

DATE 06/18/2008

# Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000027088

APPLICANT NADEAN MCINTOSH PHONE 755-1751  
 ADDRESS 289 NW CRINTH DR LAKE CITY FL 32055  
 OWNER MITCHELL SAAD PHONE 454-7298  
 ADDRESS 349 SW THORNE LANE FT. WHITE FL 32038  
 CONTRACTOR MICHAEL DELALTOZ PHONE 754-8678

LOCATION OF PROPERTY 47-S TO US 27-S, TR CR 138, TL ON HEFLIN AVE, TR ON THORNE LN., 4TH ON RIGHT, CORNER OF THORNE AND PATSY WAY

TYPE DEVELOPMENT POOL ENCLOSURE ESTIMATED COST OF CONSTRUCTION 14512.00

HEATED FLOOR AREA \_\_\_\_\_ TOTAL AREA \_\_\_\_\_ HEIGHT \_\_\_\_\_ STORIES \_\_\_\_\_

FOUNDATION \_\_\_\_\_ WALLS \_\_\_\_\_ ROOF PITCH \_\_\_\_\_ FLOOR \_\_\_\_\_

LAND USE & ZONING A-3 MAX. HEIGHT \_\_\_\_\_

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 1 FLOOD ZONE N/A DEVELOPMENT PERMIT NO. \_\_\_\_\_

PARCEL ID 30-7S-17-10058-121 SUBDIVISION \_\_\_\_\_

LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ PHASE \_\_\_\_\_ UNIT \_\_\_\_\_ TOTAL ACRES \_\_\_\_\_

\_\_\_\_\_ SCC056689 *Michael Delaloz*

Culvert Permit No. \_\_\_\_\_ Culvert Waiver \_\_\_\_\_ Contractor's License Number \_\_\_\_\_ Applicant/Owner/Contractor \_\_\_\_\_  
 EXISTING X08-201 CS RJ N

Driveway Connection \_\_\_\_\_ Septic Tank Number \_\_\_\_\_ LU & Zoning checked by \_\_\_\_\_ Approved for Issuance \_\_\_\_\_ New Resident \_\_\_\_\_

COMMENTS: NOC ON FILE

Check # or Cash 3669

## FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power \_\_\_\_\_ Foundation \_\_\_\_\_ Monolithic \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

Under slab rough-in plumbing \_\_\_\_\_ Slab \_\_\_\_\_ Sheathing/Nailing \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

Framing \_\_\_\_\_ Rough-in plumbing above slab and below wood floor \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

Electrical rough-in \_\_\_\_\_ Heat & Air Duct \_\_\_\_\_ Peri. beam (Lintel) \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

Permanent power \_\_\_\_\_ C.O. Final \_\_\_\_\_ Culvert \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

M/H tie downs, blocking, electricity and plumbing \_\_\_\_\_ Pool \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

Reconnection \_\_\_\_\_ Pump pole \_\_\_\_\_ Utility Pole \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

M/H Pole \_\_\_\_\_ Travel Trailer \_\_\_\_\_ Re-roof \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

BUILDING PERMIT FEE \$ 75.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00

MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ \_\_\_\_\_

FLOOD DEVELOPMENT FEE \$ \_\_\_\_\_ FLOOD ZONE FEE \$ \_\_\_\_\_ CULVERT FEE \$ \_\_\_\_\_ TOTAL FEE 125.00

INSPECTORS OFFICE *Michael Delaloz* CLERKS OFFICE *CN*

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECEIVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECEIVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

For Office Use Only Application # 0806-14 Date Received 6/19/08 By G Permit # 27088  
 Zoning Official 6/17/08 Date 6/17/08 Flood Zone N/A FEMA Map # \_\_\_\_\_ Zoning A-3  
 Land Use A-3 Elevation \_\_\_\_\_ MFE \_\_\_\_\_ River \_\_\_\_\_ Plans Examine 1/1 Date 6-18-08  
 Comments \_\_\_\_\_  
 NOC  EH  Deed or PA  Site Plan  State Road Info  Parent Parcel # \_\_\_\_\_  
 Dev Permit # \_\_\_\_\_  In Floodway  Letter of Authorization from Contractor  
 Unincorporated area  Incorporated area  Town of Fort White  Town of Fort White Compliance letter

Septic Permit No. \_\_\_\_\_ Fax 386-755-1751  
 Name Authorized Person Signing Permit Robert or Madean McIntosh Phone 386-754-8678  
 Address 289 NW Corinth Dr, Lake City, FL 32055  
 Owners Name Saad, Mitchell Phone \_\_\_\_\_  
 911 Address 349 SW Thorne Lane Ft White, FL 320882151  
 Contractors Name Michael A Delatoy Phone 386-754-8678  
 Address 927 Hickory St Altamonte Springs, FL 32701  
 Fee Simple Owner Name & Address N/A  
 Bonding Co. Name & Address N/A  
 Architect/Engineer Name & Address Do Kim & Association 3300 Henderson Blvd Tampa, FL 33684  
 Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 30-78-17-10058-121 HX Estimated Cost of Construction 14,512.00  
 Subdivision Name Santa Fe River Plantations Lot 11 Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_  
 Driving Directions SW US Hwy 27, Right on CR 138, Left on SW Hestlin Ave, Right on SW Thorne Lane, 4th House on Right at the corner of Thorne + SW Patsy Way  
 Number of Existing Dwellings on Property 1  
 Construction of Pool Enclosure Total Acreage 1.840 Lot Size \_\_\_\_\_  
 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height \_\_\_\_\_  
 Actual Distance of Structure from Property Lines - Front 130' Side 79' Side 261' Rear 29'  
 Number of Stories 1 Heated Floor Area \_\_\_\_\_ Total Floor Area \_\_\_\_\_ Roof Pitch \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

left message 6/18/08



## COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21  
Lake City, FL 32055  
Office: 386-758-1008 Fax: 386-758-2160

### CHECKLIST FOR PERMITTING

Revised (11-30-07)

- ✓ **Completed Building Permit Application with owner's signature & notarized contractor's signature**  
Notes: \_\_\_\_\_
- If an Owner Builder, Notarized Disclosure Statement**  
Notes: \_\_\_\_\_
- ✓ **Recorded Deed or a Notarized Affidavit (form from the Building Dept.)**  
Notes: \_\_\_\_\_
- ✓ **Approved and Signed Site Plan from Environmental Health on the septic 386-758-1058**  
Notes: \_\_\_\_\_
- ✓ **Site plan with actual distances of the structure to each property line**  
Notes: \_\_\_\_\_
- ✓ **911 Address form, Contact 386.752.8787 for an appointment & fill out their application**  
Notes: \_\_\_\_\_
- Residential or Commercial Checklist completed (from the Building Dept.)**  
Notes: \_\_\_\_\_
- ✓ **Driving directions including all road names**  
Notes: \_\_\_\_\_
- Well information (on plans or letter from the well driller)**  
Notes: \_\_\_\_\_
- ✓ **Before the 1<sup>st</sup> inspection Recorded (Clerks Office) Notice of Commencement signed by owner**  
Notes: \_\_\_\_\_
- ✓ **2 sets of plans (blueprints) folded to 9 x 12 size**  
Notes: \_\_\_\_\_
- 2 sets of sealed truss engineering**  
Notes: \_\_\_\_\_
- 2 sets of energy code & manual J**  
Notes: \_\_\_\_\_
- ✓ **2 sets of engineering packets including specs on windows, doors, roof and etc.  
and/or Product Approval Code sheet (Included in packet)**  
Notes: \_\_\_\_\_

There are two pages to the Building Permit Application that must be submitted with the required signatures for the Owner and the Notarized Contractor's signature.

Contact Joe Haltiwanger, Plans Examiner at 386-758-1163 for questions on building plans submittal.

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 30-78-17-10058-121 HX

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

- 1. Description of property (legal description): Lot 11 Santa Fe River Plantations, ORB 659-437,764-982
- a) Street (job) Address: 349 SW Thorne Lane
- 2. General description of improvements: Pool Enclosure

- 3. Owner Information
- a) Name and address: Soad, Mitchell 349 SW Thorne Lane Ft White, FL 320882151
- b) Name and address of fee simple titleholder (if other than owner) N/A
- c) Interest in property owner

- 4. Contractor Information
- a) Name and address: Mike DeLaHoz 289 NW Corinth Dr Lake City, FL
- b) Telephone No.: 386-754-8678 Fax No. (Opt.): 32055

- 5. Surety Information
- a) Name and address: N/A
- b) Amount of Bond:
- c) Telephone No.:

- 6. Lender
- a) Name and address: N/A
- b) Phone No.:

Inst: 200812010876 Date: 6/9/2008 Time: 10:36 AM  
DC, P DeWitt Cason, Columbia County Page 1 of 1 B:1151 P:2706

- 7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
- a) Name and address:
- b) Telephone No.: Fax No. (Opt.):

8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b) Florida Statutes:

- a) Name and address: Florida Pool Enclosures Inc 289 NW Corinth Dr Lake City, FL
- b) Telephone No.: Fax No. (Opt.): 32055

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA  
COUNTY OF COLUMBIA

Mitchell Soad  
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager  
Mitchell Soad  
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 31<sup>st</sup> day of May, 2008, by: \_\_\_\_\_ as \_\_\_\_\_ (type of authority, e.g. officer, trustee, attorney fact) for \_\_\_\_\_ (name of party on behalf of whom instrument was executed).

Personally Known \_\_\_\_\_ OR Produced Identification  Type Photo ID

Notary Signature [Signature] Notary Stamp or Seal:



**Nadean G.S. McIntosh**  
Commission # DD371494  
Expires November 14, 2008  
Bonded Troy Fain - Insurance, Inc. 800-385-7819

—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person Signing (in line #10 above.)

# Columbia County Property Appraiser

DB Last Updated: 4/15/2008

Parcel: 30-7S-17-10058-121 HX

## 2008 Proposed Values

[Tax Record](#)
[Property Card](#)
[Interactive GIS Map](#)
[Print](#)

### Owner & Property Info

Search Result: 1 of 1

<b>Owner's Name</b>	SAAD MITCHELL E		
<b>Site Address</b>	SW THORNE		
<b>Mailing Address</b>	349 SW THORNE LN FT WHITE, FL 320382151		
<b>Use Desc. (code)</b>	SINGLE FAM (000100)		
<b>Neighborhood</b>	30717.01	<b>Tax District</b>	3
<b>UD Codes</b>	MKTA02	<b>Market Area</b>	02
<b>Total Land Area</b>	1.840 ACRES		
<b>Description</b>	LOT 11 SANTA FE RIVER PLANTATIONS. ORB 659-437, 764-982, WD 1115-738		

### GIS Aerial



### Property & Assessment Values

<b>Mkt Land Value</b>	cnt: (1)	\$49,680.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (1)	\$81,534.00
<b>XFOB Value</b>	cnt: (4)	\$11,475.00
<b>Total Appraised Value</b>		\$142,689.00

<b>Just Value</b>		\$142,689.00
<b>Class Value</b>		\$0.00
<b>Assessed Value</b>		\$85,731.00
<b>Exempt Value</b>	(code: HX)	\$25,000.00
<b>Total Taxable Value</b>		\$60,731.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
9/1/1992	764/982	WD	I	Q		\$84,500.00
8/16/1988	659/437	WD	I	Q		\$76,000.00
7/1/1985	568/451	WD	I	Q		\$79,000.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1979	Common BRK (19)	1699	2441	\$81,534.00

**Note:** All S.F. calculations are based on exterior building dimensions.

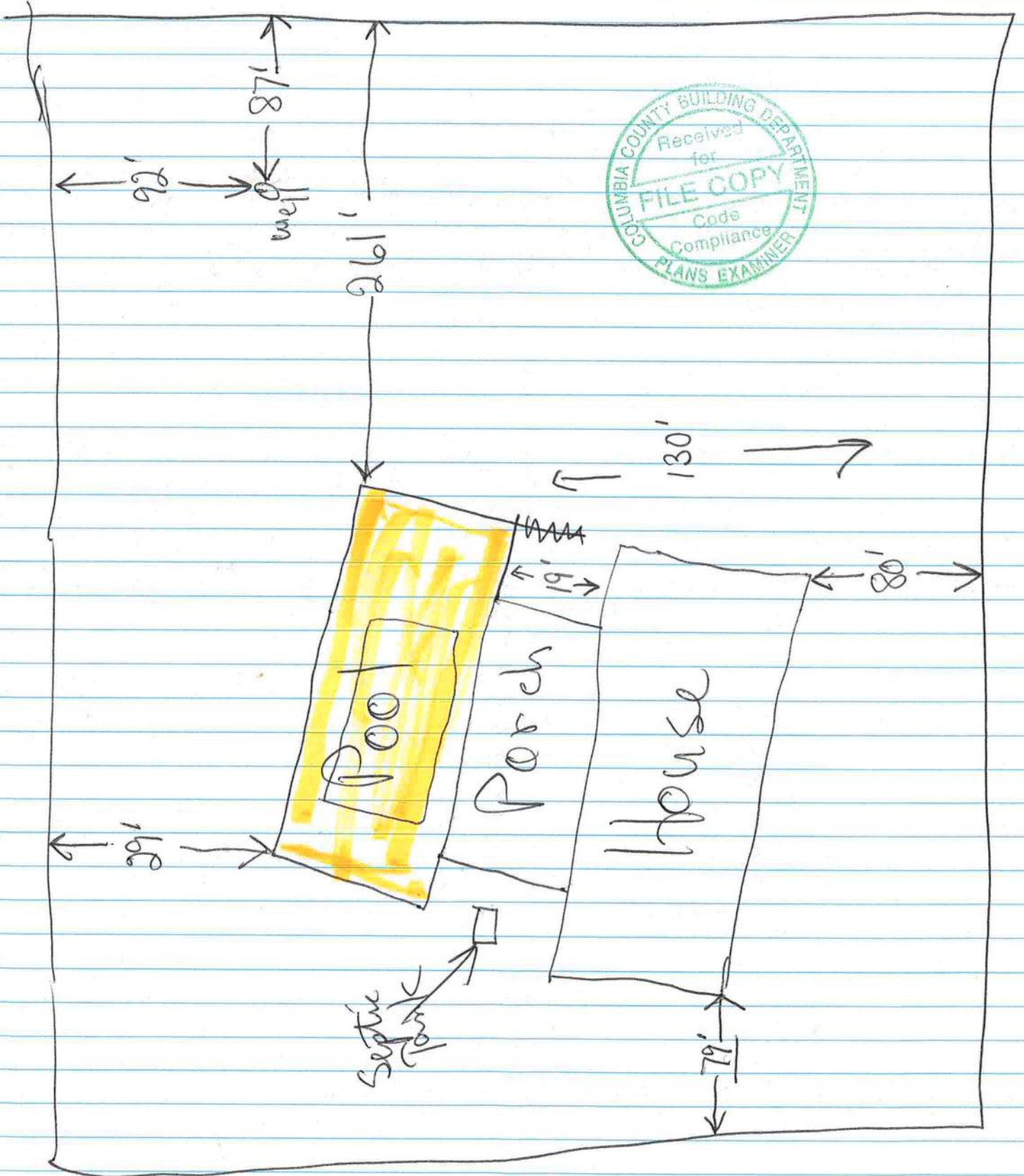
### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0180	FPLC 1STRY	0	\$2,300.00	1.000	0 x 0 x 0	(.00)
0280	POOL R/CON	1979	\$7,373.00	512.000	32 x 16 x 0	(.00)
0210	GARAGE U	0	\$1,370.00	1.000	28 x 18 x 0	(.00)
0070	CARPORT UF	0	\$432.00	1.000	12 x 18 x 0	(.00)

### Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	1.840 AC	1.00/1.00/1.00/1.00	\$27,000.00	\$49,680.00

Mitch Saad house  
349 SW Thorne Lane  
Fort White FL





**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment**

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:**

**YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**OWNERS CERTIFICATION:** I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

*Mitchell Sead*  
\_\_\_\_\_  
Owners Signature

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

*[Signature]*  
\_\_\_\_\_  
Contractor's Signature (Permitee)

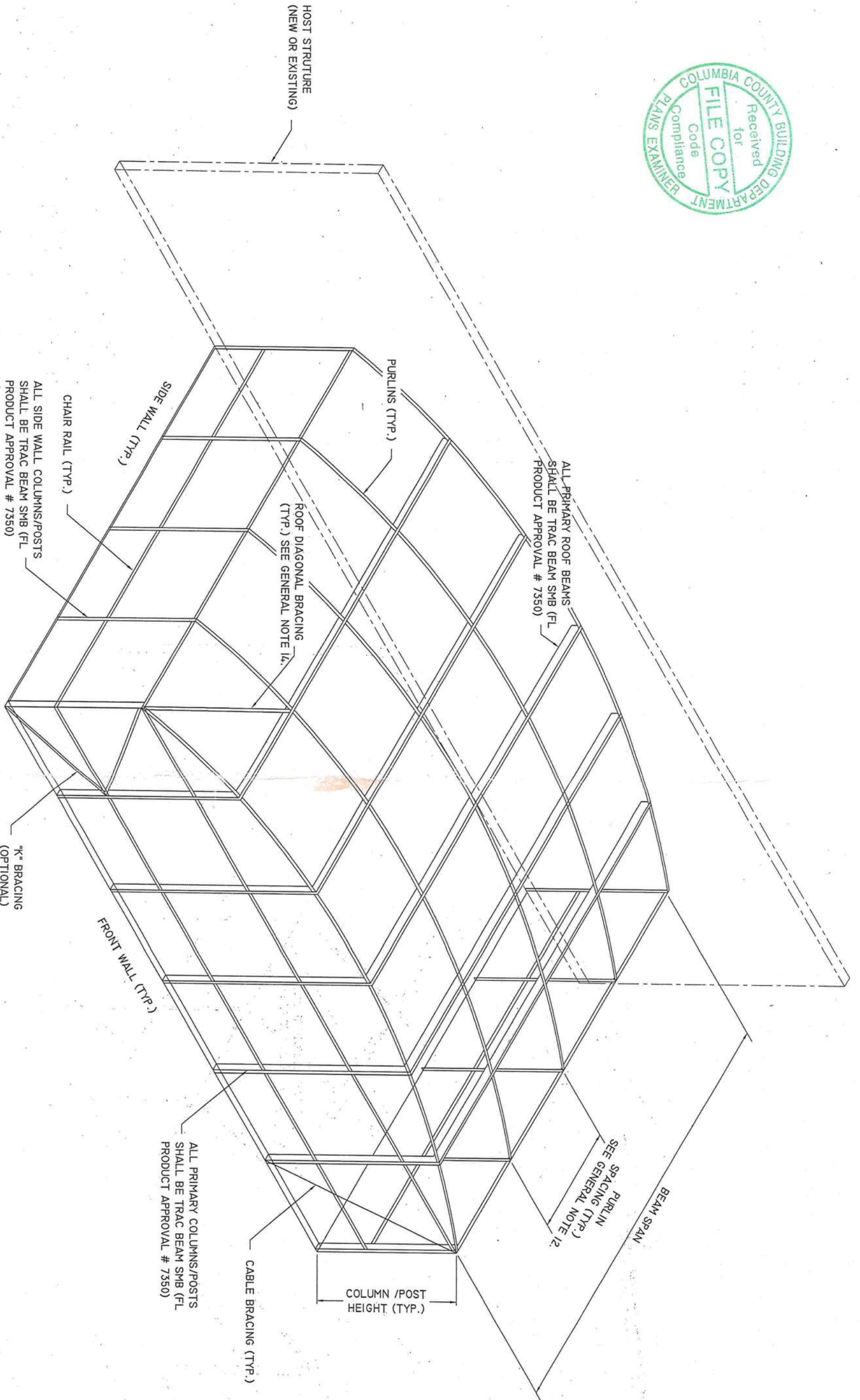
Contractor's License Number SCC056689  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 10<sup>th</sup> day of March 2008.  
Personally known  or Produced Identification \_\_\_\_\_

*[Signature]*  
\_\_\_\_\_  
State of Florida Notary Signature (For the Contractor)

SEAL:





**TYPICAL DOME ROOF**

NOTE: Sketch is only a representation of a Dome Style Enclosure.  
Contractor shall provide detailed layout drawings.

**DO KIM**  
& ASSOCIATES, LLC  
CONSULTING  
STRUCTURAL  
ENGINEERS

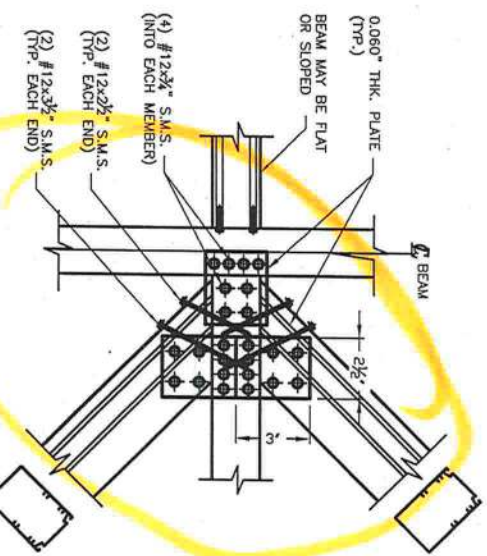
3300 Henderson Blvd., Suite 106  
Tampa, FL 33609  
Tel: (813) 874-5800  
Fax: (813) 874-5959

Rev/Date	Description
9/05/2005	ISSUED
10/9/2005	ADDED MANSARD SPLICE CONNECTION
10/01/2005	REVISED DETAILS

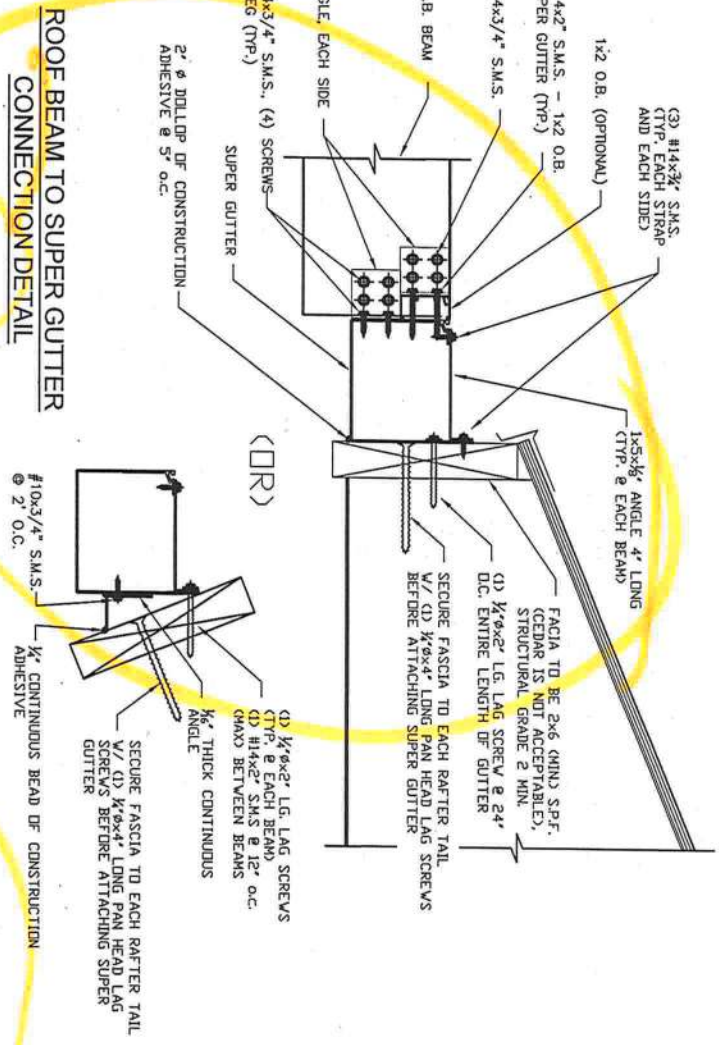
CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY: DYK  
CHECKED BY: AS SHOWN  
SCALE: AS SHOWN  
DATE: 9/05/05

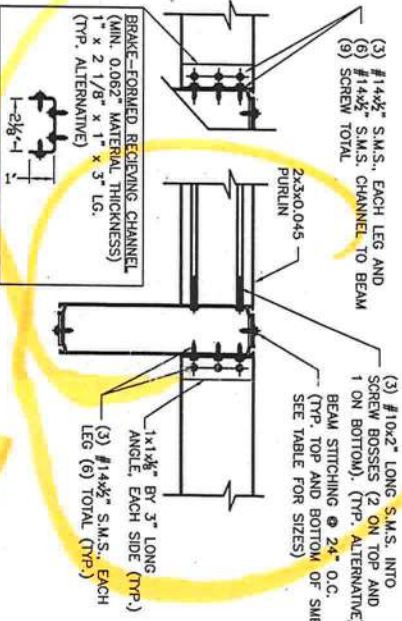
**DO KIM, P.E.**  
FLA. REG. NUMBER 49497  
DO KIM & ASSOCIATES, LLC  
CA# 26887  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33694



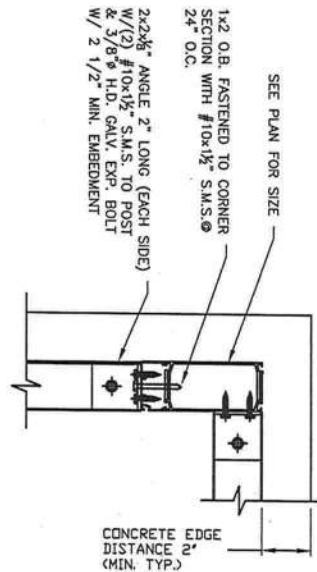
PLAN - TYPICAL ROOF BRACE TO BEAM CONNECTION



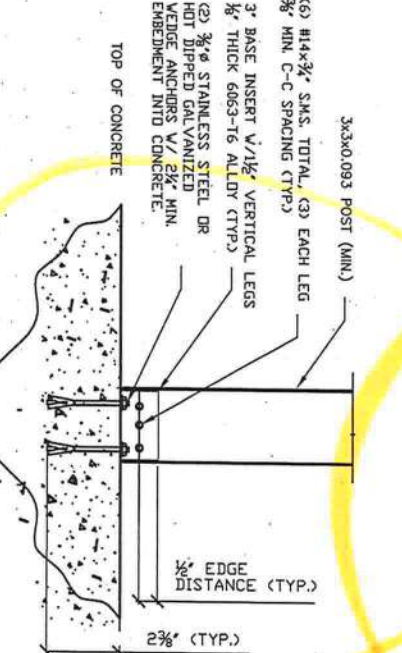
ROOF BEAM TO SUPER GUTTER CONNECTION DETAIL



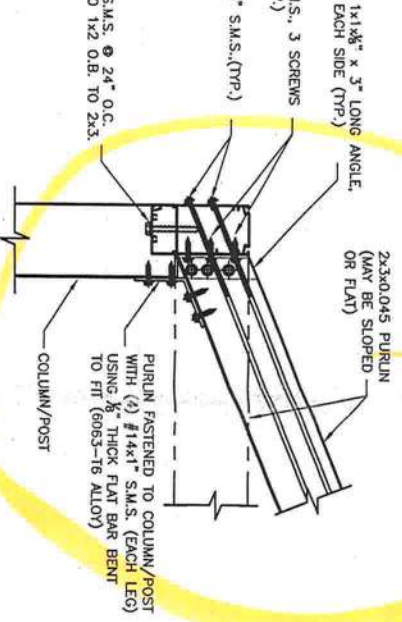
PURLIN TO ROOF BEAM CONNECTION DETAIL



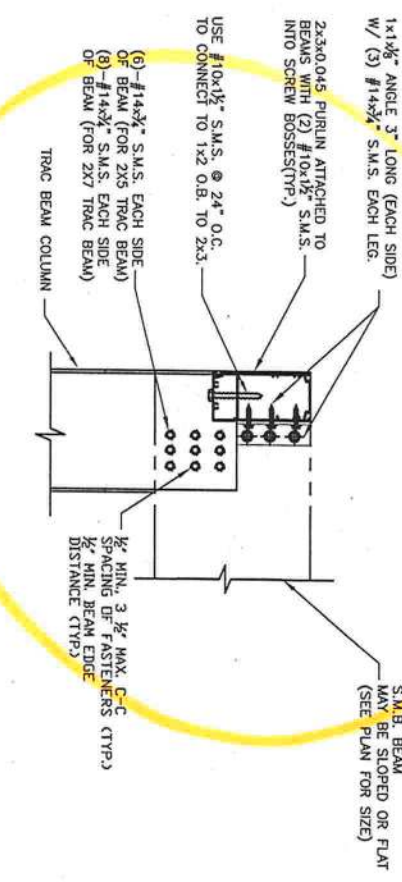
CORNER POST / COLUMN TO FOUNDATION CONNECTION DETAIL



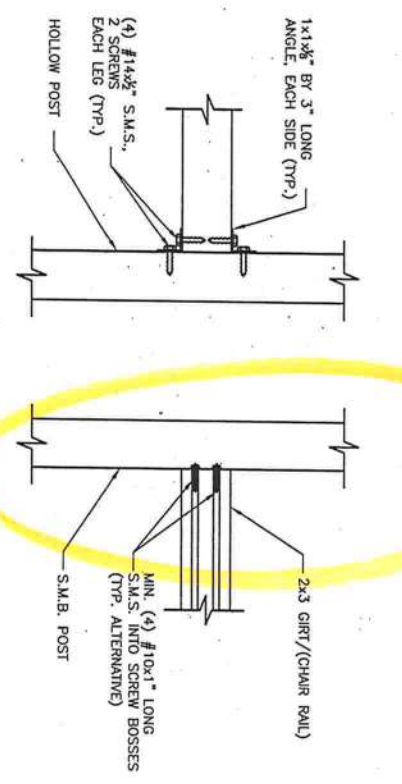
SCREEN ROOF TO PANEL / COMPOSITE COLUMN TO FOUNDATION CONNECTION DETAIL



SIDEWALL POST / COLUMN TO PURLIN CONNECTION DETAIL



MAIN POST / COLUMN TO ROOF BEAM CONNECTION DETAIL



CHAIR RAIL / GIRT TO POST CONNECTION DETAIL

CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

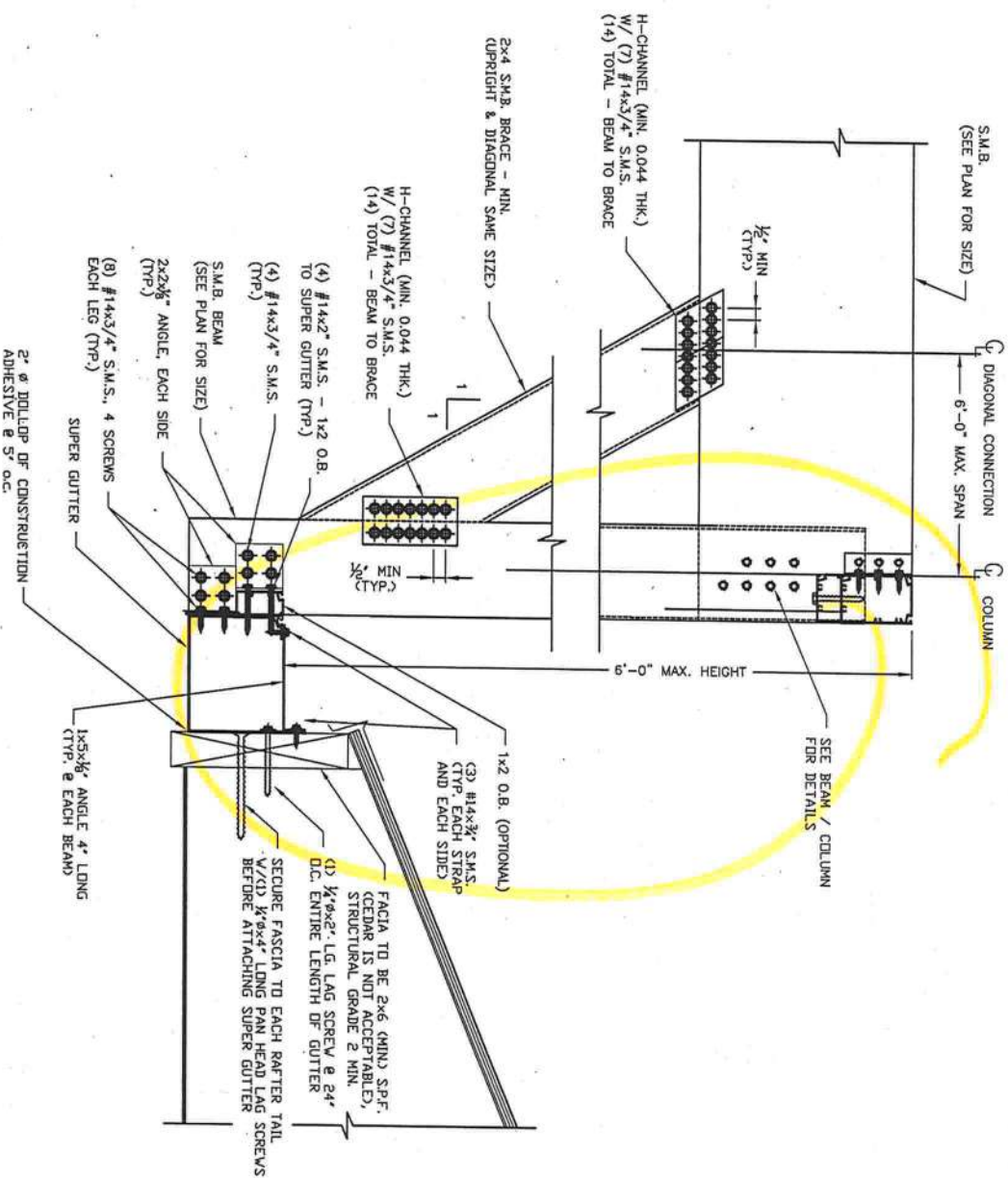
DRAWN BY: DYK  
CHECKED BY: AS SHOWN  
SCALE: AS SHOWN  
DATE: 9/5/2005

DO KIM & ASSOCIATES, LLC  
C/A# 28987  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33684

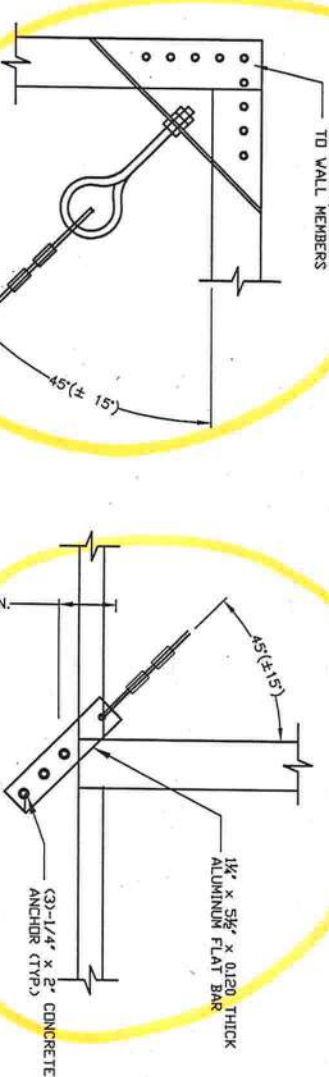
**General Notes and Specifications:**

- Contractor shall field verify all dimensions before construction and shall notify engineer of discrepancies for immediate consideration.
- Concrete shall be minimum 28 day compressive strength of  $f'c=2500$  psi, and be in accordance with the requirements of ACI 318. Reinforcing steel shall have a min. yield strength of 40,000 psi (grade 40) and be provided with cover in accordance with ACI 318. If existing concrete slabs/footings are deemed satisfactory, it may be incorporated into new slab/footing by observing the following procedure:
  - Clean and scabble all connecting edges.
  - Drill and epoxy embed #5 reinforcing placed @ 12" O.C. mid depth. The rebar should be embedded a min. of 7" (using HiHi HY 150 Epoxy or equal approved), leaving 24" exposed to be incorporated into new slab/footing.
- All dimensions are provided by contractor, DO Kim & Associates, LLC have made interpretations where necessary.
- The following structures are designed to be attached to block and wood frame structures of adequate structural capacity. The contractor shall verify that the host structure is in good condition and of sufficient strength to hold the proposed addition. If there is a question about the host structure, the owner (at his own expense) shall hire an architect or engineer to verify host structure capacity.
- Screen density shall be a maximum of 20 x 20 mesh.
- Connections using screw bosses shall have minimum (4)-#10x1" per connection unless shown otherwise.
- Every panel of screen mesh shall be fastened securely in place with spline. Each panel shall be fastened at all sides, independent of surrounding panels. This requirement shall include purlins and chair/kickplate rails. Screen mesh panels are not required to be secured to rigid diagonal bracing members. Screen mesh is incidental to the structural integrity of the overall structure.
- Unless otherwise shown, screws shall have minimum edge distance and center-to-center distances as shown in this table:
 

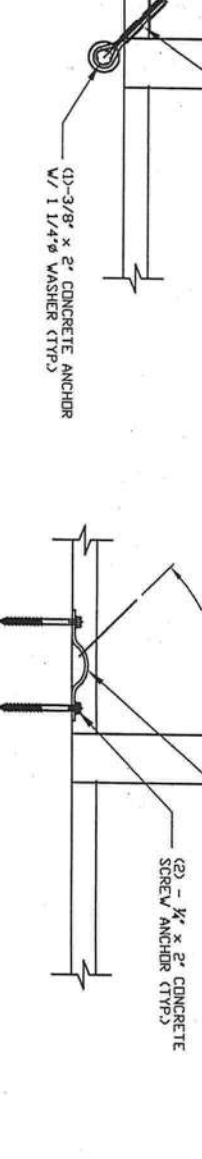
C-1022 Low Carbon Steel SMS & Self-Drilling (TEK) Screws (Industry Standard Screws)			
Screw	Nominal Screw Diameter (in)	Minimum Edge Distance	Minimum Center to Center Distance
#10	0.188	3/8"	1/2"
#12	0.219	3/8"	3/4"
#14 (1 1/4")	0.250	1/2"	3/4"
- Structure has been designed to meet the 2004 FBC with 2006 supplements. Project is sited where the basic wind speed is 120 mph (3-sec gust).  $I=0.77$  for screen enclosures, Exposure B. Design wind pressures are from 2004 FBC. Minimum design pressure is 10 psf. Pressures are based on wind tunnel testing with main wind force resisting system coefficient,  $G_{Cp}$ , of  $+/-0.25$  for screen roof and 0.7-1.25 for walls.
- All concrete anchors shall be Simpson Strong-Tie Wedge All Anchors or Titan Screws or approved equal.
- Maximum spacing of Purlins shall be less than 8'-0" o.c. Maximum spacing of Chair Rails (Girts) shall be less than 9'-0" o.c.
- Composite panel or riser panel metal shall be of aluminum alloy 3105-H15 or 3105-H25.
- Diagonal bracing shall be installed on all roof screen panels that have at least one side adjacent to an exterior screen wall.
- Construction adhesive shall meet ASTM C-557, MIN shear strength @ 7 days = 425 P.S.I.
- When knee braces are utilized at uprights and beams, beam spans shown in tables are from the interior side of the knee brace supporting the beam.
- Lateral cable bracing shall be provided at each screened wall parallel to host structure, unless it is directly attached to host structure. One set of cable braces shall be provided for each 500 sf of screened wall area that the wind load is being applied.
- Structures that exceed 45 feet of beam span or heights exceeding 25 feet or are located in Exposure C shall require site specific evaluation by the engineer of record. Roof beams that are 2x8 Trac Beam having spans greater than 35 feet shall use 2x7 Trac or 2x8 Trac uprights.
- All Aluminum members shall be 6063-T6 Alloy unless otherwise noted. Trac Beams shall be 6005-T5 Alloy.



**NON-CABLE ROOF TRANSOM (RISER) WALL CONNECTION DETAIL**



**CABLE BRACE DETAIL**



**MAXIMUM SPANS FOR CARRIER BEAMS (SUPPORTING SCREEN ROOF ONLY)**

BEAM	TRIBUTARY WIDTH			
	10'	15'	20'	25'
2X5 TRAC	23.5'	19.8'	17.0'	15.0'
2X7 TRAC	25.7'	22.3'	20.1'	18.1'
2X8 TRAC	40.0'	34.3'	29.6'	28.2'

Beam Stitching Screw for all Legacy S.M.B.'s (NOT FOR TRAC BEAMS)	
Beam Size	Beam Stitching Screw @ 24" o.c.
2" x 4" x 0.046 x 0.100	#8 x 1/2"
2" x 5" x 0.050 x 0.116	#8 x 3/4"
2" x 6" x 0.050 x 0.120	#10 x 3/4"
2" x 7" x 0.055 x 0.120	#10 x 3/4"
2" x 8" x 0.072 x 0.224	#12 x 3/4"
2" x 9" x 0.072 x 0.224	#12 x 3/4"
2" x 9" x 0.082 x 0.306	#14 x 3/4"
2" x 10" x 0.092 x 0.389	#14 x 3/4"

**CLIENT:** Florida Pool Enclosures, INC

**DESCRIPTION:** Screen Enclosure Details

**DRAWN BY:** DPK

**CHECKED BY:** DVK

**SCALE:** AS SHOWN

**DATE:** 9/05/06

**DO KIM & ASSOCIATES, LLC**

**CONSULTING STRUCTURAL ENGINEERS**

3300 Henderson Blvd., Suite 106  
Tampa, FL 33609  
Tel: (813) 874-5900  
Fax: (813) 874-5959

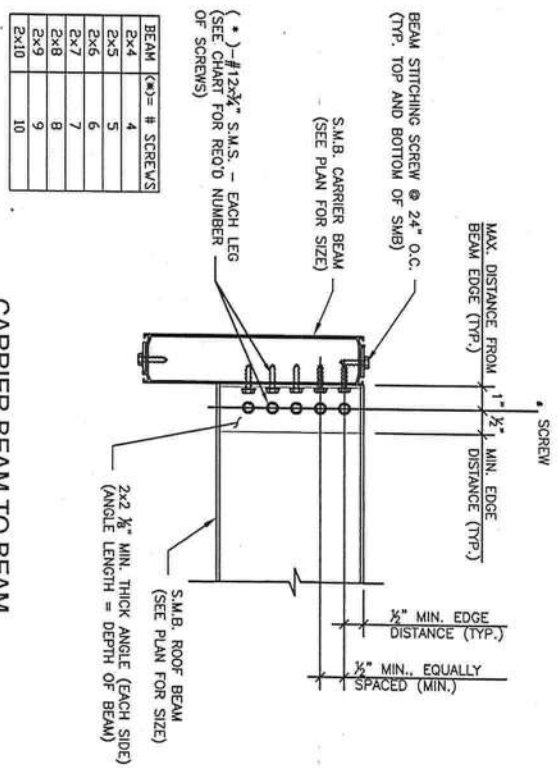
Rev/Date	Description
905/2006	ISSUED
1001/2006	REVISED DETAILS AS SHOWN
907/2007	REVISED DETAILS AS SHOWN

FLORIDA POOL ENCLOSURES, INC  
DO KIM & ASSOCIATES, LLC  
3300 HENDERSON BLVD., SUITE 106  
TAMPA, FL 33609

Drawing No. - 060905  
SHEET 3 OF 7

Rev./Date	Description
9/05/2005	ISSUED
10/9/2005	ADDED MANSARD SPICE CONNECTION
10/21/2005	REVISED DETAILS

**CARRIER BEAM TO BEAM CONNECTION DETAIL**



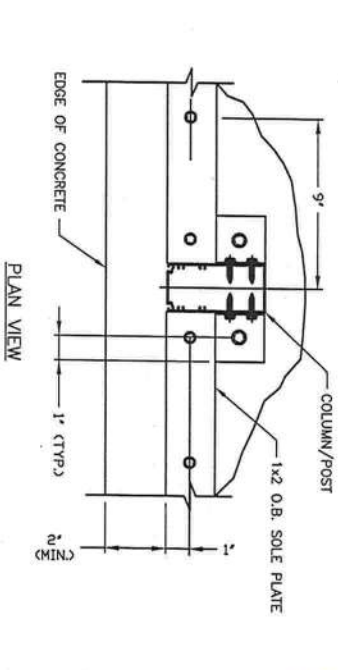
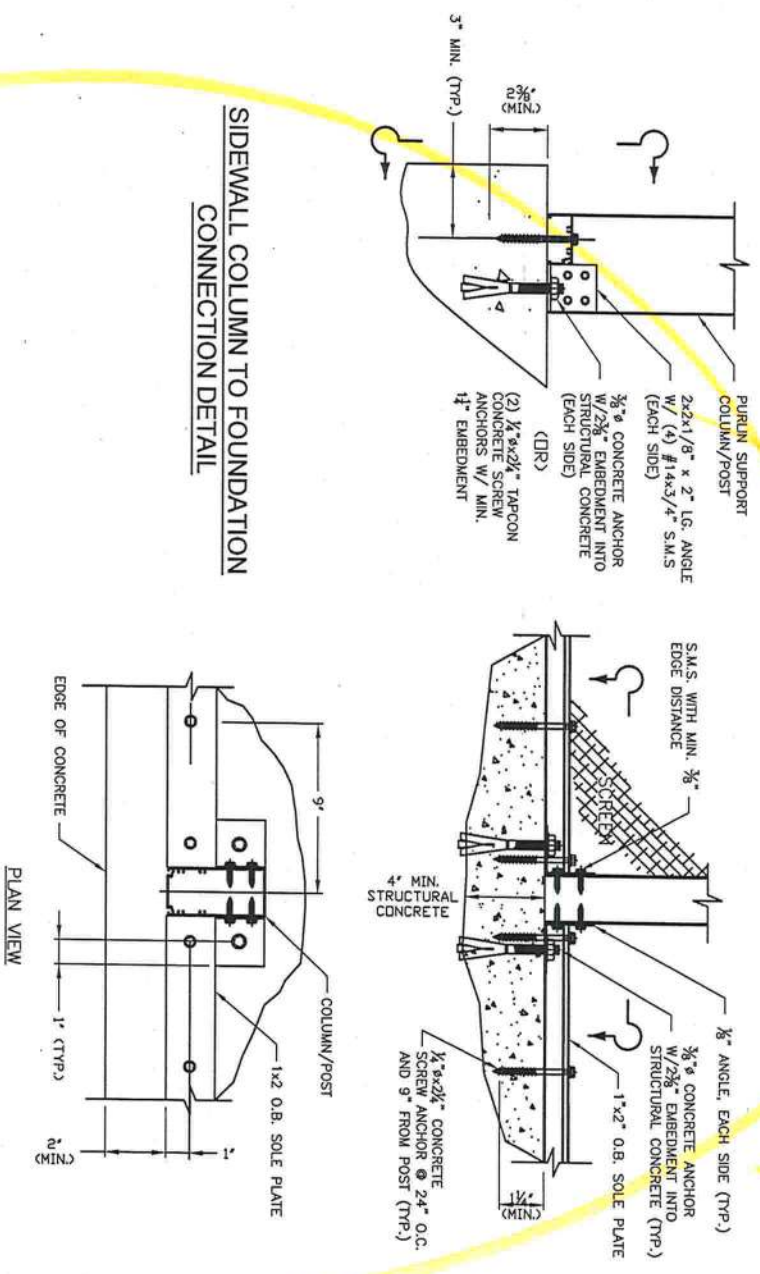
BEAM K(=) = # SCREWS	BEAM K(=) = # SCREWS
2x4	4
2x5	5
2x6	6
2x7	7
2x8	8
2x9	9
2x10	10

(\*) - #12x1/2" S.M.S. - EACH LEG (SEE CHART FOR REQ'D NUMBER OF SCREWS)

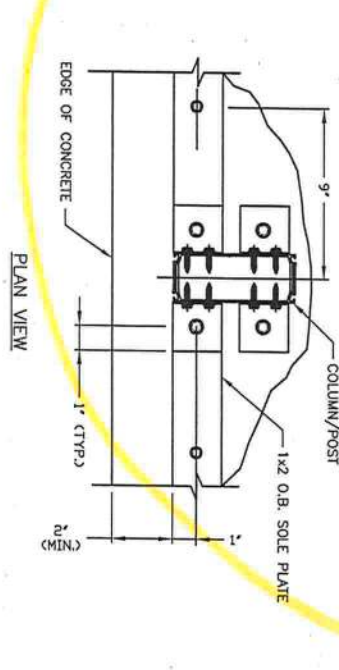
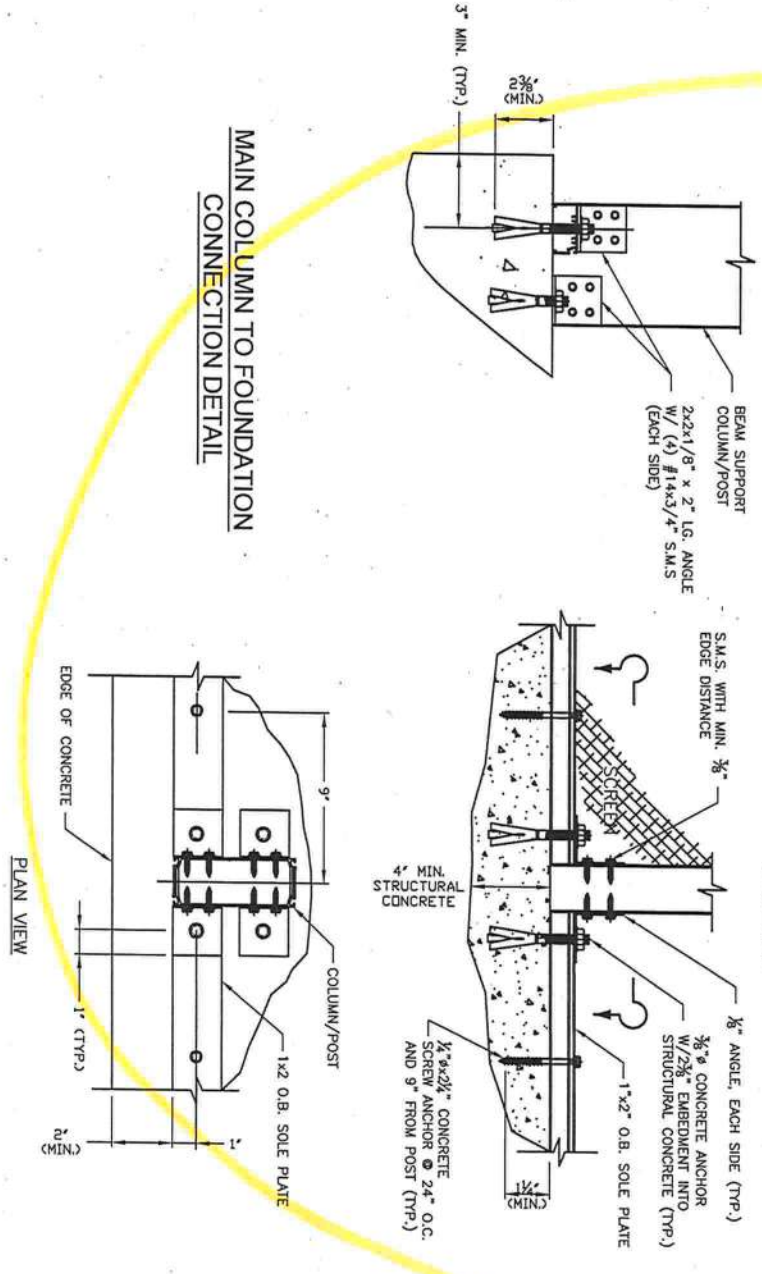
BEAM SITTING SCREW @ 24" O.C. (TYP. TOP AND BOTTOM OF SMB)

S.M.B. CARRIER BEAM (SEE PLAN FOR SIZE)

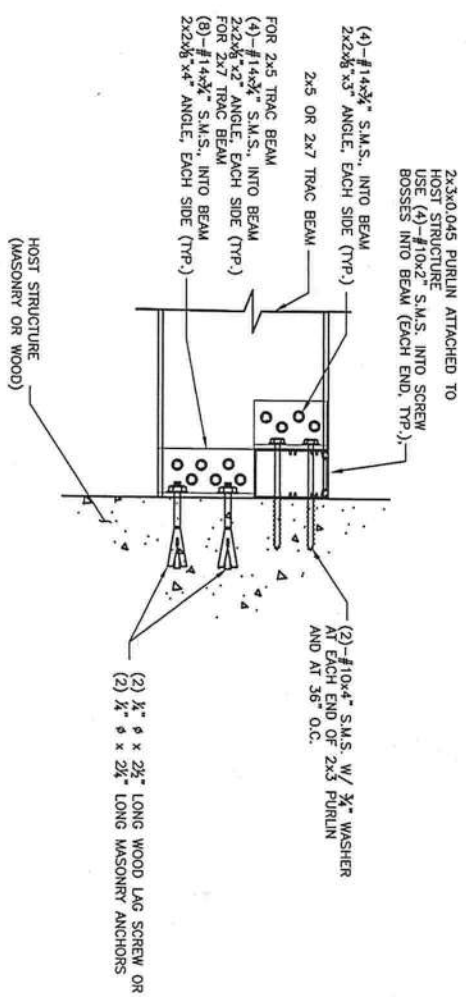
**SIDEWALL COLUMN TO FOUNDATION CONNECTION DETAIL**



**MAIN COLUMN TO FOUNDATION CONNECTION DETAIL**



**BEAM TO HOST STRUCTURE DETAIL**



CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

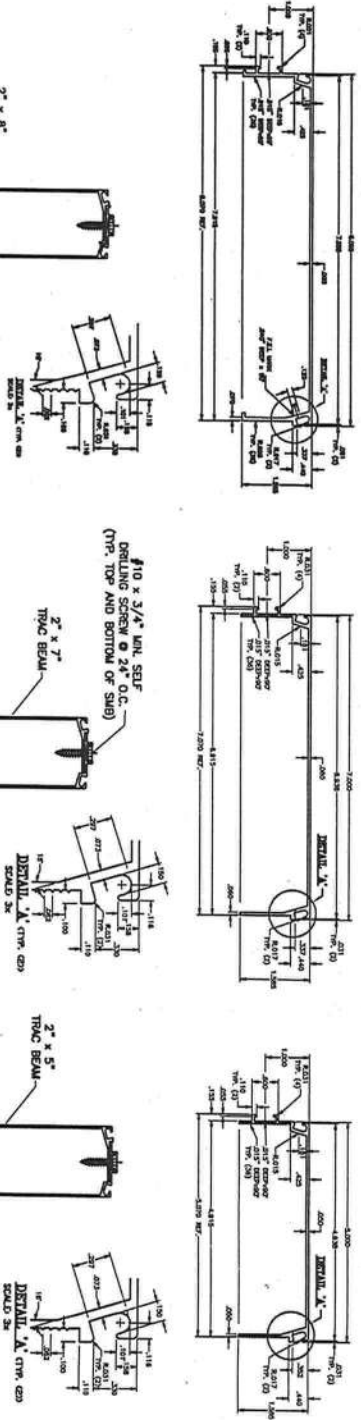
DRAWN BY: DYK  
CHECKED BY: DYK  
SCALE: AS SHOWN  
DATE: 9/05/06

DO KIM & ASSOCIATES, LLC  
CA# 26887  
3300 HENDERSON BLVD.,  
SUITE 108  
Tampa, FL 33684

**Pool Enclosure Collective, LLC**  
**Trac Beam (FL State Product Approval #7350 & #9328)**

**DO KIM**  
 & ASSOCIATES, LLC  
 CONSULTING  
 STRUCTURAL  
 ENGINEERS

3300 Henderson Blvd., Suite 106  
 Tampa, FL 33609  
 Tel: (813) 874-5900  
 Fax: (813) 874-5959



Trac Beam Notes:

1. Refer to Florida Product Approval #FL7350 & #FL9328 for project specific requirements to be used by design professional.
2. Drawings are illustrative purposes only.
3. Tables developed from loads in FL9328 tables which are allowable working loads and may be used without any additional reductions. Spans are based on ten feet wall height. For wall heights exceeding ten feet, allowable column spans shall be reduced 7% for each five feet increment.
4. Allowable point loads and deflections are converted to allowable uniform loads and deflections using analytic and comparative analysis.
5. Allowable spans tables are based on 2004 Florida Building Code with 2006 Updates. Wind loads are based on Chapter 20 and Table 2004.4.
6. Consult a licensed design professional for use of this product information.
7. Maximum allowable deflection limits of L/80 shall be considered by design professional. L/80 in HMMZ.

2x5 TRAC BEAM (RDOF BEAM SPAN)

BEAM TO BEAM SPACING (F-T)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	25'	25'	25'	24.12'	23.27'
6' D.C.	25'	25'	25'	23.06'	22.12'
7' D.C.	25'	25'	23.51'	22.16'	21.33'
8' D.C.	25'	25'	22.94'	21.36'	20.35'

2x5 TRAC BEAM (COLUMN HEIGHT)

BEAM TO BEAM SPACING (F-T)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	20.31'	19.00'	17.01'	15.00'	13.33'
6' D.C.	18.57'	17.00'	14.57'	13.07'	12.28'
7' D.C.	16.89'	15.00'	13.00'	12.15'	11.24'
8' D.C.	15.11'	13.52'	12.28'	11.13'	10.12'

2x7 TRAC BEAM (RDOF BEAM SPAN)

BEAM TO BEAM SPACING (F-T)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	37.82'	37.62'	34.63'	31.23'	28.00'
6' D.C.	35.18'	35.01'	31.23'	27.37'	23.61'
7' D.C.	32.65'	32.43'	28.00'	23.48'	23.05'
8' D.C.	30.00'	29.82'	24.76'	23.21'	22.61'

2x7 TRAC BEAM (COLUMN HEIGHT)

BEAM TO BEAM SPACING (F-T)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	23.04'	22.42'	21.48'	20.53'	19.59'
6' D.C.	22.22'	21.47'	20.34'	19.21'	18.08'
7' D.C.	21.41'	20.53'	19.20'	17.80'	16.68'
8' D.C.	20.55'	19.59'	18.08'	16.58'	15.08'

2x8 TRAC BEAM CLEAR SPAN (FLAT ROOF)

BEAM TO BEAM SPACING (F-T)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	40.0'	40.0'	40.0'	40.0'	36.0'
6' D.C.	40.0'	40.0'	40.0'	37.0'	35.0'
7' D.C.	40.0'	40.0'	38.0'	35.5'	34.0'
8' D.C.	40.0'	38.0'	36.0'	34.2'	32.0'

2x8 TRAC SPAN (COLUMN HEIGHT)

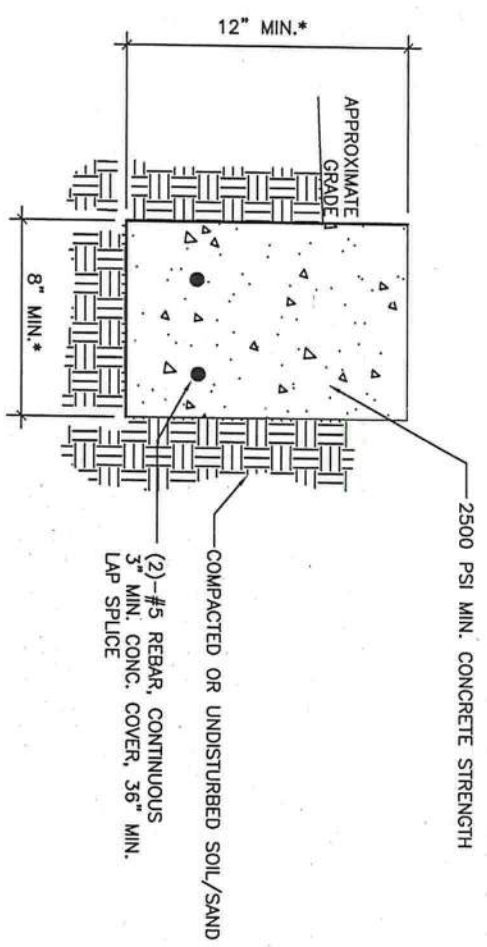
BEAM TO BEAM SPACING (F-T)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	32.5'	30.0'	28.9'	27.7'	26.3'
6' D.C.	29.5'	28.7'	27.6'	26.3'	25.0'
7' D.C.	28.7'	27.8'	26.7'	24.9'	23.5'
8' D.C.	27.8'	26.5'	25.2'	23.4'	21.8'

CLIENT: Florida Pool Enclosures, INC

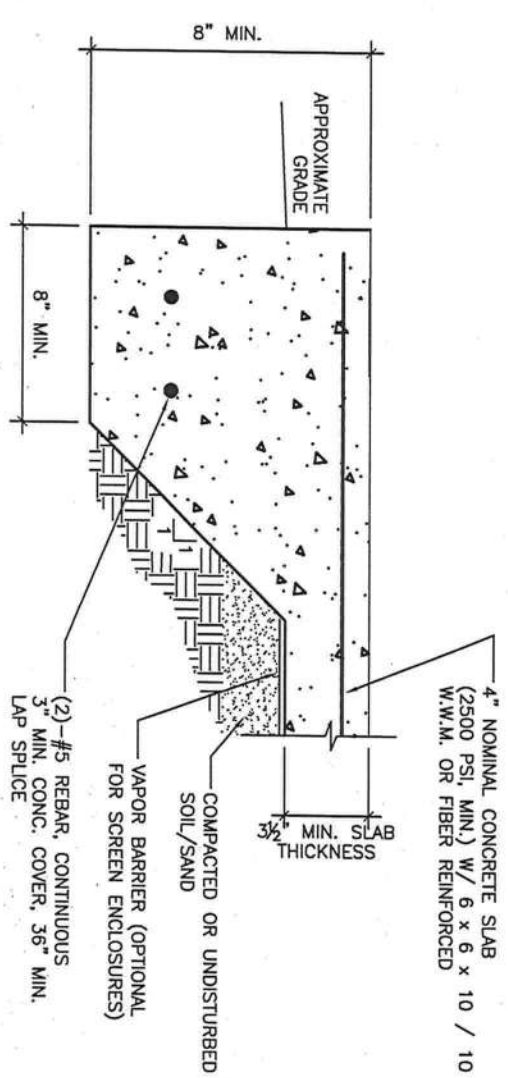
DESCRIPTION:  
 Screen Enclosure Details

DRAWN BY: DYK  
 CHECKED BY: DYK  
 SCALE: AS SHOWN  
 DATE: 9/05/05

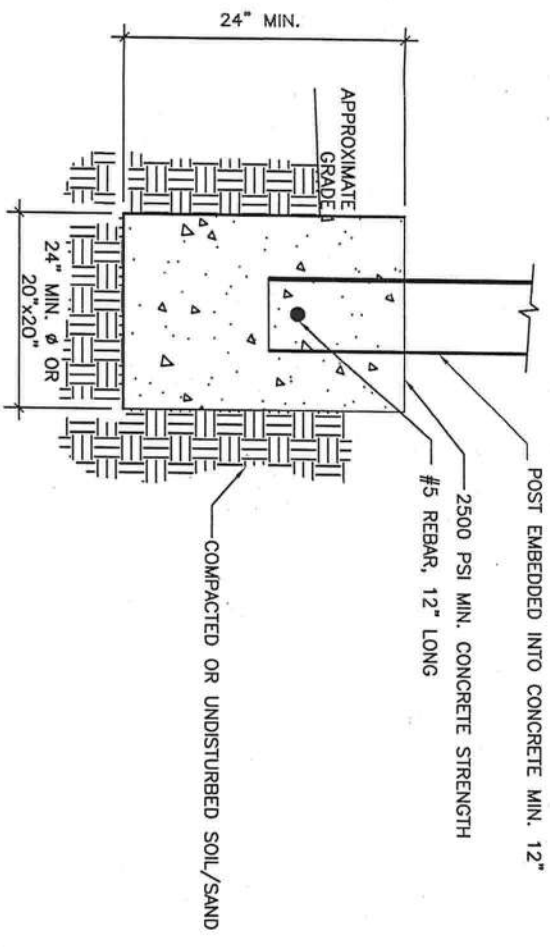
DO KIM & ASSOCIATES, LLC  
 CA# 26887  
 3300 HENDERSON BLVD.,  
 SUITE 106  
 TAMPA, FL 33684



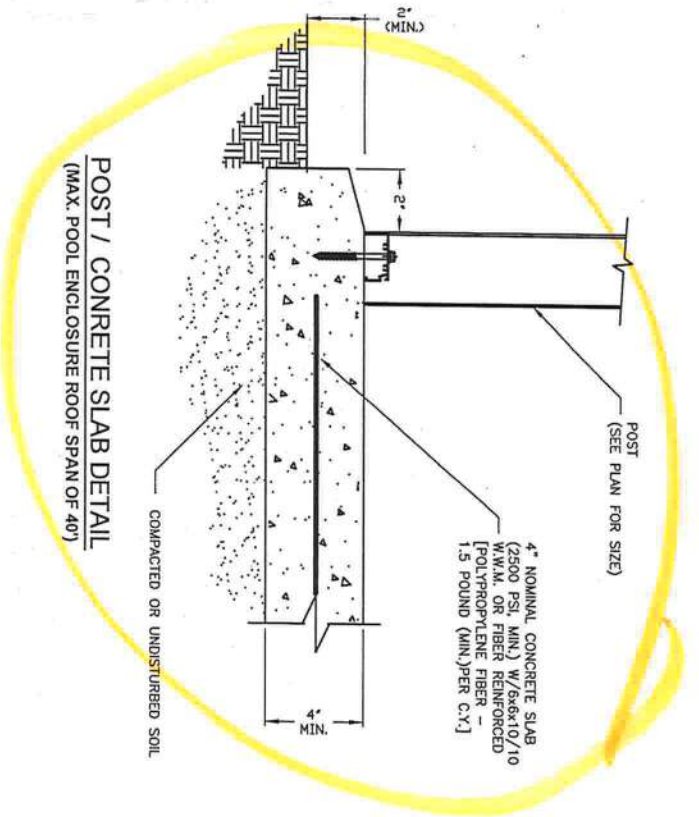
**STANDARD TYP. CONTINUOUS PERIMETER FOOTING**  
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')



**STANDARD TYP. TURNDOWN SLAB FOOTING**  
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')



**STANDARD TYP. ISOLATED FOOTER**



**POST / CONCRETE SLAB DETAIL**  
(MAX. POOL ENCLOSURE ROOF SPAN OF 40')

**DO KIM**  
& ASSOCIATES, LLC  
CONSULTING  
STRUCTURAL  
ENGINEERS

3300 Henderson Blvd., Suite 106  
Tampa, FL 33609  
Tel: (813) 874-5900  
Fax: (813) 874-5959

Rev./Date	Description
9/05/2006	ISSUED
10/9/2006	ADDED MANSARD SPLICE CONNECTION
10/31/2006	REVISED DETAILS

CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY: DVK  
CHECKED BY: DVK  
SCALE: AS SHOWN  
DATE: 9/05/06

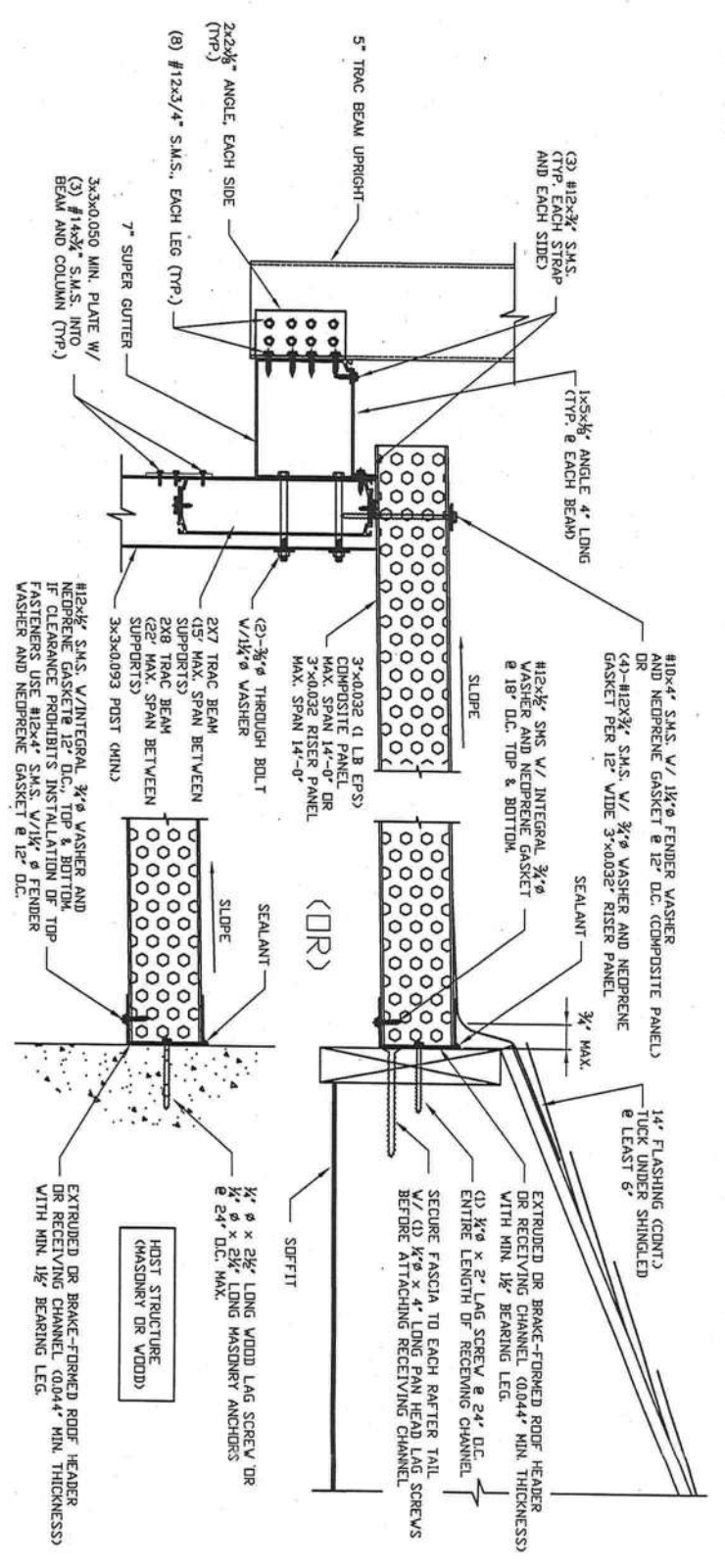
**DO KIM, P.E.**  
FL REGISTERED PROFESSIONAL ENGINEER  
FL LICENSE NUMBER 49497  
DO KIM & ASSOCIATES, LLC  
CA# 26887  
3300 HENDERSON BLVD.,  
SUITE 106  
TAMPA, FL 33694

Rev/Date	Description
Δ/905 2006	ISSUED
Δ/109 2006	ADDED MANSARD SPRUE CONNECTION
Δ/1091 2006	REVISED DETAILS

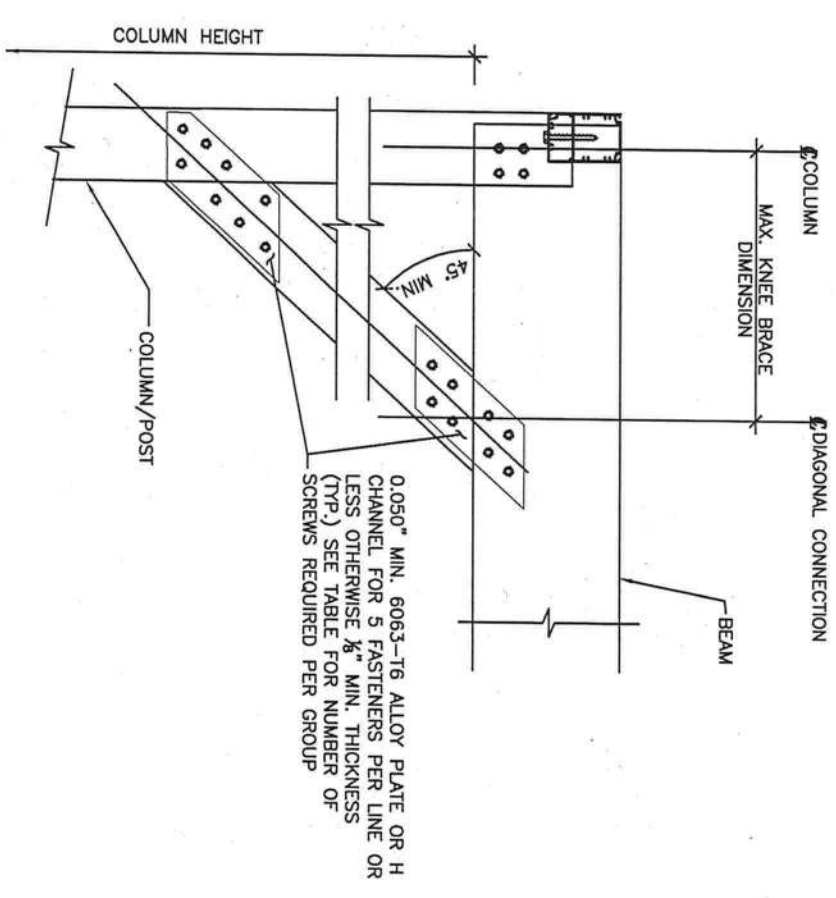
CLIENT: Florida Pool Enclosures, INC  
 DESCRIPTION:  
 Screen Enclosure Details

DRAWN BY: DYK  
 CHECKED BY: DYK  
 SCALE: AS SHOWN  
 DATE: 9/05/06

**DO KIM**, P.E.  
 FLA. REG. NUMBER 49497  
 DO KIM & ASSOCIATES, LLC  
 CA# 26887  
 3300 HENDERSON BLVD.,  
 SUITE 106  
 TAMPA, FL 33604



SCREEN ROOF TO  
 PANEL OR COMPOSITE ROOF  
 CONNECTION DETAIL



TYP. FRONT WALL KNEE BRACE CONNECTION DETAIL

KNEE BRACE SECTION	MAX. LENGTH	#10x $\frac{1}{2}$ " S.M.S.
2"x2"x0.044" HOLLOW	36 INCHES	3
2"x3"x0.045" HOLLOW	44 INCHES	4
2"x4"x0.050" HOLLOW	50 INCHES	5
2"x4"x0.046x0.100 SMB	62 INCHES	6