

DATE 12/29/2005

# Columbia County Building Permit

PERMIT  
000023996

This Permit Expires One Year From the Date of Issue

APPLICANT RODGER BUTLER PHONE 386.754.3664  
 ADDRESS 206 CALVARY PLACE FT. WHITE FL 32038  
 OWNER RODGER BUTLER PHONE 386.754.3664  
 ADDRESS 206 CALVARY PLACE FT. WHITE FL 32038  
 CONTRACTOR OWNER BUILDER PHONE \_\_\_\_\_  
 LOCATION OF PROPERTY 41-S TO TURNER RD,TR TO BLOOMINGTON,TL GO TO CALVARY,TR APPR  
300' ON L.

TYPE DEVELOPMENT SFD, UTILITY ESTIMATED COST OF CONSTRUCTION 113600.00  
 HEATED FLOOR AREA 2272.00 TOTAL AREA 2940.00 HEIGHT 16.00 STORIES 1  
 FOUNDATION CONCRETE WALLS FRAMED ROOF PITCH 7/12 FLOOR SLAB  
 LAND USE & ZONING A-3 MAX. HEIGHT 35  
 Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
 NO. EX.D.U. 0 FLOOD ZONE XPS DEVELOPMENT PERMIT NO. \_\_\_\_\_

PARCEL ID 22-5S-17-09340-056 SUBDIVISION MASON CITY  
 LOT \_\_\_\_\_ BLOCK 49 PHASE \_\_\_\_\_ UNIT \_\_\_\_\_ TOTAL ACRES 1.00

*x Rodger Butler*  
 Culvert Permit No. \_\_\_\_\_ Culvert Waiver \_\_\_\_\_ Contractor's License Number \_\_\_\_\_ Applicant/Owner/Contractor \_\_\_\_\_  
 EXISTING 05-1105-N BK JH N  
 Driveway Connection \_\_\_\_\_ Septic Tank Number \_\_\_\_\_ LU & Zoning checked by \_\_\_\_\_ Approved for Issuance \_\_\_\_\_ New Resident \_\_\_\_\_

COMMENTS: FLOOR 1 FOOT ABOVE THE ROAD, NOC ON FILE

Check # or Cash 1193

### FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power \_\_\_\_\_ Foundation \_\_\_\_\_ Monolithic \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Under slab rough-in plumbing \_\_\_\_\_ Slab \_\_\_\_\_ Sheathing/Nailing \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Framing \_\_\_\_\_ Rough-in plumbing above slab and below wood floor \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Electrical rough-in \_\_\_\_\_ Heat & Air Duct \_\_\_\_\_ Peri. beam (Lintel) \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Permanent power \_\_\_\_\_ C.O. Final \_\_\_\_\_ Culvert \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 M/H tie downs, blocking, electricity and plumbing \_\_\_\_\_ Pool \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Reconnection \_\_\_\_\_ Pump pole \_\_\_\_\_ Utility Pole \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 M/H Pole \_\_\_\_\_ Travel Trailer \_\_\_\_\_ Re-roof \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

BUILDING PERMIT FEE \$ 570.00 CERTIFICATION FEE \$ 14.70 SURCHARGE FEE \$ 14.70  
 MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ \_\_\_\_\_  
 FLOOD DEVELOPMENT FEE \$ \_\_\_\_\_ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ \_\_\_\_\_ **TOTAL FEE** 674.40

INSPECTORS OFFICE *L.H.* CLERKS OFFICE *CH*

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."**

### This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

**For Office Use Only** Application # 0510-75 Date Received 10/25 By JW Permit # 23996  
 Application Approved by - Zoning Official BLK Date 12.2.05 Plans Examiner OK JTH Date 12-22-05  
 Flood Zone x Per BOUNDARY Survey Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3  
 Comments SPECL - ~~EXHIBIT~~ - ~~CATERGIST~~ - ~~PRODUC IDENTIFICATION~~ Pro Land Ownership  
ck 1193 05-1105

Applicants Name RODGER BUTLER Phone 386-754-3664  
 Address PO BOX 899 FORT WHITE FLORIDA 32038  
 Owners Name RODGER BUTLER Phone 386-754-3664  
 911 Address 206 CALVARY PLACE Lela City FL 32025  
 Contractors Name SELF Phone \_\_\_\_\_  
 Address \_\_\_\_\_  
 Fee Simple Owner Name & Address \_\_\_\_\_  
 Bonding Co. Name & Address \_\_\_\_\_  
 Architect/Engineer Name & Address RODGER BUTLER-PLANS DAVID DISOSWAY-WINDLOAD  
 Mortgage Lenders Name & Address FIRST NATIONAL MORTGAGE SOURCES  
7105 W 105TH ST OVERLAND PARK, KS 66212  
 Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy  
 Property ID Number 22-55-17-09340-056 Estimated Cost of Construction 100,000  
 Subdivision Name MASON CITY Lot \_\_\_\_\_ Block 49 Unit \_\_\_\_\_ Phase \_\_\_\_\_  
 Driving Directions S41/441 to MASON CITY. (R) on TURNER. (L) on Bloomington  
(R) on CALVARY. LOT 300' on LEFT

Type of Construction WOODFRAME Number of Existing Dwellings on Property 0  
 Total Acreage 1 Lot Size 150x300 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive  
 Actual Distance of Structure from Property Lines - Front 128' Side L 46' Side R 60' Rear 150'  
 Total Building Height 8.0 Number of Stories 1 Heated Floor Area 2272 Roof Pitch 7/12  
Porches 668 TOTAL 2940

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.  
 OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.  
**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.**

Rodger Butler  
 Owner Builder or Agent (Including Contractor)

Contractor Signature \_\_\_\_\_  
 Contractors License Number \_\_\_\_\_  
 Competency Card Number \_\_\_\_\_  
 NOTARY STAMP/SEAL

STATE OF FLORIDA  
 COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me  
 this 25 day of Oct 2005.  
 Personally known \_\_\_\_\_ or Produced Identification ✓

Sherrill G. Thomas  
 Notary Signature  
 MY COMMISSION # DD069156 EXPIRES 15, 2005  
 BONDED THROUGH TROY FAIR INSURANCE, INC

Rodger Butler FLC# B346-73459-391-0  
 Sig. only

Prepared by and return to:

Home Town Title of North Florida  
2744 US Highway 90 West  
Lake City, FL 32055  
386-754-7175  
File Number: 2005-2100

Inst:2005031538 Date:12/21/2005 Time:09:44  
Doc Stamp-Deed : 122.50  
*mk* DC, P. DeWitt Cason, Columbia County B:1068 P:2485

[Space Above This Line For Recording Data]

## Warranty Deed

This Warranty Deed made this 15th day of November, 2005 between Dale W. Smith, a married person whose post office address is Route 5 Box 4788, Lake Butler, FL 32054, grantor, and Rodger N. Butler, a married person whose post office address is 333 SW Hodges Way, Lake City, FL 32024, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida to-wit:

Northwest 1/4 of Block 49, MASON CITY SUBDIVISION, according to the Plat thereof recorded in Plat Book 1, Page(s) 31, of the Public Records of Columbia County, Florida.

Parcel Identification Number: R09340-056

The above described property is not the homestead property of the grantor who resides at:  
Rt. 5, Box 4788, Lake Butler, FL 32054

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.  
**To Have and to Hold**, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2005.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Kelly Bertol  
Witness Name: Kelly Bertol

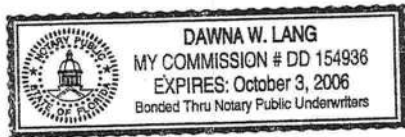
Dale W. Smith (Seal)  
Dale W. Smith

Dawna W. Lang  
Witness Name: DAWNA W. LANG

State of Florida  
County of Columbia

The foregoing instrument was acknowledged before me this 15th day of November, 2005 by Dale W. Smith, who  is personally known or  has produced a driver's license as identification.

[Notary Seal]



Dawna W. Lang  
Notary Public

Printed Name: DAWNA W. LANG

My Commission Expires: \_\_\_\_\_

Inst:2005031538 Date:12/21/2005 Time:09:44  
Doc Stamp-Deed : 122.50  
DC, P. DeWitt Cason, Columbia County B:1068 P:2486

# GERBANO CALVERT OPEN

## OCCUPANCY

COLUMBIA COUNTY, FLORIDA

### Department of Building and Zoning Inspection

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 22-5S-17-09340-056

Building permit No. 000023996

Use Classification SFD, UTILITY

Fire: 44.64

Permit Holder OWNER BUILDER

Waste: 134.00

Owner of Building RODGER BUTLER

Total: 178.64

Location: 206 SW CALVARY PL, FT. WHITE, FL

Date: 02/14/2007

*Henry Stiles*

Building Inspector



POST IN A CONSPICUOUS PLACE  
(Business Places Only)

0510-76



STATE OF FLORIDA, COUNTY OF COLUMBIA  
I HEREBY CERTIFY, that the above and foregoing  
is a true copy of the original filed in this office.

P. DeWITT CASON, CLERK OF COURTS  
By G. Harder  
Deputy Clerk

Date Dec 21, 2005

WHEN RECORDED MAIL TO:  
INDYMAC BANK, F.S.B.  
3465 EAST FOOTHILL BLVD  
PASADENA, CA 91107  
ATTN: CONSTRUCTION LENDING DIV

Loan #: 122162842-PERM  
Order#: 2005-2100  
PARCEL I.D.#: 22-5S-17-09340-056

Inst:2005031540 Date:12/21/2005 Time:09:45  
mk DC, P. DeWitt Cason, Columbia County B:1068 P:2514

(Space Above This Line for Recording Data)

Permit No. \_\_\_\_\_ Tax Folio No. \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The undersigned hereby gives notice that improvements will be made to certain real property, and in accordance with Chapter 713.13, Florida Statutes, the following information is provided in this Notice of Commencement. This Notice shall be void and of no force and effect if construction is not commenced within ninety (90) days after recordation hereof.

1. The Property is described as follows:  
SEE **EXHIBIT A** ATTACHED HERETO
2. The street address:  
22-5S-17-09340-056  
LAKE CITY, FL 32024
3. General Description of the Improvements:  
Single family dwelling
4. Name and Address of the Owner of the Real Property:  
Rodger N. Butler  
333 SW Hodges Way  
Lake City, FL 32024  
whose interest in the improvements is: Fee Simple
5. Name and Address of fee simple titleholder (if other than Owner):

6. Name and Address of Contractor:

Same as Owner

7. Name and Address of surety, under Section 713.23, if any, and amount of bond:

A copy of the bond is attached hereto as Exhibit B and made a part hereof.

8. Name and Address of Construction Lender:

INDYMAC BANK, F.S.B.,  
a federally chartered savings bank  
3465 EAST FOOTHILL BLVD  
PASADENA, CA 91107

9. Name and Address of persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7, Florida Statutes:

INDYMAC BANK, F.S.B.,  
a federally chartered savings bank  
3465 EAST FOOTHILL BLVD  
PASADENA, CA 91107

(a) In addition to himself, owner designates the following to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:

10. Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified):

The recording of this Notice of Commencement does not constitute a lien, cloud or encumbrance on the described real property, but gives constructive notice that claims of lien may be filed under Chapter 713 of the Florida Statutes.

SIGNED IN THE PRESENCE OF:



RODGER BUTLER  
(Printed Name)

By: \_\_\_\_\_, a

Inst:2005031540 Date:12/21/2005 Time:09:45

By: \_\_\_\_\_ DC, P. DeWitt Cason, Columbia County B:1068 P:2515

\_\_\_\_\_  
(Printed Name)

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Post Office Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this December 19, 2005,  
by Roger Butler as Owner/Builder of \_\_\_\_\_  
a \_\_\_\_\_, on behalf of the \_\_\_\_\_. He/she is personally known  
to me or has produced driver license (state) driver's license no. B 346-734-59-391-0  
as identification.

My Commission Expires:

(AFFIX NOTARY SEAL)



Dawna W. Lang  
Notary Public (Signature)  
DAWNA W. LANG

(Name)

(Title or Rank)

(Serial Number, if any)

**EXHIBIT "A"**

Northwest 1/4 of Block 49, MASON CITY SUBDIVISION, according to the Plat thereof  
recorded in Plat Book 1, Page(s) 31, of the Public Records of Columbia County, Florida.

Inst:2005031540 Date:12/21/2005 Time:09:45  
DC,P.DeWitt Cason,Columbia County B:1068 P:2516



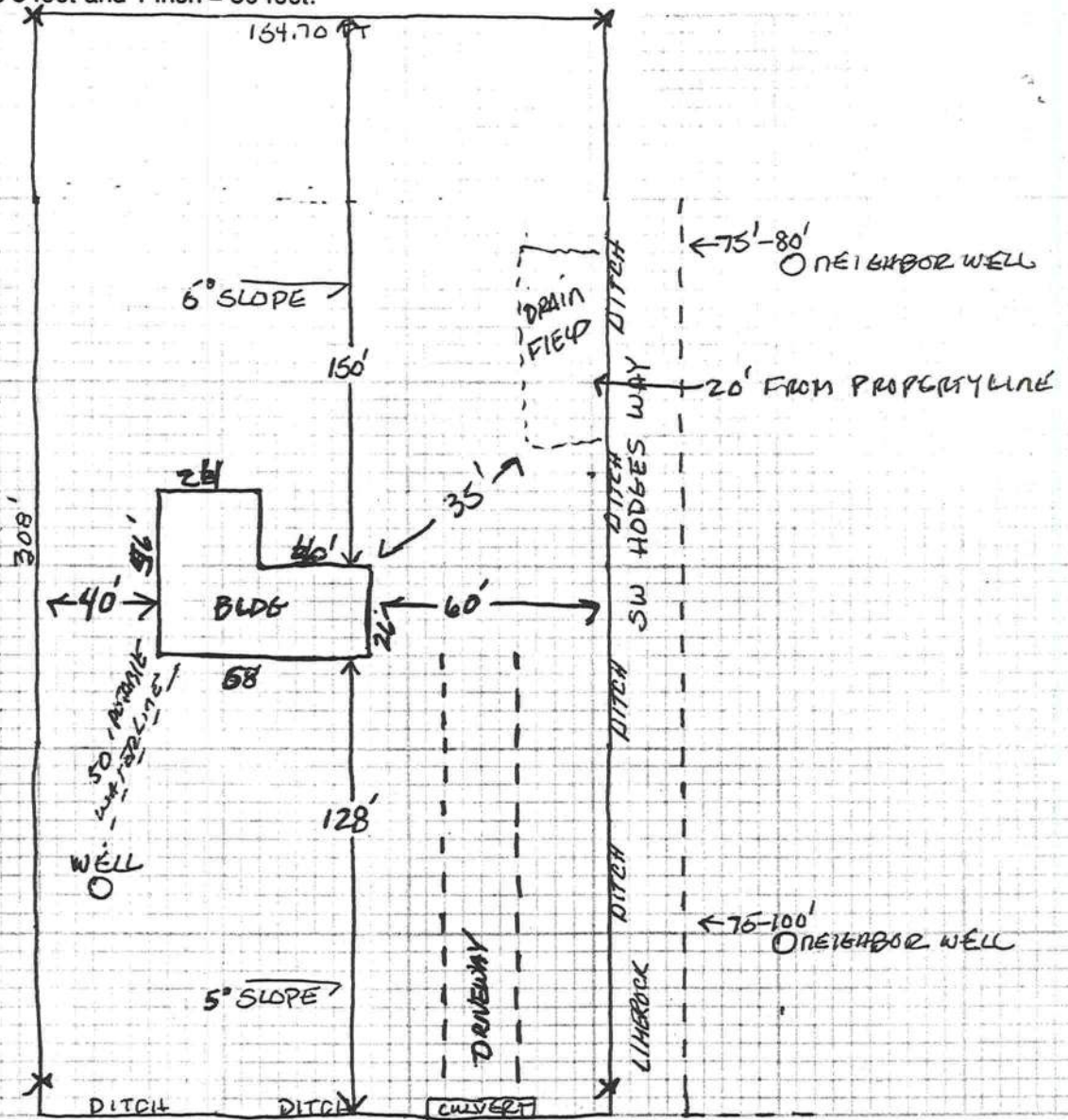
STATE OF FLORIDA  
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

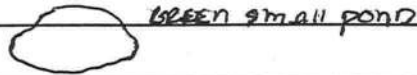
Permit Application Number \_\_\_\_\_

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: CALVARY PLACE - PAVED



Site Plan submitted by: Tommy Buttle Signature OWNER Title

Plan Approved \_\_\_\_\_ Not Approved \_\_\_\_\_ Date \_\_\_\_\_

By \_\_\_\_\_ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

0510-76

November 2, 2005

To: Columbia County Building Dept  
135 NE Hernando Ave.  
Suite B-21  
Lake City, FL 32055

From: Butler Builders LLC  
Rodger Butler  
PO Box 899  
Fort White, FL 32038

Dear CCBD;

Please accept this letter and attachment as my verification that the parcel 22-5s-17-09340-056 or otherwise 206 calvary place did not retain any water, nor flood at anytime that I have observed since January 2002.

I have attached a GIS printout of the area to further assist you in defining what areas did flood in 2004.

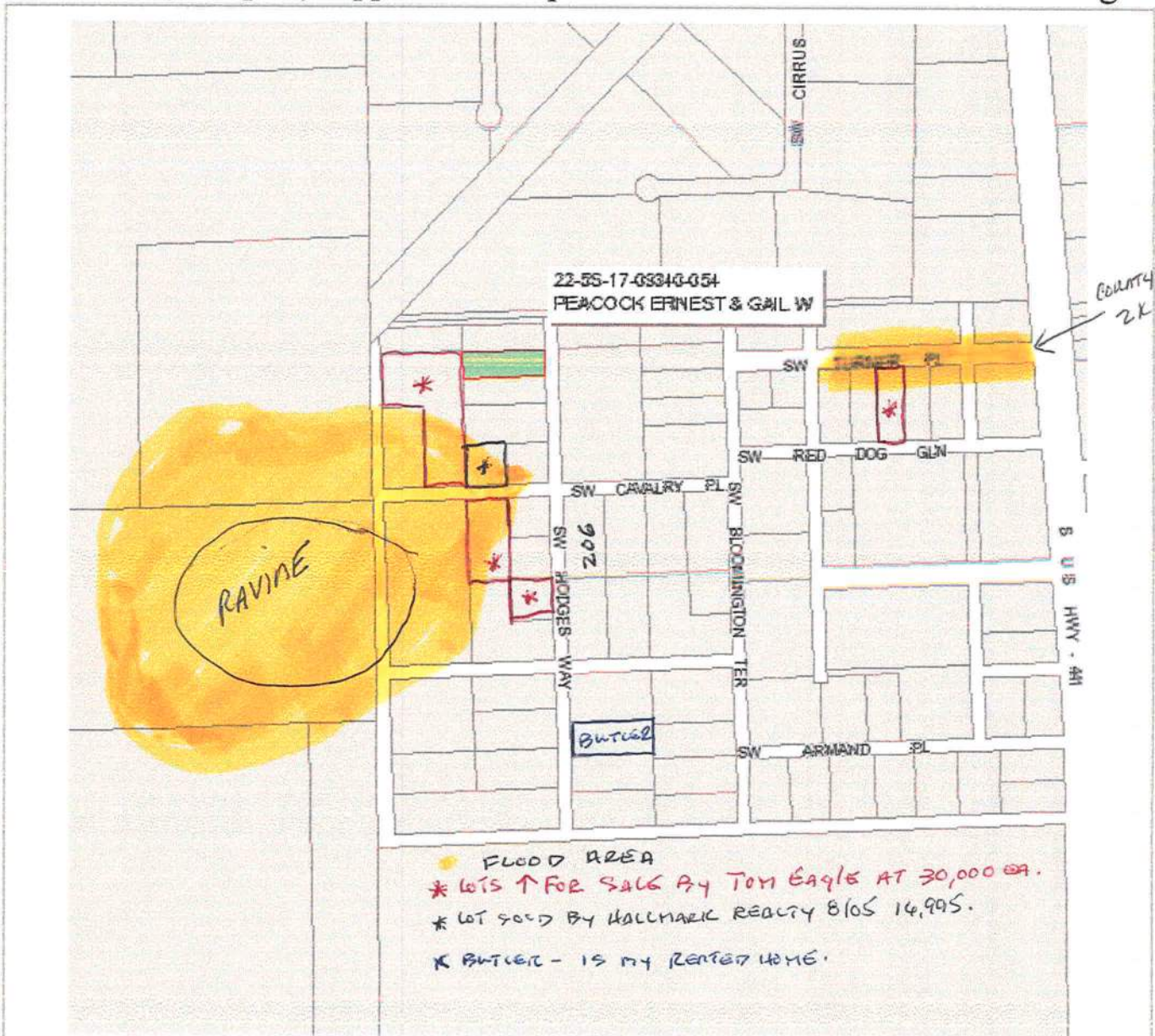
If I can be of any further assistance ..please dont hesitate to call me.

Sincerely,



Rodger Butler

0510-75  
~~0510-76~~



● FLOOD AREA  
 \* LOTS ↑ FOR SALE BY TOM EAGLE AT 30,000 EA.  
 \* LOT SOLD BY HALLMARK REALTY BLOS 14,995.  
 \* BUTLER - IS MY RENTED HOME.

<b>Columbia County Property Appraiser</b>	
J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083	
<b>PARCEL: 22-5S-17-09340-054 - NO AG ACRE (009900)</b>	
ALL BLOCK 45 MASON CITY S/D EX THE N 101.2 FT & EX TH W1/2 OF THE S1/2 OF THE S1/2 & EX A	
Name: PEACOCK ERNEST & GAIL W	LandVal \$19,643.00
Site: MASON CITY	BldgVal \$0.00
Mail: RT 4 BOX 3800	ApprVal \$19,643.00
LAKE BUTLER, FL 32054	JustVal \$19,643.00
Sales Info 1/2/2002 \$100.00 V/U	Assd \$19,643.00
	Exmpt \$0.00
	Taxable \$19,643.00

0 250 500 750 ft

This information, GIS Map Updated: 10/21/2005, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone

[http://appraiser.columbiacountyfla.com/GIS/Print\\_Map.asp?pjboiibchhjbni...](http://appraiser.columbiacountyfla.com/GIS/Print_Map.asp?pjboiibchhjbni...) 11/1/2005

# Columbia County Property Appraiser

DB Last Updated: 9/16/2005

## 2005 Proposed Values

Parcel: 22-5S-17-09340-056

### Owner & Property Info

Search Result: 1 of 1

<b>Owner's Name</b>	SMITH DALE W
<b>Site Address</b>	MASON CITY
<b>Mailing Address</b>	RT 5 BX 4788 LAKE BUTLER, FL 32054
<b>Brief Legal</b>	THE W1/2 OF N1/2 OF BLOCK 49 MASON CITY S/D. WD 1023-1691.

<b>Use Desc. (code)</b>	VACANT (000000)
<b>Neighborhood</b>	22517.03
<b>Tax District</b>	3
<b>UD Codes</b>	MKTA02
<b>Market Area</b>	02
<b>Total Land Area</b>	1.085 ACRES

### Property & Assessment Values

<b>Mkt Land Value</b>	cnt: (1)	\$13,020.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (0)	\$0.00
<b>XFOB Value</b>	cnt: (0)	\$0.00
<b>Total Appraised Value</b>		\$13,020.00

<b>Just Value</b>	\$13,020.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$13,020.00
<b>Exempt Value</b>	\$0.00
<b>Total Taxable Value</b>	\$13,020.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
8/10/2004	1023/1691	WD	V	U	01	\$25,000.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

### Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	1.085 AC	1.00/1.00/1.00/1.00	\$12,000.00	\$13,020.00

Columbia County Property Appraiser

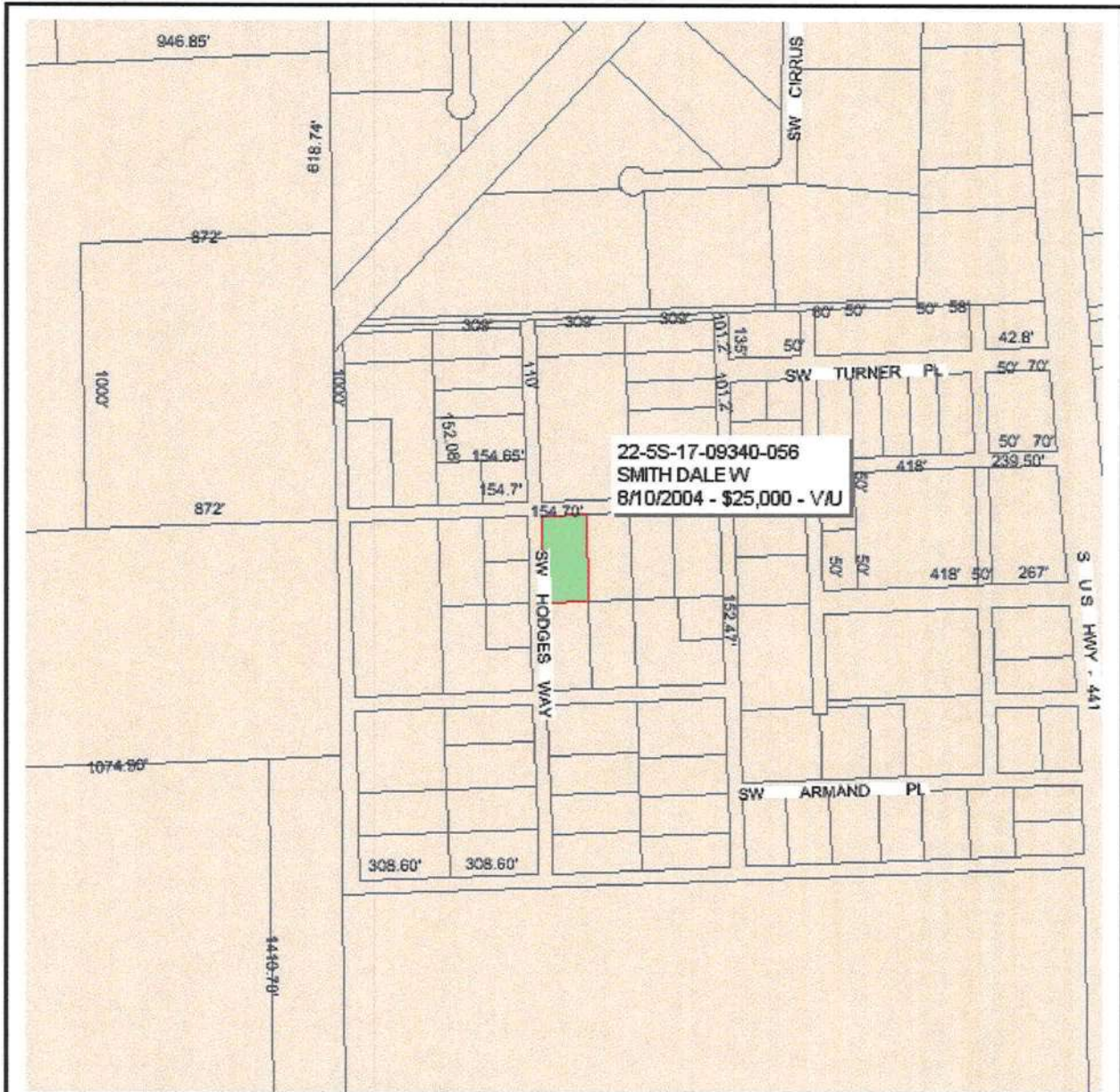
DB Last Updated: 9/16/2005

1 of 1

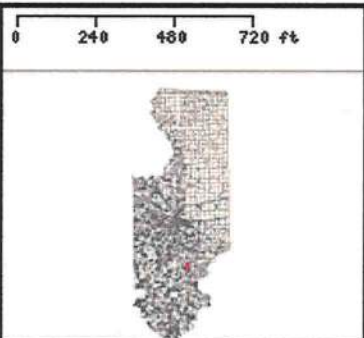
### Disclaimer

[http://appraiser.columbiacountyfla.com/GIS/D\\_SearchResults.asp](http://appraiser.columbiacountyfla.com/GIS/D_SearchResults.asp)

10/31/2005



<b>Columbia County Property Appraiser</b>	
J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083	
<b>PARCEL: 22-5S-17-09340-056 - VACANT (000000)</b>	
THE W1/2 OF N1/2 OF BLOCK 49 MASON CITY S/D. WD 1023-1691.	
Name: SMITH DALE W	LandVal \$13,020.00
Site: MASON CITY	BldgVal \$0.00
Mail: RT 5 BX 4788	ApprVal \$13,020.00
LAKE BUTLER, FL 32054	JustVal \$13,020.00
Sales Info 8/10/2004 \$25,000.00 V / U	Assd \$13,020.00
	Exmpt \$0.00
	Taxable \$13,020.00



This information, GIS Map Updated: 8/3/2005, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

# COLUMBIA COUNTY 9-1-1 ADDRESSING

263 NW Lake City Ave. \* P. O. Box 1787 \* Lake City, FL 32056-1787  
PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

## Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE ISSUED: October 10, 2005

ENHANCED 9-1-1 ADDRESS:

206 SW CAVALRY PL (LAKE CITY, FL 32025)

Addressed Location 911 Phone Number: NOT AVAIL.

OCCUPANT NAME: NOT AVAIL.

OCCUPANT CURRENT MAILING ADDRESS: \_\_\_\_\_

PROPERTY APPRAISER PARCEL NUMBER: 22-5S-17-09340-056

Other Contact Phone Number (If any): \_\_\_\_\_

Building Permit Number (If known): \_\_\_\_\_

Remarks: THE W1/2 OF N1/2 OF BLOCK 49 MASON CITY S/D

Address Issued By: \_\_\_\_\_

*Ron Croft*  
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

COLUMBIA COUNTY  
9-1-1 ADDRESSING  
APPROVED

DISCLOSURE STATEMENT

FOR OWNER/BUILDER WHEN ACTING AS THEIR OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$25,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

TYPE OF CONSTRUCTION

- Single Family Dwelling
- Farm Outbuilding
- New Construction
- Two-Family Residence
- Other \_\_\_\_\_
- Addition, Alteration, Modification or other Improvement

NEW CONSTRUCTION OR IMPROVEMENT

I Roan Butler, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes ss.489.103(7) allowing this exception for the construction permitted by Columbia County Building Permit Number \_\_\_\_\_

Roan Butler Signature Date 10/10/05

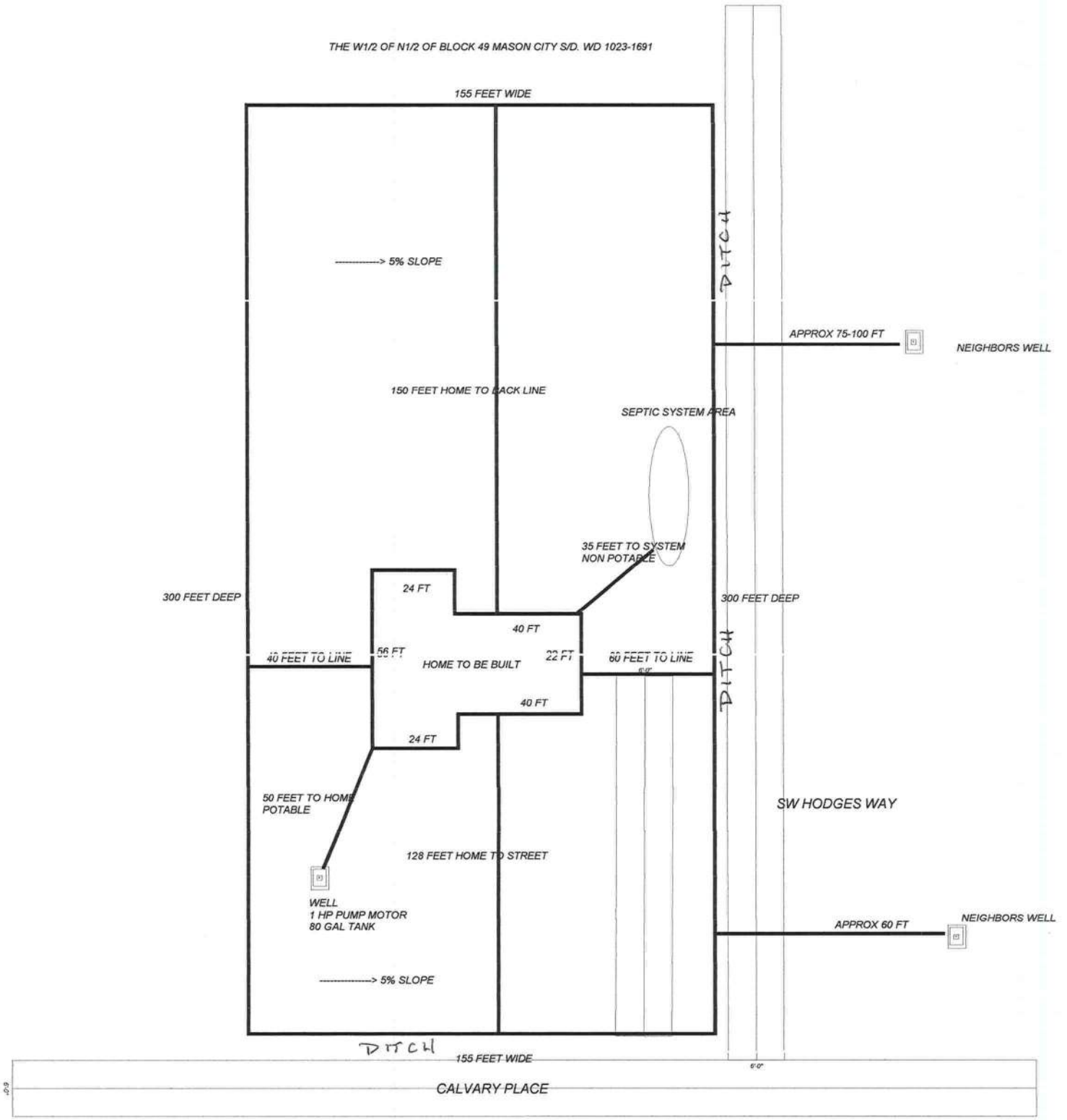
FOR BUILDING USE ONLY

I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7).

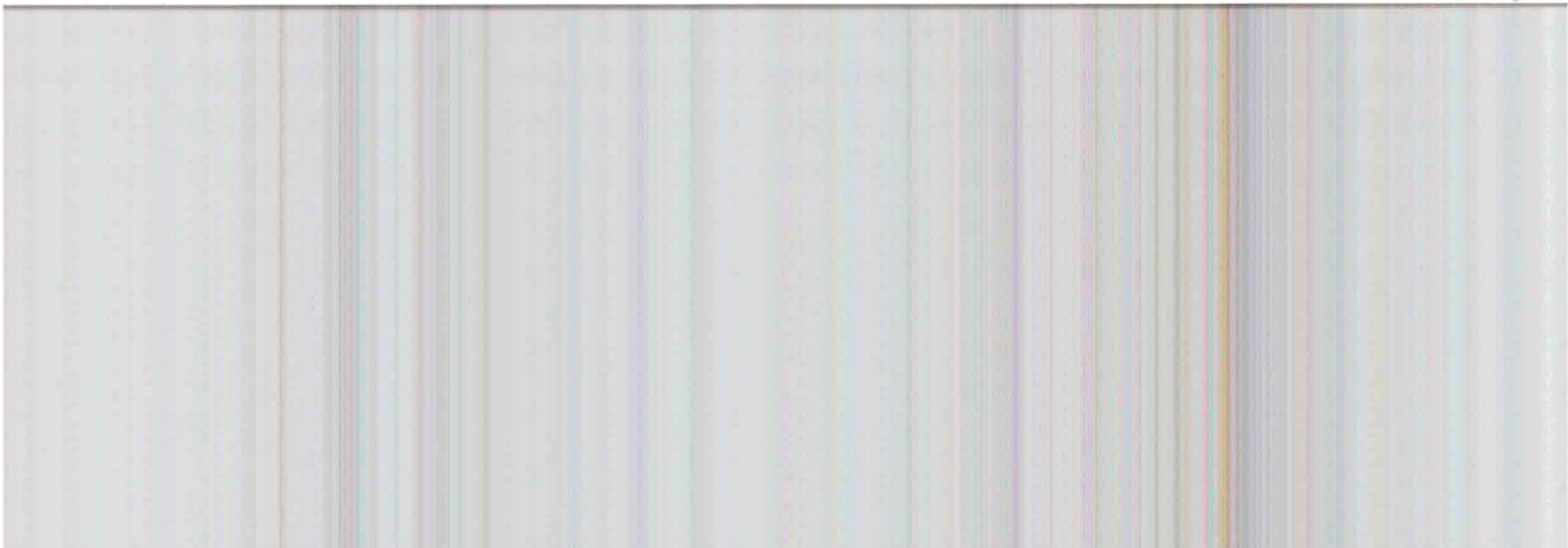
Date 10-25-05 Building Official/Representative [Signature]

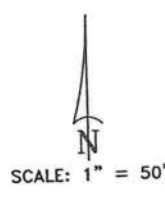
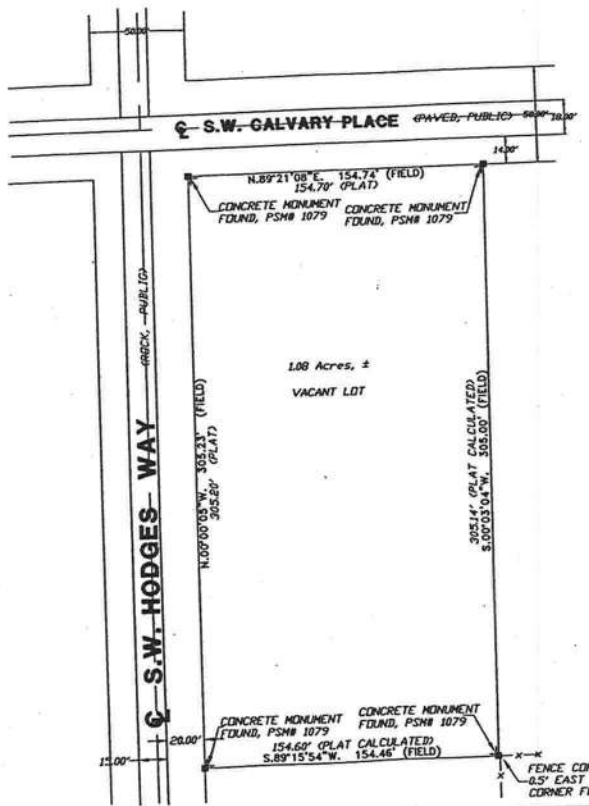
# PLOT PLAN FOR 206 CALVARY PLACE LAKE CITY, FL 32024

THE W1/2 OF N1/2 OF BLOCK 49 MASON CITY S/D. WD 1023-1691



Pond





- SYMBOL LEGEND**
- 4"x4" CONCRETE MONUMENT FOUND
  - 4"x4" CONCRETE MONUMENT SET
  - IRON PIPE FOUND
  - ⊙ IRON PIN AND CAP SET
  - ⊕ POWER POLE
  - ▲ WATER METER
  - CENTERLINE
  - WELL
  - ⊙ SATELLITE DISH
  - ⊙ TELEPHONE BOX
  - ELECTRIC LINES
  - X- WIRE FENCE
  - CHAIN LINK FENCE
  - WOODEN FENCE

- SURVEYOR'S NOTES:**
- BOUNDARY BASED ON MONUMENTATION FOUND.
  - BEARINGS ARE BASED ON AN ASSUMED MERIDIAN. THE CENTERLINE OF S.W. HODGES WAY BEING N00°00'00"W.
  - THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD RATE MAP, DATED 6 JANUARY, 1988 COMMUNITY PANEL NUMBER 120070 0250 B, HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
  - THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREIN.
  - IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREIN.
  - THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.

**DESCRIPTION**  
THE WEST 1/4 OF THE NORTH 1/4 OF BLOCK 49 OF THE PLAT OF MASON CITY AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 31 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, CONTAINING 1.08 ACRES MORE OR LESS. SAID LAND BEING A PART OF SECTION 22, TOWNSHIP 5 SOUTH, RANGE 17 EAST.

CERTIFIED TO:  
**DALE SMITH**

**SURVEYOR'S CERTIFICATION**  
I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE HIGHEST TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 6207-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 475.05, FLORIDA STATUTES.  
9-01-04 FIELD SURVEY DATE  
9-07-04 DATING DATE  
*[Signature]*  
DALE SMITH, PLS  
CERTIFICATION # 5127  
NOTE: UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL, INDEXED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SECTION, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

**BRITT SURVEYING**  
LAND SURVEYORS AND MAPPERS  
830 WEST BUNAL STREET LAKE CITY, FLORIDA 32025  
C866752-7163 FAX C866752-5573  
WORK ORDER # L-15304

FIELD BOOK 262 PAGE(S) 71

LOT SURVEYED 9/04.

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

<b>Project Name:</b> 510062 Rodger Butler Butler Builders <b>Address:</b> Calvery Place <b>City, State:</b> Mason City, FL 32025- <b>Owner:</b> <b>Climate Zone:</b> North	<b>Builder:</b> <b>Permitting Office:</b> <b>Permit Number:</b> <b>Jurisdiction Number:</b>
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Glass/Floor Area: 0.11	Total as-built points: 33286	PASS
	Total base points: 35232	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

**PREPARED BY:** *Samuel*


**DATE:** 10-21-05

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

**OWNER/AGENT:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



**BUILDING OFFICIAL:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

1 Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.  
EnergyGauge® (Version: FLRCSB v4.0)

# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: Calvery Place, Mason City, FL, 32025-

PERMIT #:

BASE				AS-BUILT							
<b>GLASS TYPES</b>											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt			Area X SPM X SOF = Points			
.18	2320.0	20.04	8368.7	Double, Clear	S	1.5	4.0	12.0	35.87	0.74	318.9
				Double, Clear	S	40.0	6.0	11.0	35.87	0.43	170.4
				Double, Clear	E	10.0	6.0	45.0	42.06	0.41	781.4
				Double, Clear	E	10.0	6.0	11.0	42.06	0.41	191.0
				Double, Clear	N	40.0	6.0	11.0	19.20	0.59	125.3
				Double, Clear	E	1.5	3.0	6.0	42.06	0.73	183.1
				Double, Clear	S	1.5	5.0	12.0	35.87	0.81	347.3
				Double, Clear	W	1.5	5.0	24.0	38.52	0.88	809.5
				Double, Clear	E	1.5	5.7	28.0	42.06	0.90	1062.6
				Double, Clear	W	1.5	5.7	14.0	38.52	0.90	486.9
				Double, Clear	W	1.5	6.0	30.0	38.52	0.91	1055.6
				Double, Clear	E	1.5	6.0	60.0	42.06	0.91	2303.6
				<b>As-Built Total:</b>				<b>264.0</b>	<b>7835.5</b>		
<b>WALL TYPES</b>											
Area X BSPM = Points				Type	R-Value			Area X SPM = Points			
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior	13.0			1848.0	1.50		2772.0
Exterior	1848.0	1.70	3141.6								
<b>Base Total:</b>	<b>1848.0</b>		<b>3141.6</b>	<b>As-Built Total:</b>				<b>1848.0</b>			<b>2772.0</b>
<b>DOOR TYPES</b>											
Area X BSPM = Points				Type				Area X SPM = Points			
Adjacent	0.0	0.00	0.0	Exterior Insulated				11.0	4.10		45.1
Exterior	55.0	6.10	335.5	Exterior Insulated				11.0	4.10		45.1
				Exterior Insulated				11.0	4.10		45.1
				Exterior Insulated				22.0	4.10		90.2
<b>Base Total:</b>	<b>55.0</b>		<b>335.5</b>	<b>As-Built Total:</b>				<b>55.0</b>			<b>225.5</b>
<b>CEILING TYPES</b>											
Area X BSPM = Points				Type	R-Value			Area X SPM X SCM = Points			
Under Attic	2320.0	1.73	4013.6	Under Attic	30.0			2320.0	1.73 X 1.00		4013.6
<b>Base Total:</b>	<b>2320.0</b>		<b>4013.6</b>	<b>As-Built Total:</b>				<b>2320.0</b>			<b>4013.6</b>
<b>FLOOR TYPES</b>											
Area X BSPM = Points				Type	R-Value			Area X SPM = Points			
Slab	231.0(p)	-37.0	-8547.0	Slab-On-Grade Edge Insulation	0.0			231.0(p)	-41.20		-9517.2
Raised	0.0	0.00	0.0								
<b>Base Total:</b>			<b>-8547.0</b>	<b>As-Built Total:</b>				<b>231.0</b>			<b>-9517.2</b>

# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: Calvery Place, Mason City, FL, 32025- PERMIT #:

BASE				AS-BUILT						
INFILTRATION Area X BSPM = Points				Area X SPM = Points						
2320.0	10.21	23687.2		2320.0	10.21	23687.2				
<b>Summer Base Points: 30999.6</b>				<b>Summer As-Built Points: 29016.6</b>						
Total Summer Points	X System Multiplier	=	Cooling Points	Total Component (System - Points)	X Cap Ratio (DM x DSM x AHU)	X Duct Multiplier	X System Multiplier	X Credit Multiplier	=	Cooling Points
30999.6	0.4266	=	13224.4	29016.6	1.00	1.138	0.341	1.000	=	11267.1

(sys 1: Central Unit 44000 btuh ,SEER/EFF(10.0) Ducts:Unc(S),Unc(R),Int(AH),R6.0(INS)

# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: Calvery Place, Mason City, FL, 32025-

PERMIT #:

BASE				AS-BUILT							
<b>GLASS TYPES</b>											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ormt Len Hgt			Area X WPM X WOF = Points			
.18	2320.0	12.74	5320.2	Double, Clear	S	1.5	4.0	12.0	13.30	1.34	214.2
				Double, Clear	S	40.0	6.0	11.0	13.30	3.66	535.4
				Double, Clear	E	10.0	6.0	45.0	18.79	1.42	1199.2
				Double, Clear	E	10.0	6.0	11.0	18.79	1.42	293.1
				Double, Clear	N	40.0	6.0	11.0	24.58	1.03	277.7
				Double, Clear	E	1.5	3.0	6.0	18.79	1.12	126.3
				Double, Clear	S	1.5	5.0	12.0	13.30	1.20	191.0
				Double, Clear	W	1.5	5.0	24.0	20.73	1.03	514.7
				Double, Clear	E	1.5	5.7	28.0	18.79	1.04	546.8
				Double, Clear	W	1.5	5.7	14.0	20.73	1.03	297.9
				Double, Clear	W	1.5	6.0	30.0	20.73	1.02	636.4
				Double, Clear	E	1.5	6.0	60.0	18.79	1.04	1167.6
				<b>As-Built Total:</b>			<b>264.0</b>		<b>6000.4</b>		
<b>WALL TYPES</b> Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior	13.0		1848.0	3.40		6283.2	
Exterior	1848.0	3.70	6837.6								
<b>Base Total:</b>				<b>1848.0</b>		<b>6837.6</b>					
<b>DOOR TYPES</b> Area X BWPM = Points				Type	Area X WPM = Points						
Adjacent	0.0	0.00	0.0	Exterior Insulated			11.0	8.40		92.4	
Exterior	55.0	12.30	676.5	Exterior Insulated			11.0	8.40		92.4	
				Exterior Insulated			11.0	8.40		92.4	
				Exterior Insulated			22.0	8.40		184.8	
<b>Base Total:</b>				<b>55.0</b>		<b>676.5</b>		<b>As-Built Total:</b>			
						<b>55.0</b>		<b>462.0</b>			
<b>CEILING TYPES</b> Area X BWPM = Points				Type	R-Value		Area X WPM X WCM = Points				
Under Attic	2320.0	2.05	4756.0	Under Attic	30.0		2320.0	2.05 X 1.00		4756.0	
<b>Base Total:</b>				<b>2320.0</b>		<b>4756.0</b>		<b>As-Built Total:</b>			
						<b>2320.0</b>		<b>4756.0</b>			
<b>FLOOR TYPES</b> Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Slab	231.0(p)	8.9	2055.9	Slab-On-Grade Edge Insulation	0.0		231.0(p)	18.80		4342.8	
Raised	0.0	0.00	0.0								
<b>Base Total:</b>				<b>2055.9</b>		<b>4342.8</b>		<b>As-Built Total:</b>			
						<b>231.0</b>		<b>4342.8</b>			

# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: Calvery Place, Mason City, FL, 32025-	PERMIT #:
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BASE	AS-BUILT
INFILTRATION Area X BWPM = Points	Area X WPM = Points
2320.0    -0.59    -1368.8	2320.0    -0.59    -1368.8
<b>Winter Base Points:            18277.4</b>	<b>Winter As-Built Points:            20475.6</b>
Total Winter X System = Heating Points            Multiplier            Points	Total X Cap X Duct X System X Credit = Heating Component    Ratio    Multiplier    Multiplier    Multiplier    Points (System - Points)            (DM x DSM x AHU)
<b>18277.4            0.6274            11467.3</b>	(sys 1: Electric Heat Pump 44000 btuh ,EFF(7.0) Ducts:Unc(S),Unc(R),Int(AH),R6.0 20475.6            1.000    (1.069 x 1.169 x 0.93)    0.487            1.000            11592.2 <b>20475.6            1.00            1.162            0.487            1.000            11592.2</b>

# WATER HEATING & CODE COMPLIANCE STATUS

## Residential Whole Building Performance Method A - Details

ADDRESS: Calvery Place, Mason City, FL, 32025-	PERMIT #:
--	-----------

BASE				AS-BUILT						
<b>WATER HEATING</b>										
Number of Bedrooms	X	Multiplier	= Total	Tank Volume	EF	Number of Bedrooms	X	Tank X Ratio	Multiplier X Credit	= Total Multiplier
4		2635.00	10540.0	40.0	0.93	4		1.00	2606.67	1.00
<b>As-Built Total:</b>										<b>10426.7</b>

CODE COMPLIANCE STATUS											
BASE				AS-BUILT							
Cooling Points	+	Heating Points	+	Hot Water Points	= Total Points	Cooling Points	+	Heating Points	+	Hot Water Points	= Total Points
<b>13224</b>		<b>11467</b>		<b>10540</b>	<b>35232</b>	<b>11267</b>		<b>11592</b>		<b>10427</b>	<b>33286</b>

PASS



# Code Compliance Checklist

## Residential Whole Building Performance Method A - Details

ADDRESS: Calvery Place, Mason City, FL, 32025-	PERMIT #:
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**6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST**

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

**6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)**

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 612.1.ABC.3.2. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

**ESTIMATED ENERGY PERFORMANCE SCORE\* = 83.7**

**The higher the score, the more efficient the home.**

, Calvery Place, Mason City, FL, 32025-

<p>1. New construction or existing <span style="float: right;">New</span> <input type="checkbox"/></p> <p>2. Single family or multi-family <span style="float: right;">Single family</span> <input type="checkbox"/></p> <p>3. Number of units, if multi-family <span style="float: right;">1</span> <input type="checkbox"/></p> <p>4. Number of Bedrooms <span style="float: right;">4</span> <input type="checkbox"/></p> <p>5. Is this a worst case? <span style="float: right;">Yes</span> <input type="checkbox"/></p> <p>6. Conditioned floor area (ft<sup>2</sup>) <span style="float: right;">2320 ft<sup>2</sup></span> <input type="checkbox"/></p> <p>7. Glass type<sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)</p> <p style="margin-left: 20px;">a. U-factor: <span style="float: right;">Description Area</span></p> <p style="margin-left: 40px;">(or Single or Double DEFAULT) 7a. (Dble Default) 148.0 ft<sup>2</sup> <input type="checkbox"/></p> <p style="margin-left: 20px;">b. SHGC: <span style="float: right;">7b. (Clear) 148.0 ft<sup>2</sup></span> <input type="checkbox"/></p> <p style="margin-left: 40px;">(or Clear or Tint DEFAULT)</p> <p>8. Floor types</p> <p style="margin-left: 20px;">a. Slab-On-Grade Edge Insulation <span style="float: right;">R=0.0, 231.0(p) ft</span> <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>9. Wall types</p> <p style="margin-left: 20px;">a. Frame, Wood, Exterior <span style="float: right;">R=13.0, 1848.0 ft<sup>2</sup></span> <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">d. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">e. N/A <input type="checkbox"/></p> <p>10. Ceiling types</p> <p style="margin-left: 20px;">a. Under Attic <span style="float: right;">R=30.0, 2320.0 ft<sup>2</sup></span> <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>11. Ducts</p> <p style="margin-left: 20px;">a. Sup: Unc. Ret: Unc. AH: Interior <span style="float: right;">Sup. R=6.0, 194.0 ft</span> <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p>	<p>12. Cooling systems</p> <p style="margin-left: 20px;">a. Central Unit <span style="float: right;">Cap: 44.0 kBtu/hr</span> <input type="checkbox"/></p> <p style="margin-left: 40px;">SEER: 10.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>13. Heating systems</p> <p style="margin-left: 20px;">a. Electric Heat Pump <span style="float: right;">Cap: 44.0 kBtu/hr</span> <input type="checkbox"/></p> <p style="margin-left: 40px;">HSPF: 7.00 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>14. Hot water systems</p> <p style="margin-left: 20px;">a. Electric Resistance <span style="float: right;">Cap: 40.0 gallons</span> <input type="checkbox"/></p> <p style="margin-left: 40px;">EF: 0.93 <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Conservation credits <input type="checkbox"/></p> <p style="margin-left: 40px;">(HR-Heat recovery, Solar</p> <p style="margin-left: 40px;">DHP-Dedicated heat pump)</p> <p>15. HVAC credits <input type="checkbox"/></p> <p style="margin-left: 20px;">(CF-Ceiling fan, CV-Cross ventilation,</p> <p style="margin-left: 20px;">HF-Whole house fan,</p> <p style="margin-left: 20px;">PT-Programmable Thermostat,</p> <p style="margin-left: 20px;">MZ-C-Multizone cooling,</p> <p style="margin-left: 20px;">MZ-H-Multizone heating)</p>
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I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Address of New Home: \_\_\_\_\_ City/FL Zip: \_\_\_\_\_



*\*NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar™ designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at [www.fsec.ucf.edu](http://www.fsec.ucf.edu) for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.  
EnergyGauge® (Version: FLRCSB v4.0)



# Alpine Engineered Products, Inc.

1950 Marley Drive Haines City, FL 33844  
Florida Engineering Certificate of Authorization Number: 567  
Florida Certificate of Product Approval # FL1999  
Page 1 of 1 Document ID:1SRO215-Z0128081824

Truss Fabricator: W.B. Howland  
Job Identification: 2868- / / -- , \*\*  
Truss Count: 11  
Model Code: Florida Building Code 2004  
Truss Criteria: ANSI/TPI-2002(STD)/FBC  
Engineering Software: Alpine Software, Version 7.20.  
Structural Engineer of Record:  
Address:  
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration  
Floor - N/A  
Wind - 110 MPH ASCE 7-02 -Closed

#### Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR215

Details: VALTRUSS



Seal Date: 10/28/2005

-Truss Design Engineer-  
James F. Collins Jr.  
Florida License Number: 52212  
1950 Marley Drive  
Haines City, FL 33844

#	Ref	Description	Drawing#	Date
1	05677--V1		05300340	10/27/05
2	05678--V2		05300341	10/27/05
3	05679--V3		05300342	10/27/05
4	05680--V4		05300334	10/27/05
5	05681--V5		05300335	10/27/05
6	05682--V6		05300336	10/27/05
7	05683--V11		05300337	10/27/05
8	05684--V10		05300338	10/27/05
9	05685--V9		05300339	10/27/05
10	05686--V8		05300343	10/27/05
11	05687--V7		05300344	10/27/05





(2868-1 / - - . \*\* - V2)

Top chord 2x4 SP #2 N  
Bot chord 2x4 SP #2 N  
Webs 2x4 SP #2 N

Deflection meets L/240 live and L/180 total load.

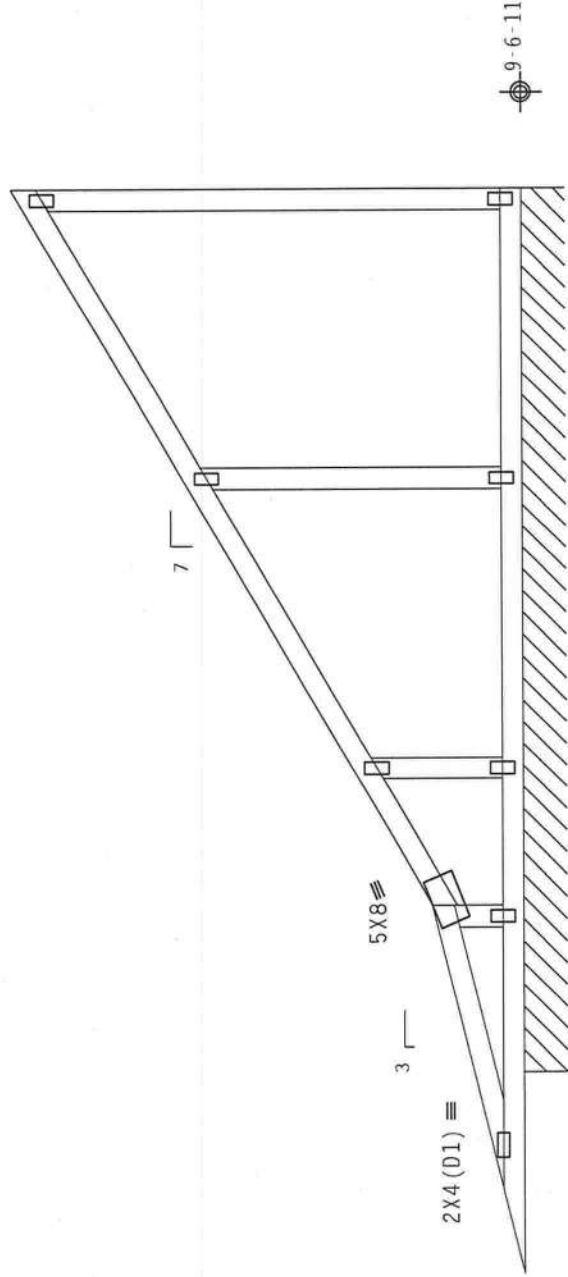
See DWG VALTRUSS1103 for valley details.

The overall height of this truss excluding overhang is 7-0-5.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Right end vertical not exposed to wind pressure.

Plates sized for a minimum of 3.00 sq.in./piece.



2-9-1

5-0-8

9-10-9

14-11-1 Over Continuous Support

R=101 PLF U=15 PLF W=12-2-0

Note: All Plates Are 2X4 Except As Shown.


Design Crit: TPI-2002 (STD) / FBC

Cq/RT=1.00(1.25)/10(0)

7.20.0918

QTY:1

FL / - / 5 / - / - / R / -  
Scale = .375" / Ft.

 <b>ALPINE</b> Alpine Engineered Products, Inc. 1950 Marley Drive Haines City, FL 33844 FL Certificate of Authorization # 567	<b>ALPINE ENGINEER</b> No. 52212 STATE OF FLORIDA PROFESSIONAL ENGINEER 0ct	REF R215 - - 5678 DATE 10/27/05 DRW HCUSR215 05300341 HC-ENG EC/WHK SEQN- 159091 FROM LRB JREF- 1SR0215_Z01	20.0 PSF 10.0 PSF 10.0 PSF 0.0 PSF 40.0 PSF 1.25 24.0"
		FL / - / 5 / - / - / R / - Scale = .375" / Ft.	20.0 PSF 10.0 PSF 10.0 PSF 0.0 PSF 40.0 PSF 1.25 24.0"

(2868- / / - - . \*\* - V3)

Top chord 2x4 SP #2 N  
Bot chord 2x4 SP #2 N  
Webs 2x4 SP #2 N

Deflection meets L/240 live and L/180 total load.

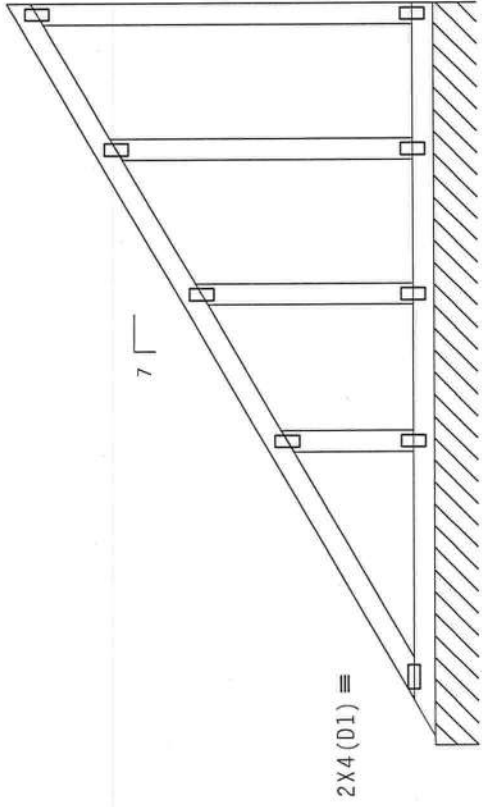
See DWG VALTRUSS1103 for valley details.

The overall height of this truss excluding overhang is 5-10-5.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Right end vertical not exposed to wind pressure.

Plates sized for a minimum of 3.00 sq.in./piece.



10-8-11

R=82 PLF U=18 PLF W=10-2-0

Note: All Plates Are 2X4 Except As Shown.  
Design Crit: TPI-2002 (STD)/FBC  
Cq/RT=1.00(1.25)/10(0) 7.20.0910

QTY:1	FL/-/5/-/R/-	Scale = .375" / Ft.
TC LL	20.0 PSF	REF R215 -- 5679
TC DL	10.0 PSF	DATE 10/27/05
BC DL	10.0 PSF	DRW HCUSR215 05300342
BC LL	0.0 PSF	HC-ENG EC/WHK
TOT.LD.	40.0 PSF	SEQN- 159096
DUR.FAC.	1.25	FROM LRB
SPACING	24.0"	JREF- 1SR0215_Z01



**\*\*WARNING\*\*** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSP 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, WI 53719) AND WCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS, UNLESS OTHERWISE INDICATED. TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

**\*\*IMPORTANT\*\*** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF AWS (DEFINITIONS, GRADES, AD/60 (4) K/48 S) GALV. STEEL. APPLY TO EACH FACE OF TRUSS AND UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 100A-2. ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEX A3 OF TPI-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSII/TPI 1 SEC. 2.

**ALPINE**  
Alpine Engineered Products, Inc.  
1950 Marley Drive  
Haines City, FL 33844  
FL Certificate of Authorization # 567

(2868- / / -- , \*\* - V4)

Top chord 2x4 SP #2 N  
Bot chord 2x4 SP #2 N  
Webs 2x4 SP #2 N

Deflection meets L/240 live and L/180 total load.

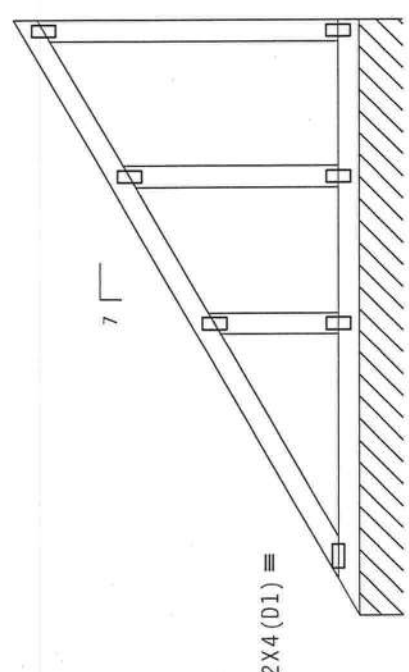
See DWG VALTRUSS1103 for valley details.

The overall height of this truss excluding overhang is 4-9-3.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Right end vertical not exposed to wind pressure.

Plates sized for a minimum of 3.00 sq.in./piece.



← 8-2-0 Over Continuous Support →  
 R-83 PLF U=22 PLF W=8-2-0

Note: All Plates Are 2X4 Except As Shown.

Design Crit: TPI-2002(STD)/FBC

PLT TYP. Wave Cq/RT=1.00(1.25)/10(0) 7.20.0918 QTY:1 FL/-/5/-/-/R/- Scale = .375" / Ft.

**\*\*WARNING\*\*** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSP 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, WI 53719) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

**\*\*IMPORTANT\*\*** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF THIS TRUSS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL PLATES SHALL BE MADE PER ASTM A575 (OR A575/AS 40/60 (40/60 (40/60) GALV. STEEL. APPLY TO EACH FACE OF TRUSS AND UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 100A-2. ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEX A3 OF TPI-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSII/TPI 1 SEC. 2.

**ALPINE**  
 Alpine Engineered Products, Inc.  
 1050 Marney Drive  
 Gaines City, FL 33844  
 FL Certificate of Authorization # 567

**E. GOLLANS**  
 LICENSE NO. 62272  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 Oct 28 2007

TC LL	20.0 PSF
TC DL	10.0 PSF
BC DL	10.0 PSF
BC LL	0.0 PSF
TOT.LD.	40.0 PSF
DUR.FAC.	1.25
SPACING	24.0"

REF	R215	-	5680
DATE	10/27/05		
DRW	HCUSR215	05300334	*
HC-ENG	EC/WHK		
SEQN	159064		
FROM	LRB		
JREF	1SR0215_Z01		





(2868- / / -- . \*\* - V11)

Top chord 2x4 SP #2 N  
Bot chord 2x4 SP #2 N  
Webs 2x4 SP #2 N

Left end vertical not exposed to wind pressure.

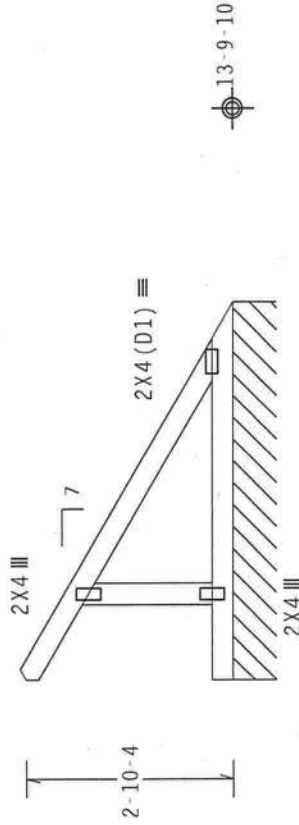
See DWG VALTRUSS1103 for valley details.

The overall height of this truss excluding overhang is 2-11-4.

110 mph wind, 15.42 ft mean hgt, ASCE 7-02, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Deflection meets L/240 live and L/180 total load.

Plates sized for a minimum of 3.00 sq.in./piece.



15-2-3 Over Continuous Support

R=81 PLF U=35 PLF W=5-2-3

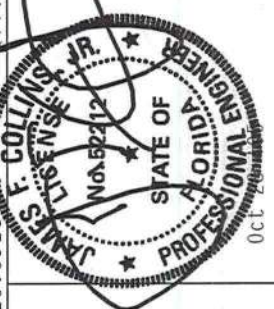
Design Crit: TPI-2002 (STD) / FBC

Cq/RT=1.00(1.25)/10(0)

QTY:1

Scale = .375" / Ft.

TC LL	20.0 PSF	REF	R215--	5683
TC DL	10.0 PSF	DATE	10/27/05	
BC DL	10.0 PSF	DRW	HCUSR215	05300337
BC LL	0.0 PSF	HC-ENG	EC/WHK	*
TOT.LD.	40.0 PSF	SEQN-	159070	
DUR.FAC.	1.25	FROM	LRB	
SPACING	24.0"	JREF-	1SR0215_701	



**\*\*WARNING\*\*** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSP 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 503 D'ORFELLO DR., SUITE 200, MADISON, WI 53719) AND WCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

**\*\*IMPORTANT\*\*** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI1 OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AFAPA) AND TPI1. ALPINE CONNECTION PLATES ARE MADE OF 2018/T6063-T6 ALUMINUM. ALL DIMENSIONS ARE IN INCHES. POSITION PER DRAWINGS 100A-2. ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNE A3 OF TPI1-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANS1/TPI 1 SEC. 2.

**Alpine Engineered Products, Inc.**  
1950 Marley Drive  
Haines City, FL 33844  
FL Certificate of Authorization # 567

(2868-1 / - - . \*\* - V10)

Top chord 2x4 SP #2 N  
Bot chord 2x4 SP #2 N  
Webs 2x4 SP #2 N

Left end vertical not exposed to wind pressure.

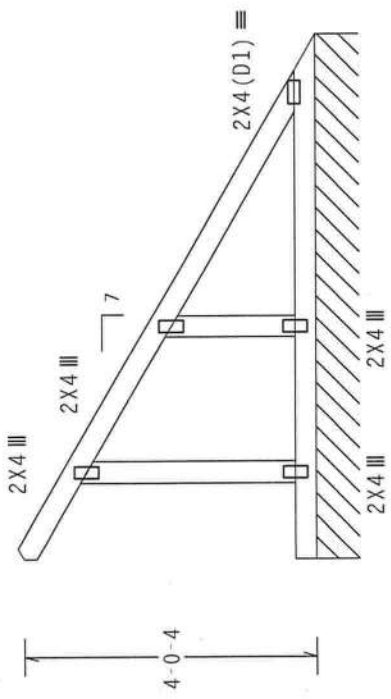
See DWG VALTRUSS103 for valley details.

The overall height of this truss excluding overhang is 4-1-4.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, not located within 4-50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Deflection meets L/240 live and L/180 total load.

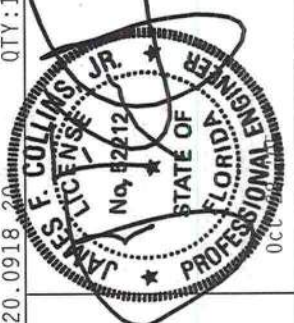
Plates sized for a minimum of 3.00 sq.in./piece.



R-82 PLF U=25 PLF W=7-2-3  
←-7-2-3 Over Continuous Support →

Design Crit: TPI-2002 (STD) / FBC  
Cq/RT=1.00(1.25)/10(0) 7.20.0918 20

QTY:1	FL/-/5/-/-/R/-	Scale = .375" / Ft.
TC LL	20.0 PSF	REF R215 -- 5684
TC DL	10.0 PSF	DATE 10/27/05
BC DL	10.0 PSF	DRW HCUSR215 05300338
BC LL	0.0 PSF	HC-ENG EC/WHK *
TOT.LD.	40.0 PSF	SEQN- 159072
DUR.FAC.	1.25	FROM LRB
SPACING	24.0"	JREF- 1SR0215_Z01



**\*\*WARNING\*\*** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCST 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI TRUSS PLATE INSTITUTE, 983 D'ORFORD DR., SUITE 200, MADISON, WI 53719) AND WCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

**\*\*IMPORTANT\*\*** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AIA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 2018/106A (A-J/S/7A) A308 A653 GRADE 40/60 (A, K/PL5) GALV. STEEL. ALPINE PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON TRUSSES, FOR PER A SEAL ON THIS AND INSPECTION IS PLACED IN THE HANDS OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN. DESIGNER ASSUMES THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER A051/TPI 1 SEC. 2.

ALPINE

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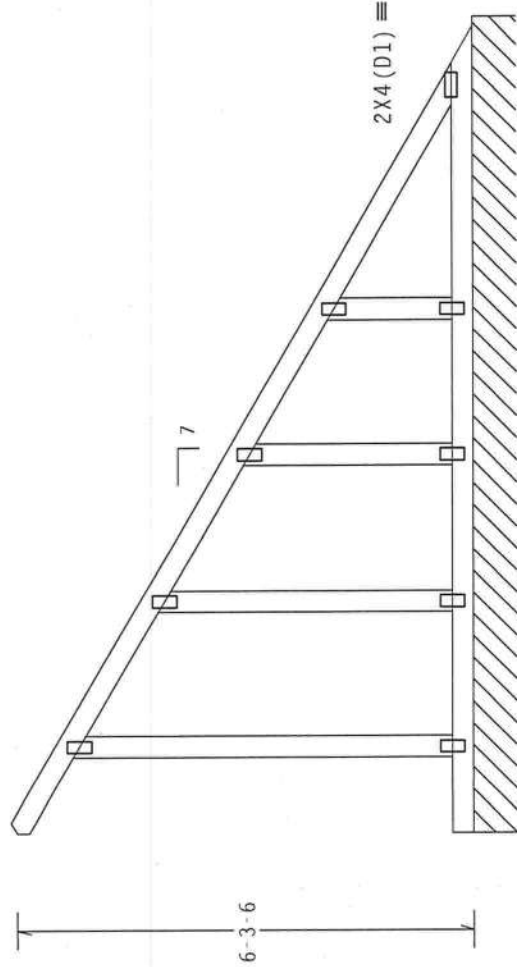
(2868- / / -- . \*\* - V8)

Top chord 2x4 SP #2 N  
Bot chord 2x4 SP #2 N  
Webs 2x4 SP #2 N

Left end vertical not exposed to wind pressure.

See DWG VALTRUSS1103 for valley details.

The overall height of this truss excluding overhang is 6-4-6.



110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Deflection meets L/240 live and L/180 total load.

Plates sized for a minimum of 3.00 sq.in./piece.

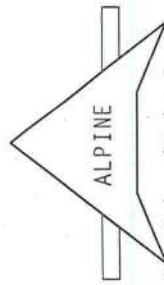
Note: All Plates Are 2X4 Except As Shown.

Design Crit: TPI-2002 (STD) / FBC

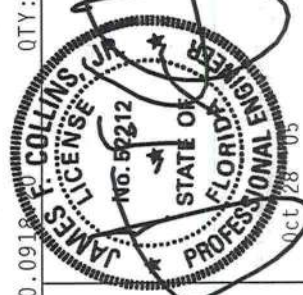
PLT TYP. Wave Cq/RT=1.00(1.25)/10(0) 7.20.0918 QTY:1 FL/-/5/-/-/R/- Scale = .375"/Ft.

**\*\*WARNING\*\*** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSP 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (CROSS PLATE INSTITUTE, 503 D'ONOFRIO DR., SUITE 200, MADISON, WI 53719) AND WCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED BRIGID CEILING.

**\*\*IMPORTANT\*\*** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AFAPA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 20/10/10GA (W/J/S/F) ASTM A553 GRADE 50/55G (F413) GRAY STEEL. ALPINE CONNECTOR PLATES ARE MADE OF 20/10/10GA (W/J/S/F) ASTM A553 GRADE 50/55G (F413) GRAY STEEL. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN INCHES. THIS DESIGN IS THE PROPERTY OF ALPINE ENGINEERED PRODUCTS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT PERMISSION IN WRITING FROM ALPINE ENGINEERED PRODUCTS, INC. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.



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TC LL	20.0 PSF
TC DL	10.0 PSF
BC DL	10.0 PSF
BC LL	0.0 PSF
TOT.LD.	40.0 PSF
DUR.FAC.	1.25
SPACING	24.0"

REF	R215--	5686
DATE	10/27/05	
DRW	HCUSR215	05300343
HC-ENG	EC/WHK	
SEQN	159076	
FROM	LRB	
JREF	1SR0215_Z01	

(2868-1 / - - , \*\* - V7)

Top chord 2x4 SP #2 N  
Bot chord 2x4 SP #2 N  
Webs 2x4 SP #2 N

Left end vertical not exposed to wind pressure.

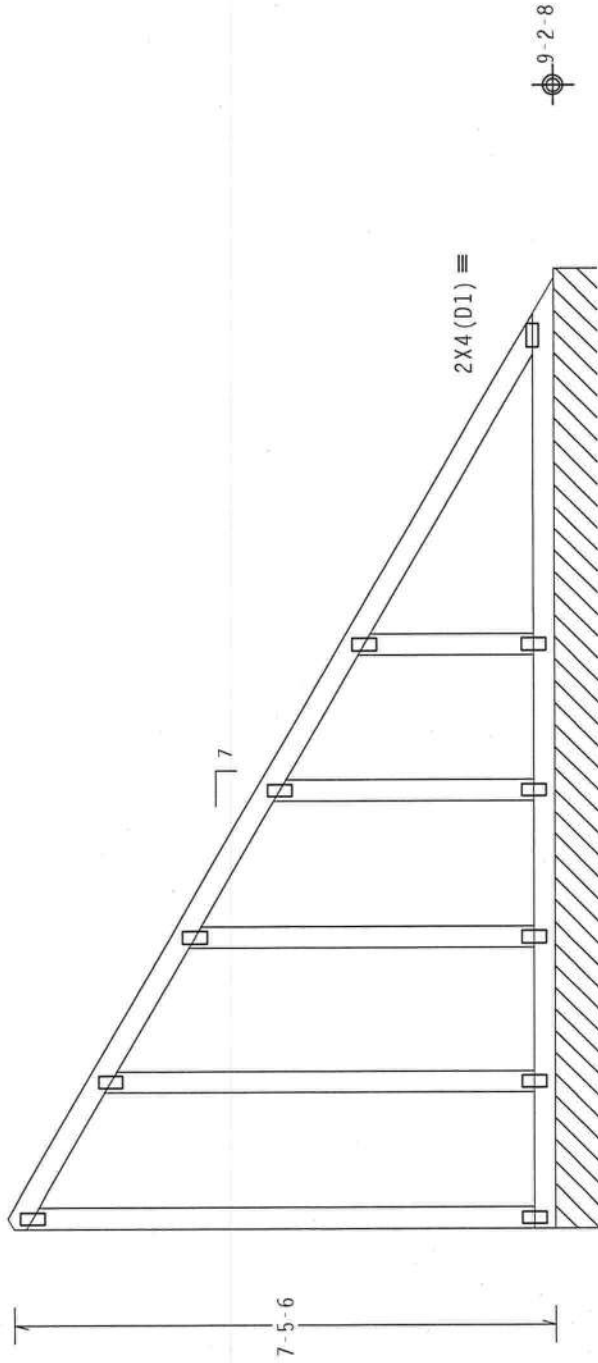
See DWG VALTRUSS1103 for valley details.

The overall height of this truss excluding overhang is 7-6-6.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, not located within 4-50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Deflection meets L/240 live and L/180 total load.

Plates sized for a minimum of 3.00 sq.in./piece.



R-81 PLF U-14 PLF W-13-2-3

13-2-3 Over Continuous Support

Note: All Plates Are 2x4 Except As Shown.

Design Crit: TPI-2002 (STD)/FBC

Cq/RT=1.00(1.25)/10(0)

7.20.0918

QTY:1

FL/-/5/-/-/R/-

Scale = .375"/Ft.

 <p><b>ALPINE</b> Alpine Engineered Products, Inc. 1950 Marley Drive Haines City, FL 33844 FL Certificate of Authorization # 567</p>	<p><b>**WARNING**</b> TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSP 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, WI 53719) AND MCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.</p>	<p>TC LL 20.0 PSF TC DL 10.0 PSF BC DL 10.0 PSF BC LL 0.0 PSF TOT.LD. 40.0 PSF DUR.FAC. 1.25 SPACING 24.0"</p>	<p>REF R215-- 5687 DATE 10/27/05 DRW HCUSR215 05300344 HC-ENG EC/WHK SEQN- 159101 FROM LRB JREF- 1SR0215_Z01</p>
	<p><b>**IMPORTANT**</b> FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING &amp; BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF IBCS (NATIONAL DESIGN SPEC. BY AFAPA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 20/19/10GA (W/15/5/7) A575/A555 GRADE STEEL. DESIGN, MANUFACTURE, AND PERFORMING INSPECTION OF PLATES PUBLISHED BY TPI SHALL BE PER ANNEA 33 OF TPI-2002 SEC. 3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSII/TPI 1 SEC. 2.</p>	<p>STATE OF FLORIDA PROFESSIONAL ENGINEER No. 52372 OCT 20 2009</p>	

# VALLEY TRUSS DETAIL

TOP CHORD 2X4 SP #2 OR SPF #1/#2 OR BETTER.  
 BOT CHORD 2X3(\*) OR 2X4 SP #2N OR SPF #1/#2 OR BETTER.  
 WEBS 2X4 SP #3 OR BETTER.

\* 2X3 MAY BE RIPPED FROM A 2X6 (PITCHED OR SQUARE).  
 \*\* ATTACH EACH VALLEY TO EVERY SUPPORTING TRUSS WITH:  
 (2) 16d BOX (0.135" X 3.5") NAILS TOE-NAILED FOR  
 SBC 110 MPH, ASCE 7-93 110 MPH WIND OR  
 ASCE 7-98 130 MPH WIND. 15' MEAN HEIGHT, ENCLOSED  
 BUILDING, EXP. C, RESIDENTIAL, WIND TC DL=5 PSF.

UNLESS SPECIFIED ON ENGINEER'S SEALED DESIGN, APPLY 1X4 "T"-BRACE, 80% LENGTH OF WEB, VALLEY WEB, SAME SPECIES AND GRADE OR BETTER, ATTACHED WITH 8d BOX (0.113" X 2.5") NAILS AT 6" OC, OR CONTINUOUS LATERAL BRACING, EQUALLY SPACED, FOR VERTICAL VALLEY WEBS GREATER THAN 7'9".

MAXIMUM VALLEY VERTICAL HEIGHT MAY NOT EXCEED 12'0".

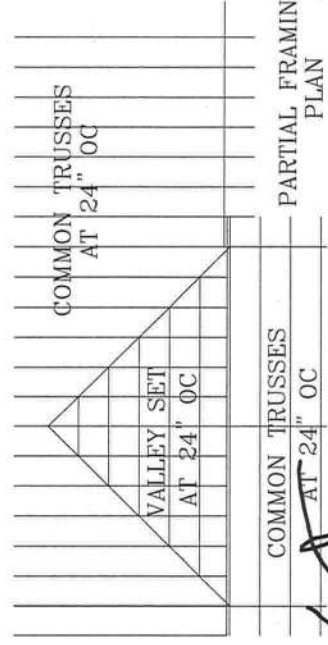
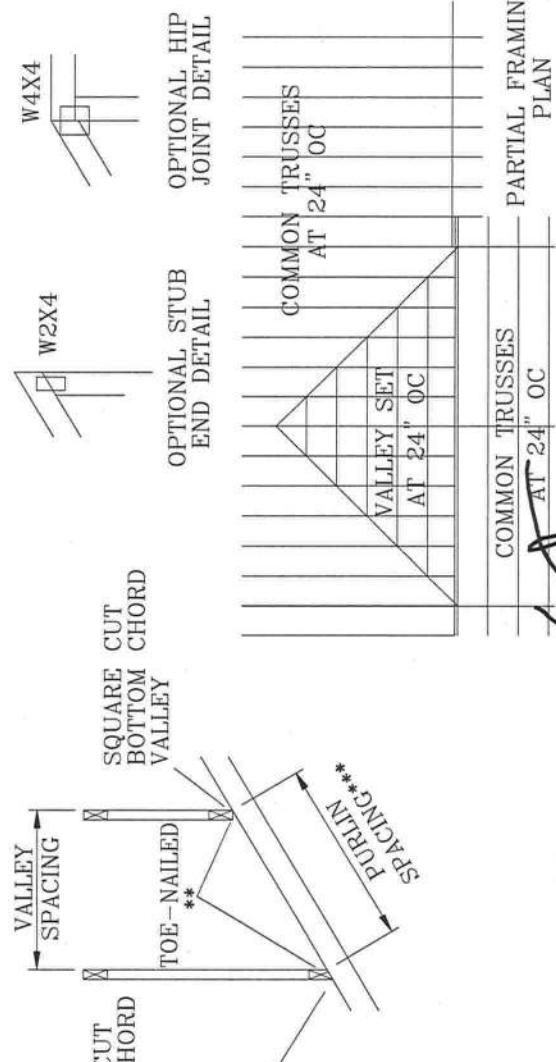
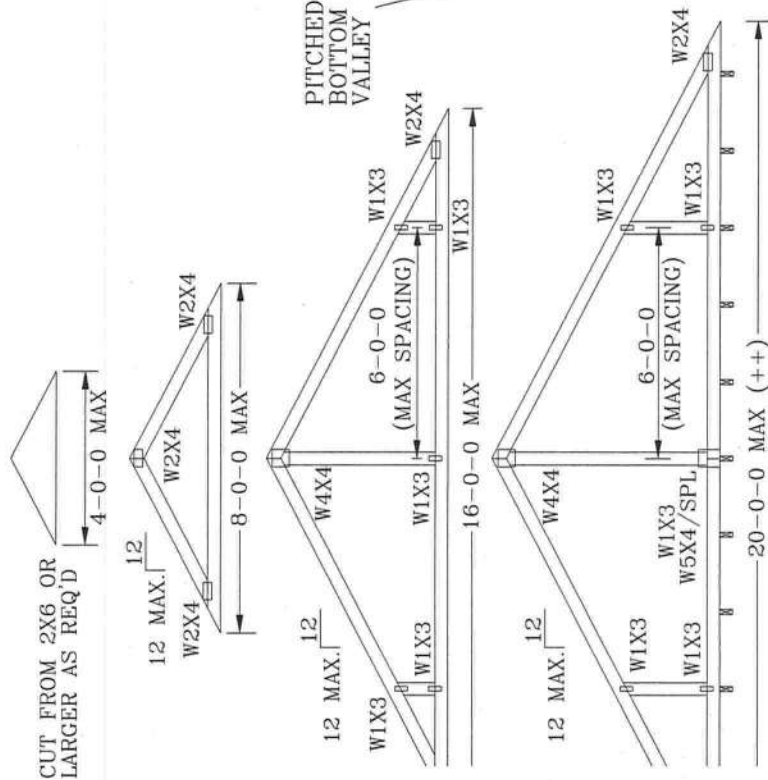
TOP CHORD OF TRUSS BENEATH VALLEY SET MUST BE BRACED WITH:  
 PROPERLY ATTACHED, RATED SHEATHING APPLIED PRIOR TO VALLEY TRUSS INSTALLATION  
 OR  
 PURLINS AT 24" OC OR AS OTHERWISE SPECIFIED ON ENGINEERS' SEALED DESIGN

OR  
 BY VALLEY TRUSSES USED IN LIEU OF PURLIN SPACING AS SPECIFIED ON ENGINEERS' SEALED DESIGN.

\*\*\* NOTE THAT THE PURLIN SPACING FOR BRACING THE TOP CHORD OF THE TRUSS BENEATH THE VALLEY IS MEASURED ALONG THE SLOPE OF THE TOP CHORD.

++ LARGER SPANS MAY BE BUILT AS LONG AS THE VERTICAL HEIGHT DOES NOT EXCEED 12'0".

BOTTOM CHORD MAY BE SQUARE OR PITCHED CUT AS SHOWN.



SUPPORTING TRUSSES AT 24" OC MAXIMUM SPACING.

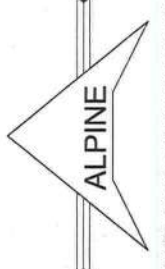
THIS DRAWING REPLACES DRAWING A105

TC LL	30	40 PSF	REF	VALLEY DETAIL
TC DL	20	15	DATE	11/26/03
BC DL	10	10 PSF	DRWG	VALTRUSS1103
BC LL	0	0	PSF	-ENG MLH/KAR
TOT. LD.	60	55	57 PSF	
DUR.FAC.	1.25/1.33	1.15	1.15	
SPACING	24"			

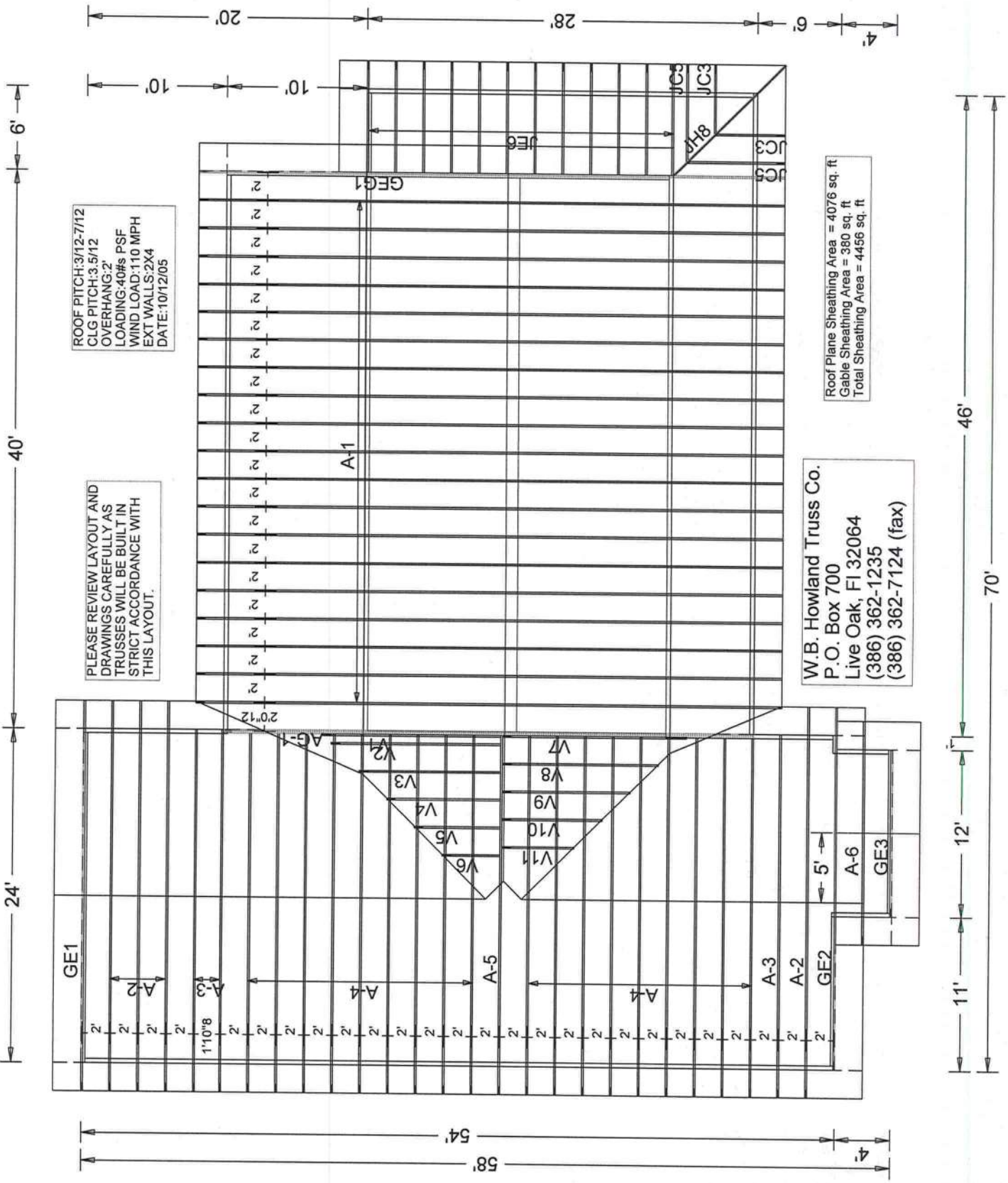


\*\*\*WARNING\*\*\* TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFERENCE TO BCSI 1-03 (BUILDING COMPONENT SAFETY INFORMATION, PUBLISHED BY TPI TRUSS PLATE INSTITUTE, 593 D'ONDREID DR., SUITE 200, MADISON, WI 53719) AND WCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

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ALPINE ENGINEERED PRODUCTS, INC.  
 POMPANO BEACH, FLORIDA



ROOF PITCH: 3/12-7/12  
 CLG PITCH: 3.5/12  
 OVERHANG: 2'  
 LOADING: 40#s PSF  
 WIND LOAD: 110 MPH  
 EXT WALLS: 2X4  
 DATE: 10/12/05

PLEASE REVIEW LAYOUT AND  
 DRAWINGS CAREFULLY AS  
 TRUSSES WILL BE BUILT IN  
 STRICT ACCORDANCE WITH  
 THIS LAYOUT.

W.B. Howland Truss Co.  
 P.O. Box 700  
 Live Oak, FL 32064  
 (386) 362-1235  
 (386) 362-7124 (fax)

Roof Plane Sheathing Area = 4076 sq. ft  
 Gable Sheathing Area = 380 sq. ft  
 Total Sheathing Area = 4456 sq. ft

**RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR FLORIDA BUILDING CODE 2004 and FLORIDA RESIDENTIAL CODE 2004 WITH AMENDMENTS ONE (1) AND TWO (2) FAMILY DWELLINGS**

ALL REQUIREMENTS ARE SUBJECT TO CHANGE  
EFFECTIVE OCTOBER 1, 2005

ALL BUILDING PLANS MUST INDICATE THE FOLLOWING ITEMS AND INDICATE COMPLIANCE WITH CHAPTER 16 OF THE FLORIDA BUILDING CODE 2004 BY PROVIDING CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS. FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEED AS PER FIGURE 1609 SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE -----110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

**GENERAL REQUIREMENTS:** Two (2) complete sets of plans containing the following:

Applicant	Plans Examiner	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	All drawings must be clear, concise and drawn to scale ("Optional " details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Designers name and signature on document (FBC 106.1). If licensed architect or engineer, official seal shall be affixed.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Site Plan including:</b> a) Dimensions of lot b) Dimensions of building set backs c) Location of all other buildings on lot, well and septic tank if applicable, and all utility easements. d) Provide a full legal description of property.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Wind-load Engineering Summary, calculations and any details required</b> Plans or specifications must state compliance with FBC Section 1609. The following information must be shown as per section 1603.1.4 FBC a. Basic wind speed (3-second gust), miles per hour (km/hr). b. Wind importance factor, I <sub>w</sub> , and building classification from Table 1604.5 or Table 6-1, ASCE 7 and building classification in Table 1-1, ASCE 7. c. Wind exposure, if more than one wind exposure is utilized, the wind exposure and applicable wind direction shall be indicated. d. The applicable enclosure classifications and, if designed with ASCE 7, internal pressure coefficient. e. Components and Cladding. The design wind pressures in terms of psf (kN/m <sup>2</sup> ) to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Elevations including:</b> a) All sides b) Roof pitch c) Overhang dimensions and detail with attic ventilation

- N/A
- N/A
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- SEE NOTE 3
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- SEE NOTE 4
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- N/A

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- SEE NOTE 5
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- STA

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d) Location, size and height above roof of chimneys.

e) Location and size of skylights

f) Building height

e) Number of stories

**Floor Plan including:**

a) Rooms labeled and dimensioned.

b) Shear walls identified.

c) Show product approval specification as required by Fla. Statute 553.842 and Fla. Administrative Code 9B-72 (see attach forms).

d) Show safety glazing of glass, where required by code.

e) Identify egress windows in bedrooms, and size.

f) Fireplace (gas vented), (gas non-vented) or wood burning with hearth, (Please circle applicable type).

g) Stairs with dimensions (width, tread and riser) and details of guardrails and handrails.

h) Must show and identify accessibility requirements (accessible bathroom)

**Foundation Plan including:**

a) Location of all load-bearing wall with required footings indicated as standard or monolithic and dimensions and reinforcing.

b) All posts and/or column footing including size and reinforcing

c) Any special support required by soil analysis such as piling

d) Location of any vertical steel.

**Roof System:**

a) Truss package including:

1. Truss layout and truss details signed and sealed by Fl. Pro. Eng.
2. Roof assembly (FBC 106.1.1.2) Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)

b) Conventional Framing Layout including:

1. Rafter size, species and spacing
2. Attachment to wall and uplift
3. Ridge beam sized and valley framing and support details
4. Roof assembly (FBC 106.1.1.2) Roofing systems, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)

**Wall Sections including:**

a) Masonry wall

1. All materials making up wall
2. Block size and mortar type with size and spacing of reinforcement
3. Lintel, tie-beam sizes and reinforcement
4. Gable ends with rake beams showing reinforcement or gable truss and wall bracing details
5. All required connectors with uplift rating and required number and size of fasteners for continuous tie from roof to foundation
6. Roof assembly shown here or on roof system detail (FBC 106.1.1.2) Roofing system, materials, manufacturer, fastening requirements and product evaluation with resistance rating)
7. Fire resistant construction (if required)
8. Fireproofing requirements
9. Shoe type of termite treatment (termicide or alternative method)
10. Slab on grade
  - a. Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)
  - b. Must show control joints, synthetic fiber reinforcement or Welded fire fabric reinforcement and supports
11. Indicate where pressure treated wood will be placed
12. Provide insulation R value for the following:
  - a. Attic space
  - b. Exterior wall cavity



**THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS**

1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all residential projects.
2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested.
3. **Environmental Health Permit or Sewer Tap Approval:** A copy of the Environmental Health permit, existing septic approval or sewer tap approval is required before a building permit can be issued. (386) 758-1058 ( Toilet facilities shall be provided for construction workers )
4. **City Approval:** If the project is to be located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321
5. **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.**  
A development permit will also be required. Development permit cost is \$50.00
6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial. **If the project is to be located on a F.D.O.T. maintained road, than an F.D.O.T. access permit is required.**
7. **911 Address:** If the project is located in an area where the 911 address has been issued, then the proper paperwork from the 911 Addressing Department must be submitted. (386) 752-8787

**ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE – TIME WILL NOT ALLOW THIS –PLEASE DO NOT ASK**

**PRODUCT APPROVAL SPECIFICATION SHEET**

**Location:** ZOL CALVARY PLACE

**Project Name:** MOCKINGBIRD

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at [www.floridabuilding.org](http://www.floridabuilding.org)

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>A. EXTERIOR DOORS</b>			
1. Swinging	RELIAB RELIABILT	4616 FIB 3/0 STEEL X2	FL18
2. Sliding <del>Swinging</del>	RELIABILT	F/B 3/0 ENTRANCE X1	FL20
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
<b>B. WINDOWS</b>			
1. Single hung	PELLA	SINGLE HUNG 10 SERIES	FL1457.1
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
<b>C. PANEL WALL</b>			
✓ 1. Siding	GEORGIA PACIFIC	Vinyl Siding	FL1139
2. Soffits	GEORGIA PACIFIC	Vinyl	FL1146
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
✓ 7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
<b>D. ROOFING PRODUCTS</b>			
✓ 1. Asphalt Shingles	OWENSCORNING	25 YR 3TAB	FL673
✓ 2. Underlayments			
✓ 3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys			
14. Cements-Adhesives - Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
<b>E. SHUTTERS</b>			
1. Accordion			
2. Bahama			
3. Storm Panels			
✓ 4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
<b>F. SKYLIGHTS</b>			
1. Skylight			
2. Other			
<b>G. STRUCTURAL COMPONENTS</b>			
1. Wood connector/anchor	Simpson	HARSH U.N.O. SEE WINDOW SCHEDULE	
2. Truss plates			
3. Engineered lumber			
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
<b>H. NEW EXTERIOR ENVELOPE PRODUCTS</b>			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Roger Butler  
 Contractor or Contractor's Authorized Agent Signature  
206 CALVARY PLACE  
 Location

RODGER BUTLER 10/25/05  
 Print Name Date  
 Permit # (FOR STAFF USE ONLY)

# NOTICE:

## ADDRESSES BY APPOINTMENT ONLY!

TO OBTAIN A 9-1-1 ADDRESS THE REQUESTER MUST CONTACT THE COLUMBIA COUNTY 9-1-1 ADDRESSING DEPARTMENT AT (386) 752-8787 FOR AN APPOINTMENT TIME AND DATE:

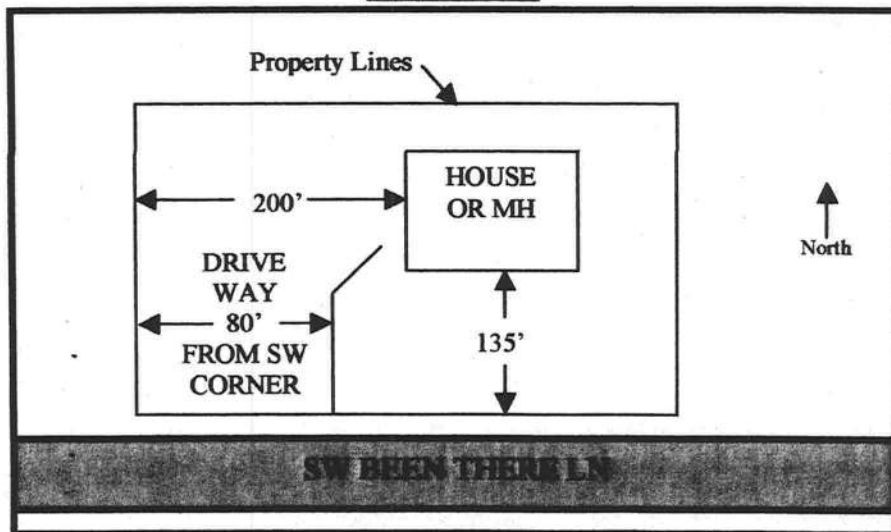
## YOU CAN NOT OBTAIN A NEW ADDRESS OVER THE TELEPHONE. MUST MAKE AN APPOINTMENT!

THE ADDRESSING DEPARTMENT IS LOCATED AT 263 NW LAKE CITY AVENUE (OFF OF WEST U.S. HIGHWAY 90 WEST OF INTERSTATE 75 AT THE COLUMBIA COUNTY EMERGENCY OPERATIONS CENTER).

### THE REQUESTER WILL NEED THE FOLLOWING:

1. THE PARCEL OR TAX ID NUMBER (SAMPLE: "25-4S-17-12345-123" OR "R12345-123) FOR THE PROPERTY.
2. A PLAT, PLAN, SITE PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
  - a. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
  - b. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
  - c. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

### SAMPLE:



**NOTE: 5 TO 7 WORKING DAYS MAY BE REQUIRED IF ADDRESSING DEPARTMENT NEEDS TO CONDUCT AN ON SITE SURVEY.**

# Residential System Sizing Calculation

## Summary

Calvery Place  
Mason City, FL 32025-

Project Title:  
510062 Rodger Butler Butler Builders

Class 3 Rating  
Registration No. 0  
Climate: North

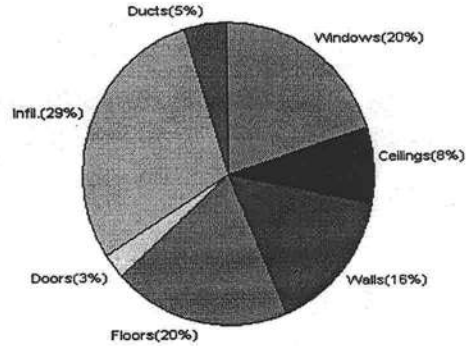
10/21/2005

Location for weather data: Gainesville - Defaults: Latitude(29) Temp Range(M)			
Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(51gr.)			
Winter design temperature	31 F	Summer design temperature	93 F
Winter setpoint	70 F	Summer setpoint	75 F
Winter temperature difference	39 F	Summer temperature difference	18 F
<b>Total heating load calculation</b>	<b>36919 Btuh</b>	<b>Total cooling load calculation</b>	<b>33398 Btuh</b>
Submitted heating capacity	% of calc Btuh	Submitted cooling capacity	% of calc Btuh
Total (Electric Heat Pump)	119.2 44000	Sensible (SHR = 0.75)	137.3 33000
Heat Pump + Auxiliary(0.0kW)	119.2 44000	Latent	117.5 11000
		Total (Electric Heat Pump)	131.7 44000

## WINTER CALCULATIONS

Winter Heating Load (for 2320 sqft)

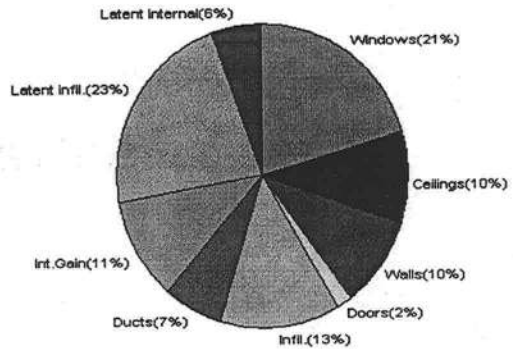
Load component		Load	
Window total	264 sqft	7471	Btuh
Wall total	1848 sqft	5729	Btuh
Door total	55 sqft	1008	Btuh
Ceiling total	2320 sqft	3016	Btuh
Floor total	231 ft	7300	Btuh
Infiltration	248 cfm	10638	Btuh
<b>Subtotal</b>		<b>35161</b>	<b>Btuh</b>
Duct loss		1758	Btuh
<b>TOTAL HEAT LOSS</b>		<b>36919</b>	<b>Btuh</b>



## SUMMER CALCULATIONS

Summer Cooling Load (for 2320 sqft)

Load component		Load	
Window total	264 sqft	6885	Btuh
Wall total	1848 sqft	3216	Btuh
Door total	55 sqft	558	Btuh
Ceiling total	2320 sqft	3294	Btuh
Floor total		0	Btuh
Infiltration	217 cfm	4296	Btuh
Internal gain		3600	Btuh
<b>Subtotal(sensible)</b>		<b>21849</b>	<b>Btuh</b>
Duct gain		2185	Btuh
<b>Total sensible gain</b>		<b>24034</b>	<b>Btuh</b>
Latent gain(infiltration)		7524	Btuh
Latent gain(internal)		1840	Btuh
<b>Total latent gain</b>		<b>9364</b>	<b>Btuh</b>
<b>TOTAL HEAT GAIN</b>		<b>33398</b>	<b>Btuh</b>



EnergyGauge® System Sizing based on ACCA Manual J.

PREPARED BY: *Demetrius*

DATE: 10.21.05

# System Sizing Calculations - Winter

## Residential Load - Component Details

Calvery Place  
Mason City, FL 32025-

Project Title:  
510062 Rodger Butler Butler Builders

Class 3 Rating  
Registration No. 0  
Climate: North

Reference City: Gainesville (Defaults) Winter Temperature Difference: 39.0 F

10/21/2005

Window	Panes/SHGC/Frame/U	Orientation	Area X	HTM=	Load
1	2, Clear, Metal, DEF	E	12.0	28.3	340 Btuh
2	2, Clear, Metal, DEF	E	11.0	28.3	311 Btuh
3	2, Clear, Metal, DEF	N	45.0	28.3	1274 Btuh
4	2, Clear, Metal, DEF	N	11.0	28.3	311 Btuh
5	2, Clear, Metal, DEF	W	11.0	28.3	311 Btuh
6	2, Clear, Metal, DEF	N	6.0	28.3	170 Btuh
7	2, Clear, Metal, DEF	E	12.0	28.3	340 Btuh
8	2, Clear, Metal, DEF	S	24.0	28.3	679 Btuh
9	2, Clear, Metal, DEF	N	28.0	28.3	792 Btuh
10	2, Clear, Metal, DEF	S	14.0	28.3	396 Btuh
11	2, Clear, Metal, DEF	S	30.0	28.3	849 Btuh
12	2, Clear, Metal, DEF	N	60.0	28.3	1698 Btuh
Window Total			264		7471 Btuh
Walls	Type	R-Value	Area X	HTM=	Load
1	Frame - Exterior	13.0	1848	3.1	5729 Btuh
Wall Total			1848		5729 Btuh
Doors	Type		Area X	HTM=	Load
1	Insulated - Exter		11	18.3	202 Btuh
2	Insulated - Exter		11	18.3	202 Btuh
3	Insulated - Exter		11	18.3	202 Btuh
4	Insulated - Exter		22	18.3	403 Btuh
Door Total			55		1008 Btuh
Ceilings	Type	R-Value	Area X	HTM=	Load
1	Under Attic	30.0	2320	1.3	3016 Btuh
Ceiling Total			2320		3016 Btuh
Floors	Type	R-Value	Size X	HTM=	Load
1	Slab-On-Grade Edge Insul	0	231.0 ft(p)	31.6	7300 Btuh
Floor Total			231		7300 Btuh
Infiltration	Type	ACH X	Building Volume	CFM=	Load
	Natural	0.80	18560(sqft)	248	10638 Btuh
	Mechanical			0	0 Btuh
Infiltration Total				248	10638 Btuh

<b>Totals for Heating</b>	<b>Subtotal</b>	<b>35161 Btuh</b>
	<b>Duct Loss(using duct multiplier of 0.05)</b>	<b>1758 Btuh</b>
	<b>Total Btuh Loss</b>	<b>36919 Btuh</b>

# Manual J Winter Calculations

## Residential Load - Component Details (continued)

Calvery Place  
Mason City, FL 32025-

Project Title:  
510062 Rodger Butler Builders

Class 3 Rating  
Registration No. 0  
Climate: North

10/21/2005

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)  
(Frame types - metal, wood or insulated metal)  
(U - Window U-Factor or 'DEF' for default)  
(HTM - ManualJ Heat Transfer Multiplier)  
Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types )

# System Sizing Calculations - Summer

## Residential Load - Component Details

Calvery Place  
Mason City, FL 32025-

Project Title:  
510062 Rodger Butler Butler Builders

Class 3 Rating  
Registration No. 0  
Climate: North

Reference City: Gainesville (Defaults)

Summer Temperature Difference: 18.0 F

10/21/2005

Window	Type	Overhang	Window Area(sqft)			HTM		Load		
	Panes/SHGC/U/InSh/ExShOrnt		Len	Hgt	Gross	Shaded	Unshaded		Shaded	Unshaded
1	2, Clear, DEF, N, N	E	1.5	4	12.0	2.5	9.5	22	72	741 Btuh
2	2, Clear, DEF, N, N	E	40	6	11.0	11.0	0.0	22	72	242 Btuh
3	2, Clear, DEF, N, N	N	10	6	45.0	0.0	45.0	22	22	990 Btuh
4	2, Clear, DEF, N, N	N	10	6	11.0	0.0	11.0	22	22	242 Btuh
5	2, Clear, DEF, N, N	W	40	6	11.0	11.0	0.0	22	72	242 Btuh
6	2, Clear, DEF, N, N	N	1.5	3	6.0	0.0	6.0	22	22	132 Btuh
7	2, Clear, DEF, N, N	E	1.5	5	12.0	0.0	12.0	22	72	864 Btuh
8	2, Clear, DEF, N, N	S	1.5	5	24.0	24.0	0.0	22	37	528 Btuh
9	2, Clear, DEF, N, N	N	1.5	5.66	28.0	0.0	28.0	22	22	616 Btuh
10	2, Clear, DEF, N, N	S	1.5	5.66	14.0	14.0	0.0	22	37	308 Btuh
11	2, Clear, DEF, N, N	S	1.5	6	30.0	30.0	0.0	22	37	660 Btuh
12	2, Clear, DEF, N, N	N	1.5	6	60.0	0.0	60.0	22	22	1320 Btuh
<b>Window Total</b>					<b>264</b>					<b>6885 Btuh</b>
<b>Walls</b>	<b>Type</b>	<b>R-Value</b>		<b>Area</b>		<b>HTM</b>		<b>Load</b>		
1	Frame - Exterior	13.0		1848.0		1.7		3216 Btuh		
<b>Wall Total</b>				<b>1848.0</b>				<b>3216 Btuh</b>		
<b>Doors</b>	<b>Type</b>	<b>R-Value</b>		<b>Area</b>		<b>HTM</b>		<b>Load</b>		
1	Insulated - Exter	10.1		11.0		10.1		112 Btuh		
2	Insulated - Exter	10.1		11.0		10.1		112 Btuh		
3	Insulated - Exter	10.1		11.0		10.1		112 Btuh		
4	Insulated - Exter	10.1		22.0		10.1		223 Btuh		
<b>Door Total</b>				<b>55.0</b>				<b>558 Btuh</b>		
<b>Ceilings</b>	<b>Type/Color</b>	<b>R-Value</b>		<b>Area</b>		<b>HTM</b>		<b>Load</b>		
1	Under Attic/Dark	30.0		2320.0		1.4		3294 Btuh		
<b>Ceiling Total</b>				<b>2320.0</b>				<b>3294 Btuh</b>		
<b>Floors</b>	<b>Type</b>	<b>R-Value</b>		<b>Size</b>		<b>HTM</b>		<b>Load</b>		
1	Slab-On-Grade Edge Insulation	0.0		231.0 ft(p)		0.0		0 Btuh		
<b>Floor Total</b>				<b>231.0</b>				<b>0 Btuh</b>		
<b>Infiltration</b>	<b>Type</b>	<b>ACH</b>		<b>Volume</b>		<b>CFM=</b>		<b>Load</b>		
	Natural	0.70		18560		217.0		4296 Btuh		
	Mechanical					0		0 Btuh		
<b>Infiltration Total</b>							<b>217</b>		<b>4296 Btuh</b>	
<b>Internal gain</b>	<b>Occupants</b>		<b>Btuh/occupant</b>		<b>Appliance</b>		<b>Load</b>			
	8		X 300 +		1200		3600 Btuh			

# Manual J Summer Calculations

## Residential Load - Component Details (continued)

Calvery Place  
Mason City, FL 32025-

Project Title:  
510062 Rodger Butler Butler Builders

Class 3 Rating  
Registration No. 0  
Climate: North

10/21/2005

<b>Totals for Cooling</b>	<b>Subtotal</b>	<b>21849 Btuh</b>
	<b>Duct gain(using duct multiplier of 0.10)</b>	<b>2185 Btuh</b>
	<b>Total sensible gain</b>	<b>24034 Btuh</b>
	<b>Latent infiltration gain (for 51 gr. humidity difference)</b>	<b>7524 Btuh</b>
	<b>Latent occupant gain (8 people @ 230 Btuh per person)</b>	<b>1840 Btuh</b>
	<b>Latent other gain</b>	<b>0 Btuh</b>
	<b>TOTAL GAIN</b>	<b>33398 Btuh</b>

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)  
 (U - Window U-Factor or 'DEF' for default)  
 (InSh - Interior shading device: none(N), Blinds/Daperies(B) or Roller Shades(R))  
 (ExSh - Exterior shading device: none(N) or numerical value)  
 (Ornt - compass orientation)

From: The Columbia County Building Department  
Plans Review  
135 NE Hernando Av.  
P. O Box 1529  
Lake City Florida, 32056-1529

# 0510-75

Reference to: Build permit application Number:

## Roger Butler Owner/ Builder 206 Calvary Place

On the date of October 31, 2005 application 0510-75 and plans for construction of a single family dwelling were reviewed and the following information or alteration to the plans will be required to continue processing this application. If you should have any question please contact the above address, or contact phone number (386) 758-1163 or fax any information to (386) 754-7088.

### **Please include application number 0510-75 when making reference to this application.**

1. Please submit a copy of the deed for parcel number 22-5S-17-09340-056 to show proof of ownership of this parcel.
2. The area summary condition living area states 2320 square feet, the Florida energy efficiency code for building construction form 600-A-2001 line six (condition floor area sq. ft.) 2320 square feet. The building permit application 0510-75 heated floor area states 2,272 (condition floor area sq. ft.) please correct the building permit application 0510-75 to show the correct condition floor area sq. ft..
3. On the elevation plans show the total height of the structure from the finished grade to the roof ridge.
4. Please submit product approval specification as required by Fla. Statute 553.842 and Fla. Administrative Code 9B-72 (**see attach forms**).
5. If the elevation of the covered decks finished floor will be 30" above the finished grade please show compliance with sections R312.1 of the FRC-2004 Guards required. Porches, balconies or

raised floor surfaces located more than 30 inches (762 mm) above the floor or grade below shall have guards not less than 36 inches (914 mm) in height. Open sides of stairs with a total rise of more than 30 inches (762 mm) above the floor or grade below shall have guards not less than 34 inches (864 mm) in height measured vertically from the nosing of the treads.

#### R312.2 Guard opening limitations.

Required guards on open sides of stairways, raised floor areas, balconies and porches shall have intermediate rails or ornamental closures which do not allow passage of a sphere 4 inches (102mm) or more in diameter.

Exceptions: The triangular openings formed by the riser, tread and bottom rail of a guard at the open side of a stairway are permitted to be of such a size that a sphere 6 inches (152 mm) cannot pass through.

#### 1607.7.1.1 Concentrated load.

Handrail assemblies and guards shall be able to resist a single concentrated load of 200 pounds (0.89 kN), applied in any direction at any point along the top, and have attachment devices and supporting structure to transfer this loading to appropriate structural elements of the building. Please show on the plans a design detail drawing to comply with the above code requirement.

6. Please show on the electrical plans compliance with sections R313.1 of the FRC-2004

Smoke alarms: Smoke alarms shall be installed in the following locations:

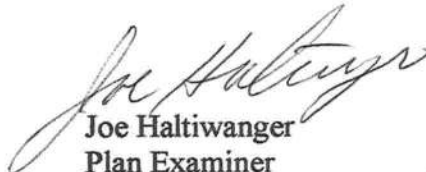
1. In each sleeping room.
2. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
3. On each additional story of the dwelling, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and

without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level. When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.

7. Please submit a recorded notice of commencement with this department prior to requesting any inspections on this dwelling.

8. Please make a note on the plans designed by Mr. Rodger N. Butler that all structural and wind load designs **shall for construction propose** use the wind loads designs by Mr. Mark Disosway P.E. Sheets S-1-S-3.

Thank you,



Joe Haltiwanger  
Plan Examiner  
Columbia County Building Department

Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys			
14. Cements-Adhesives – Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
<b>E. SHUTTERS</b>			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
<b>F. SKYLIGHTS</b>			
1. Skylight			
2. Other			
<b>G. STRUCTURAL COMPONENTS</b>			
1. Wood connector/anchor			
2. Truss plates			
3. Engineered lumber			
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
<b>H. NEW EXTERIOR ENVELOPE PRODUCTS</b>			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection

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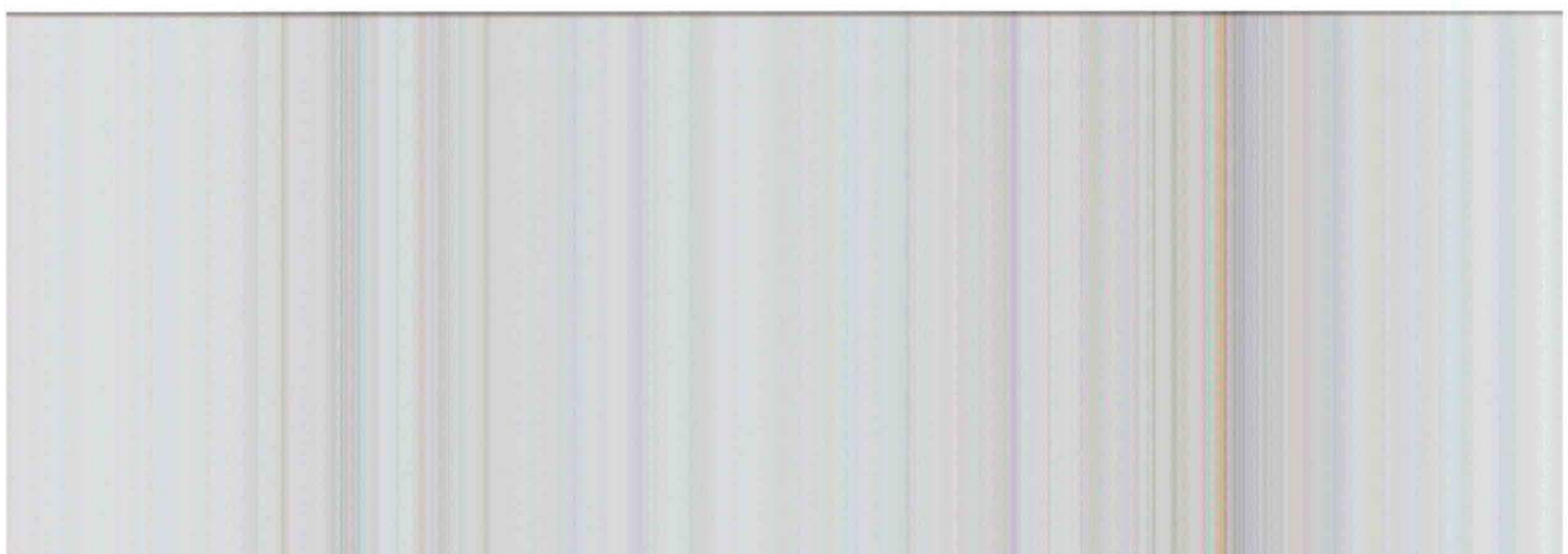
\_\_\_\_\_  
Contractor or Contractor's Authorized Agent Signature

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Location

\_\_\_\_\_  
Permit # (FOR STAFF USE ONLY)



**PRODUCT APPROVAL SPECIFICATION SHEET**

**Location:** \_\_\_\_\_

**Project Name:** \_\_\_\_\_

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at [www.floridabuilding.org](http://www.floridabuilding.org)

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>A. EXTERIOR DOORS</b>			
1. Swinging			
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
<b>B. WINDOWS</b>			
1. Single hung			
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
<b>C. PANEL WALL</b>			
1. Siding			
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
<b>D. ROOFING PRODUCTS</b>			
1. Asphalt Shingles			
2. Underlayments			
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

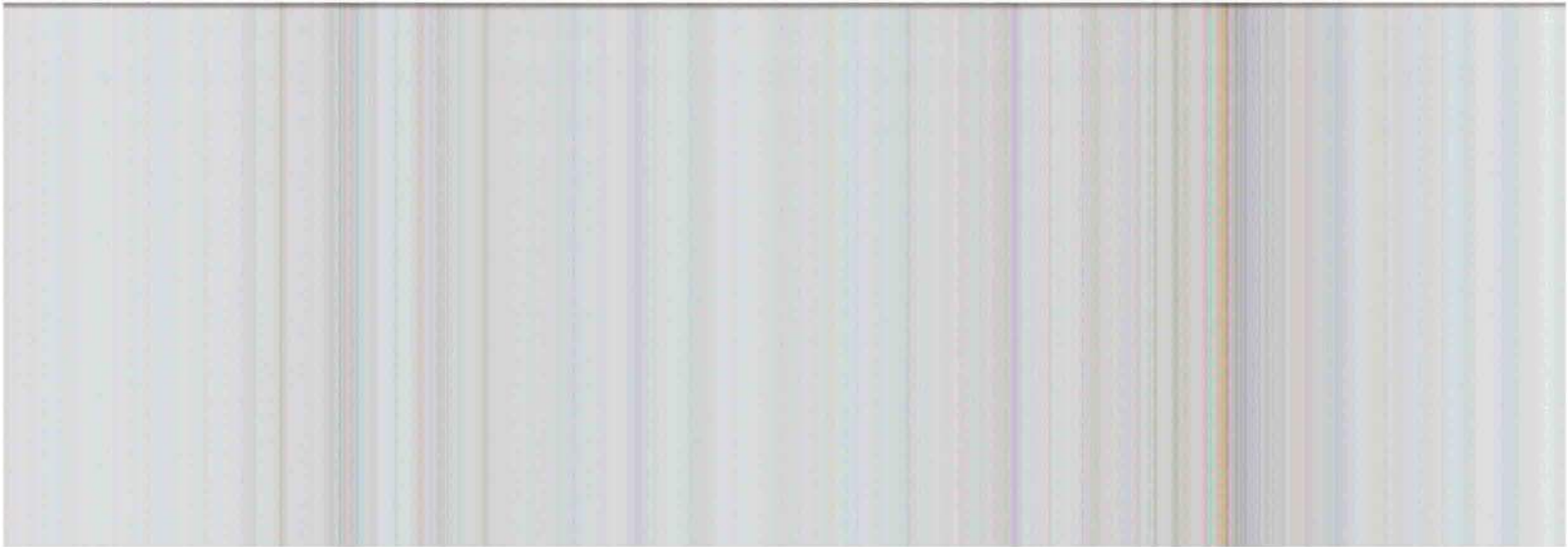
914 N. Jefferson  
Springdale, AR 72764  
800-951-5117  
479-756-7463 fax



# Fax

To: <u>Rogers</u>	From: <u>Kevin Williamson</u>
Fax: <u>(386) 754-3164</u>	Pages: <u>9</u>
Re:	Date: <u>11-11-05</u>

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Weyerhaeuser Technology Center, WTC 2B2  
P.O. Box 9777  
Federal Way, WA 98063-9777  
253-924-6499  
253-924-4259 (fax)  
dave.gromala@weyerhaeuser.com

September 16, 2004

To: Terri Sturm -- A.E.R.T.  
From: David S. Gromala, P.E. -- Weyerhaeuser  
Subject: **ChoiceDek® Engineering Properties**

When we receive questions regarding engineering design properties of ChoiceDek®, a reasonable technical response is along the following lines:

- **Is this for a deck board application?**
  - Yes? The allowable spans for specific design load ratings are included in NER-596. Unless the deck is being designed for some unusual design loads or has other specific performance criteria, the engineering capability of ChoiceDek® can be compared with other products directly from the load-span tables in their respective code reports.
  - No? In general, the code evaluation reports for wood-plastic composite products impose specific limits to the applications. While we can provide specifiers with sample test data for ChoiceDek® when tested under various stress conditions, designs for nonconforming applications is the responsibility of the engineer of record.
  
- **What are the engineering design values for ChoiceDek®?**
  - Our code evaluation report provides load-span tables for deck board use. It also provides three specific guardrail systems that have been tested for compliance with model code provisions. It does not include engineering design values for various stress modes. For the code-complying applications, the flexural properties -- strength (modulus of rupture or moment capacity) and stiffness (modulus of elasticity or flexural stiffness) are the primary stress modes of interest. Other allowable stresses, such as tension or compression, are not relevant for the design of these flexural members.
  - If we need to provide a specifier with some sense of comparative data, we can provide sample test data. However, while the stiffness values from test data are directly comparable with allowable design values, the strength values require further calculation. As a rule of thumb, one can divide the tested average flexural strength value by approximately three to reach an allowable design value. However, this is for rough comparison purposes only and should never form the basis of a design calculation.

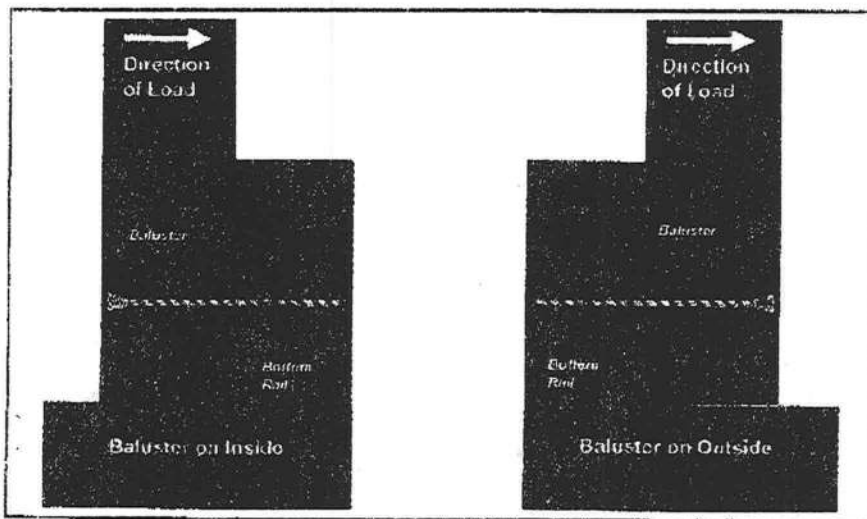
The testing of the new AERT / Choice Deck Universal Rail System was completed on Wednesday, March 17<sup>th</sup> 2004. Participating in the test were Steve Means, Elizabeth McDougall, and Tom Schulner from Weyerhaeuser Wood Science and Engineering. Mr. Graham McFarland of PFS provided 3<sup>rd</sup> party inspection.

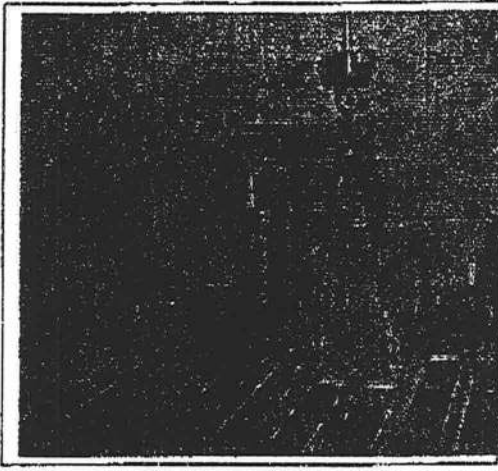
The testing protocol addressed all application configurations and orientations. In order to avoid repetition, the baluster tests were conducted on the longest feasible baluster span. The post specific test used the assembly which offered the least lateral support from the rail assembly to the posts. To simulate 125# per lineal foot load, quarter point loads of 375# each were applied to reflect the 6 ft center of post to center of post spacing. The uniform load test was conducted as two separate tests utilizing quarter point loading. Outward lateral loads were first applied and then the assembly was re-oriented to allow vertical (downward) application of the loads. All qualification loads were held for a minimum of 60 seconds.

#### Baluster Tests (4.2.2 In-fill Load Test)

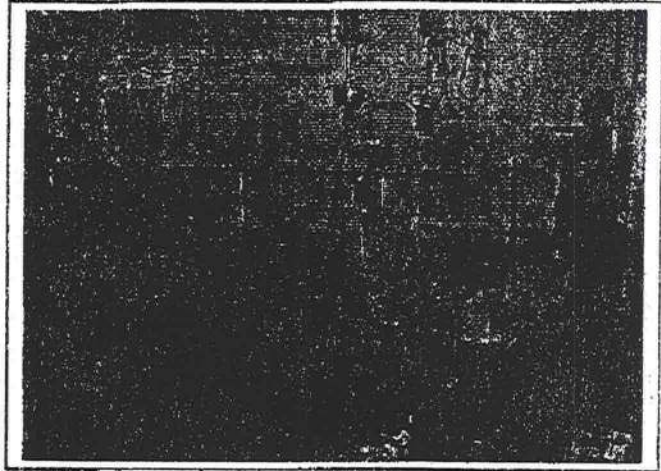
The toe sweep was limited to 2" with a top of rail elevation 42" above the deck. The overall length of balusters in this configuration was 37-5/8" long. The maximum simple span (center of screw to center of screw with balusters on the outside) was 36-3/8". The required 125# load was applied using a 12" square panel.

The worst case condition was then applied (on only 2 balusters). The load was applied at the top, mid-span, and bottom of the balusters. The tests were conducted in both baluster orientations (inside & outside). All tests were held at a minimum of 134# (a load slightly higher than the code requirement) for a period of 60 seconds with no apparent distress to either the members or the connections observed.





Infill Test near Support

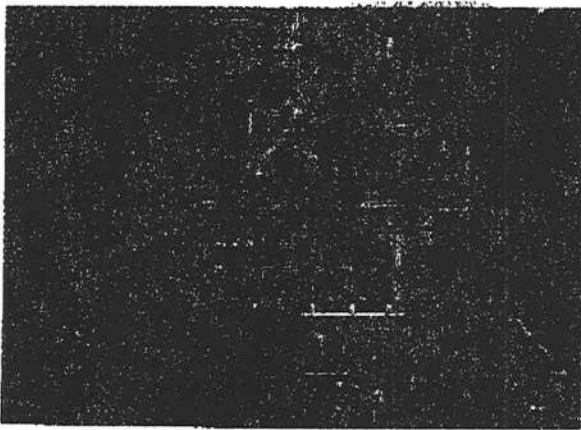


Infill Test at Mid-span

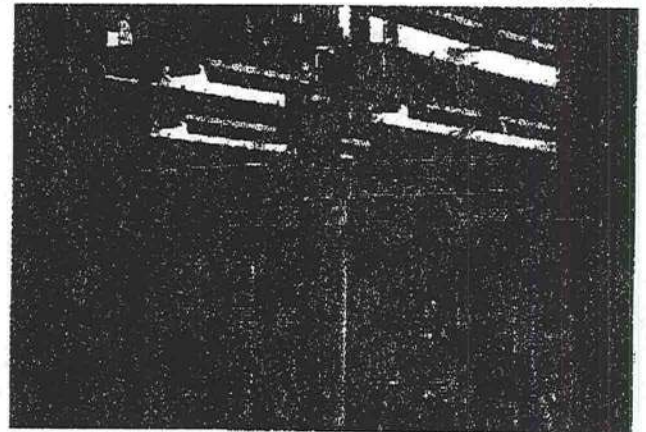
#### Uniform Load Test (4.2.3)

The acceptance criteria require two tests applying 125# per lineal foot in both the outward lateral and vertical downward directions. An alternate single test applying a vector load to simulate both components of load is permissible. We chose to do the two individual tests rather than the vector style.

The lateral load was applied at the quarter span locations utilizing straps and a spreader bar so as to not induce any axial compression into the top rail. A minimum load of 750# (375# at each 1/4 span location to simulate bending forces induced by a uniform load of 125 lbs/lf). In reality, the span of the rails is actually 67-3/4" since the posts are 4-1/4" thick. The 750# represents 6% more load than required and induced sufficient bending moment that there would be no concern if the user chose to use 3-1/2" x 3-1/2" timber posts in lieu of the choice deck post. The load was held for 60 seconds with no apparent signs of distress or loss of integrity.



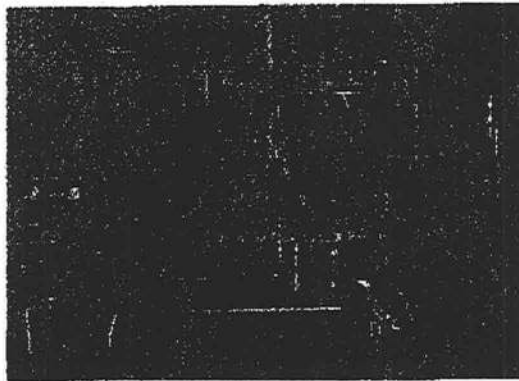
Lateral Load Test



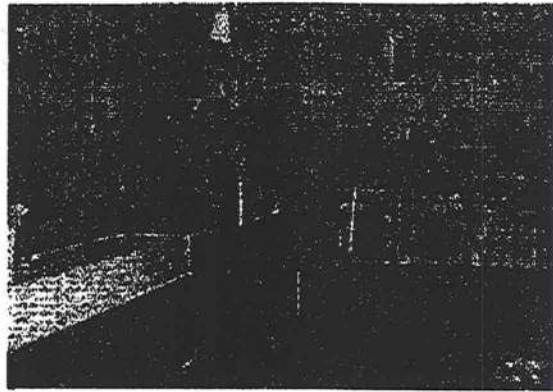
Vertical Load Test

Concentrated Load Test (4.2.4)

The concentrated load test consisted of two loading criteria and two locations for application of load. The first location was normal to the top rail at mid span. Deflection was measured at the posts and at mid span. Once the load reached 200#, the deflections were noted and the deflection devices were removed. The load was then increased to 500# and held for 60 seconds. The process was repeated with the load applied at the top of the post. All four rail assemblies held the 500# qualification load for 60 seconds with no apparent damage to the components or distortion of the connections.



500# Load at Mid Span



500# Load at Top of Post

The 200# maximum allowable deflection criteria based on the span and height of the rail system for the concentrated load test (4.2.4) are as follows:

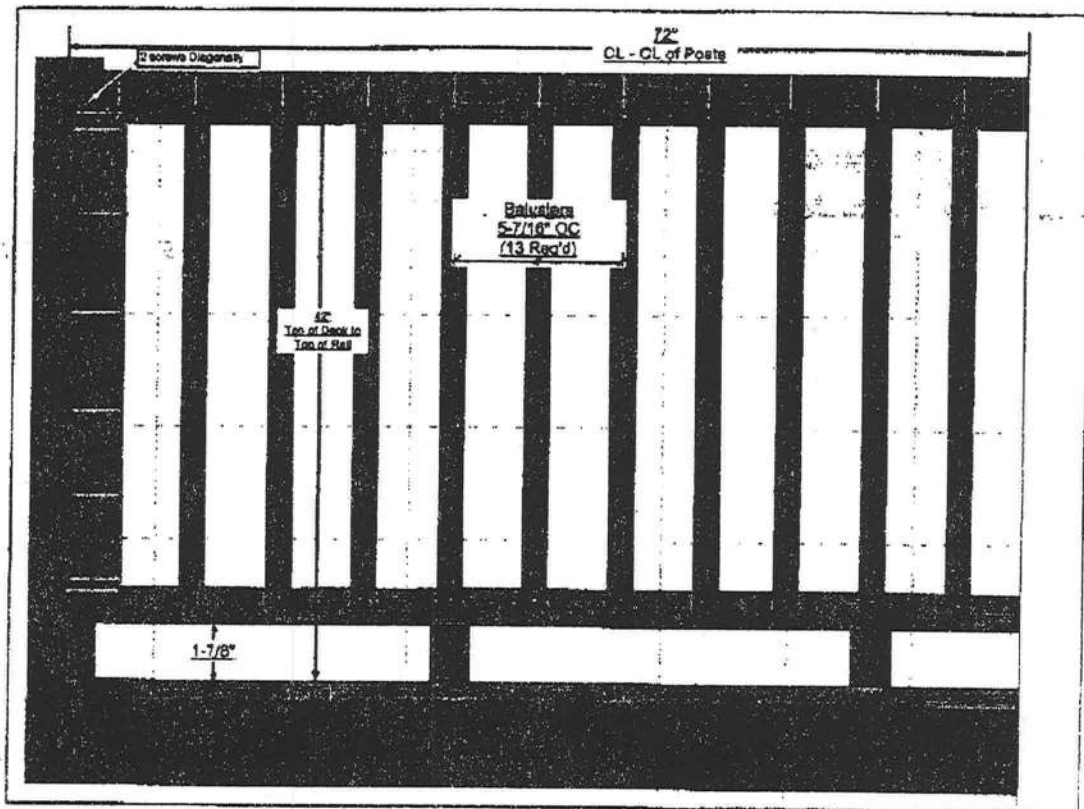
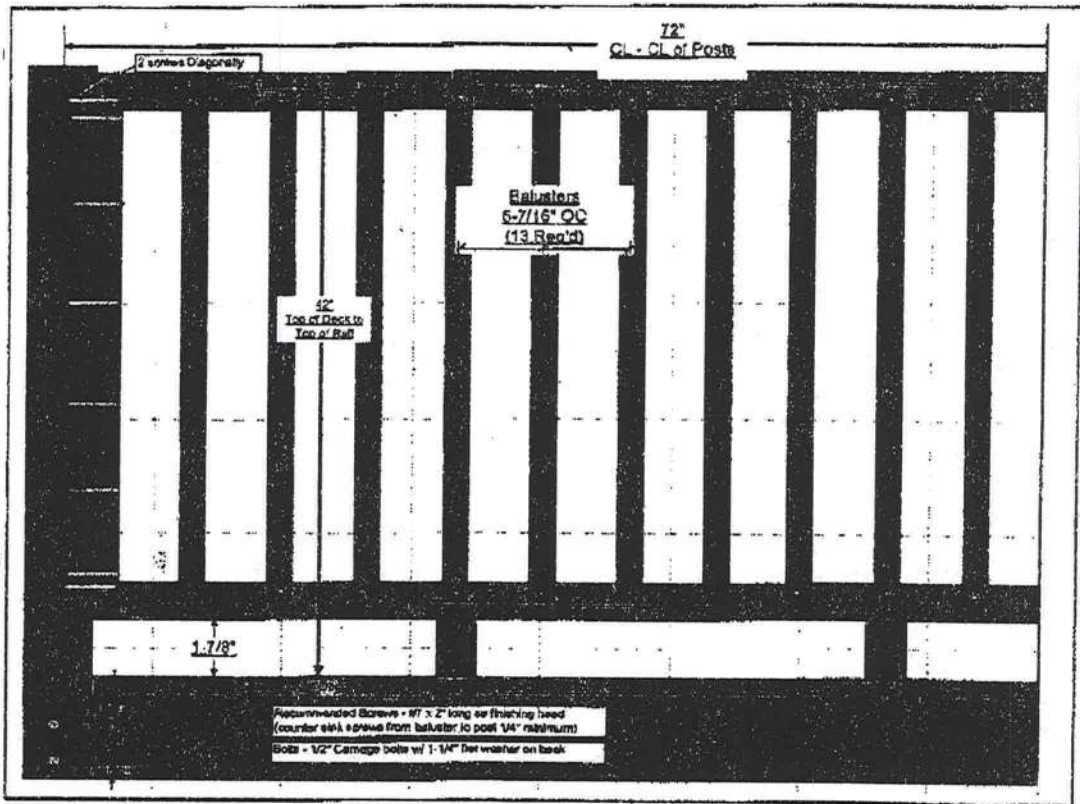
Maximum Allowable Rail Deflection (not including post) = rail height / 24 + rail length (between posts) / 96 =  $42/24 + 67.75/96 = 2.456$  inches

Maximum Allowable Total Deflection = Effective Post Height (top of post to first connector) / 12 =  $(42 + 1.25 + 1.625) / 12 = 3.740$  inches

Deflections of the various rail configurations were as follows:

Rail Style	Rail Cap	Baluster Location	Rail Deflection	Total Deflection	Status
R4	No	Inside	0.468"	0.964"	PASS
R3	Yes	Inside	0.438"	0.924"	PASS
R4	No	Outside	0.466"	0.910"	PASS
R3	Yes	Outside	0.319	0.717"	PASS

The following two diagrams show the configurations tested (with and without the rail cap):



### Summary

The new Choice Deck Universal Rail System was tested in compliance with the test criteria of ICBO AC174 Dated April, 2002 in our certified testing facility in March, 2004. The railing system passed all stated requirements as described in Section 4.2 Guardrail System (Guard and Handrail) Structural Testing.

The Universal Guard Rail System may be installed either with or without the Guardrail Cap. When not using the rail cap, the angle style rails are to be installed with the longer leg in the horizontal orientation. The long legs of the angle style rails should be oriented in the vertical position when the cap is to be used. The balusters may be installed either on the deck side or the outside of the rail system. The system permits a maximum height of 42" from top of deck and a minimum toe sweep of 2" from top of deck. (I.e. maximum height of rail assembly from bottom of lower rail to top of upper rail is 40".)

Thomas F Schulner, P.E.  
Senior Engineer  
Weyerhaeuser Wood Science and Engineering

The testing of the AERT / ChoiceDeck Universal Rail System was completed on Wednesday, March 17<sup>th</sup> 2004 at the Weyerhaeuser Technology Center and was witnessed by PFS Corporation.

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Deleted: Conducting the test were Steve Means, Elizabeth McDougall, and Tom Schuyler from  
Deleted: Wood Science and Engineering, Mr. Graham McFarland of  
Deleted: provided 3<sup>rd</sup> party inspection.

**Summary of Testing**

The AERT / Choice Deck Universal Rail System meets the requirements of ICC-ES Acceptance Criteria AC174 Acceptance Criteria for Deck Board Span Ratings and Guardrail Systems (Guards and Handrails) when installed in accordance with the installation instructions. Please refer to publication number CWP-BLD-2856 "New Fade Resistant ChoiceDeck® Premium Decking & Railing" pages 3 and 4 for specific details.

The maximum on center spacing of the posts is 72". The maximum permissible distance between the screws attaching the balusters to the top and bottom handrail is 36-3/8". The balusters can be installed on either the inboard (deck side) or outboard side of the hand rails when properly attached in accordance with installation instructions. The balusters are thus capable of providing sufficient length to construct a handrail as tall as 42" with a toe sweep of 2 inches.

When the handrail cap is used in the assembly, both universal rails should be installed with the long (3-5/8") leg in the vertical orientation. When not using the handrail cap, both universal rails should be installed with the short (2-5/8") leg in the vertical orientation.

**Test Details**

Tests were conducted to satisfy the requirements of ICC-ES Acceptance Criteria AC174. The testing protocol addressed all application configurations and orientations. The baluster tests were conducted on the longest feasible baluster span. To simulate 125# per lineal foot load, two quarter point loads of 375# each were applied to reflect the 6 ft post spacing. The uniform load test was a sequence of two separate tests utilizing the 375# quarter point loading. Outward lateral loads were first applied and then the loads were repositioned to apply the vertical (downward) application of the loads. The loads were held for a minimum of 60 seconds.

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**Baluster Tests (AC174 Section 4.2.2 In-fill Load Test)**

The toe sweep was limited to 2" with a top of rail elevation 42" above the deck. The overall length of balusters in this configuration was 37-5/8" long. The required 125# load was applied using a 12" square loading panel.

The worst case condition was then applied (on only 2 balusters). The load was applied at the top, mid-span, and bottom of the balusters. The tests were conducted in both baluster orientations (inside & outside). All tests were held at a minimum of 134# (a load slightly higher than the code requirement) for a period of 60 seconds with no apparent distress to either the members or the connections observed.

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**Uniform Load Test (AC174 Section 4.2.3)**

The acceptance criteria require two tests applying 125# per lineal foot in both the outward lateral and vertical downward directions. An alternate single test applying a vector load to simulate both components of load is permissible. We chose to do the two individual tests rather than the vector style.

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Uniform Load Test (AC174 Section 4.2.3) cont.

The lateral load was applied at the quarter span locations utilizing straps and a spreader bar so as to not induce any axial compression into the top rail. A minimum load of 750# (375# at each 1/4 span location to simulate bending forces induced by a uniform load of 125 lbs/ft). The load was held for 60 seconds with no apparent signs of distress or loss of integrity.

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Concentrated Load Test (AC174 Section 4.2.4)

The concentrated load test consisted of two loading criteria and two locations for application of load. The first location was on the top rail at mid span. The load was applied horizontally (outward). Deflection was measured at the posts and at mid span of the rail. Once the load reached 200#, the deflections were recorded and the deflection devices were removed. The load was then increased to 500# and held for 60 seconds. The process was repeated with the load applied at the top of the post. All rail assemblies held the 500# qualification load for 60 seconds with no apparent damage to the components or distortion of the connections.

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The 200# maximum allowable deflection criteria in AC174 based on the span and height of the rail system for the concentrated load test (4.2.4) are as follows:

Maximum Permitted Rail Deflection (not including post) = rail height / 24 + rail length (between posts) / 96  
 = 42/24 + 67.75/12 = 2.456 inches

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Maximum Permitted Total Deflection = Effective Post Height (top of post to first connector) / 12  
 = (42 + 1.25 + 1.625) / 12 = 3.740 inches

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Deflections of the various rail configurations were recorded as follows:

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R3	Yes	Outside	0.319	0.717"	PASS

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The new Choice Deck Universal Rail System was tested in conformance with the test criteria of ICC-ES AC174 Dated April, 2002. The railing system passed all Structural Criteria as described in Section 4.2 Guardrail System (Guard and Handrail) Structural Testing. 7

The Universal Rail System may be installed either with or without the Guardrail Cap. When not using the rail cap, the angle style rails are to be installed with the longer leg in the horizontal orientation. The long legs of the angle style rails should be oriented in the vertical position when the cap is to be used. The balusters may be installed either on the deck side or the outside of the rail system. The system permits a maximum height of 42" from top of deck and a minimum toe sweep of 2" from top of deck. (i.e. maximum height of rail assembly from bottom of lower rail to top of upper rail is 40".) 7

All assemblies as constructed in accordance with the installation guidelines in publication CWP-BLG-2856, exceeded the minimum requirements of ICC-ES Acceptance Criteria AC174.

Should you require any additional information please do not hesitate to contact me at (253)-924-5231.

Thomas F Schulner, P.E.  
 Senior Engineer  
 Weyerhaeuser Wood Science and Engineering

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**Mark Disosway, P.E.**  
 POB 868, Lake City, FL 32056, Ph 386-754-5419, Fax 386-269-4871

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15

16 Feb 2006

Building Inspector, Columbia Co., Florida

Re: Foundation Inspection, Permit, Butler Rodger Mockingbird Model

23996

Dear Building Inspector:

This letter is in reference to a foundation inspection issue for Butler Rodger Mockingbird Model, Calvery Place Mason City, FL (Columbia County), Windload Engineering Job No. 510062

The "Windload Engineering", Job No. 510062, sheet S-2 specifies a reinforced 8" CMU stem wall foundation with #5 vertical at 8"OC and height maximum 5 courses.

Please accept this letter as addendum to the plans to allow a reinforced 8" CMU stem wall foundation with reinforcement schedule per the attached table. The table assumes 60 ksi reinforcing bars with 6" hook in the footing and bent 24" into the reinforced slab at the top. The vertical steel is to be placed toward the tension side of the CMU wall (away from the soil pressure, within 2" of the exterior side of the wall). If the wall is over 8' high, add Durowall ladder reinforcement at 16"OC vertically or a horizontal bond beam with 1#5 continuous at mid height. For higher parts of the wall 12" CMU may be used with reinforcement as shown in the table below.

**Important: The slab braces the top of the stem wall against outward pressure of backfill. The wall should be temporarily braced as the backfill is compacted.**

Sincerely,

*Mark Disosway*  
 16 FEB 2006

Mark Disosway  
 Florida Professional Engineer No. 53915

cc Rodger Butler, Contractor

Stemwall Height (Feet)	Unbalanced Backfill Height	Vertical Reinforcement For 8" CMU Stemwall (Inches OC)			Vertical Reinforcement For 12" CMU Stemwall (Inches OC)		
		#5	#7	#8	#5	#7	#8
3.3	3.0	96	96	96	96	96	96
4.0	3.7	96	96	96	96	96	96
4.7	4.3	88	96	96	96	96	96
5.3	5.0	56	96	96	96	96	96
6.0	5.7	40	80	96	80	96	96
6.7	6.3	32	56	80	56	96	96
7.3	7.0	24	40	56	40	80	96
8.0	7.7	16	32	48	32	64	80
8.7	8.3	8	24	32	24	48	64
9.3	9.0	8	16	24	16	40	48

# Notice of Treatment 11903

**Applicator:** Florida Pest Control & Chemical Co. (www.flapest.com)

Address: BAYVIEW

City LAKE CITY Phone 752 1703

**Site Location:** Subdivision MASON CITY

Lot # 49 Block# \_\_\_\_\_ Permit # 23996

Address 206 CAVALRY PLACE

<u>Product used</u>	<u>Active Ingredient</u>	<u>% Concentration</u>
<input checked="" type="checkbox"/> Premise	Imidacloprid	0.1%
<input type="checkbox"/> Termidor	Fipronil	0.12%
<input type="checkbox"/> Bora-Care	Disodium Octaborate Tetrahydrate	23.0%

**Type treatment:**                       Soil                       Wood

<u>Area Treated</u>	<u>Square feet</u>	<u>Linear feet</u>	<u>Gallons Applied</u>
<u>Dwelling (MAIN BODY)</u>	<u>2940</u>	<u>234</u>	<u>260</u>
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line \_\_\_\_\_.

4/28/06                      1300                      F254 GUNNY  
 Date                                      Time                                      Print Technician's Name

Remarks: \_\_\_\_\_  
 \_\_\_\_\_