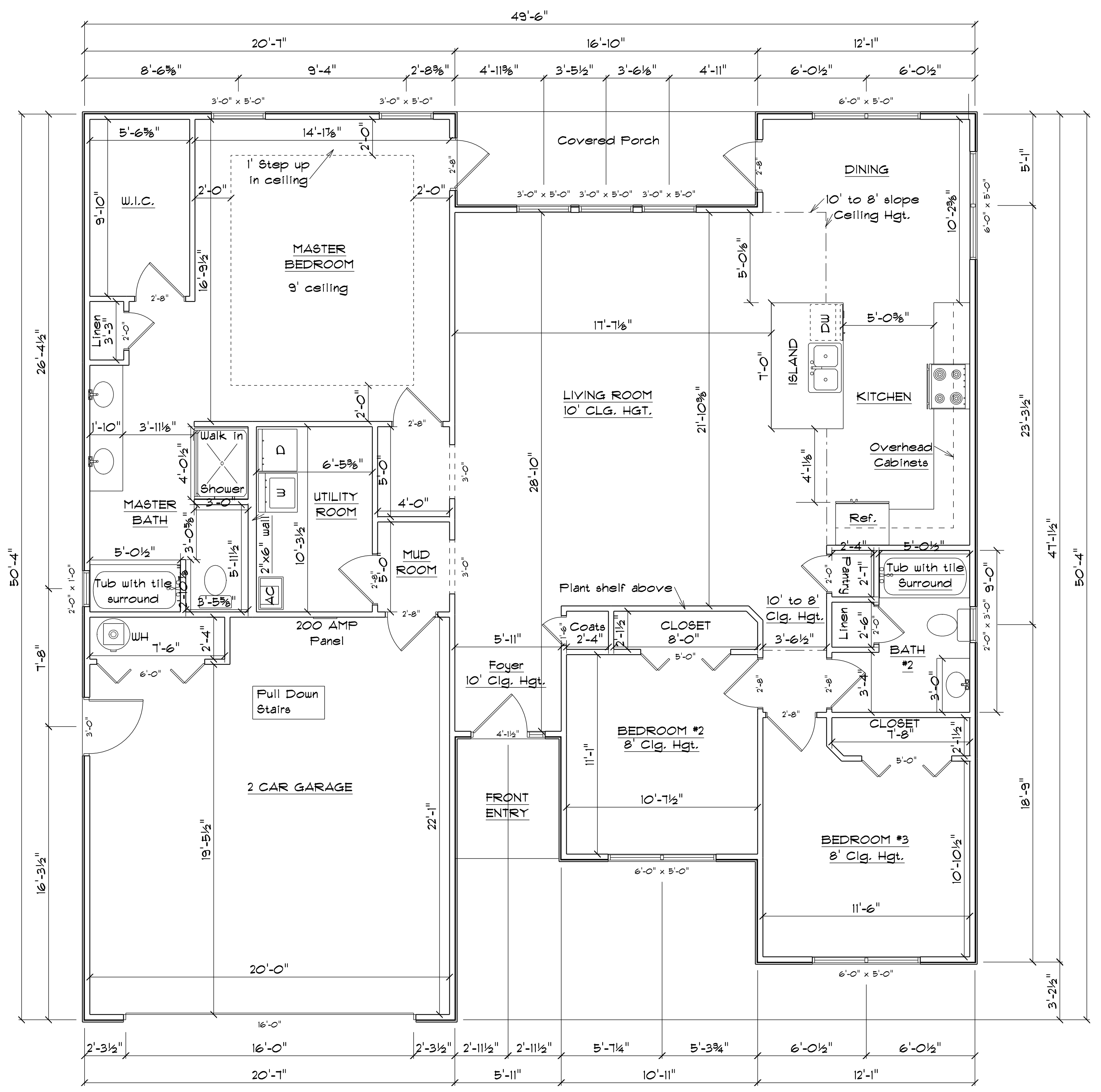
DRAWING NUMBER  
**#1**  
 OF 2 SHEETS



**ELECTRICAL PLAN**

ELECTRICAL LEGEND	
	CEILING FAN (PRE-WIRE FOR LIGHT KIT)
	DOUBLE SECURITY LIGHT
	2x4 FLUORESCENT LIGHT FIXTURE
	RECESSED CAN LIGHT
	BATH EXHAUST FAN WITH LIGHT
	BATH EXHAUST FAN
	LIGHT FIXTURE
	DUPLEX OUTLET
	220V OUTLET
	GFI DUPLEX OUTLET
	SMOKE DETECTOR
	WALL SWITCH
	3 WAY WALL SWITCH
	4 WAY WALL SWITCH
	WATER PROOF GFI OUTLET
	PHONE JACK
	TELEVISION JACK
	GARAGE DOOR OPENER
	CARBON MONOXIDE ALARM

- ELECTRICAL PLAN NOTES:**
- E-1 WIRE ALL APPLIANCES, HVAC UNITS AND OTHER EQUIPMENT PER MANUF. SPECIFICATIONS.
  - E-2 CONSULT THE OWNER FOR THE NUMBER OF SEPARATE TELEPHONE LINES TO BE INSTALLED.
  - E-3 ALL INSTALLATIONS SHALL BE PER NATL. ELECTRIC CODE.
  - E-4 ALL SMOKE DETECTORS SHALL BE 120V W/ BATTERY BACKUP OF THE PHOTOELECTRIC TYPE, AND SHALL BE INTERLOCKED TOGETHER. INSTALL INSIDE AND NEAR ALL BEDROOMS.
  - E-5 TELEPHONE, TELEVISION AND OTHER LOW VOLTAGE DEVICES OR OUTLETS SHALL BE AS PER THE OWNER'S DIRECTIONS, & IN ACCORDANCE W/ APPLICABLE SECTIONS OF NEC LATEST EDITION.
  - E-6 ELECTRICAL CONTR' SHALL BE RESPONSIBLE FOR THE DESIGN & SIZING OF ELECTRICAL SERVICE AND CIRCUITS.
  - E-7 ENTRY OF SERVICE (UNDERGROUND OR OVERHEAD) TO BE DETERMINED BY POWER COMPANY.
  - E-8 ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUN ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
  - E-9 ALL OUTLETS TO BE LOCATED ABOVE BASE FLOOD ELEVATION.
  - E-10 A SERVICE DISCONNECT WITH OVER CURRENT PROTECTION SHALL BE INSTALLED OUTSIDE OF THE BUILDING, ON THE LOAD SIDE OF THE METER, AT THE PLACE ELECTRIC CONDUCTORS ENTER THE BUILDING.
  - E-11 SERVICE ENTRANCE CONDUCTORS MAY NOT BE LOCATED INSIDE OF THE OF THE BUILDING WITHOUT SPECIAL APPROVAL OF THE BUILDING OFFICIAL.
  - E-12 CARBON MONOXIDE ALARMS SHALL BE REQUIRED WITHIN 10' OF ALL ROOMS FOR SLEEPING PURPOSES IN BUILDINGS HAVING A FOSSIL-FUEL-BURNING HEATER OR APPLIANCE, A FIREPLACE, OR ATTACHED GARAGE.
  - E-13 ALL OUTLETS LOCATED IN RESIDENTIAL TO BE TAMPER-RESISTANT PER NEC.
  - E-14 A MINIMUM OF 70% OF PERMANENTLY INSTALLED LAMPS OR LIGHTING FIXTURES SHALL BE HIGH EFFICACY FCC SEC. R404.1



**FLOOR PLAN**

A/C LIVING AREA =	1740 S.F.
FRONT ENTRY =	46 S.F.
2 CAR GARAGE =	468 S.F.
REAR PORCH (UNDER ROOF) =	90 S.F.
<b>TOTAL AREA UNDER ROOF =</b>	<b>2344 S.F.</b>

**R302.5.1 Opening protection:**  
 Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches in thickness, solid or honeycomb-core steel doors not less than 1 3/8 inches thick, or 20-minute fire-rated doors, equipped with a self-closing device.

TABLE R302.6 DWELLING/GARAGE SEPARATION:	
SEPARATION	MATERIAL
From the residence and attics	Not less than 1/2-inch gypsum board or equivalent applied to the garage side
From all habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
Structure(s) supporting floor/ceiling assemblies used for separation required by this section	Not less than 1/2-inch gypsum board or equivalent
Garages located less than 3 feet from a dwelling unit on the same lot	Not less than 1/2-inch gypsum board or equivalent applied to the interior side of exterior walls that face within this area

**1740 Model**  
 - Left -

Lot #12, Cannon Creek Place  
 630 SW Gerald Corner Drive  
 Lake City, Florida

PRINTED DATE:  
 Wednesday, September 20, 2023

DRAWING NUMBER  
**#2**  
 OF 2 SHEETS