

DATE 04/12/2006

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000024386

APPLICANT ALMA VELEZ PHONE 758-1725
 ADDRESS 1030 SW MARIGOLD PLACE FT. WHITE FL 32038
 OWNER CARLOS & ALMA VELEZ PHONE 758-1725
 ADDRESS 1030 SW MARIGOLD PLACE FT. WHITE FL 32038
 CONTRACTOR MICHAEL PARLATO PHONE 386.963.1373
 LOCATION OF PROPERTY 41S, TR ON TUSTENUGGEE AVE, TR ON MARIGOLD PLACE, PAST HEATHER COURT, 2ND LOT ON LEFT

TYPE DEVELOPMENT M/H/UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
 HEATED FLOOR AREA _____ TOTAL AREA _____ HEIGHT _____ STORIES _____
 FOUNDATION _____ WALLS _____ ROOF PITCH _____ FLOOR _____
 LAND USE & ZONING A-3 MAX. HEIGHT _____
 Minimum Set Back Requirements: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
 NO. EX.D.U. _____ FLOOD ZONE X DEVELOPMENT PERMIT NO. _____

PARCEL ID 18-6S-17-09696-135 SUBDIVISION TUSTENUGGEE PLANTATIONS UNREC
 LOT 35 BLOCK _____ PHASE _____ UNIT 2 TOTAL ACRES 10.00

IH0000336
 Culvert Permit No. _____ Culvert Waiver _____ Contractor's License Number JTH Applicant/Owner/Contractor
 PRIVATE 04-1044-N BLK JTH
 Driveway Connection _____ Septic Tank Number _____ LU & Zoning checked by _____ Approved for Issuance _____ New Resident _____

COMMENTS: 1 FOOT ABOVE ROAD. ASSESSMENTS CHARGED.

Check # or Cash 103

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power _____ Foundation _____ Monolithic _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Under slab rough-in plumbing _____ Slab _____ Sheathing/Nailing _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Framing _____ Rough-in plumbing above slab and below wood floor _____
 date/app. by _____ date/app. by _____
 Electrical rough-in _____ Heat & Air Duct _____ Peri. beam (Lintel) _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Permanent power _____ C.O. Final _____ Culvert _____
 date/app. by _____ date/app. by _____ date/app. by _____
 M/H tie downs, blocking, electricity and plumbing _____ Pool _____
 date/app. by _____ date/app. by _____
 Reconnection _____ Pump pole _____ Utility Pole _____
 date/app. by _____ date/app. by _____ date/app. by _____
 M/H Pole _____ Travel Trailer _____ Re-roof _____
 date/app. by _____ date/app. by _____ date/app. by _____

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
 MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ _____
 FLOOD DEVELOPMENT FEE \$ ~~25.00~~ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ _____ **TOTAL FEE** 275.00

INSPECTORS OFFICE _____ CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

- 1051

Called (Nov 19th) 3/24/06

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 6-23-05) Zoning Official BLK 22.03.06 Building Official OK JH 3-15-06

AP# 01603-41 Date Received 3/14/06 By G Permit # 24386 / 1051

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments _____

FEMA Map# _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

Site Plan with Setbacks Shown EH Signed Site Plan EH Release Well letter Existing well

Copy of Recorded Deed or Affidavit from land owner Letter of Authorization from installer

Property ID # 18-65-1709696-135 Must have a copy of the property deed

New Mobile Home Used Mobile Home Fleetwood Year 1998

Applicant Alma Velez Phone # 386 758-1725

Address 1030 SW Marigold Pl Fort White FL 32038

Name of Property Owner Carlos and Alma Velez Phone # 386 758-1725

911 Address 1030 SW Marigold Pl Fort White FL 32038

Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy

Name of Owner of Mobile Home Carlos Velez Phone # 386 758-1725

Address 1030 SW Marigold Pl Fort White FL 32038

Relationship to Property Owner Owner

Current Number of Dwellings on Property 0

Lot Size _____ Total Acreage 10

Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver (Circle one)

Is this Mobile Home Replacing an Existing Mobile Home NO (pd) 275.00

Driving Directions to the Property On 441 to 131 is just on nudge lake
Right on marigold pl
the lake city to Hainsville make Right on 131
all just on nudge make Right on marigold pl

Name of Licensed Dealer/Installer Michael J Parla to Phone # 903-1373

Installers Address 7161 152nd St. Welborn, FL 32094

License Number IH 0000336 Installation Decal # 267545

1053 23943

PERMIT WORKSHEET

Veletz

PERMIT NUMBER

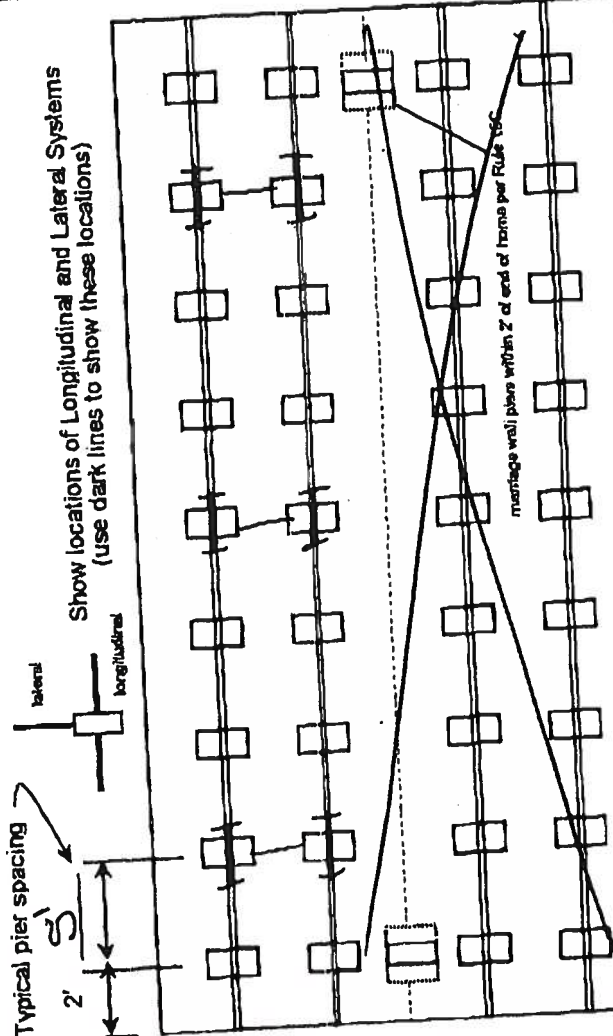
Installer Michael S. Belato License # IA0000336

Address of home being installed _____

Manufacturer Everead Length x width 14 x 80

NOTE: if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in. MS Installer's initials



New Home Used Home

Home installed to the Manufacturer's Installation Manual

Home is installed in accordance with Rule 15-C

Singls wide Wind Zone II Wind Zone III

Double wide Installation Decal # 2107545

Triple/Quad Serial # 09732 - GAFLB 3139A

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16' x 16" (256)	18 1/2" x 18 1/2" (342)	20' x 20" (400)	22' x 22" (484)	24' x 24" (576)	26' x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'	8'
1500 psf	4'	5'	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7'	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17x22

Perimeter pier pad size 17x22

Other pier pad sizes (required by the mfg.) N/A

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.



List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening _____ Pier pad size _____

AS/A

POPULAR PAD SIZES

Pad Size	Sq Ft
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

4 ft 5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc Yes

OTHER TIES

Number _____
 Sidewall AS/A
 Longitudinal AS/A
 Marriage wall AS/A
 Shearwall AS/A

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD) _____
 Manufacturer _____
 Longitudinal Stabilizing Device w/Lateral Arms _____
 Manufacturer NOV by DIVER

PERMIT WORKSHEET

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psi without testing.

x 2500 x 2500 x 2000

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 2500 x 2500 x 2000

TORQUE PROBE TEST

The results of the torque probe test is 280 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A slate approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb. holding capacity.

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Michael J. Roberts

Date Tested

3-10-06

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. N/A

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. N/A
 Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. N/A

Site Preparation

Debris and organic material removed Pad Other
 Water drainage: Natural Swale

Fastening multi-wide units

Floor: Type Fastener: Spacing: A
 Walls: Type Fastener: Spacing: A
 Roof: Type Fastener: Spacing: A
 For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

N/A

Type gasket Pg.

Installed: Yes
 Between Floors Yes
 Between Walls Yes
 Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg. N/A
 Siding on units is installed to manufacturer's specifications. Yes
 Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes No N/A
 Dryer vent installed outside of skirting. Yes
 Range downflow vent installed outside of skirting. Yes
 Drain lines supported at 4 foot intervals. Yes
 Electrical crossovers protected. Yes
 Other: N/A

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature Michael J. Roberts

Date 3-10-06



APPROXIMATE SCALE IN FEET



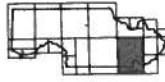
NATIONAL FLOOD INSURANCE PROGRAM

FIRM FLOOD INSURANCE RATE MAP

COLUMBIA
COUNTY,
FLORIDA
(UNINCORPORATED AREAS)

PANEL 225 OF 290

PANEL LOCATION



COMMUNITY-PANEL NUMBER

120070 0225 B

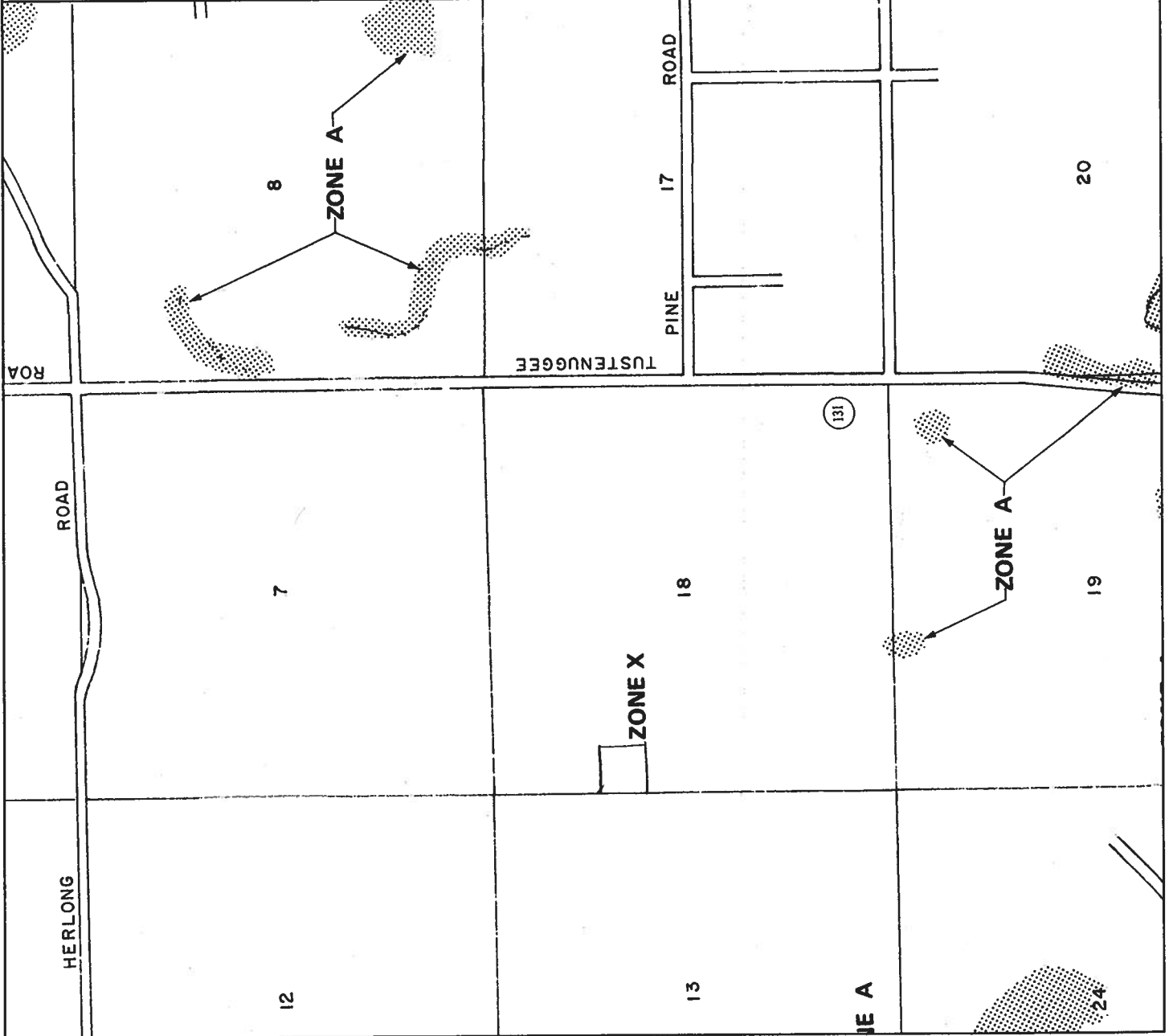
EFFECTIVE DATE:

JANUARY 6, 1988



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at www.fema.gov/nifhsd.



U. S. Title
642 N.E. Santa Fe Blvd.
High Springs, FL 32643
USH-

Inst:2004022565 Date:10/07/2004 Time:09:47
Doc Stamp-Deed : 0.70
MK DC, P. DeWitt Cason, Columbia County B:1027 P:1363

Tax Parcel # 186S170969 6000

QUIT CLAIM DEED

This Indenture made this 30 day of **SEPTEMBER, 2004**, BETWEEN **WILFREDO J. MARTINEZ**, a Single Man, GRANTOR*, whose address is 997 Maplewood Ave. Bpt. crt., Bridgeport CT 06601 and **WILFREDO J. MARTINEZ**, a Single Man and **CARLOS J. VELEZ** and **ALMA L. VELEZ**, HUSBAND AND WIFE, AS JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP, as GRANTEE*, whose address is 1030 SW Marigold Pl., Fort White, FL 32038

WITNESSETH, That said Grantor, for and in consideration of the sum of **TEN AND 00/100'S (\$10.00) Dollars** and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the grantee and grantee's heirs forever the following described land located in the County of **COLUMBIA**, State of **Florida**, to-wit:

SEE ATTACHED EXHIBIT "A"

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in any wise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the Grantor, either in law or equity, to the only proper use, benefit and behalf of the said Grantee forever.

(*Singular and plural are interchangeable as context requires.)

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this day and year first above written.

WITNESSES

Jose Malave JR

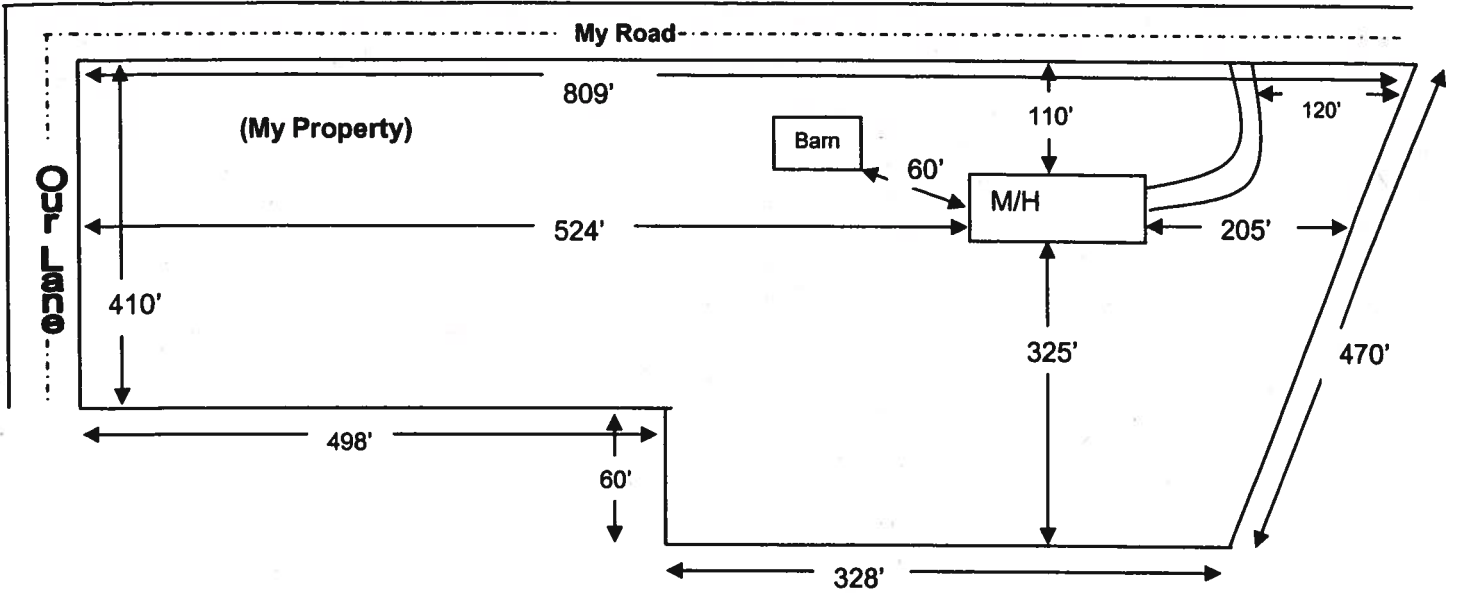
Gloria Duprey

WILFREDO J. MARTINEZ

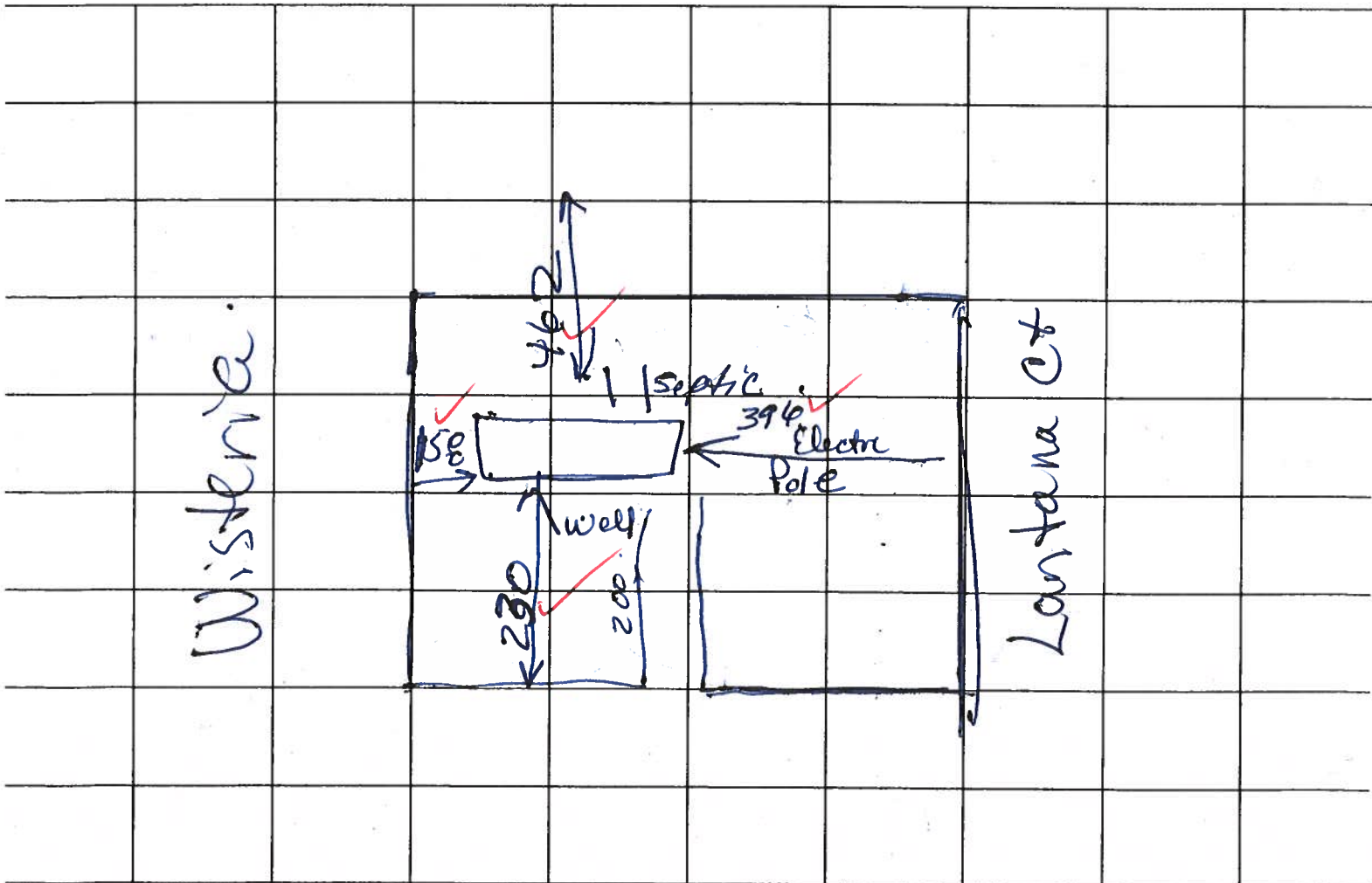
COUNTY OF Fairfield
STATE OF Connecticut

I HEREBY CERTIFY that on this 30 day of **SEPTEMBER, 2004**, before me, an officer duly qualified to take acknowledgements, personally appeared: **WILFREDO J. MARTINEZ**, to me known to be the persons or has produced A DRIVER'S LICENSE as identification and who did (did not) take an oath, described in and who executed the foregoing instrument and acknowledged before me that they executed the same.

SITE PLAN EXAMPLE / WORKSHEET



Use this example to draw your own site plan. Show all existing buildings and any other homes on this property and show the distances between them. Also show where the roads or roads are around the property. This site plan can also be used for the 911 Addressing department if you include the distance from the driveway to the nearest property line.





STATE OF FLORIDA
DEPARTMENT OF HEALTH

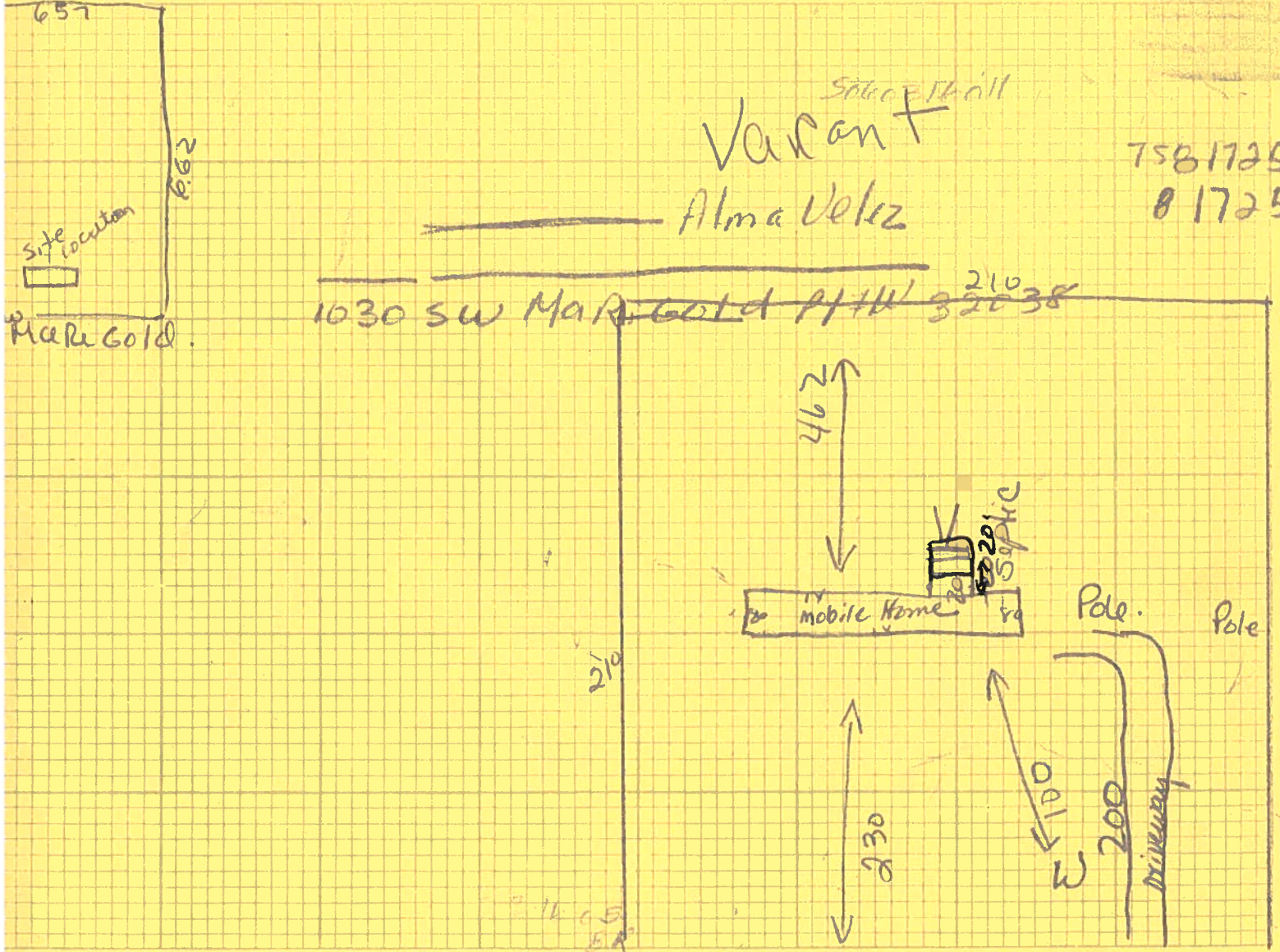
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number

06-0261E
16-06
04-10-44 N

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes:

40 Acres total One Acres Show Bobd

Site Plan submitted by: Alma Velez Signature

Owner Title

Plan Approved Mr. [Signature] Not Approved _____

Date 3/14/06

By _____ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

CODE ENFORCEMENT
PRELIMINARY MOBILE HOME INSPECTION REPORT

DATE RECEIVED 4/3/06 BY JW IS THE M/H ON THE PROPERTY WHERE THE PERMIT WILL BE ISSUED? Yes

OWNERS NAME ALMA VEVEZ PHONE 758-1725 CELL _____

ADDRESS 1030 SW Marigold Place, Ft. White, FL 32038

MOBILE HOME PARK _____ SUBDIVISION _____

DRIVING DIRECTIONS TO MOBILE HOME 475 TO US 27 TL TO C-18, TL 90 TO C-131
TL, TO MARIGOLD, TL, Follow to 1030 (within a mile on the L)
Livestock on Property

MOBILE HOME INSTALLER Cam Setups PHONE 963-1373 CELL _____

MOBILE HOME INFORMATION

MAKE Fleetwood YEAR 1998 SIZE 14 X 80 COLOR _____

SERIAL No. 09732

WIND ZONE II Must be wind zone II or higher NO WIND ZONE I ALLOWED

INTERIOR: INSPECTION STANDARDS

(P or F) - P= PASS F= FAILED

- SMOKE DETECTOR () OPERATIONAL () MISSING
- FLOORS () SOLID () WEAK () HOLES DAMAGED LOCATION _____
- DOORS () OPERABLE () DAMAGED
- WALLS () SOLID () STRUCTURALLY UNSOUND
- WINDOWS () OPERABLE () INOPERABLE
- PLUMBING FIXTURES () OPERABLE () INOPERABLE () MISSING
- CEILING () SOLID () HOLES () LEAKS APPARENT
- ELECTRICAL (FIXTURES/OUTLETS) () OPERABLE () EXPOSED WIRING () OUTLET COVERS MISSING () LIGHT FIXTURES MISSING

EXTERIOR:

- WALLS / SIDING () LOOSE SIDING () STRUCTURALLY UNSOUND () NOT WEATHERTIGHT () NEEDS CLEANING
- WINDOWS () CRACKED/ BROKEN GLASS () SCREENS MISSING () WEATHERTIGHT
- ROOF () APPEARS SOLID () DAMAGED

STATUS:

APPROVED WITH CONDITIONS: _____

NOT APPROVED _____ NEED REINSPECTION FOR FOLLOWING CONDITIONS _____

SIGNATURE [Signature] ID NUMBER 306 DATE 4-5-06

CODE ENFORCEMENT DEPARTMENT
COLUMBIA COUNTY, FLORIDA
OUT OF COUNTY MOBILE HOME INSPECTION REPORT

COUNTY THE MOBILE HOME IS BEING MOVED FROM Swansee
OWNERS NAME Carlos J. Veloz PHONE 758-1725 CELL _____
INSTALLER Michael J. Ralato PHONE 903-1373 CELL _____
INSTALLERS ADDRESS 7161 152nd St. Wellborn, FL 32094

MOBILE HOME INFORMATION

MAKE Fleetwood YEAR 1998 SIZE 14 x 80 (76)
COLOR _____ SERIAL No. 09732
WIND ZONE II SMOKE DETECTOR yes

INTERIOR:
FLOORS sound
DOORS sound
WALLS sound
CABINETS intact
ELECTRICAL (FIXTURES/OUTLETS) intact

EXTERIOR:
WALLS / SIDING intact & sound
WINDOWS intact
DOORS intact & sound

STATUS:
APPROVED NOT APPROVED _____

NOTES: _____
INSTALLER OR INSPECTORS PRINTED NAME Michael J. Ralato

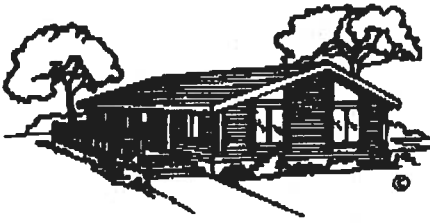
Installer/Inspector Signatures [Signature] License No. JH0000336 Date 3-24-06

ONLY THE ACTUAL LICENSE HOLDER OR A BUILDING INSPECTOR CAN SIGN THIS FORM.

NO WIND ZONE ONE MOBILE HOMES WILL BE PERMITTED. MOBILE HOMES PRIOR TO 1977 ARE PRE-HUD AND THE WIND ZONE MUST BE PROVEN TO BE PERMITTED.

BEFORE THE MOBILE HOME CAN BE MOVED INTO COLUMBIA COUNTY THIS FORM MUST BE COMPLETED AND RETURNED TO THE COLUMBIA COUNTY BUILDING DEPARTMENT.

ONCE MOVED INTO COLUMBIA COUNTY AN INSPECTOR MUST COMPLETE A PRELIMINARY INSPECTION ON THE MOBILE HOME. CALL 386-719-2038 TO SET UP THIS INSPECTION. NO PERMIT WILL BE ISSUED BEFORE THIS IS DONE.



C&M SET-UPS

7161 52nd Street • Wellborn, FL 32094 • 386-963-1373 • Fax 386-963-5840

April 5, 2006

To Whom It May Concern:

Alma Velez has my permission to pick up her Mobile Home Permit in my place. It is for a (16 X 80) Single Wide Mobile Home.

Sincerely,

Michael J. Parlato D/B/A
C & M SETUPS

Sworn to and subscribed before me on this 5 day of April, 2006 by Michael J. Parlato who is personally known to me.

notary

103

EX-100

COLUMBIA COUNTY AVENUE OFFICE

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 18-GS-17-09696-135 Building permit No. 000024386

Permit Holder MICHAEL PARLATO

Owner of Building CARLOS & ALMA VELEZ

Location: 1030 SW MARGOLD PLACE(TUSTENUGGEE PLANT, LOT 35)

Date: 04/26/2006

Henry Buehler
Building Inspector



POST IN A CONSPICUOUS PLACE
(Business Places Only)