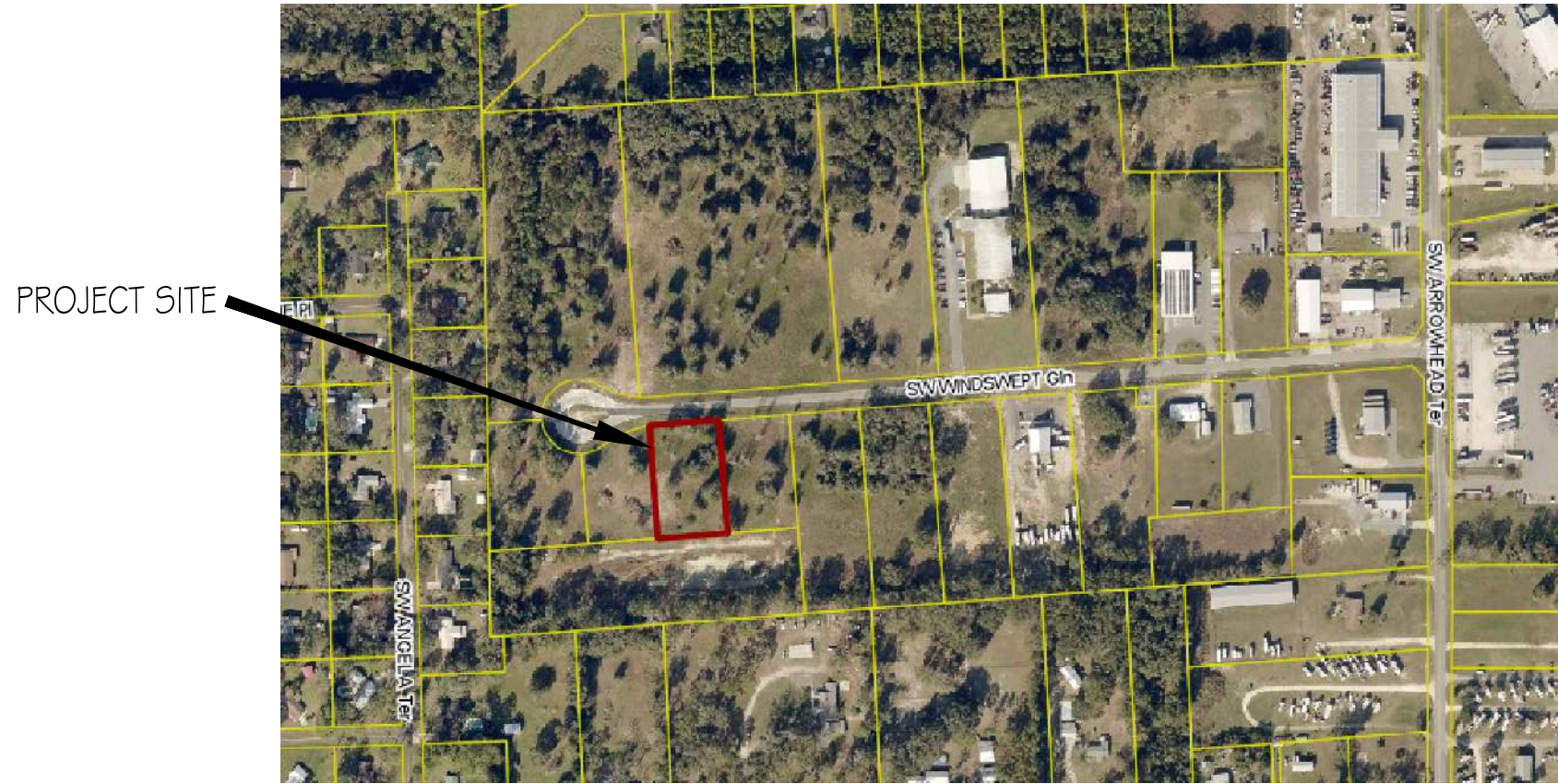


TRAFCO SITE PLAN

SECTION 24, TOWNSHIP 4 SOUTH, RANGE 16 EAST
LAKE CITY, COLUMBIA COUNTY, FLORIDA



LOCATION MAP
NOT TO SCALE

NOTES

1. SITE PARCEL: 24-45-16-03120-705
2. FUTURE LAND USE: INDUSTRIAL
3. ZONING: ILW
4. SITE ADDRESS: TBD SW WINDSWEEP GLEN, LAKE CITY, FL

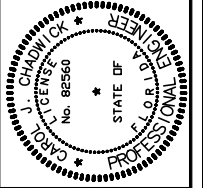
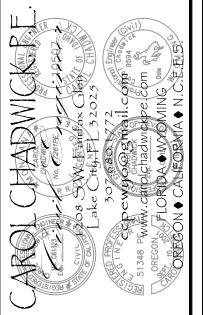
SHEET INDEX

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| 1 | COVER SHEET |
| 2 | NOTES, LEGEND & DETAILS |
| 3 | OVERALL SITE PLAN |
| 4 | SITE PLAN |
| 5 | GRADING PLAN |
| 6 | LANDSCAPING PLAN |

OWNER:
TRAFCO, LLC
1367 SW SKYLINE LOOP
FORT WHITE, FL 32038
CONTACT: TOM TRAFICANTE
561.389.6800
tom@gardeninminutes.com

CIVIL ENGINEER:
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LAKE CITY, FL 32025
307.680.1772
ccpewyo@gmail.com

SURVEYOR:
DANIEL & GORE, LLC
PO BOX 1501
LAKE CITY, FL 32056
386.752.9019
sdaniel@dgsurveying.com



NO.	DATE	REVISION DESCRIPTION

PREPARED FOR
TRAFCO, LLC
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TRAFCO SITE PLAN
COVER SHEET

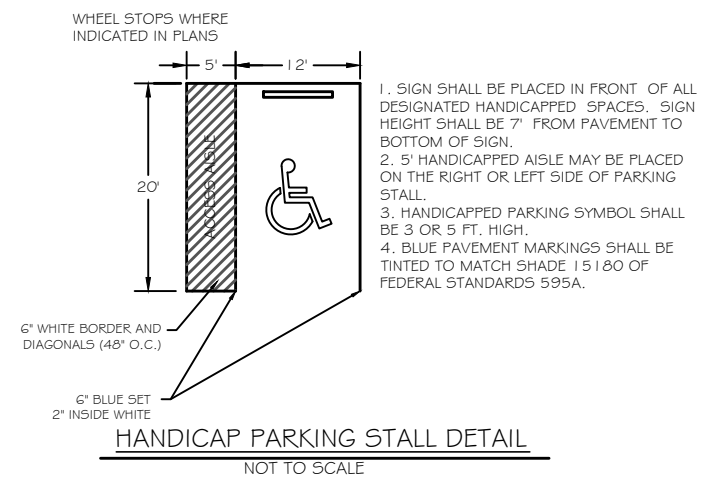
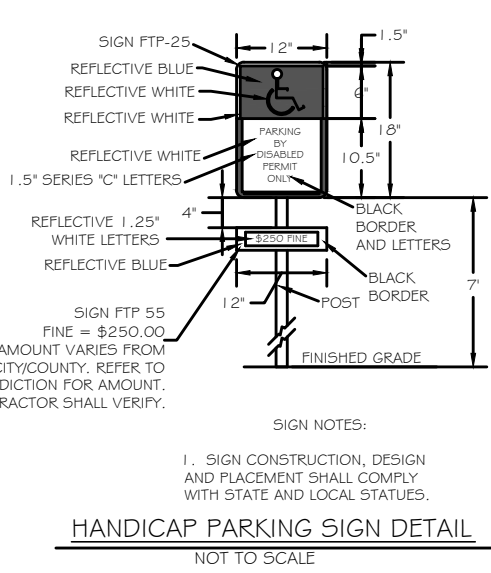
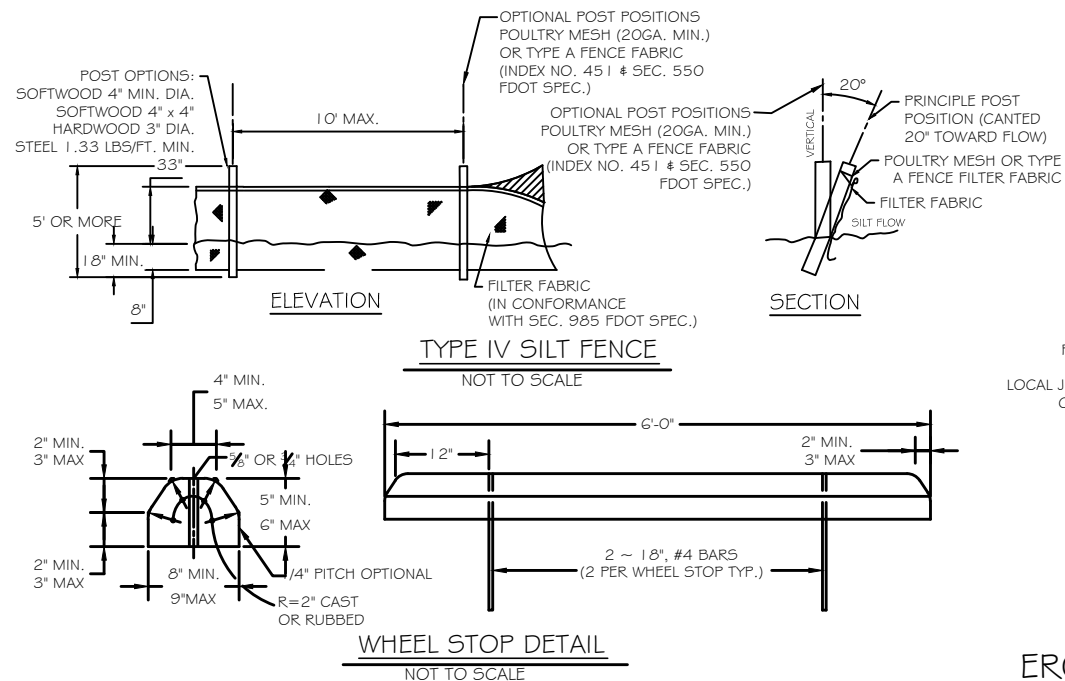
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Carol Chadwick
DN: c=US,
o=Florida,
dnQualifier=A0141
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4E7500032FEE,
cn=Carol
Chadwick
Date: 2024.08.15
10:06:06 -04'00'

ENGINEER OF RECORD: CAROL CHADWICK, P.E.
P.E. NO.: 82560

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PROJECT NO. FL24311	DATE AUG. 15, 2024	REVISION DATE	SHEET 1 of 6
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EROSION CONTROL NOTES

1. EROSION AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL"
2. THE CONTRACTOR SHALL ADHERE TO THE FLORIDA DEPARTMENT OF TRANSPORTATION, SUWANNEE RIVER WATER MANAGEMENT DISTRICT, CITY OF LAKE CITY, COLUMBIA COUNTY AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS.
3. THE CONTRACTOR SHALL ADJUST AND REVISE CONTROL MEASURES SHOWN ON THESE PLANS TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
6. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
7. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT FROM LEAVING PROJECT LIMITS.
8. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
9. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
10. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
11. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
12. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF HAY BALES OR SODDING.
13. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
14. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
15. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
16. EXCESS DIRT SHALL BE REMOVED DAILY.
17. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS.
18. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES, THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.25 INCHES OR GREATER.
19. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

ENGINEER'S NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO CONSTRUCTION TO ENSURE THAT ALL WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SAID DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. ALL DISTURBED AREAS SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND SHORT-TERM VEGETATION. THE LONG-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 70 POUNDS PER ACRE. THE SHORT-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 20 POUNDS PER ACRE AND SHALL CONSIST OF WINTER RYE FROM SEPTEMBER THROUGH MARCH OR MILLET FROM APRIL THROUGH AUGUST.
3. THE PERMITTEE/CONTRACTOR SHALL INSTITUTE NECESSARY MEASURES DURING CONSTRUCTION TO MINIMIZE EROSION, TURBIDITY, NUTRIENT LOADING, AND SEDIMENTATION TO ADJACENT LANDS AND IN THE RECEIVING WATER.
4. ALL GRADES MAY BE ADJUSTED IN THE FIELD A MAXIMUM OF SIX (6) INCHES AS LONG AS THE FLOW OF WATER IS NOT CHANGED.
5. WHERE DITCH MUST BE DEEPER THAN NORMAL TO ACCOMMODATE A PIPE, THE TRANSITION FROM NORMAL DITCH GRADE TO PIPE FLOW LINE SHALL BE A MINIMUM LENGTH OF 100 FEET.
6. THE CONTRACTOR SHALL ADHERE TO THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION UNTIL THE AS-BUILTS ARE COMPLETED.
7. QUANTITIES ARE ESTIMATES ONLY. CONTRACTOR SHALL VERIFY QUALITIES PRIOR TO BID AND CONSTRUCTION.
8. NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL AND OTHER DELETERIOUS MATERIAL.

UNAUTHORIZED CHANGES AND USES CAUTION:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE GOVERNING AGENCIES.

PRIVATE ENGINEER'S NOTICE TO CONTRACTOR:

THE CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, HE/SHE WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

LEGEND

F.S.	-	FINISHED SURFACE
E.S.	-	EXISTING SURFACE
130	-	PROPOSED CONTOUR (2' INTERVALS)
(130)	-	EXISTING CONTOUR (2' INTERVALS)
□	-	DAYLIGHT LINE
○	-	EXISTING FENCE
---	-	PROPERTY LINE
- - -	-	CENTER LINE
SF	-	SILT FENCE
UP	-	EXISTING OVERHEAD UTILITIES
OP	-	EXISTING OVERHEAD ELECTRIC

NOTE: ALL UTILITY PROVIDERS MUST BE CONTACTED PRIOR TO DIGGING IN ACCORDANCE TO CHAPTER 556 "SUNSHINE STATE ONE CALL" CALL 811 48 HOURS PRIOR TO DIGGING



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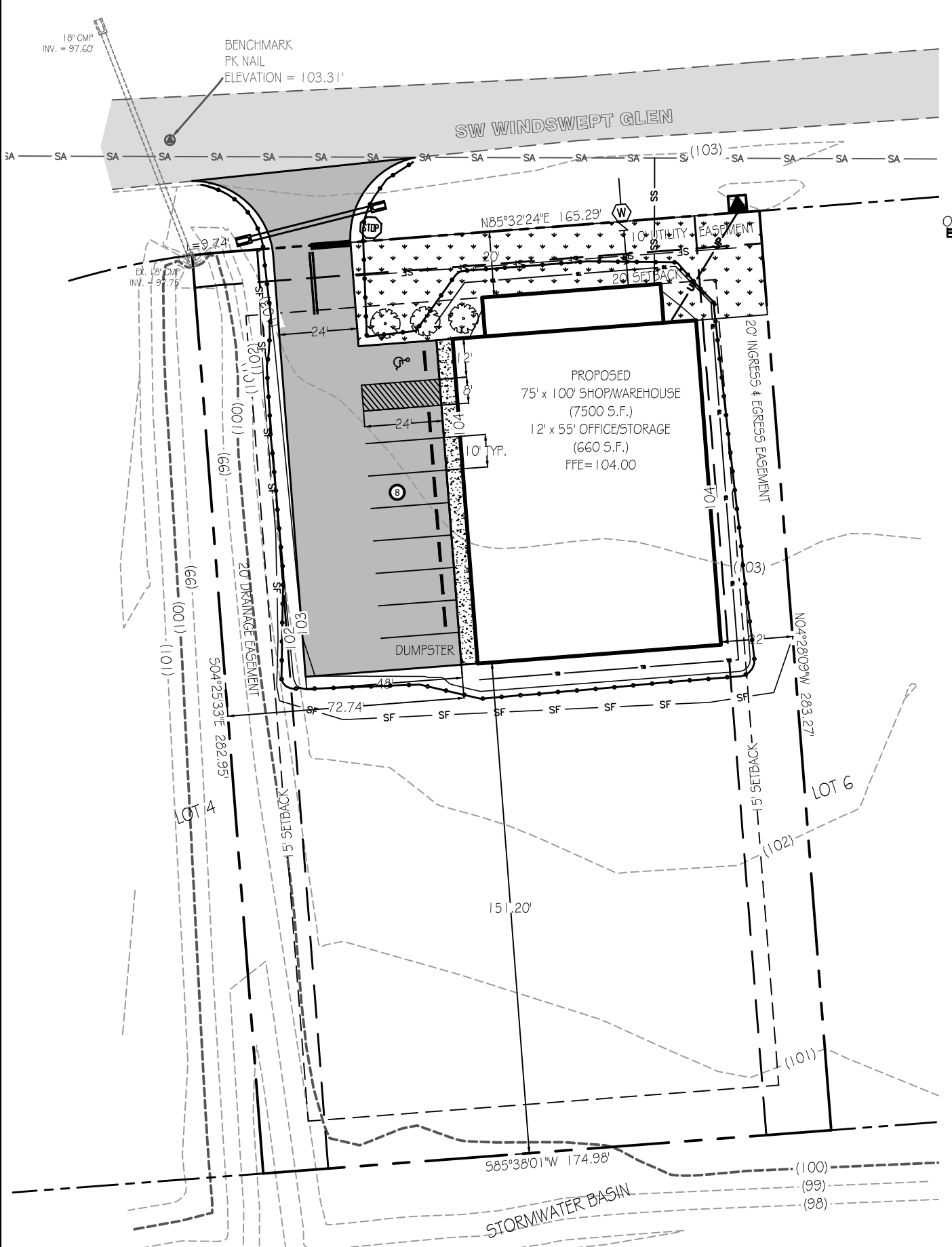
PROJECT NO. FL24311
 DATE AUG. 15, 2024
 REVISION DATE
 SHEET 2 of 6

TRAFCO SITE PLAN
 NOTES, LEGEND & DETAILS

REVISION DESCRIPTION
 DATE

PREPARED FOR: TRAFCO, LLC
 1367 SW SKYLINE LOOP
 FORT WHITE, FL 32038
 CONTACT: TOM TRAFICANTE
 561.389.6800
 tom@gardenminutes.com

Professional Engineer Seal: CAROL J. CHADWICK, No. 08560, STATE OF FLORIDA, PROFESSIONAL ENGINEER



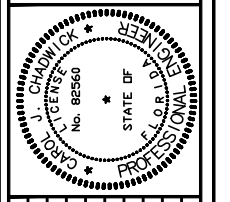
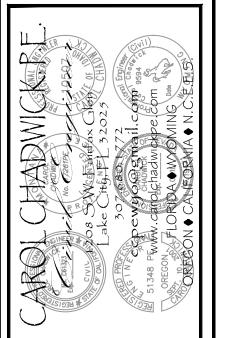
DEVELOPMENT INFORMATION			
NEW MANUFACTURING FACILITY AND ASSOCIATED UTILITIES AND PARKING			
PARCEL NUMBER	24-45-16-03-120-705		
ZONING	LW		
LAND USE	INDUSTRIAL		
ADDRESS	1700 SW WINDSWEEP GLEN, LAKE CITY, FL		
PROPERTY AREA	SQUARE FEET	ACRES	% OF SITE
PARCEL AREA	49658	1.14	100
ON SITE DISTURBANCE AREA	22323	0.51	44.95
OFF SITE DISTURBANCE AREA	0	0.00	
TOTAL DISTURBANCE AREA	22323	0.51	44.95
PROPOSED IMPERVIOUS AREA			
BUILDING	8160	0.19	16.43
SIDEWALK	500	0.01	1.01
ASPHALT PARKING & DRIVEWAYS	5568	0.13	11.21
TOTAL IMPERVIOUS AREA	14228	0.33	28.65
LANDSCAPING			
REQUIRED	PER SECTION 4.2.17.10, COLUMBIA COUNTY L.D.R. LANDSCAPING: 1.0% OF OFF-STREET PARKING (5568 SF) 1 TREE PER 200 SF OF LANDSCAPING 1237 S.F. LANDSCAPING = 6 TREES		
PROPOSED AREA	3371 S.F. & 3 TREES		
PARKING			
REQUIRED SPACES*	PER SECTION 4.16.11, COLUMBIA COUNTY L.D.R. STORAGE: 1 PARKING SPACE PER 500 S.F. OF FLOOR AREA 4830 / 5000 = 10 PARKING SPACES MANUFACTURING: 1 PARKING SPACE PER 500 S.F. OF FLOOR AREA 3000 / 500 = 6 PARKING SPACES PER SECTION 4.13.11, COLUMBIA COUNTY L.D.R. OFFICE: 1 PARKING SPACE PER 200 S.F. OF FLOOR AREA 330 / 200 = 2 PARKING SPACES 8 TOTAL INCLUDING 1 ADA SPACE		
PROPOSED SPACES	8 INCLUDING 1 HANDICAP SPACE		

*4830 S.F. STORAGE, 3000 S.F. MANUFACTURING & 330 S.F. OFFICE



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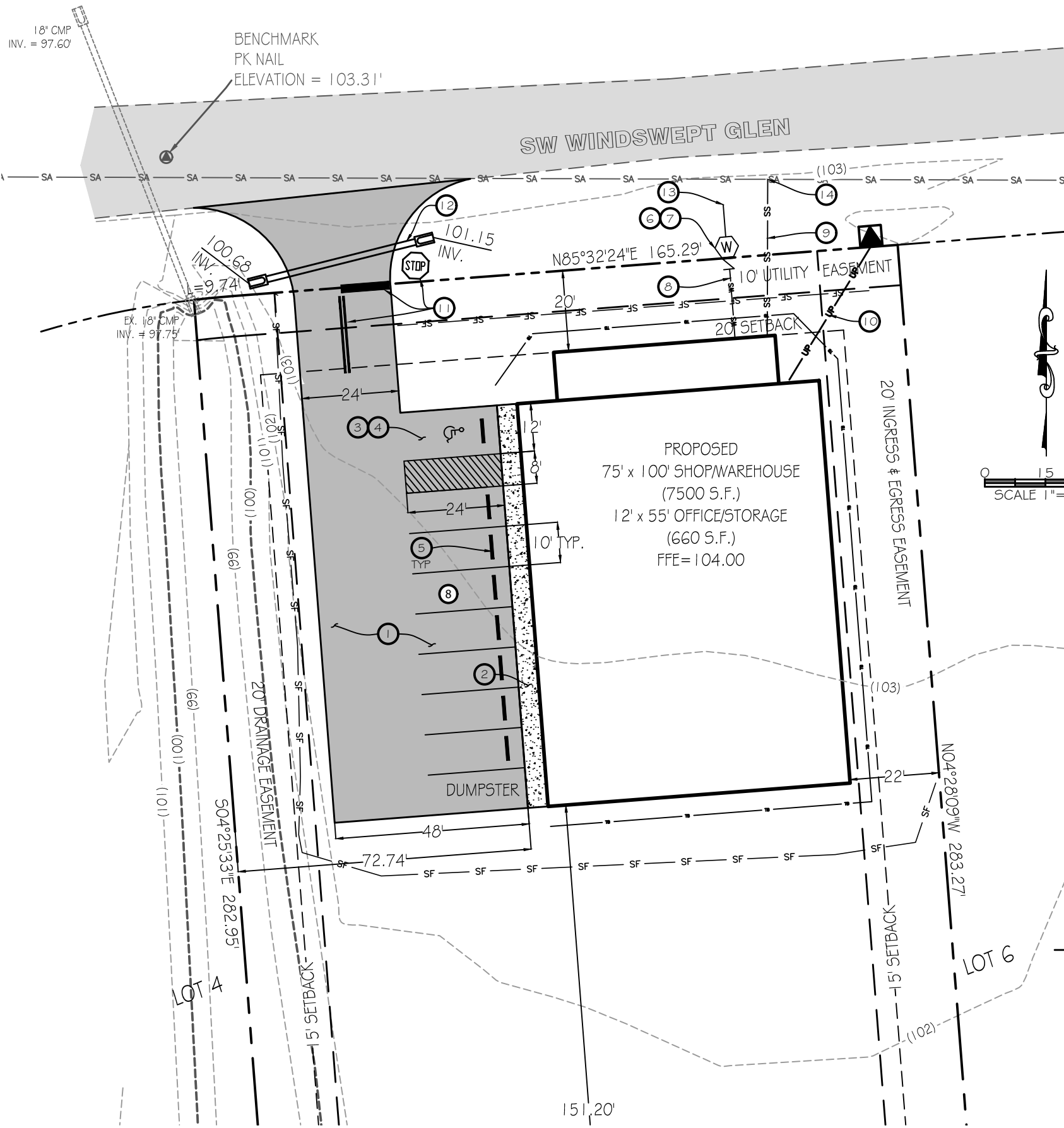
PREPARED FOR:
TRAFCO, LLC
1367 SW SKYLINE LOOP
FORT WHITE, FL 32038
CONTACT: TOM TRAFICANTE
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TRAFCO SITE PLAN
OVERALL SITE PLAN

PROJECT NO. FL24311
DATE AUG. 15, 2024
REVISION DATE
SHEET 3 of 6

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CONSTRUCTION NOTES & ESTIMATED QUANTITIES

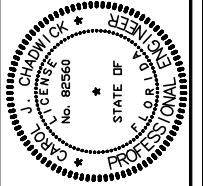
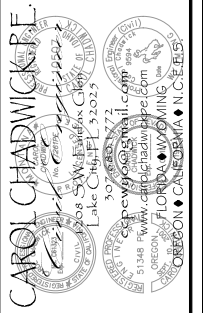
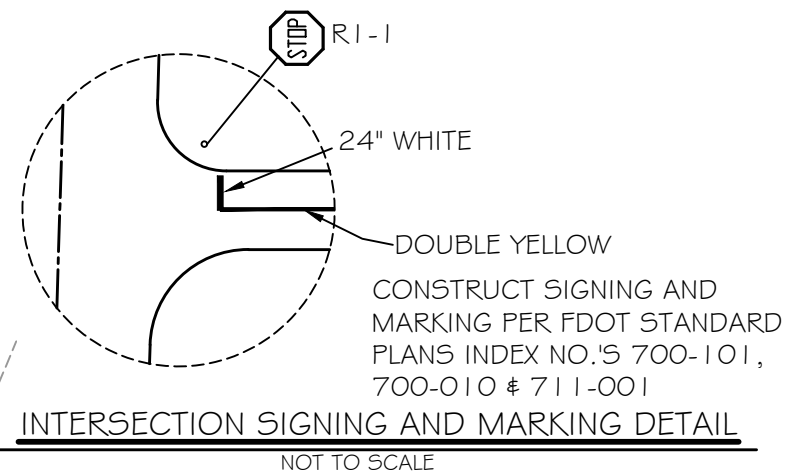
1	1-1/2" AC PAVEMENT OVER 6" LIMEROCK BASE	6394 S.F.
2	CONCRETE SIDEWALK	500 S.F.
3	HANDICAP PARKING STALL PER DETAILS ON SHEET 2	1 EA.
4	HANDICAP PARKING SIGN PER DETAIL ON SHEET 2	1 EA.
5	WHEEL STOP PER DETAIL ON SHEET 2	8 EA.
6	WATER METER	1 EA.
7	BACKFLOW PREVENTER	1 EA.
8	1/2" WATER SERVICE	33 L.F.
9	6" SEWER SERVICE	39 L.F.
10	ELECTRIC SERVICE	1 EA.
11	INSTALL 36" STOP SIGN AND 24" WHITE STOP BAR PAVEMENT MARKINGS PER DETAIL ON SHEET 4	1 EA.
12	18" CMP CULVERT @ S=1.00% WITH MITERED END SECTIONS	38 L.F.
13	CONNECT TO EXISTING WATER MAIN PER LAKE CITY DETAIL 408	1 EA.
14	CONNECT TO EXISTING SEWER MAIN PER LAKE CITY DETAIL 204	1 EA.

DRAINAGE NOTE

PER ERP-023-208042, MAXIMUM IMPERVIOUS SURFACE SHALL BE 60%. TOTAL IMPERVIOUS SURFACE AS SHOWN HEREON IS 28.65%.

NOTES

- SIGN PER SEPARATE PERMIT
- CITY OF LAKE CITY TO EXTEND WATER LINE TO SITE



NO.	REVISION DESCRIPTION	DATE

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 1367 SW SKYLINE LOOP
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TRAFCO SITE PLAN
SITE PLAN

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PROJECT NO.	FL243 1
DATE	AUG. 15, 2024
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SHEET	4 of 6

