

Shannon (MG)

Columbia County New Building Permit Application

For Office Use Only Application # 44013 Date Received 11/8 By MG Permit # 39065/39066
 Zoning Official LW/LH Date 11-12-19 Flood Zone X Land Use RLO Zoning R5F-2
 FEMA Map # _____ Elevation _____ MFE 107' as River Plans Examiner T.C. Date 11-20-19
 Comments _____ 1' above Rd
 NOC EH Deed or PA Site Plan State Road Info Well letter 911 Sheet Parent Parcel # _____
 Dev Permit # _____ In Floodway Letter of Auth. from Contractor F W Comp. letter
 Owner Builder Disclosure Statement Land Owner Affidavit Ellisville Water App Fee Paid Sub VF Form

Septic Permit No. 19-0887 OR City Water Fax _____

Applicant (Who will sign/pickup the permit) Kim Sweet Phone 352-283-2002
 Address 20267 NW 248th Way High Springs, FL 32643

Owners Name MF Butler Homes, LLC Phone _____

911 Address 264 SW Fieldstone Ct. Lake City, FL 32024

Contractors Name Mark Bauer Phone 352-283-2002

Address 20267 NW 248th Way High Springs, FL 32643

Contractor Email gibraltarcontracting@gmail.com ***Include to get updates on this job.

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address Will Myer / Mark Disosway Lake City, FL

Mortgage Lenders Name & Address _____

Circle the correct power company FL Power & Light Clay Elec. Suwannee Valley Elec. Duke Energy

Property ID Number 33-35-16-02438-162 Estimated Construction Cost \$ 200,000.⁰⁰

Subdivision Name Emerald Cove Lot 62 Block _____ Unit _____ Phase 2

Driving Directions from a Major Road US 90 West to SW Heathridge Dr. on left.
Take Heathridge Dr. to SW Fieldstone Ct. on Right.

Construction of New SFD Commercial OR Residential

Proposed Use/Occupancy single family dwelling Number of Existing Dwellings on Property 0

Is the Building Fire Sprinkled? No If Yes, blueprints included _____ Or Explain _____

Circle Proposed Culvert Permit or Culvert Waiver or D.O.T. Permit or Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 40' Side 20' Side 20' Rear 96'

Number of Stories 1 Heated Floor Area 1880 sf. Total Floor Area 2557 sf. Acreage 0.5 ac.

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) Lot 69/70 on Preliminary
Plat MFE Sheet.

Columbia County Building Permit Application

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

M F Butler
Print Owners Name

[Signature]
Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

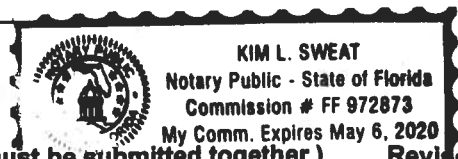
[Signature]
Contractor's Signature

Contractor's License Number CBC1259633
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 7th day of November 2019.
Personally known or Produced Identification _____

[Signature]
State of Florida Notary Signature (For the Contractor)

SEAL:



JOB NAME LOT 62 Emerald Cove

IF THE MINUS B - SUBMITTED B - FOR A PERMIT WILL BE SCHEDULED

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ELECTRICAL <input checked="" type="checkbox"/>	Print Name: <u>Ryan Beulle</u> Signature: <u>[Signature]</u> Company Name: <u>RBI Electrical Contracting LLC</u> License #: <u>EC 1300 4206</u> Phone #: <u>352-339-0369</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
MECHANICAL <input type="checkbox"/>	Print Name: _____ Signature: _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
PLUMBING <input type="checkbox"/>	Print Name: _____ Signature: _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
ROOFING <input type="checkbox"/>	Print Name: _____ Signature: _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
THERMODYN <input type="checkbox"/>	Print Name: _____ Signature: _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
PAINTING <input type="checkbox"/>	Print Name: _____ Signature: _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CONCRETE <input type="checkbox"/>	Print Name: _____ Signature: _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
OTHER <input type="checkbox"/>	Print Name: _____ Signature: _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE

SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # _____ JOB NAME Lot 62 Emerald Cove

THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

NOTE: It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

NOTE: If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

ELECTRICAL <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
MECHANICAL/A/C <input checked="" type="checkbox"/>	Print Name <u>Clinton Wilson</u> Signature <u><i>Clinton Wilson</i></u> Company Name: <u>Wilson Heat & Air Inc</u> License #: <u>CAC057886</u> Phone #: <u>386-496-9000</u>	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
PLUMBING/GAS <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
ROOFING <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SHEET METAL <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
FIRE SYSTEM/SPRINKLER <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SOLAR <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
STATE SPECIALTY <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE

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ELECTRICAL <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
MECHANICAL/A/C <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
PLUMBING/GAS <input checked="" type="checkbox"/> CC# <u>429</u>	Print Name <u>James L Butler</u> Signature <u>James L Butler</u> Company Name: <u>Butler Plumbing of Gainesville Inc</u> License #: <u>CFC057960</u> Phone #: <u>352 472 3677</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
ROOFING <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SHEET METAL <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
FIRE SYSTEM/SPRINKLER <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SOLAR <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
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JOB NAME

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MECHANICAL/ A/C <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need - Lic - Liab - W/C - EX - DE
PLUMBING/ GAS <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need - Lic - Liab - W/C - EX - DE
ROOFING <input checked="" type="checkbox"/>	Print Name <u>Jeff Bokor</u> Signature <u>[Signature]</u> Company Name: <u>DWC Contracting LLC</u> License #: <u>CC-1329756</u> Phone #: <u>352-339-6387</u>	Need - Lic - Liab - W/C - EX - DE
SHEET METAL <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need - Lic - Liab - W/C - EX - DE
FIRE SYSTEM/ SPRINKLER <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need - Lic - Liab - W/C - EX - DE
SOLAR <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need - Lic - Liab - W/C - EX - DE
STATE SPECIALTY <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need - Lic - Liab - W/C - EX - DE



COLUMBIA COUNTY BUILDING DEPARTMENT
 135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
 Phone: 386-758-1008 Fax: 386-758-2160

LETTER OF AUTHORIZATION TO SIGN FOR PERMITS

I, Mark Bauer (license holder name), licensed qualifier
 for Gibraltar Contracting, LLC (company name), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the license holder, or is/are employed by me directly or through an employee leasing arrangement; or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are under my direct supervision and control and is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Person Authorized	Signature of Authorized Person
1. <u>Kim Sweet</u>	1. <u>[Signature]</u>
2.	2.
3.	3.
4.	4.
5.	5.

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances. I understand that the State and County Licensing Boards have the power and authority to discipline a license holder for violations committed by him/her, his/her agents, officers, or employees and that I have full responsibility for compliance with all statutes, codes and ordinances inherent in the privilege granted by issuance of such permits.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

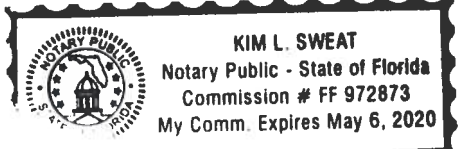
[Signature] License Holders Signature (Notarized) CBC1259633 License Number 11-7-19 Date

NOTARY INFORMATION:
 STATE OF: Florida COUNTY OF: Columbia

The above license holder, whose name is Mark Bauer, personally appeared before me and is known by me or has produced identification (type of I.D.) _____ on this 7th day of November, 2019.

[Signature]
 NOTARY'S SIGNATURE

(Seal/Stamp)



Columbia County Property Appraiser

Jeff Hampton

2019 Preliminary Certified Values

updated: 8/14/2019

Parcel: << **33-3S-16-02438-162** >>

Aerial Viewer Pictometry Google Maps

Result: 1 of 1

Owner & Property Info			
Owner	MF BUTLER HOMES LLC 1121 SW PAUL PEARCE LANE LAKE CITY, FL 32024		
Site			
Description*	LOT 62 EMERALD COVE S/D PHS 2. WD 1078-1558, QC 1274-2260, QC 1360-2467, WD 1363-1487,		
Area	0.5 AC	S/T/R	33-3S-16E
Use Code**	VACANT (000000)	Tax District	3

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.
**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.



Property & Assessment Values			
2018 Certified Values		2019 Preliminary Certified	
Mkt Land (1)	\$13,000	Mkt Land (1)	\$14,500
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (0)	\$0	Building (0)	\$0
XFOB (0)	\$0	XFOB (0)	\$0
Just	\$13,000	Just	\$14,500
Class	\$0	Class	\$0
Appraised	\$13,000	Appraised	\$14,500
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$13,000	Assessed	\$14,500
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$12,100 city:\$12,100 other:\$12,100 school:\$13,000	Total Taxable	county:\$14,500 city:\$14,500 other:\$14,500 school:\$14,500

Sales History						
Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
6/27/2018	\$57,500	1363/1487	WD	V	Q	05 (Multi-Parcel Sale) - show
5/23/2018	\$100	1360/2467	QC	V	U	11
5/19/2014	\$100	1274/2260	QC	V	U	11
3/23/2006	\$360,000	1078/1558	WD	V	Q	

Building Characteristics						
Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
NONE						

Extra Features & Out Buildings (Codes)						
Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown						
Land Code	Desc	Units	Adjustments	Eff Rate	Land Value	
000000	VAC RES (MKT)	1.000 LT - (0.500 AC)	1.00/1.00 1.00/1.00	\$14,500	\$14,500	

Search Result: 1 of 1

Detail by Entity Name

Florida Limited Liability Company
GIBALTAR CONTRACTING, LLC

Filing Information

Document Number L13000113885
FEVEIN Number 46-3603997
Date Filed 08/13/2013
State FL
Status ACTIVE

Principal Address

20267 NW 248TH WAY
HIGH SPRINGS, FL 32643

Mailing Address

20267 NW 248TH WAY
HIGH SPRINGS, FL 32643

Registered Agent Name & Address

BAUER, MARK D
20267 NW 248TH WAY
HIGH SPRINGS, FL 32643

Authorized Person(s) Detail

Name & Address

Title MGR

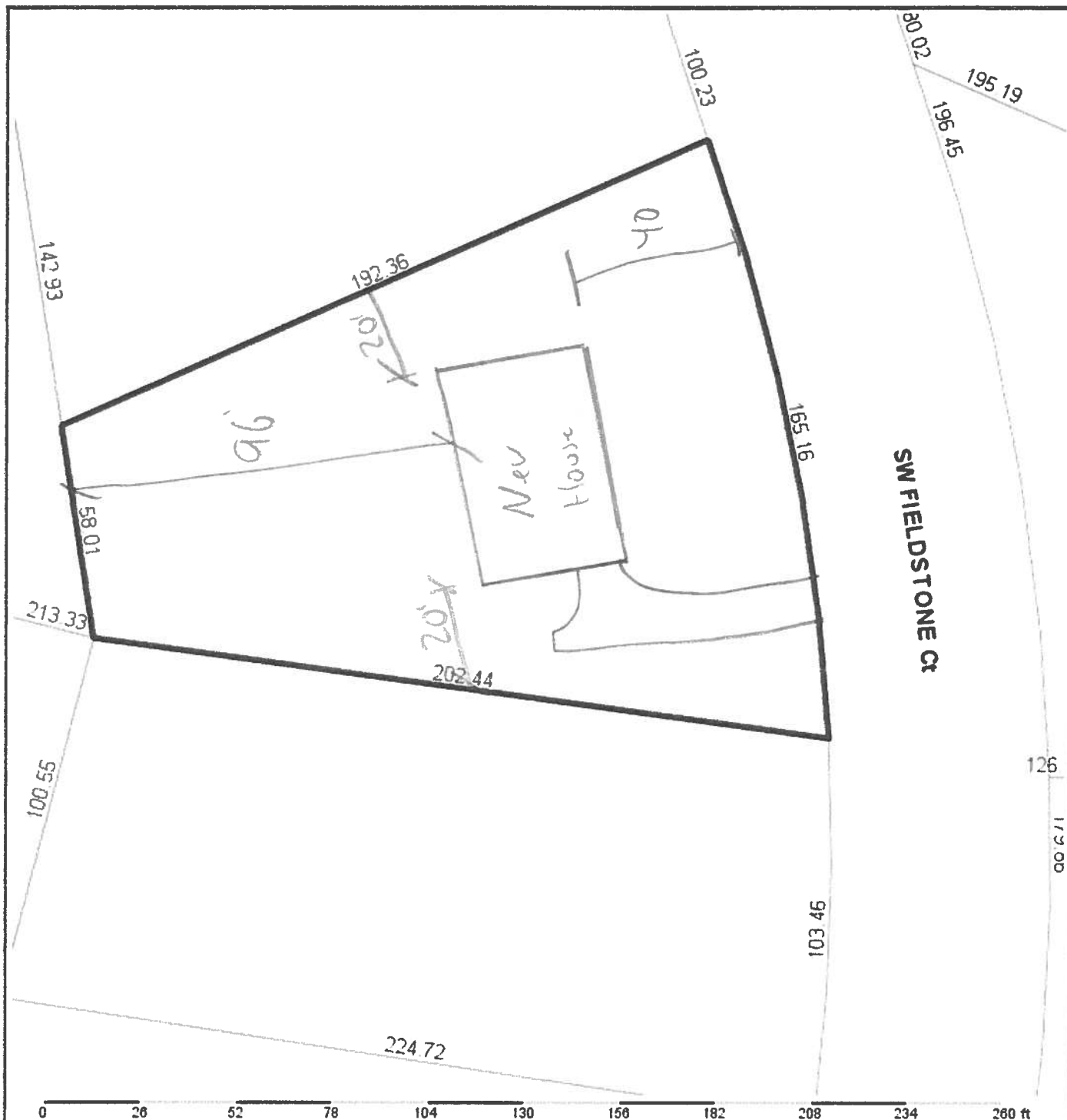
BAUER, MARK D
20267 NW 248TH WAY
HIGH SPRINGS, FL 32643

Annual Reports

Report Year	Filed Date
2017	04/26/2017
2018	01/16/2018
2019	05/01/2019

Document Images

05/01/2019 – ANNUAL REPORT	View image in PDF format
01/16/2018 – ANNUAL REPORT	View image in PDF format
04/26/2017 – ANNUAL REPORT	View image in PDF format
01/23/2016 – ANNUAL REPORT	View image in PDF format
04/21/2015 – ANNUAL REPORT	View image in PDF format
04/18/2014 – ANNUAL REPORT	View image in PDF format
08/13/2013 – Florida Limited Liability	View image in PDF format



Columbia County Property Appraiser Jeff Hampton | Lake City, Florida | 386-758-1083

PARCEL: 33-3S-16-02438-162 | VACANT (000000) | 0.5 AC
 LOT 62 EMERALD COVE S/D PHS 2. WD 1078-1558, QC 1274-2260, QC 1360-2467, WD 1363-1487,

Owner:	MF BUTLER HOMES LLC	Mkt Lnd	\$14,500	Appraised	\$14,500
	1121 SW PAUL PEARCE LANE	Ag Lnd	\$0	Assessed	\$14,500
	LAKE CITY, FL 32024	Bldg	\$0	Exempt	\$0
Site:		XFOB	\$0	county:	\$14,500
Sales	6/27/2018 \$57,500 V(O)	Just	\$14,500	city:	\$14,500
Info	5/23/2018 \$100 V(U)			other:	\$14,500
	5/19/2014 \$100 V(U)			school:	\$14,500

NOTES:



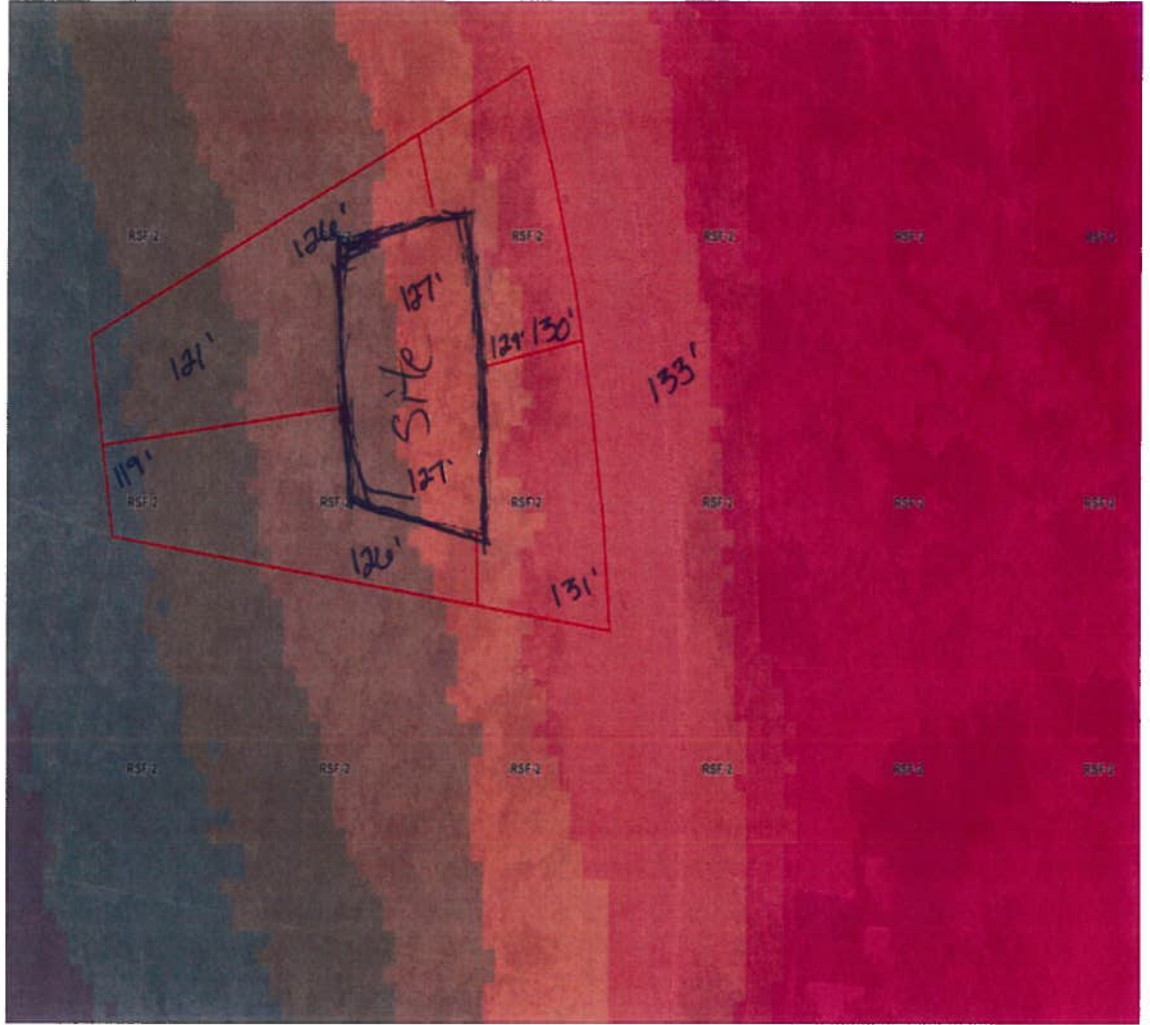
This information, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. GrizzlyLogic.com

Legend

- Roads
- Roads
- others
- Dirt
- Interstate
- Main
- Other
- Paved
- Private
- LidarElevations

Columbia County, FLA - Building & Zoning Property Map

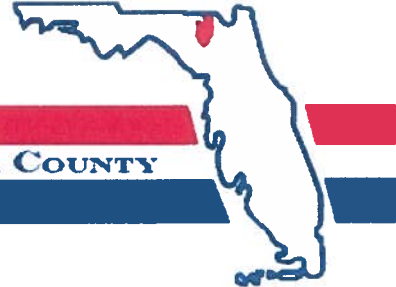
Printed: Tue Nov 12 2019 10:47:55 GMT-0500 (Eastern Standard Time)



Parcel Information

Parcel No: 33-3S-16-02438-162
 Owner: MF BUTLER HOMES LLC
 Subdivision: EMERALD COVE PHASE 2
 Lot: 62
 Acres: 0.494654328
 Deed Acres:
 District: District 3 Bucky Nash
 Future Land Uses: Residential - Low
 Flood Zones:
 Official Zoning Atlas: RSF-2

District No. 1 - Ronald Williams
District No. 2 - Rocky Ford
District No. 3 - Bucky Nash
District No. 4 - Toby Witt
District No. 5 - Tim Murphy



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued: **10/29/2019 7:22:31 PM**
Address: **264 SW FIELDSTONE Ct**
City: **LAKE CITY**
State: **FL**
Zip Code **32024**

Parcel ID **02438-162**

REMARKS: Address Verification.

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

**COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT**

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125
Email: gis@columbiacountyfla.com



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 19-0381
DATE PAID: 11/11/19
FEE PAID: 300.00
RECEIPT #: 1455055

APPLICATION FOR:

- New System Existing System Holding Tank Innovative
 Repair Abandonment Temporary _____

APPLICANT: Gibraltar Contracting, LLC M.F. Burlew Howell LLC

AGENT: Mark Bauer TELEPHONE: 352-283-2002

MAILING ADDRESS: 20267 NW 248th Way High Springs, FL 32643

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 62 BLOCK: _____ SUBDIVISION: Emerald Cove P2 PLATTED: Y

PROPERTY ID #: 33-35-16-02438-162 ZONING: Res. I/M OR EQUIVALENT: Y N

PROPERTY SIZE: 0.5 ACRES WATER SUPPLY: PRIVATE PUBLIC $\leq 2000\text{GPD}$ $> 2000\text{GPD}$
IS SEWER AVAILABLE AS PER 381.0065, FS? Y N DISTANCE TO SEWER: N/A FT

PROPERTY ADDRESS: 264 SW Fieldstone Ct. Lake City 32024

DIRECTIONS TO PROPERTY: US 90 W to SW Heathridge Dr. on L.
Heathridge Dr. to SW Fieldstone Ct. on R.

BUILDING INFORMATION

- RESIDENTIAL COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>New SFD</u>	<u>4</u>	<u>1880 H/C</u>	<u>2557 TOTAL</u>
2	_____	_____	_____	_____
3	_____	_____	_____	_____
4	_____	_____	_____	_____

Floor/Equipment Drains Other (Specify) _____

SIGNATURE: [Signature] DATE: 11-7-19

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 19-0887

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.



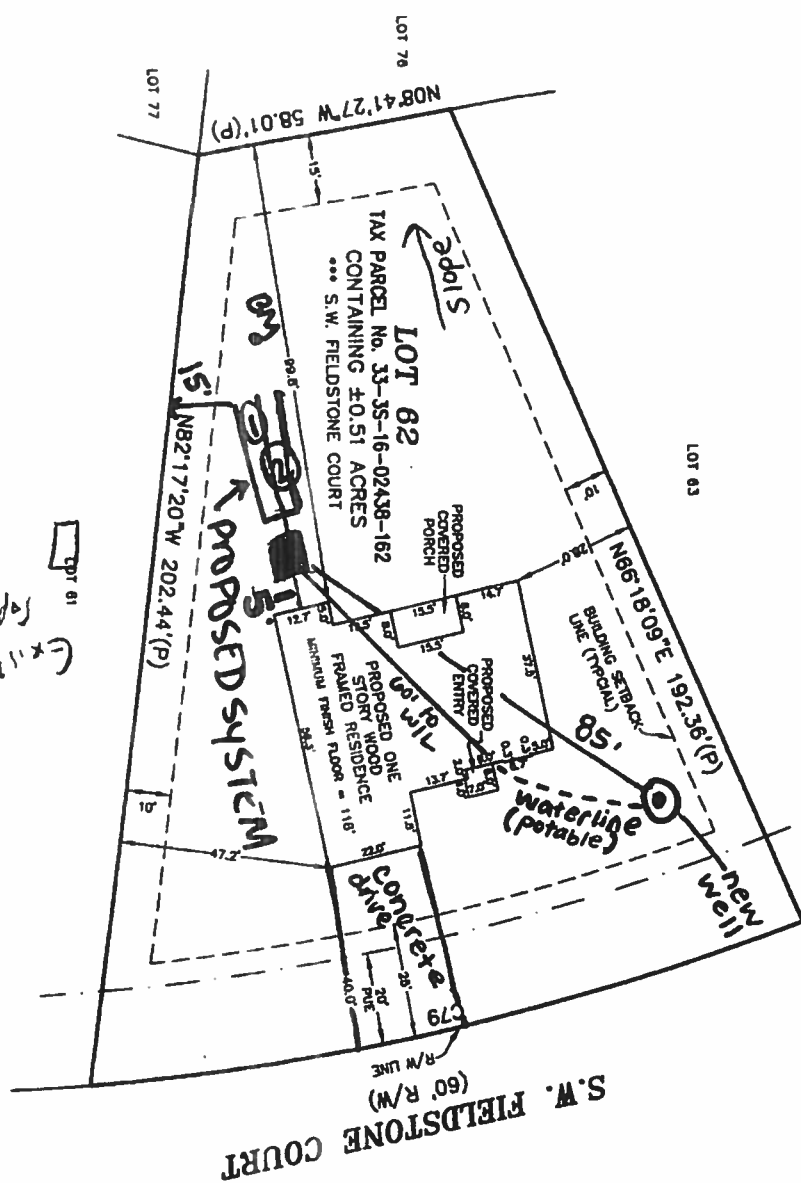
Notes: _____

Site Plan submitted by: RC 7ul - Ronald Ford master
Plan Approved if Not Approved _____ Date 12/9/19
By [Signature] Columbia County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

19-8887

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BEARING
C78(P)	185.78'	870.00'	183°39'32"	83.48'	189.20'	S11°38'24"E

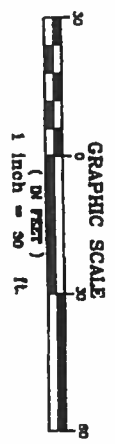


PLOT PLAN
 IN SECTION 23, TOWNSHIP 3 SOUTH, RANGE 16 EAST
 COLUMBIA COUNTY, FLORIDA
 THIS IS NOT A BOUNDARY SURVEY

LEGAL DESCRIPTION
 LOT 62, SUBDIVISION ONE, PHASE II,
 ACCORDING TO THE PLAT THEREOF,
 RECORDED IN PLAT BOOK 8, PAGES
 68-69 OF THE PUBLIC RECORDS
 OF COLUMBIA COUNTY, FLORIDA.

LEGEND
 (P) = PER PLAT
 R/W = RIGHT OF WAY
 PUE = PUBLIC UTILITY EASEMENT

SURVEYOR NOTES:
 1. THE BEARINGS SHOWN HEREON ARE
 BASED ON THE PLAT OF EMERALD COVE
 PHASE II.
 2. RECORDED EASEMENT AND/OR DEEDS
 NOT FURNISHED TO THE SURVEYOR ARE
 NOT SHOWN.
 3. THIS IS NOT A BOUNDARY SURVEY



Leah Ford
 Ronald Ford
 Ford's Septic Tank Service
 12.02.2019



**COLUMBIA COUNTY BUILDING DEPARTMENT
RESIDENTIAL CHECK LIST**

MINIMUM PLAN REQUIREMENTS: FLORIDA BUILDING CODE RESIDENTIAL 2017 EFFECTIVE 1 JANUARY 2018
AND THE NATIONAL ELECTRICAL 2014 EFFECTIVE 1 JANUARY 2018

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE CURRENT FLORIDA BUILDING CODES RESIDENTIAL AND THE NATIONAL ELECTRICAL CODE. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS, FBC 1609.3.1 THRU 1609.3.3.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FLORIDA BUILDING CODE FIGURE 1609-A THROUGH 1609-C ULTIMATE DESIGN WIND SPEEDS FOR RISK CATEGORY AND BUILDINGS AND OTHER STRUCTURES
Revised 7/1/18

Website: <http://www.columbiacountyfla.com/BuildingandZoning.asp>

Items to Include-
Each Box shall be
Circled as
Applicable

**GENERAL REQUIREMENTS:
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

Select From Drop down

1	Two (2) complete sets of plans containing the following:	<input checked="" type="checkbox"/>			
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void	<input checked="" type="checkbox"/>			
3	Condition space (Sq. Ft.) 1880		Total (Sq. Ft.) under roof 2557	Yes	No NA

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL 107.1.

Site Plan information including:

4	Dimensions of lot or parcel of land	Yes		<input type="checkbox"/>
5	Dimensions of all building set backs	Yes		<input type="checkbox"/>
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	Yes		<input type="checkbox"/>
7	Provide a full legal description of property.	Yes		<input type="checkbox"/>

Wind-load Engineering Summary, calculations and any details are required.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL			Items to Include- Each Box shall be Circled as Applicable		
8	Plans or specifications must show compliance with FBCR Chapter 3	Yes	No	NA	
Select From Drop down					
9	Basic wind speed (3-second gust), miles per hour	Yes			<input type="checkbox"/>
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	Yes			<input type="checkbox"/>
11	Wind importance factor and nature of occupancy	Yes			<input type="checkbox"/>
12	The applicable internal pressure coefficient, Components and Cladding	Yes			<input type="checkbox"/>
13	The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component, cladding materials not speciffally designed by the registered design professional.	Yes			<input type="checkbox"/>

Elevations Drawing including:

14	All side views of the structure	Yes			<input type="checkbox"/>
15	Roof pitch	Yes			<input type="checkbox"/>
16	Overhang dimensions and detail with attic ventilation	Yes			<input type="checkbox"/>
17	Location, size and height above roof of chimneys	Yes			<input type="checkbox"/>
18	Location and size of skylights with Florida Product Approval	NA			<input type="checkbox"/>
19	Number of stories	Yes			<input type="checkbox"/>
20	Building height from the established grade to the roofs highest peak	Yes			<input type="checkbox"/>

Floor Plan Including:

21	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	Yes		<input type="checkbox"/>
22	Raised floor surfaces located more than 30 inches above the floor or grade	NA		<input type="checkbox"/>
23	All exterior and interior shear walls indicated	Yes		<input type="checkbox"/>
24	Shear wall opening shown (Windows, Doors and Garage doors)	Yes		<input type="checkbox"/>
25	Show compliance with Section FBCR 310 Emergency escape and rescue opening shown in each bedroom (net clear opening shown) and Show compliance with Section FBC 1405.13.2 where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Glazing between the floor and 24 inches shall be fixed or have openings through which a 4-inch-diameter sphere cannot pass.	Yes		<input type="checkbox"/>
26	Safety glazing of glass where needed	Yes		<input type="checkbox"/>
27	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 and chapter 24 of FBCR)	Yes		<input type="checkbox"/>
28	Show stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails	NA		<input type="checkbox"/>
29	Identify accessibility of bathroom (see FBCR SECTION 320)	Yes		<input type="checkbox"/>

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plans (see Florida product approval form)

<p>GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</p>	<p>Items to Include- Each Box shall be Circled as Applicable</p>
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FBCR 403: Foundation Plans

				Select From Drop down
30	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	Yes		<input type="checkbox"/>
31	All posts and/or column footing including size and reinforcing	Yes		<input type="checkbox"/>
32	Any special support required by soil analysis such as piling.	NA		<input type="checkbox"/>
33	Assumed load-bearing value of soil Pound Per Square Foot	NA		<input type="checkbox"/>
34	Location of horizontal and vertical steel, for foundation or walls (include # size and type) For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	NA		<input type="checkbox"/>

FBCR 506: CONCRETE SLAB ON GRADE

35	Show Vapor retarder (6mil. Polyethylene with joints taped 6 inches and sealed)	Yes		<input type="checkbox"/>
36	Show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and Supports	Yes		<input type="checkbox"/>

FBCR 318: PROTECTION AGAINST TERMITES

37	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or Submit other approved termite protection methods. Protection shall be provided by registered termiticides	Yes		<input type="checkbox"/>
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FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

38	Show all materials making up walls, wall height, and Block size, mortar type	NA		<input type="checkbox"/>
39	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement	NA		<input type="checkbox"/>

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

40	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer	NA		<input type="checkbox"/>
41	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers	NA		<input type="checkbox"/>
42	Girder type, size and spacing to load bearing walls, stem wall and/or piers	NA		<input type="checkbox"/>
43	Attachment of joist to girder	NA		<input type="checkbox"/>
44	Wind load requirements where applicable	NA		<input type="checkbox"/>
45	Show required under-floor crawl space	NA		<input type="checkbox"/>
46	Show required amount of ventilation opening for under-floor spaces	NA		<input type="checkbox"/>
47	Show required covering of ventilation opening	NA		<input type="checkbox"/>
48	Show the required access opening to access to under-floor spaces	NA		<input type="checkbox"/>
49	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & intermediate of the areas structural panel sheathing	NA		<input type="checkbox"/>
50	Show Draftstopping, Fire caulking and Fire blocking	NA		<input type="checkbox"/>
51	Show fireproofing requirements for garages attached to living spaces, per FBCR section 302.6	NA		<input type="checkbox"/>
52	Provide live and dead load rating of floor framing systems (psf).	NA		<input type="checkbox"/>

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

GENERAL REQUIREMENTS: APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
--	--	--	--	--

Select from Drop down

53	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	Yes		<input type="checkbox"/>
54	Fastener schedule for structural members per table FBC-R602.3.2 are to be shown	Yes		<input type="checkbox"/>
55	Show wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	Yes		<input type="checkbox"/>
56	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	Yes		<input type="checkbox"/>
57	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBC-R602.7.	Yes		<input type="checkbox"/>
58	Indicate where pressure treated wood will be placed	Yes		<input type="checkbox"/>
59	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	Yes		<input type="checkbox"/>
60	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	Yes		<input type="checkbox"/>

FBCR :ROOF SYSTEMS:

61	Truss design drawing shall meet section FBC-R 802.10. 1 Wood trusses	Yes		<input type="checkbox"/>
62	Include a layout and truss details, signed and sealed by Florida Professional Engineer	Yes		<input type="checkbox"/>
63	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	Yes		<input type="checkbox"/>
64	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	Yes		<input type="checkbox"/>
65	Provide dead load rating of trusses	Yes		<input type="checkbox"/>

FBCR 802:Conventional Roof Framing Layout

66	Rafter and ridge beams sizes, span, species and spacing	Yes		<input type="checkbox"/>
67	Connectors to wall assemblies' include assemblies' resistance to uplift rating	Yes		<input type="checkbox"/>
68	Valley framing and support details	Yes		<input type="checkbox"/>
69	Provide dead load rating of rafter system	Yes		<input type="checkbox"/>

FBCR 803 ROOF SHEATHING

70	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	Yes		<input type="checkbox"/>
71	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	Yes		<input type="checkbox"/>

ROOF ASSEMBLIES FRC Chapter 9

72	Include all materials which will make up the roof assembles covering	Yes			<input type="checkbox"/>
73	Submit Florida Product Approval numbers for each component of the roof assembles covering	Yes			<input type="checkbox"/>

FBCR Chapter 11 Energy Efficiency Code for Residential Building

Residential construction shall comply with this code by using the following compliance methods in the FBCR Chapter 11 Residential buildings compliance methods. Two of the required forms are to be submitted, *N1100.1.1.1 As an alternative to the computerized Compliance Method A, the Alternate Residential Point System Method hand calculation, Alternate Form 600A, may be used. All requirements specific to this calculation are located in Sub appendix C to Appendix G. Buildings complying by this alternative shall meet all mandatory requirements of this chapter. Computerized versions of the Alternate Residential Point System Method shall not be acceptable for code compliance.*

GENERAL REQUIREMENTS: APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable
---	--

Select from Drop Down

74	Show the insulation R value for the following areas of the structure	Yes			<input type="checkbox"/>
75	Attic space	Yes			<input type="checkbox"/>
76	Exterior wall cavity	Yes			<input type="checkbox"/>
77	Crawl space	Yes			<input type="checkbox"/>

HVAC information

78	Submit two copies of a Manual J sizing equipment or equivalent computation study	Yes			<input type="checkbox"/>
79	Exhaust fans shown in bathrooms Mechanical exhaust capacity of 50 cfm intermittent or 20 cfm continuous required	Yes			<input type="checkbox"/>
80	Show clothes dryer route and total run of exhaust duct	Yes			<input type="checkbox"/>

Plumbing Fixture layout shown

81	All fixtures waste water lines shall be shown on the foundation plan	Yes			<input type="checkbox"/>
82	Show the location of water heater	Yes			<input type="checkbox"/>

Private Potable Water

83	Pump motor horse power	NA			<input type="checkbox"/>
84	Reservoir pressure tank gallon capacity	NA			<input type="checkbox"/>
85	Rating of cycle stop valve if used	NA			<input type="checkbox"/>

Electrical layout shown including

86	Show Switches, receptacles outlets, lighting fixtures and Ceiling fans	Yes			<input type="checkbox"/>
87	Show all 120-volt, single phase, 15- and 20-ampere branch circuits outlets required to be protected by Ground-Fault Circuit Interrupter (GFCI) Article 210.8 A	Yes			<input type="checkbox"/>
88	Show the location of smoke detectors & Carbon monoxide detectors	Yes			<input type="checkbox"/>
89	Show service panel, sub-panel, location(s) and total ampere ratings	Yes			<input type="checkbox"/>
90	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type. For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an Grounding electrode system. Per the National Electrical Code article 250.52.3	Yes			<input type="checkbox"/>
91	Appliances and HVAC equipment and disconnects	Yes			<input type="checkbox"/>
92	Show all 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed Combination arc-fault circuit interrupter, Protection device.	Yes			<input type="checkbox"/>

Notice Of Commencement:

A notice of commencement form **RECORDED** in the Columbia County Clerk Office is required to be filed with the Building Department **BEFORE ANY INSPECTIONS** can be performed.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable
---	--

****ITEMS 95, 96, & 98 Are Required After APPROVAL from the ZONING DEPT.****

Select from Drop down

93	Building Permit Application A current Building Permit Application is to be completed, by following the Checklist all supporting documents must be submitted. There is a \$15.00 application fee. The completed application with attached documents and application fee can be mailed.	Yes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
94	Parcel Number The parcel number (Tax ID number) from the Property Appraisers Office (386) 758-1083 is required. A copy of property deed is also required. www.columbiacountyfla.com	Yes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
95	Environmental Health Permit or Sewer Tap Approval A copy of a approved Columbia County Environmental Health (386) 758-1058	-	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
96	City of Lake City A City Water and/or Sewer letter. Call 386-752-2031	-	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
97	Toilet facilities shall be provided for all construction sites	Yes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
98	Town of Fort White (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White, an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.	-	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
99	Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations (Municode.com)	NA	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
100	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the approved FIRM Flood Maps show the property is in a AE, Floodway, and AH flood zones. Additionally One Foot Rise letters are required for AE and AH zones. In the Floodway Flood zones a Zero Rise letter is required.	Yes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
101	A Flood development permit is also required for AE, Floodway & AH. Development permit cost is \$50.00	NA	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
102	Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. County Public Works Dept. determines the size and length of every culvert before instillation and completes a final inspection before permanent power is granted. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00) Separate Check when issued. If the project is to be located on an F.D.O.T. maintained road, then an F.D.O.T. access permit is required.	Yes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
103	911 Address: An application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125.	Yes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Ordinance Sec. 90-75. - Construction debris. (e) It shall be unlawful for any person to dispose of or discard solid waste, including construction or demolition debris at any place within the county other than on an authorized disposal site or at the county's solid waste facilities. The temporary storage, not to exceed seven days of solid waste (excluding construction and demolition debris) on the premises where generated or vegetative trash pending disposition as authorized by law or ordinance, shall not be deemed a violation of this section. The temporary storage of construction and demolition debris on the premises where generated or vegetative trash pending disposition as authorized by law or ordinance shall not be deemed in violation of this section; provided, however, such construction and demolition debris must be disposed of in accordance with this article prior to the county's issuance of a certificate of occupancy for the premises. The burning of lumber from a construction or demolition project or vegetative trash when done so with legal and proper permits from the authorized agencies and in accordance with such agencies' rules and regulations, shall not be deemed a violation of this section. No person shall bury, throw, place, or deposit, or cause to be buried, thrown, placed, or deposited, any solid waste, special waste, or debris of any kind into or on any of the public streets, road right-of-way, highways, bridges, alleys, lanes, thoroughfares, waters, canals, or vacant lots or lands within the county. No person shall bury any vegetative trash on any of the public streets, road right-of-way, highways, bridges, lanes, thoroughfares, waters, canals, or lots less than ten acres in size within the county.

Disclosure Statement for Owner Builders:

If you as the Applicant will be acting as your own contractor or owner/builder under section 489.103(7) Florida Statutes, you must submit the required notarized Owner Builder Disclosure Statement form.

**This form can be printed from the Columbia County Website on the Building and Zoning page under Documents. Web address is - <http://www.columbiacountyfla.com/BuildingandZoning.asp>

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

Notification:

When the application is approved for permitting the applicant will be notified by phone as to the status by the Columbia County Building & Zoning Department.

Lot 62 E.C.

11/7/2019

To: Columbia County Building Department

A&B Well Drilling, Inc.

5673 NW Lake Jeffery Road
Lake City, FL 32055
Telephone: (386) 758-3409
Cell: (386) 623-3151
Fax: (386) 758-3410
Owner: Bruce N. Park

Description of Well to be installed for Customer _____
Global Const

Located @ Address: _____ 264 SW Fieldstone _____

1 HP 20 GPM submersible pump, 1 1/4" drop pipe, 85 gallon captive tank, and backflow prevention.
With SRWMD permit.

Bruce Park _____

Sincerely,
Bruce N. Park
President

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
1. EXTERIOR DOORS			
A. SWINGING	Plastpro	Swinging Doors Exterior	FL-16094.1
B. SLIDING			
C. SECTIONAL/ROLL UP			
D. OTHER			
2. WINDOWS			
A. SINGLE/DOUBLE HUNG	MI	Single Hung Vinyl Windows	FL-17499
B. HORIZONTAL SLIDER			
C. CASEMENT			
D. FIXED			
E. MULLION			
F. SKYLIGHTS			
G. OTHER			
3. PANEL WALL			
A. SIDING	Hardie	Concrete Masonry Siding	FL-13192
B. SOFFITS			
C. STOREFRONTS			
D. GLASS BLOCK			
E. OTHER			
4. ROOFING PRODUCTS			
A. ASPHALT SHINGLES	Tamko	Architectural Shingles	FL-18355-R4
B. NON-STRUCT METAL			
C. ROOFING TILES			
D. SINGLE PLY ROOF			
E. OTHER			
5. STRUCT COMPONENTS			
A. WOOD CONNECTORS	Simpson	Wood Connectors / Anchors	
B. WOOD ANCHORS		SP 4	10456.43
C. TRUSS PLATES		HETA 16	11473.3
D. INSULATION FORMS		LLSTA 24	10852.4
E. LINTELS		ABW 66Z	10849.6
F. OTHERS		ABW 44Z	10849.6
6. NEW EXTERIOR ENVELOPE PRODUCTS			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements. Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

NOTES: _____

INPUT SUMMARY CHECKLIST REPORT

PROJECT													
Title:	Lot 62 Emerald Cove	Bedrooms:	4	Address Type:	Lot Information								
Building Type:	User	Conditioned Area:	1880	Lot #:	62								
Owner Name:	N/A	Total Stories:	1	Block/Subdivision:	Emerald Cove								
# of Units:	1	Worst Case:	No	PlatBook:									
Builder Name:	Gibraltar Contracting, Inc.	Rotate Angle:	0	Street:									
Permit Office:	Columbia County	Cross Ventilation:	Yes	County:	Columbia								
Jurisdiction:		Whole House Fan:	No	City, State, Zip:	Lake City , FL , 32024								
Family Type:	Single-family												
New/Existing:	New (From Plans)												
Comment:													
CLIMATE													
✓	Design Location	TMY Site	Design Temp 97.5 %	2.5 %	Int Design Temp Winter	Summer	Heating Degree Days	Design Moisture	Daily Temp Range				
_____	FL, Gainesville	FL_GAINESVILLE_REGI	32	92	70	75	1305.5	51	Medium				
BLOCKS													
	Number	Name	Area	Volume									
	1	Block1	1880	16920									
SPACES													
	Number	Name	Area	Volume	Kitchen	Occupants	Bedrooms	Infil ID	Finished	Cooled	Heated		
	1	Main	1880	16920	Yes	4	4	1	Yes	Yes	Yes		
FLOORS													
✓	#	Floor Type	Space	Perimeter	R-Value	Area		Tile	Wood	Carpet			
_____	1	Slab-On-Grade Edge Insulation	Main	252 ft	0	1880 ft²	----	0	0	1			
ROOF													
✓	#	Type	Materials	Roof Area	Gable Area	Roof Color	Rad Barr	Solar Absor.	SA Tested	Emitt	Emitt Tested	Deck Insul.	Pitch (deg)
_____	1	Hip	Composition shingles	2177 ft²	0 ft²	Medium	Y	0.96	No	0.9	No	0	30.3
ATTIC													
✓	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC						
_____	1	Full attic	Vented	300	1880 ft²	Y	N						
CEILING													
✓	#	Ceiling Type	Space	R-Value	Ins Type	Area	Framing Frac	Truss Type					
_____	1	Under Attic (Vented)	Main	38	Double Batt	1974 ft²	0.11	Wood					

INPUT SUMMARY CHECKLIST REPORT

WALLS														
✓ #	Ornt	Adjacent To	Wall Type	Space	Cavity R-Value	Width Ft	In	Height Ft	In	Area	Sheathing R-Value	Framing Fraction	Solar Absor.	Below Grade%
___ 1	S	Exterior	Frame - Wood	Main	13	14	4	9		129.0 ft²		0.23	0.75	0
___ 2	S	Exterior	Frame - Wood	Main	13	6	4	10		63.3 ft²		0.23	0.75	0
___ 3	E	Garage	Frame - Wood	Main	13	10	4	9		93.0 ft²		0.23	0.75	0
___ 4	S	Garage	Frame - Wood	Main	13	22		9		198.0 ft²		0.23	0.75	0
___ 5	E	Exterior	Frame - Wood	Main	13	30	4	9		273.0 ft²		0.23	0.75	0
___ 6	N	Exterior	Frame - Wood	Main	13	39	10	9		358.5 ft²		0.23	0.75	0
___ 7	W	Exterior	Frame - Wood	Main	13	5		9		45.0 ft²		0.23	0.75	0
___ 8	W	Exterior	Frame - Wood	Main	13	8		10		80.0 ft²		0.23	0.75	0
___ 9	N	Exterior	Frame - Wood	Main	13	16	6	10		165.0 ft²		0.23	0.75	0
___ 10	E	Exterior	Frame - Wood	Main	13	8		10		80.0 ft²		0.23	0.75	0
___ 11	W	Exterior	Frame - Wood	Main	13	37	6	9		337.5 ft²		0.23	0.75	0
___ 12	S	Exterior	Frame - Wood	Main	13	13	8	10		136.7 ft²		0.23	0.75	0

DOORS											
✓ #	Ornt	Door Type	Space	Storms	U-Value	Width Ft	In	Height Ft	In	Area	
___ 1	S	Insulated	Main	None	.46	3		6	8	20 ft²	
___ 2	S	Insulated	Main	None	.46	3		6	8	20 ft²	

WINDOWS
Orientation shown is the entered, Proposed orientation.

✓ #	Ornt	Wall ID	Frame	Panes	NFRC	U-Factor	SHGC	Imp	Area	Overhang Depth	Separation	Int Shade	Screening
___ 1	S	1	Vinyl	Low-E Double	Yes	0.36	0.25	N	16.0 ft²	1 ft 0 in	1 ft 0 in	None	None
___ 2	S	2	Vinyl	Low-E Double	Yes	0.36	0.25	N	13.3 ft²	7 ft 6 in	1 ft 6 in	None	None
___ 3	S	2	Vinyl	Low-E Double	Yes	0.36	0.25	N	5.0 ft²	7 ft 6 in	0 ft 6 in	None	None
___ 4	S	12	Vinyl	Low-E Double	Yes	0.36	0.25	N	36.0 ft²	1 ft 6 in	1 ft 0 in	None	None
___ 5	E	5	Vinyl	Low-E Double	Yes	0.36	0.25	N	15.0 ft²	1 ft 6 in	1 ft 0 in	None	None
___ 6	N	6	Vinyl	Low-E Double	Yes	0.36	0.25	N	15.0 ft²	1 ft 6 in	1 ft 0 in	None	None
___ 7	N	6	Vinyl	Low-E Double	Yes	0.36	0.25	N	62.5 ft²	1 ft 6 in	1 ft 0 in	None	None
___ 8	W	8	Vinyl	Low-E Double	Yes	0.36	0.25	N	20.0 ft²	6 ft 0 in	1 ft 0 in	None	None
___ 9	N	9	Vinyl	Low-E Double	Yes	0.36	0.25	N	72.0 ft²	9 ft 6 in	1 ft 0 in	None	None
___ 10	E	10	Vinyl	Low-E Double	Yes	0.36	0.25	N	20.0 ft²	1 ft 6 in	1 ft 0 in	None	None
___ 11	W	11	Vinyl	Low-E Double	Yes	0.36	0.25	N	6.0 ft²	1 ft 6 in	1 ft 0 in	None	None

GARAGE					
✓ #	Floor Area	Ceiling Area	Exposed Wall Perimeter	Avg. Wall Height	Exposed Wall Insulation
___ 1	480.326 ft²	480.326 ft²	55.67 ft	9 ft	1

INPUT SUMMARY CHECKLIST REPORT

INFILTRATION												
#	Scope	Method	SLA	CFM 50	ELA	EqLA	ACH	ACH 50				
1	Wholehouse	Proposed ACH(50)	.000286	1410	77.41	145.58	.1128	5				
HEATING SYSTEM												
<input checked="" type="checkbox"/>	#	System Type	Subtype	Efficiency	Capacity	Block	Ducts					
<input checked="" type="checkbox"/>	1	Electric Heat Pump/	None	HSPF:8.2	32.24 kBtu/hr	1	sys#1					
COOLING SYSTEM												
<input checked="" type="checkbox"/>	#	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Block	Ducts			
<input checked="" type="checkbox"/>	1	Central Unit/	None	SEER: 14	21.27 kBtu/hr	630 cfm	0.85	1	sys#1			
HOT WATER SYSTEM												
<input checked="" type="checkbox"/>	#	System Type	SubType	Location	EF	Cap	Use	SetPnt	Conservation			
<input checked="" type="checkbox"/>	1	Electric	None	Garage	0.92	40 gal	40 gal	120 deg	None			
SOLAR HOT WATER SYSTEM												
<input checked="" type="checkbox"/>	FSEC Cert #	CompanyName	System Model #	Collector Model #	Collector Area	Storage Volume	FEF					
<input checked="" type="checkbox"/>	None	None			ft ²							
DUCTS												
<input checked="" type="checkbox"/>	#	--- Supply ---		--- Return ---		Leakage Type	Air Handler	CFM 25 TOT	CFM25 OUT	QN	RLF	HVAC # Heat Cool
<input checked="" type="checkbox"/>	1	Attic	6	467.75 f	Attic	93.5 ft ²	Default Leakage	Garage	(Default) c	(Default) c		1 1
TEMPERATURES												
Programable Thermostat: Y						Ceiling Fans:						
Cooling	<input type="checkbox"/> Jan	<input type="checkbox"/> Feb	<input type="checkbox"/> Mar	<input type="checkbox"/> Apr	<input type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input type="checkbox"/> Oct	<input type="checkbox"/> Nov	<input type="checkbox"/> Dec
Heating	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input type="checkbox"/> Apr	<input type="checkbox"/> May	<input type="checkbox"/> Jun	<input type="checkbox"/> Jul	<input type="checkbox"/> Aug	<input type="checkbox"/> Sep	<input type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec
Venting	<input type="checkbox"/> Jan	<input type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input type="checkbox"/> May	<input type="checkbox"/> Jun	<input type="checkbox"/> Jul	<input type="checkbox"/> Aug	<input type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input type="checkbox"/> Dec

INPUT SUMMARY CHECKLIST REPORT

Thermostat Schedule: HERS 2006 Reference		Hours											
Schedule Type		1	2	3	4	5	6	7	8	9	10	11	12
Cooling (WD)	AM	78	78	78	78	78	78	78	78	80	80	80	80
	PM	80	80	78	78	78	78	78	78	78	78	78	78
Cooling (WEH)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Heating (WD)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66
Heating (WEH)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66
MASS													
Mass Type		Area			Thickness		Furniture Fraction			Space			
Default(8 lbs/sq.ft.)		0 ft ²			0 ft		0.3			Main			

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 95

The lower the Energy Performance Index, the more efficient the home.

<p>1. New home or, addition</p> <p>2. Single-family or multiple-family</p> <p>3. No. of units (if multiple-family)</p> <p>4. Number of bedrooms</p> <p>5. Is this a worst case? (yes/no)</p> <p>6. Conditioned floor area (sq. ft.)</p> <p>7. Windows, type and area</p> <p style="margin-left: 20px;">a) U-factor:(weighted average)</p> <p style="margin-left: 20px;">b) Solar Heat Gain Coefficient (SHGC)</p> <p style="margin-left: 20px;">c) Area</p> <p>8. Skylights</p> <p style="margin-left: 20px;">a) U-factor:(weighted average)</p> <p style="margin-left: 20px;">b) Solar Heat Gain Coefficient (SHGC)</p> <p>9. Floor type, insulation level:</p> <p style="margin-left: 20px;">a) Slab-on-grade (R-value)</p> <p style="margin-left: 20px;">b) Wood, raised (R-value)</p> <p style="margin-left: 20px;">c) Concrete, raised (R-value)</p> <p>10. Wall type and insulation:</p> <p style="margin-left: 20px;">A. Exterior:</p> <p style="margin-left: 40px;">1. Wood frame (Insulation R-value)</p> <p style="margin-left: 40px;">2. Masonry (Insulation R-value)</p> <p style="margin-left: 20px;">B. Adjacent:</p> <p style="margin-left: 40px;">1. Wood frame (Insulation R-value)</p> <p style="margin-left: 40px;">2. Masonry (Insulation R-value)</p> <p>11. Ceiling type and insulation level</p> <p style="margin-left: 20px;">a) Under attic</p> <p style="margin-left: 20px;">b) Single assembly</p> <p style="margin-left: 20px;">c) Knee walls/skylight walls</p> <p style="margin-left: 20px;">d) Radiant barrier installed</p>	<p>1. <u>New (From Plans)</u></p> <p>2. <u>Single-family</u></p> <p>3. <u>1</u></p> <p>4. <u>4</u></p> <p>5. <u>No</u></p> <p>6. <u>1880</u></p> <p>7a. <u>0.360</u></p> <p>7b. <u>0.250</u></p> <p>7c. <u>280.8</u></p> <p>8a. <u>NA</u></p> <p>8b. <u>NA</u></p> <p>9a. <u>0.0</u></p> <p>9b. _____</p> <p>9c. _____</p> <p>10A1. <u>13.0</u></p> <p>10A2. _____</p> <p>10B1. <u>13.0</u></p> <p>10B2. _____</p> <p>11a. <u>38.0</u></p> <p>11b. _____</p> <p>11c. _____</p> <p>11d. <u>Yes</u></p>	<p>12. Ducts, location & insulation level</p> <p style="margin-left: 20px;">a) Supply ducts R <u>6.0</u></p> <p style="margin-left: 20px;">b) Return ducts R <u>6.0</u></p> <p style="margin-left: 20px;">c) AHU location <u>Garage</u></p> <p>13. Cooling system: Capacity <u>21.3</u></p> <p style="margin-left: 20px;">a) Split system SEER _____</p> <p style="margin-left: 20px;">b) Single package SEER _____</p> <p style="margin-left: 20px;">c) Ground/water source SEER/COP _____</p> <p style="margin-left: 20px;">d) Room unit/PTAC EER _____</p> <p style="margin-left: 20px;">e) Other <u>14.0</u></p> <p>14. Heating system: Capacity <u>32.2</u></p> <p style="margin-left: 20px;">a) Split system heat pump HSPF _____</p> <p style="margin-left: 20px;">b) Single package heat pump HSPF _____</p> <p style="margin-left: 20px;">c) Electric resistance COP _____</p> <p style="margin-left: 20px;">d) Gas furnace, natural gas AFUE _____</p> <p style="margin-left: 20px;">e) Gas furnace, LPG AFUE _____</p> <p style="margin-left: 20px;">f) Other <u>8.20</u></p> <p>15. Water heating system</p> <p style="margin-left: 20px;">a) Electric resistance EF <u>0.92</u></p> <p style="margin-left: 20px;">b) Gas fired, natural gas EF _____</p> <p style="margin-left: 20px;">c) Gas fired, LPG EF _____</p> <p style="margin-left: 20px;">d) Solar system with tank EF _____</p> <p style="margin-left: 20px;">e) Dedicated heat pump with tank EF _____</p> <p style="margin-left: 20px;">f) Heat recovery unit HeatRec% _____</p> <p style="margin-left: 20px;">g) Other _____</p> <p>16. HVAC credits claimed (Performance Method)</p> <p style="margin-left: 20px;">a) Ceiling fans <u>Yes</u></p> <p style="margin-left: 20px;">b) Cross ventilation <u>Yes</u></p> <p style="margin-left: 20px;">c) Whole house fan <u>No</u></p> <p style="margin-left: 20px;">d) Multizone cooling credit _____</p> <p style="margin-left: 20px;">e) Multizone heating credit _____</p> <p style="margin-left: 20px;">f) Programmable thermostat <u>Yes</u></p>
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*Label required by Section R303.1.3 of the Florida Building Code, Energy Conservation, if not DEFAULT.

I certify that this home has complied with the Florida Building Code, Energy Conservation, through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL display card will be completed based on installed code compliant features.

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: Lake City, FL 32024

Envelope Leakage Test Report (Blower Door Test)

Residential Prescriptive, Performance or ERI Method Compliance

2017 Florida Building Code, Energy Conservation, 6th Edition

Jurisdiction:	Permit #:
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Job Information

Builder: Gibraltar Contracting, Inc.	Community:	Lot: 62
--------------------------------------	------------	---------

Address:

City: Lake City	State: FL	Zip: 32024
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Air Leakage Test Results *Passing results must meet either the Performance, Prescriptive, or ERI Method*

PRESCRIPTIVE METHOD-The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding 7 air changes per hour at a pressure of 0.2 inch w.g. (50 Pascals) in Climate Zones 1 and 2.

PERFORMANCE or ERI METHOD-The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding the selected ACH(50) value, as shown on Form R405-2017 (Performance) or R406-2017 (ERI), section labeled as infiltration, sub-section ACH50.
ACH(50) specified on Form R405-2017-Energy Calc (Performance) or R406-2017 (ERI): 5.000

$\frac{\text{CFM}(50)}{\text{Building Volume}} \times 60 \div \frac{16920}{\text{ACH}(50)} =$ <div style="text-align: center; font-size: 2em; font-weight: bold; margin: 10px 0;"> <input type="checkbox"/> PASS </div> <p><input type="checkbox"/> When ACH(50) is less than 3, Mechanical Ventilation installation must be verified by building department.</p>	<p><u>Method for calculating building volume:</u></p> <p><input type="radio"/> Retrieved from architectural plans</p> <p><input checked="" type="radio"/> Code software calculated</p> <p><input type="radio"/> Field measured and calculated</p>
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R402.4.1.2 Testing. Testing shall be conducted in accordance with ANSI/RESNET/ICC 380 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be conducted by either individuals as defined in Section 553.993(5) or (7) Florida Statutes or individuals licensed as set forth in Section 489.105(3)(f), (g), or (i) or an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope.

- During testing:**
1. Exterior windows and doors, fireplace and stove doors shall be closed, but not sealed, beyond the intended weatherstripping or other infiltration control measures.
 2. Dampers including exhaust, intake, makeup air, back draft and flue dampers shall be closed, but not sealed beyond intended infiltration control measures.
 3. Interior doors, if installed at the time of the test, shall be open.
 4. Exterior doors for continuous ventilation systems and heat recovery ventilators shall be closed and sealed.
 5. Heating and cooling systems, if installed at the time of the test, shall be turned off.
 6. Supply and return registers, if installed at the time of the test, shall be fully open.

Testing Company

Company Name: _____ Phone: _____

I hereby verify that the above Air Leakage results are in accordance with the 2017 6th Edition Florida Building Code Energy Conservation requirements according to the compliance method selected above.

Signature of Tester: _____ Date of Test: _____

Printed Name of Tester: _____

License/Certification #: _____ Issuing Authority: _____

Residential System Sizing Calculation

Summary

N/A

Project Title:
Lot 62 Emerald Cove

Lake City, FL 32024

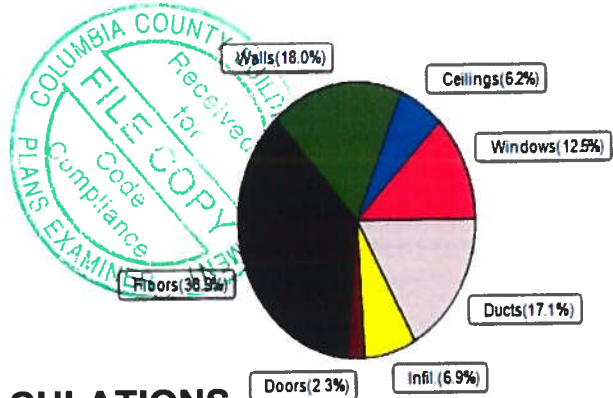
10/26/2019

Location for weather data: Gainesville, FL - Defaults: Latitude(29.7) Altitude(152 ft.) Temp Range(M)			
Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(51gr.)			
Winter design temperature(TMY3 99%)	30 F	Summer design temperature(TMY3 99%)	94 F
Winter setpoint	70 F	Summer setpoint	75 F
Winter temperature difference	40 F	Summer temperature difference	19 F
Total heating load calculation	32240 Btuh	Total cooling load calculation	21266 Btuh
Submitted heating capacity	% of calc Btuh	Submitted cooling capacity	% of calc Btuh
Total (Electric Heat Pump)	100.0 32240	Sensible (SHR = 0.85)	101.7 18076
Heat Pump + Auxiliary(0.0kW)	100.0 32240	Latent	91.2 3190
		Total (Electric Heat Pump)	100.0 21266

WINTER CALCULATIONS

Winter Heating Load (for 1880 sqft)

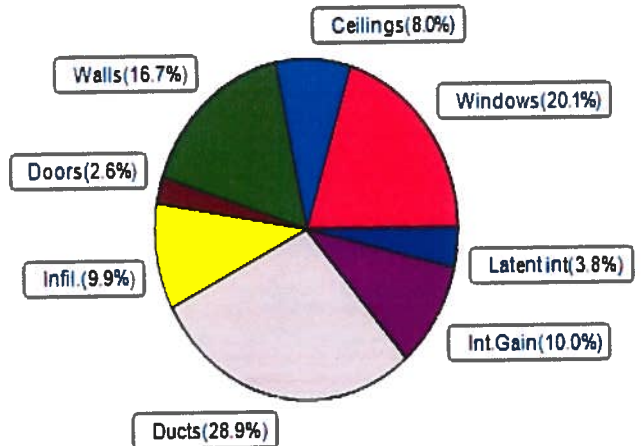
Load component		Load	
Window total	281 sqft	4044	Btuh
Wall total	1638 sqft	5816	Btuh
Door total	40 sqft	736	Btuh
Ceiling total	1974 sqft	2004	Btuh
Floor total	1880 sqft	11894	Btuh
Infiltration	51 cfm	2228	Btuh
Duct loss		5518	Btuh
Subtotal		32240	Btuh
Ventilation	0 cfm	0	Btuh
TOTAL HEAT LOSS		32240	Btuh



SUMMER CALCULATIONS

Summer Cooling Load (for 1880 sqft)

Load component		Load	
Window total	281 sqft	4281	Btuh
Wall total	1638 sqft	3551	Btuh
Door total	40 sqft	552	Btuh
Ceiling total	1974 sqft	1703	Btuh
Floor total		0	Btuh
Infiltration	38 cfm	794	Btuh
Internal gain		2120	Btuh
Duct gain		4765	Btuh
Sens. Ventilation	0 cfm	0	Btuh
Blower Load		0	Btuh
Total sensible gain		17766	Btuh
Latent gain(ducts)		1382	Btuh
Latent gain(infiltration)		1317	Btuh
Latent gain(ventilation)		0	Btuh
Latent gain(internal/occupants/other)		800	Btuh
Total latent gain		3499	Btuh
TOTAL HEAT GAIN		21266	Btuh



EnergyGauge® System Sizing
 PREPARED BY: [Signature]
 DATE: 11/5/2019

System Sizing Calculations - Winter

Residential Load - Whole House Component Details

N/A

Lake City, FL 32024

Project Title:
Lot 62 Emerald Cove
Building Type: User

10/26/2019

Reference City: Gainesville, FL (Defaults) Winter Temperature Difference: 40.0 F (TMY3 99%)

Component Loads for Whole House							
Window	Panels/Type	Frame	U	Orientation	Area(sqft)	X	HTM= Load
1	2, NFRC 0.25	Vinyl	0.36	S	16.0	14.4	230 Btuh
2	2, NFRC 0.25	Vinyl	0.36	S	13.3	14.4	192 Btuh
3	2, NFRC 0.25	Vinyl	0.36	S	5.0	14.4	72 Btuh
4	2, NFRC 0.25	Vinyl	0.36	S	36.0	14.4	518 Btuh
5	2, NFRC 0.25	Vinyl	0.36	E	15.0	14.4	216 Btuh
6	2, NFRC 0.25	Vinyl	0.36	N	15.0	14.4	216 Btuh
7	2, NFRC 0.25	Vinyl	0.36	N	62.5	14.4	900 Btuh
8	2, NFRC 0.25	Vinyl	0.36	W	20.0	14.4	288 Btuh
9	2, NFRC 0.25	Vinyl	0.36	N	72.0	14.4	1037 Btuh
10	2, NFRC 0.25	Vinyl	0.36	E	20.0	14.4	288 Btuh
11	2, NFRC 0.25	Vinyl	0.36	W	6.0	14.4	86 Btuh
					Window Total		4044 Btuh
					280.8(sqft)		
Walls	Type	Ornt.	Ueff.	R-Value (Cav/Sh)	Area X	HTM= Load	
1	Frame - Wood	- Ext	(0.089)	13.0/0.0	113	3.55	401 Btuh
2	Frame - Wood	- Ext	(0.089)	13.0/0.0	25	3.55	89 Btuh
3	Frame - Wood	- Adj	(0.089)	13.0/0.0	93	3.55	330 Btuh
4	Frame - Wood	- Adj	(0.089)	13.0/0.0	178	3.55	632 Btuh
5	Frame - Wood	- Ext	(0.089)	13.0/0.0	258	3.55	916 Btuh
6	Frame - Wood	- Ext	(0.089)	13.0/0.0	281	3.55	998 Btuh
7	Frame - Wood	- Ext	(0.089)	13.0/0.0	45	3.55	160 Btuh
8	Frame - Wood	- Ext	(0.089)	13.0/0.0	60	3.55	213 Btuh
9	Frame - Wood	- Ext	(0.089)	13.0/0.0	93	3.55	330 Btuh
10	Frame - Wood	- Ext	(0.089)	13.0/0.0	60	3.55	213 Btuh
11	Frame - Wood	- Ext	(0.089)	13.0/0.0	332	3.55	1177 Btuh
12	Frame - Wood	- Ext	(0.089)	13.0/0.0	101	3.55	357 Btuh
					Wall Total		5816 Btuh
					1638(sqft)		
Doors	Type	Storm	Ueff.	Area X	HTM= Load		
1	Insulated - Exterior, n		(0.460)	20	18.4	368 Btuh	
2	Insulated - Garage, n		(0.460)	20	18.4	368 Btuh	
					Door Total	736Btuh	
					40(sqft)		
Ceilings	Type/Color/Surface	Ueff.	R-Value	Area X	HTM= Load		
1	Vented Attic/L/Shing	(0.025)	38.0/0.0	1974	1.0	2004 Btuh	
					Ceiling Total	2004Btuh	
					1974(sqft)		
Floors	Type	Ueff.	R-Value	Size X	HTM= Load		
1	Slab On Grade	(1.180)	0.0	252.0 ft(perim.)	47.2	11894 Btuh	
					Floor Total	11894 Btuh	
					1880 sqft		
Envelope Subtotal:						24494 Btuh	
Infiltration	Type	Wholehouse ACH	Volume(cuft)	Wall Ratio	CFM= Load		
	Natural	0.18	16920	1.00	50.9	2228 Btuh	

Manual J Winter Calculations

Residential Load - Component Details (continued)

N/A

Lake City, FL 32024

Project Title:
Lot 62 Emerald Cove
Building Type: User

10/26/2019

Duct load	Average sealed, R6.0, Supply(Att), Return(Att) (DLM of 0.206)	5518 Btuh
All Zones	Sensible Subtotal All Zones	32240 Btuh

WHOLE HOUSE TOTALS

Totals for Heating	Subtotal Sensible Heat Loss Ventilation Sensible Heat Loss Total Heat Loss	32240 Btuh 0 Btuh 32240 Btuh
---------------------------	--	------------------------------------

EQUIPMENT

1. Electric Heat Pump	#	32240 Btuh
-----------------------	---	------------

Key: Window types - NFRC (Requires U-Factor and Shading coefficient(SHGC) of glass as numerical values)
 or - Glass as 'Clear' or 'Tint' (Uses U-Factor and SHGC defaults)
 U - (Window U-Factor)
 HTM - (ManualJ Heat Transfer Multiplier)



Version 8

System Sizing Calculations - Summer

Residential Load - Whole House Component Details

N/A

Project Title:
Lot 62 Emerald Cove

Lake City, FL 32024

10/26/2019

Reference City: Gainesville, FL

Temperature Difference: 19.0F(TMY3 99%) Humidity difference: 51gr.

Component Loads for Whole House

Window	Type*						Overhang		Window Area(sqft)			HTM		Load
	Panes	SHGC	U	InSh	IS	Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded	
1	2 NFRC	0.25, 0.36	No	No	S	1.0ft.	1.0ft.	16.0	16.0	0.0	12	14	194 Btuh	
2	2 NFRC	0.25, 0.36	No	No	S	7.5ft.	1.5ft.	13.3	13.3	0.0	12	14	161 Btuh	
3	2 NFRC	0.25, 0.36	No	No	S	7.5ft.	0.5ft.	5.0	5.0	0.0	12	14	60 Btuh	
4	2 NFRC	0.25, 0.36	No	No	S	1.5ft.	1.0ft.	36.0	36.0	0.0	12	14	436 Btuh	
5	2 NFRC	0.25, 0.36	No	No	E	1.5ft.	1.0ft.	15.0	0.7	14.3	12	31	450 Btuh	
6	2 NFRC	0.25, 0.36	No	No	N	1.5ft.	1.0ft.	15.0	0.0	15.0	12	12	181 Btuh	
7	2 NFRC	0.25, 0.36	No	No	N	1.5ft.	1.0ft.	62.5	0.0	62.5	12	12	756 Btuh	
8	2 NFRC	0.25, 0.36	No	No	W	6.0ft.	1.0ft.	20.0	11.9	8.1	12	31	394 Btuh	
9	2 NFRC	0.25, 0.36	No	No	N	9.5ft.	1.0ft.	72.0	0.0	72.0	12	12	871 Btuh	
10	2 NFRC	0.25, 0.36	No	No	E	1.5ft.	1.0ft.	20.0	1.0	19.0	12	31	600 Btuh	
11	2 NFRC	0.25, 0.36	No	No	W	1.5ft.	1.0ft.	6.0	0.5	5.5	12	31	176 Btuh	
Window Total								281 (sqft)					4281 Btuh	
Walls	Type	U-Value	R-Value	Area(sqft)		HTM		Load						
			Cav/Sheath											
1	Frame - Wood - Ext	0.09	13.0/0.0	113.0	2.3	256 Btuh								
2	Frame - Wood - Ext	0.09	13.0/0.0	25.0	2.3	57 Btuh								
3	Frame - Wood - Adj	0.09	13.0/0.0	93.0	1.7	157 Btuh								
4	Frame - Wood - Adj	0.09	13.0/0.0	178.0	1.7	300 Btuh								
5	Frame - Wood - Ext	0.09	13.0/0.0	258.0	2.3	584 Btuh								
6	Frame - Wood - Ext	0.09	13.0/0.0	281.0	2.3	636 Btuh								
7	Frame - Wood - Ext	0.09	13.0/0.0	45.0	2.3	102 Btuh								
8	Frame - Wood - Ext	0.09	13.0/0.0	60.0	2.3	136 Btuh								
9	Frame - Wood - Ext	0.09	13.0/0.0	93.0	2.3	210 Btuh								
10	Frame - Wood - Ext	0.09	13.0/0.0	60.0	2.3	136 Btuh								
11	Frame - Wood - Ext	0.09	13.0/0.0	331.5	2.3	750 Btuh								
12	Frame - Wood - Ext	0.09	13.0/0.0	100.7	2.3	228 Btuh								
Wall Total				1638 (sqft)		3551 Btuh								
Doors	Type	Area (sqft)		HTM		Load								
1	Insulated - Exterior	20.0	13.8	276 Btuh										
2	Insulated - Garage	20.0	13.8	276 Btuh										
Door Total		40 (sqft)		552 Btuh										
Ceilings	Type/Color/Surface	U-Value	R-Value	Area(sqft)	HTM	Load								
1	Vented Attic/Light/Shingle/RB	0.025	38.0/0.0	1974.0	0.86	1703 Btuh								
Ceiling Total				1974 (sqft)		1703 Btuh								
Floors	Type	R-Value		Size	HTM	Load								
1	Slab On Grade	0.0	1880 (ft-perimeter)	0.0	0 Btuh									
Floor Total				1880.0 (sqft)		0 Btuh								
Envelope Subtotal:						10087 Btuh								

Manual J Summer Calculations

Residential Load - Component Details (continued)

N/A

Project Title: Climate:FL_GAINESVILLE_REGIONAL_A
 Lot 62 Emerald Cove

Lake City, FL 32024

10/26/2019

Infiltration	Type Natural	Average ACH 0.14	Volume(cuft) 16920	Wall Ratio 1	CFM= 38.2	Load 794 Btuh
Internal gain		Occupants 4	Btuh/occupant X 230	+	Appliance 1200	Load 2120 Btuh
			Sensible Envelope Load:			13001 Btuh
Duct load	Average sealed,Supply(R6.0-Attic), Return(R6.0-Attic)			(DGM of 0.367)		4765 Btuh
			Sensible Load All Zones			17766 Btuh

Manual J Summer Calculations

Residential Load - Component Details (continued)

N/A

Project Title: Climate:FL_GAINESVILLE_REGIONAL_A
 Lot 62 Emerald Cove

Lake City, FL 32024

10/26/2019

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	Sensible Envelope Load All Zones	13001 Btuh
	Sensible Duct Load	4765 Btuh
	Total Sensible Zone Loads	17766 Btuh
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	17766 Btuh
	Latent infiltration gain (for 51 gr. humidity difference)	1317 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	1382 Btuh
	Latent occupant gain (4.0 people @ 200 Btuh per person)	800 Btuh
	Latent other gain	0 Btuh
	Latent total gain	3499 Btuh
	TOTAL GAIN	21266 Btuh

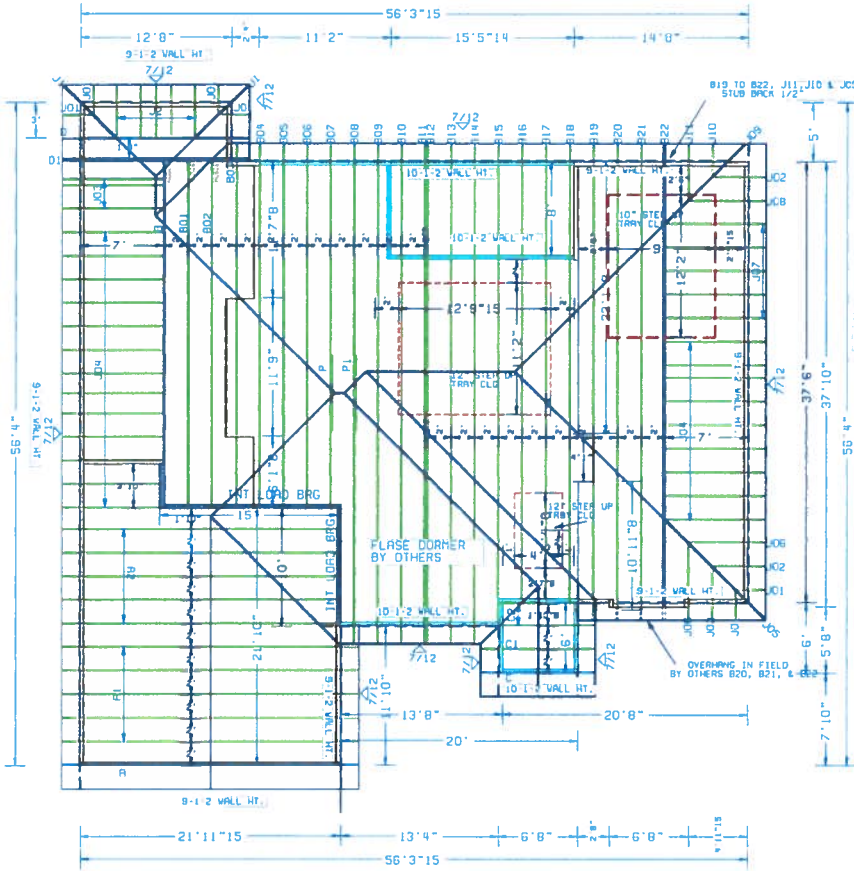
EQUIPMENT

1. Central Unit	#	21266 Btuh
-----------------	---	------------

*Key: Window types (Panels - Number and type of panes of glass)
 (SHGC - Shading coefficient of glass as SHGC numerical value)
 (U - Window U-Factor)
 (InSh - Interior shading device: none(No), Blinds(B), Draperies(D) or Roller Shades(R))
 - For Blinds: Assume medium color, half closed
 For Draperies: Assume medium weave, half closed
 For Roller shades: Assume translucent, half closed
 (IS - Insect screen: none(N), Full(F) or Half(½))
 (Ornt - compass orientation)



Version 8



W.B. Howland Truss Co.
 610 11th St. SW
 Live Oak, FL 32064
 (386) 362-1235
 (386) 362-7124 (Fax)
 howlandtruss@gmail.com

ROOF PITCH: 7/12
 CLG PITCH:
 OVERHANG: 1'-6"
 LOADING: 40
 WIND LOAD: 130
 EXPOSURE: C
 IBC 2010 RESIDENTIAL
 EXT. WALLS: 2x4 FRAMING
 DATE: 3/26/19

Do not cut, trim, drill holes, plane or in any way alter trusses without first contacting Howland Truss, and obtaining an engineered repair drawing.

- (3) TRUSSES TO TRUSS CONNECTIONS:
- (3) B-B02 TO D1: HUS26

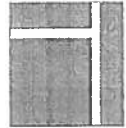


JOB #: 19-3663

Job Name: LOT 62 EMERALD COVE
 Customer: Gibraltar Contr.
 Designer: Bob Glover
 ADDRESS:
 SALESMAN: RL <Not Found>

JOB NO:
 19-3663

PAGE NO:
 1 OF 1



plastpro

5200 W. CENTURY BLVD.
LOS ANGELES, CA 90045

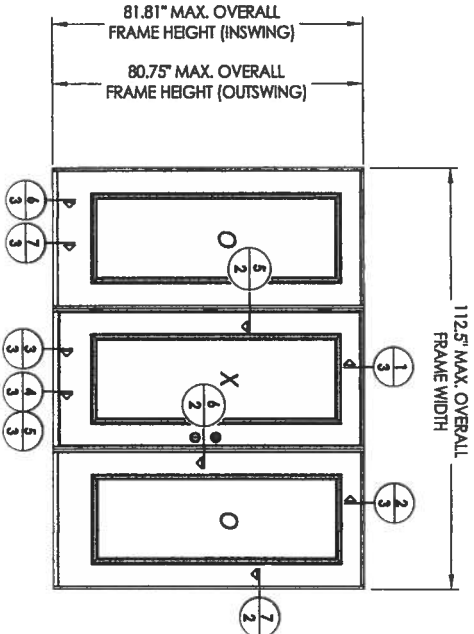
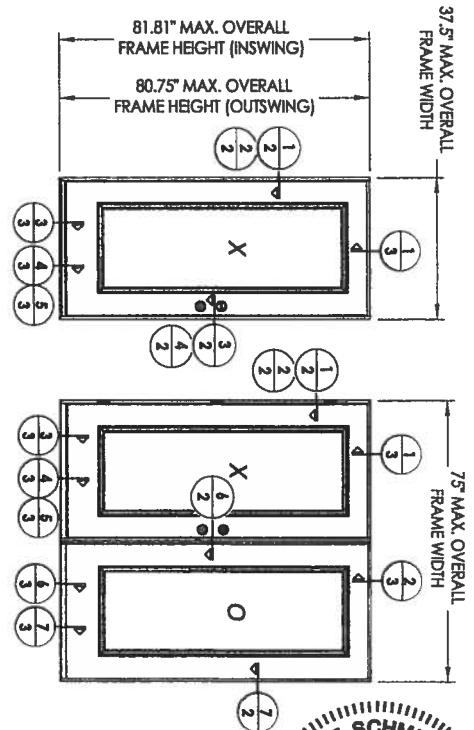
GLAZED FIBERGLASS SINGLE DOOR w/ or w/out SIDELITE(S) Inswing / Outswing "IMPACT"

GENERAL NOTES

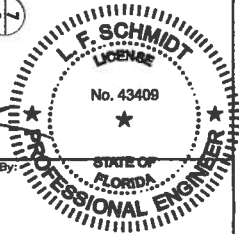
1. This product anchoring drawing has been developed and is in compliance with the 6th Edition (2017) Florida Building Code (FBC) structural requirements including the "High Velocity Hurricane Zone" (HVHZ). See the Certification Agency Certificate for sizes, specifications and rating.
2. Product anchors shall be as listed and spaced as shown on details. Anchor embedment to base material shall be beyond wall dressing or stucco.
3. When used in the "HVHZ" this product complies with Section 1626 of the Florida Building Code and does not require an impact resistant covering.
4. When used in areas outside of the "HVHZ" requiring wind borne debris protection this product complies with FBC Sections 1609.1.2 & R301.2.1.2 and does not require an impact resistant covering. This product meets missile level "D" and includes Wind Zone 4 as defined in ASTM E 1996 and FBC Sections 1609.1.2.2 & R301.2.1.2.1.
5. For 2x stud construction, anchoring of these units shall be the same as that shown for 2x buck masonry construction.
6. Site conditions that deviate from the details of this drawing require further engineering analysis by a licensed engineer or registered architect.
7. Outswing configurations utilizing the high dam sill (see Section 5/3), meet water infiltration requirements for "HVHZ". All other configurations do not meet the water infiltration requirements for the "HVHZ" and must be installed only in non-habitable areas or of habitable locations protected by an overhang or canopy such that the angle between the edge of canopy or overhang to sill is less than 45 degrees.

TABLE OF CONTENTS

SHEET #	DESCRIPTION
1	Typical elevations, design pressures & general notes
2	Horizontal cross sections
3	Vertical cross sections
4	Buck anchoring & sill of materials
5	Frame anchoring & glazing details



CONFIGURATION	MAX. FRAME DIMENSION	DESIGN PRESSURE (PSF)	
		POSITIVE	NEGATIVE
X	37.5" x 81.81"	+50.0	-50.0
XO/OX	75.0" x 81.81"	+50.0	-50.0
OXO	112.5" x 81.81"	+50.0	-50.0



October 14, 2017

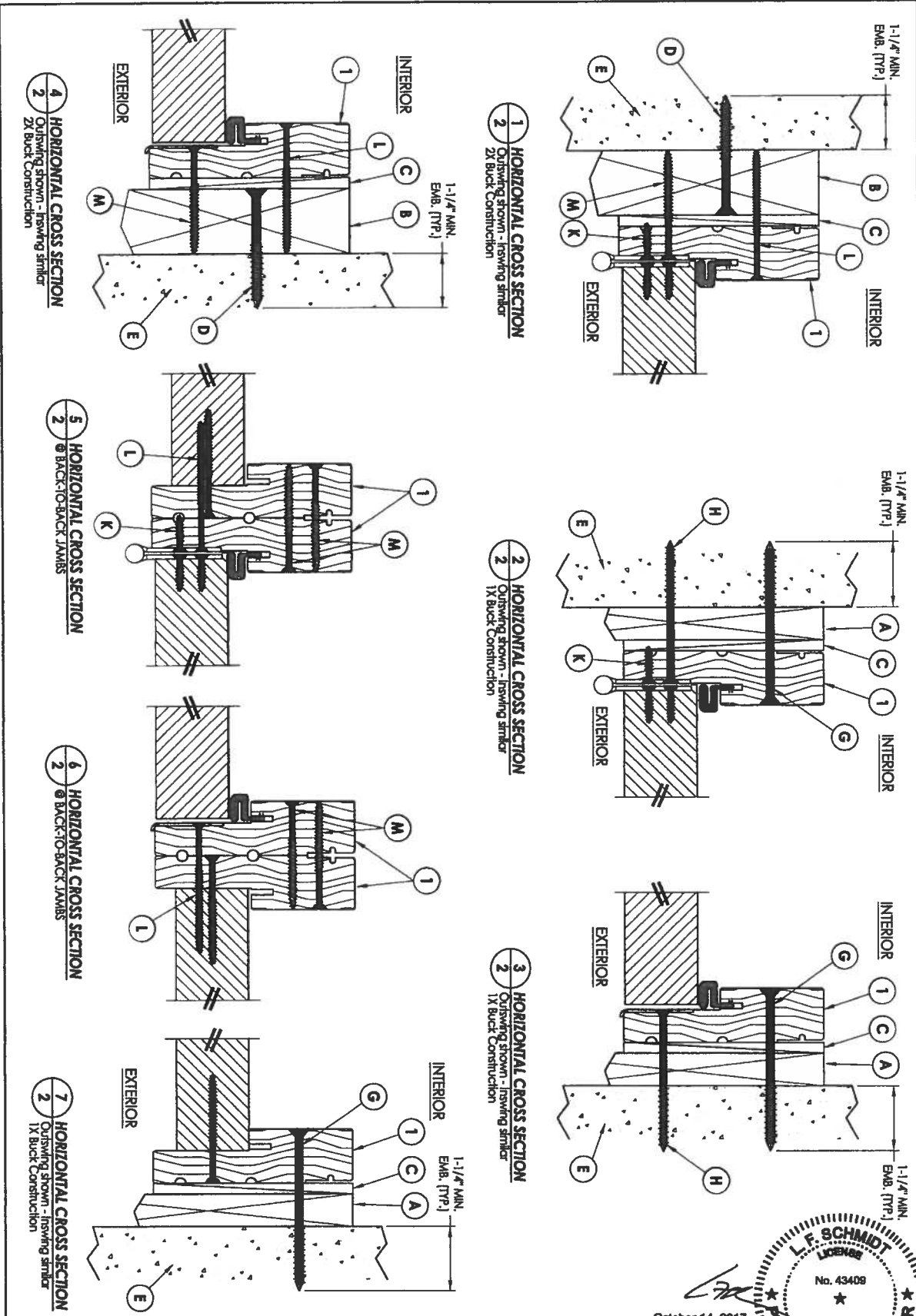
Documents Prepared By:
Lyndon F. Schmidt
P.E. No. 43408

RW BUILDING CONSULTANTS, INC.
P.O. Box 230, Valrico, FL 33595
Phone No.: 813.659.9197
FBPE C.A. No. 9813

PRODUCT:	PLASTPRO FIBERGLASS DOOR
PART OR ASSEMBLY:	TYPICAL ELEVATION, DESIGN PRESSURES & GENERAL NOTES
LFS	BY

NO.	DATE	REVISIONS
2	10/14/17	UPDATE TO 6TH ED. (2017) FBC
1	8/04/14	CLARIFIED INSTALLATION DETAILS

DATE:	12/10/12
SCALE:	N.T.S.
DWG. BY:	JK
CHK. BY:	LFS
DRAWING NO.:	FL-16094.1
SHEET:	1 of 5



4 HORIZONTAL CROSS SECTION
Outswing shown - Inswing similar
2X Buck Construction

5 HORIZONTAL CROSS SECTION
2 @ BACK-TO-BACK JAMBS

6 HORIZONTAL CROSS SECTION
2 @ BACK-TO-BACK JAMBS

7 HORIZONTAL CROSS SECTION
Outswing shown - Inswing similar
1X Buck Construction

1 HORIZONTAL CROSS SECTION
Outswing shown - Inswing similar
2X Buck Construction

2 HORIZONTAL CROSS SECTION
Outswing shown - Inswing similar
1X Buck Construction

3 HORIZONTAL CROSS SECTION
Outswing shown - Inswing similar
1X Buck Construction

NO.	DATE	REVISIONS
2	10/14/17	UPDATE TO 6TH ED. (2017) FBC
1	8/04/14	CLARIFIED INSTALLATION DETAILS

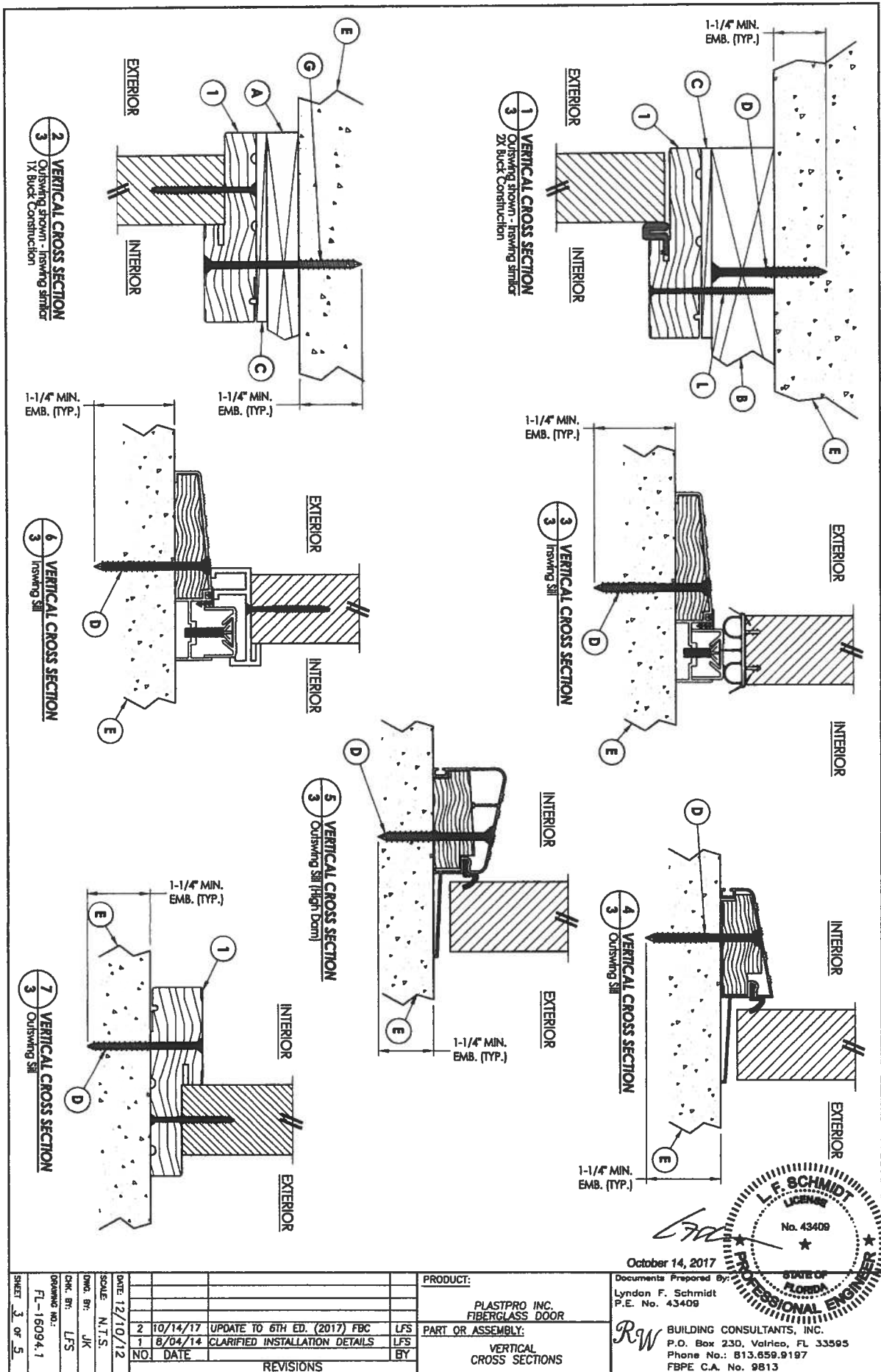
PRODUCT:	PLASTPRO INC. FIBERGLASS DOOR
PART OR ASSEMBLY:	HORIZONTAL CROSS SECTIONS

October 14, 2017

Documents Prepared By: Lyndon F. Schmidt
P.E. No. 43409

L. F. SCHMIDT
LICENSE
No. 43409
PROFESSIONAL ENGINEER
STATE OF FLORIDA

RW BUILDING CONSULTANTS, INC.
P.O. Box 230, Valrico, FL 33595
Phone No.: 813.659.9197
FBPE C.A. No. 9813



DATE: 12/10/12	SCALE: N.T.S.	DWG. BY: JK	CHK. BY: LFS
DRAWING NO.: FL-16094.1			
SHEET 3 OF 5			

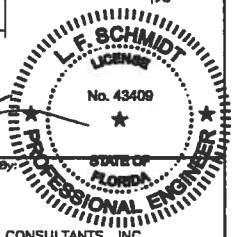
NO.	DATE	REVISIONS	BY
2	10/14/17	UPDATE TO 6TH ED. (2017) FBC	LFS
1	8/04/14	CLARIFIED INSTALLATION DETAILS	LFS

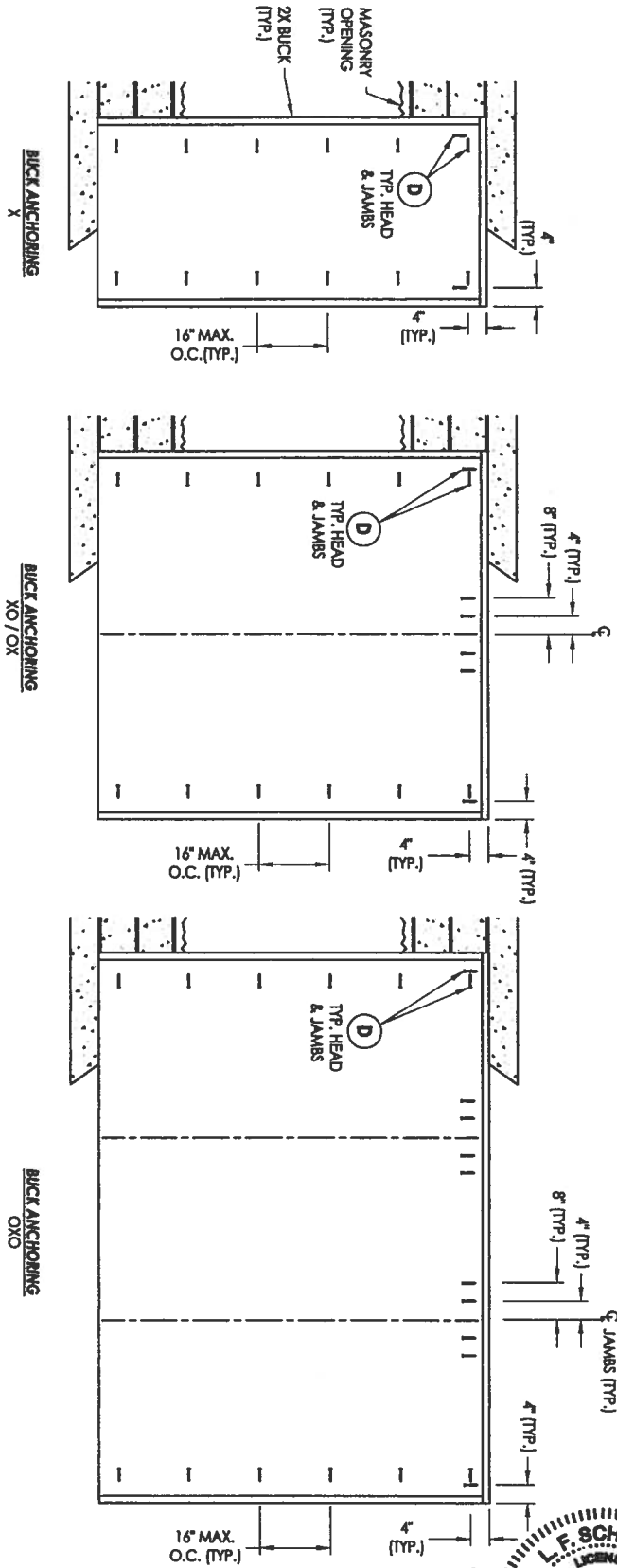
PRODUCT:	PLASTPRO INC. FIBERGLASS DOOR
PART OR ASSEMBLY:	VERTICAL CROSS SECTIONS

October 14, 2017

Documents Prepared By:
Lyndon F. Schmidt
P.E. No. 43408

RW BUILDING CONSULTANTS, INC.
P.O. Box 230, Valrico, FL 33595
Phone No.: 813.659.9197
FBPE C.A. No. 9813





BILL OF MATERIALS		
ITEM #	DESCRIPTION	MATERIAL
A	1X BUCK (SG >= 0.55)	WOOD
B	2X BUCK (SG >= 0.55)	WOOD
C	1/4\"/>	

- CONCRETE ANCHOR NOTES:**
1. Substitution of equal concrete anchors from a different supplier may have different edge distance and center distance requirements.
 2. Concrete anchor locations of the corners may be adjusted to maintain the min. edge distance to mortar joints. Concrete anchor locations noted as "MAX. O.C. (TYP.)" must be adjusted to maintain the min. edge distance to mortar joints, additional concrete anchors may be required to ensure the "MAX. O.C. (TYP.)" dimension are not exceeded.
 3. Concrete anchor table:

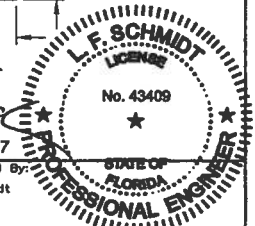
ANCHOR TYPE	ANCHOR SIZE	MIN. EMBEDMENT	MIN. CLEARANCE TO MASONRY EDGE	MIN. CLEARANCE TO ADJACENT ANCHOR
ITW TACON	1/4"	1-1/4"	2"	4"

October 14, 2017

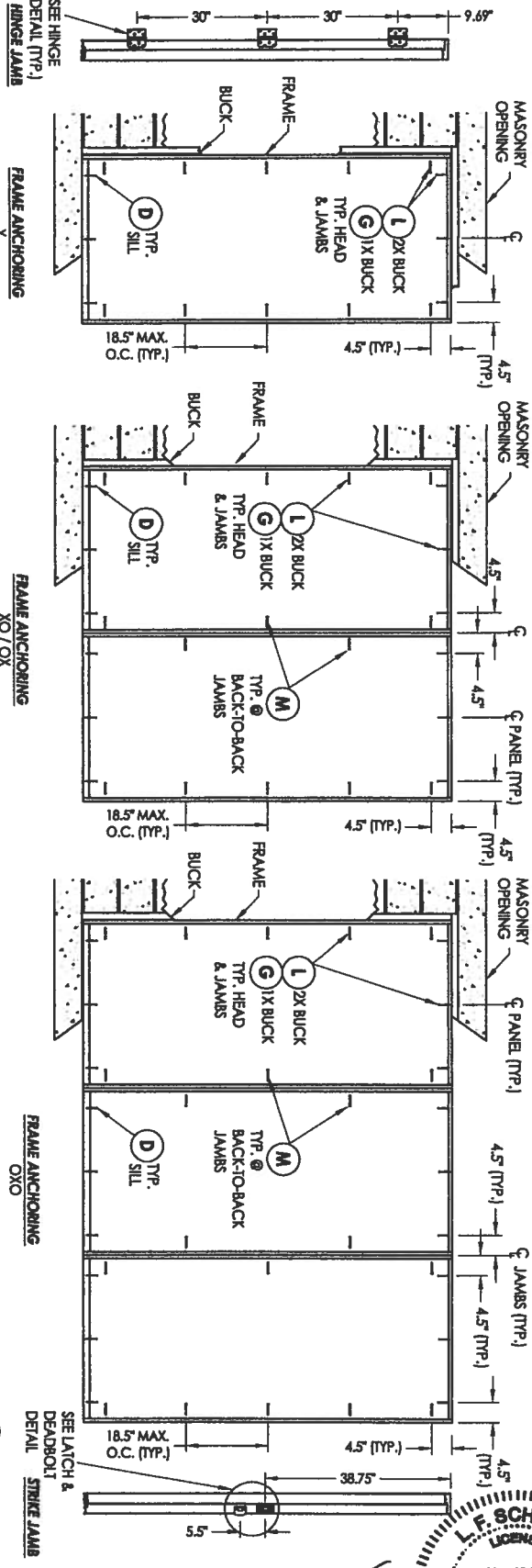
PRODUCT: PLASTPRO FIBERGLASS DOOR
 PART OR ASSEMBLY: BUCK ANCHORING & BILL OF MATERIALS

Documents Prepared By: Lyndon F. Schmidt P.E. No. 43409

BUILDING CONSULTANTS, INC.
 P.O. Box 230, Valrico, FL 33595
 Phone No.: 813.659.9197
 FBPE C.A. No. 9813



NO.	DATE	REVISIONS
2	10/14/17	UPDATE TO 6TH ED. (2017) FBC
1	8/04/14	CLARIFIED INSTALLATION DETAILS

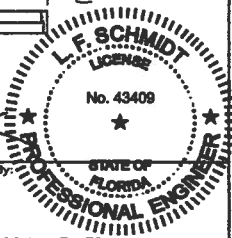
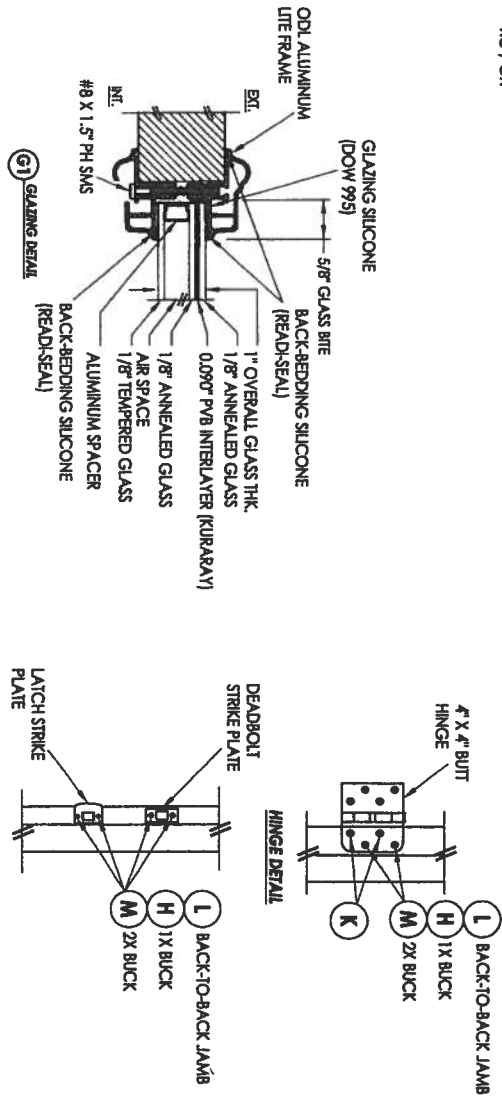


HARDWARE TABLE	
MANUFACTURER	MODE
KWIKSET	KNOR: SIGNATURE SERIES (980)
	DEADBOLT: SIGNATURE SERIES (980)

- CONCRETE ANCHOR NOTES:**
1. Substitution of equal concrete anchors from a different supplier may have different edge distance and center distance requirements.
 2. Concrete anchor locations at the corners may be adjusted to maintain the min. edge distance to mortar joints. Concrete anchor locations noted as 'MAX. O.C.' (TYP.) must be adjusted to maintain the min. edge distance to mortar joints; additional concrete anchors may be required to ensure the 'MAX. O.C.' (TYP.) dimension are not exceeded.
 3. Concrete anchor table:

ANCHOR TYPE	ANCHOR SIZE	MIN. EMBEDMENT	MIN. CLEARANCE TO MASONRY EDGE	MIN. CLEARANCE TO ADJACENT ANCHOR
TYP. TPCON	1/4"	1-1/4"	2"	4"
TYP. TPCON	3/16"	1-1/4"	3"	1-1/2"

WOOD SCREW INSTALLATION NOTES:
 1. Maintain a minimum 3/8" edge distance, 1" end distance, & 1" o.c. spacing of wood screws to prevent the splitting of wood.



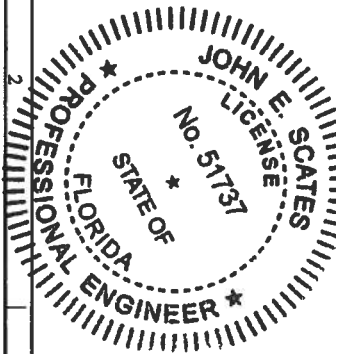
October 14, 2017

Documents Prepared By:
 Lyndon F. Schmidt
 P.E. No. 43409

RW BUILDING CONSULTANTS, INC.
 P.O. Box 230, Valrico, FL 33595
 Phone No.: 813.659.9197
 FBPE C.A. No. 9813

PRODUCT:	PLASTPRO FIBERGLASS DOOR
PART OR ASSEMBLY:	FRAME ANCHORING & GLAZING DETAILS

NO.	DATE	REVISIONS	BY
2	10/14/17	UPDATE TO 8TH ED. (2017) FBC	LFS
1	8/04/14	CLARIFIED INSTALLATION DETAILS	LFS



Window Options :

For Glass:
 Max daylight opening 39-3/8 x 12-1/2"
 (up to +44.3/-51.5 psf)
 Max daylight opening 16-3/4 x 10-1/4"
 (up to +50.7/-57.5 psf)
 1/8" DSB
 1/4" Tempered Glass
 7/16" Insulated Glass
 7/16" Tempered Insulated Glass

For Lextran:
 Max daylight opening 16-3/4 x 10-1/4"
 (up to +44.7/-51.5 psf)
 1/4" Lextran with Aluminum Frame

door height	section quantity	strut quantity	trk bkt pd. side
6'-6" to 7'-0"	4	4	3
7'-6" to 8'-0"	5	5	4
8'-3" to 8'-9"	5	5	4
9'-0" to 10'-6"	6	6	5
10'-9" to 12'-3"	7	7	6
12'-6" to 14'-0"	8	8	7
14'-3" to 15'-9"	9	9	8
16'-0" to 17'-6"	10	10	9
17'-9" to 19'-3"	11	11	10
19'-6" to 20'-0"	12	12	11

Track bracket quantities shown are for use with grade 2 or better spec-pipe-ft (SFP) or southern pipe joints.

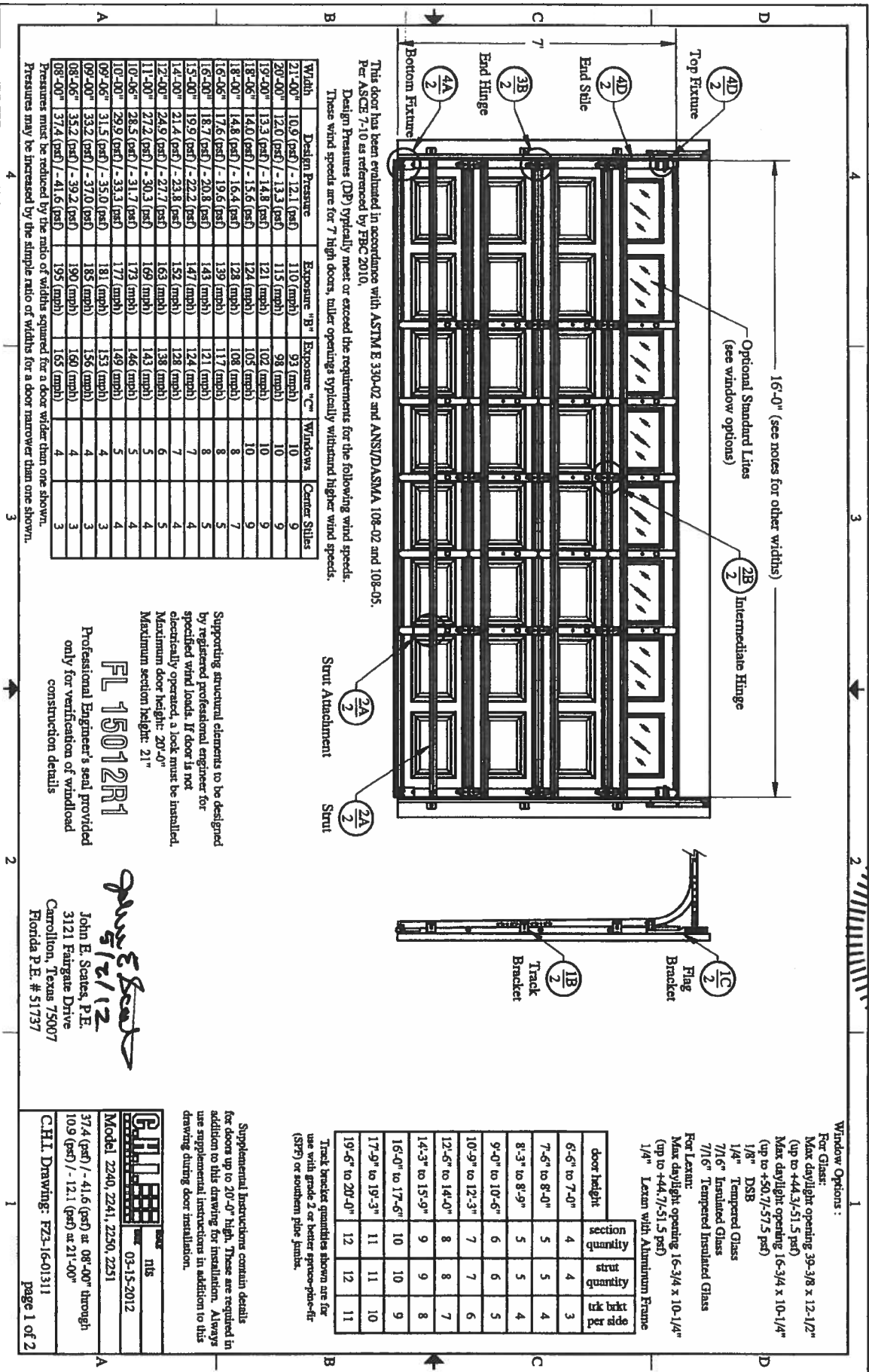
Supplemental instructions contain details for doors up to 20'-0" high. These are required in addition to this drawing for installation. Always use supplemental instructions in addition to this drawing during door installation.



Model 2240, 2241, 2250, 2251

374 (psf) / -41.6 (psf) at 08'-00" through 109 (psf) / -12.1 (psf) at 21'-00"

C.H.T. Drawing: F23-16-01311 page 1 of 2



This door has been evaluated in accordance with ASTM E 330-02 and ANSI/DASMA 108-02 and 108-05. Per ASCE 7-10 as referenced by FBC 2010.

Design Pressures (DP) typically meet or exceed the requirements for the following wind speeds. These wind speeds are for 7 high doors, inlet openings typically withstand higher wind speeds.

Width	Design Pressure	Exposure 'B'	Exposure 'C'	Windows	Center Sillias
21'-00"	10.9 (psf) / -12.1 (psf)	110 (mph)	93 (mph)	10	9
20'-00"	12.0 (psf) / -13.3 (psf)	115 (mph)	98 (mph)	10	9
19'-00"	13.3 (psf) / -14.8 (psf)	121 (mph)	102 (mph)	10	9
18'-00"	14.0 (psf) / -15.6 (psf)	124 (mph)	105 (mph)	10	9
18'-00"	14.8 (psf) / -16.4 (psf)	128 (mph)	108 (mph)	8	7
16'-06"	17.6 (psf) / -19.6 (psf)	139 (mph)	117 (mph)	8	5
16'-00"	18.7 (psf) / -20.8 (psf)	143 (mph)	121 (mph)	8	5
15'-00"	19.9 (psf) / -22.2 (psf)	147 (mph)	124 (mph)	7	4
14'-00"	21.4 (psf) / -23.8 (psf)	152 (mph)	128 (mph)	7	4
12'-00"	24.9 (psf) / -27.7 (psf)	163 (mph)	138 (mph)	6	5
11'-00"	27.2 (psf) / -30.3 (psf)	169 (mph)	143 (mph)	5	4
10'-66"	28.5 (psf) / -31.7 (psf)	173 (mph)	146 (mph)	5	4
10'-00"	29.9 (psf) / -33.3 (psf)	177 (mph)	149 (mph)	5	4
09'-06"	31.5 (psf) / -35.0 (psf)	181 (mph)	153 (mph)	4	3
09'-00"	33.2 (psf) / -37.0 (psf)	185 (mph)	156 (mph)	4	3
08'-06"	35.2 (psf) / -39.2 (psf)	190 (mph)	160 (mph)	4	3
08'-00"	37.4 (psf) / -41.6 (psf)	195 (mph)	163 (mph)	4	3

Pressures must be reduced by the ratio of widths squared for a door wider than one shown. Pressures may be increased by the simple ratio of widths for a door narrower than one shown.

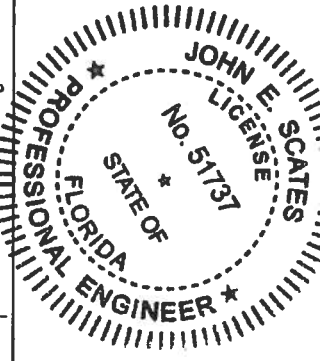
Supporting structural elements to be designed by registered professional engineer for specified wind loads. If door is not electrically operated, a lock must be installed. Maximum door height: 20'-0" Maximum section height: 21"

FL 15012R1

Professional Engineer's seal provided only for verification of window construction details

John E. Scates

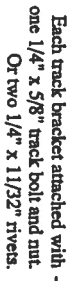
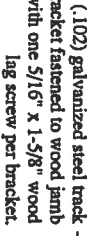
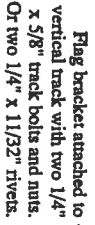
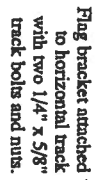
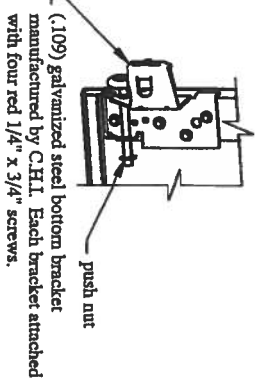
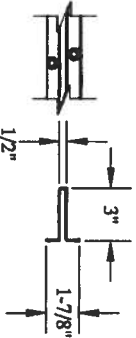
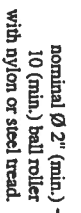
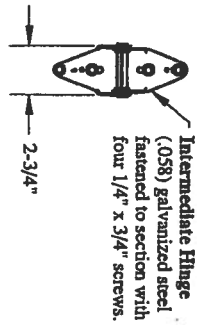
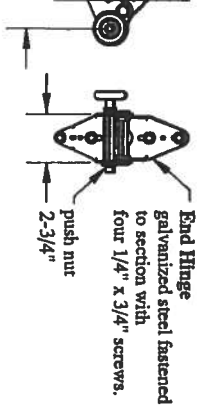
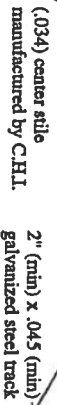
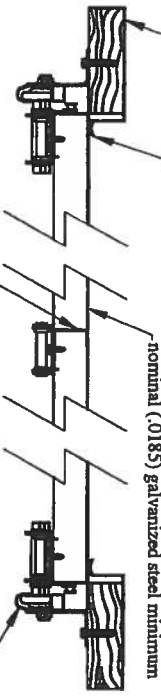
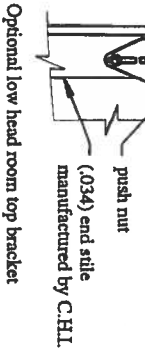
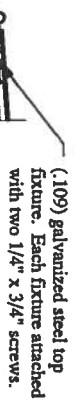
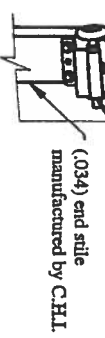
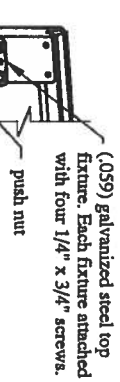
John E. Scates, P.E.
 3121 Fairgate Drive
 Carrollton, Texas 75007
 Florida P.E. # 51737



Strut (if applicable) not shown for clarity.

The vertical wood jamb fasteners may be counter sunk to provide a flat mounting surface. See jamb attachment details for more information about attaching jambs to structure.

Details on some views may have been omitted for clarity.

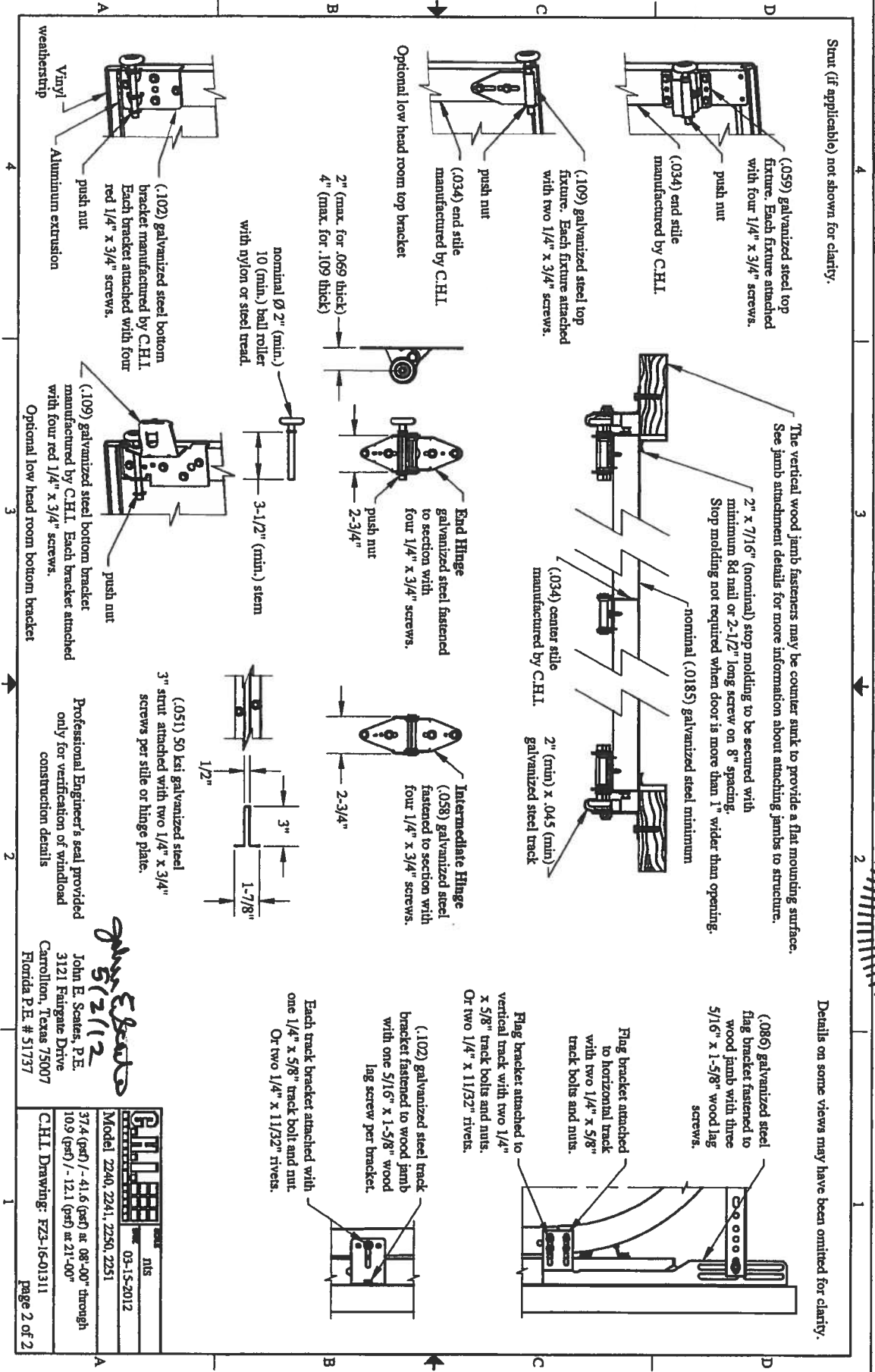


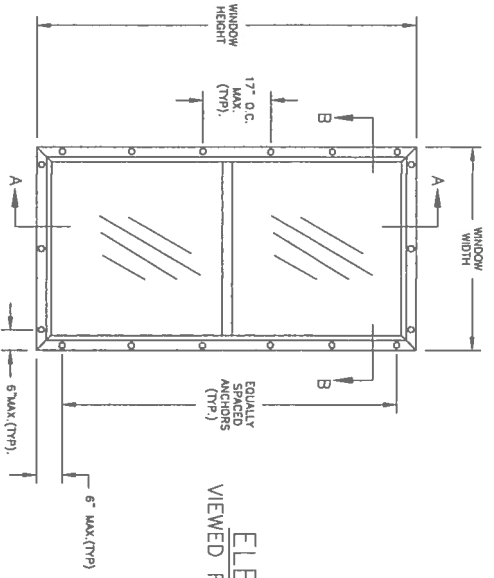
Professional Engineer's seal provided only for verification of windload construction details

John E. Scates
5/2/12

John E. Scates, P.E.
3121 Faingate Drive
Carrollton, Texas 75007
Florida P.E. # 51737

	Model 2240, 2241, 2250, 2251
	03-15-2012
37.4 (psf) / -41.6 (psf) at 08'-00" through 10.9 (psf) / -12.1 (psf) at 21'-00"	
C.H.I. Drawing: FZ3-16-01311	
page 2 of 2	





ELEVATION
VIEWED FROM EXTERIOR

Maximum design pressure capacity chart (psf)

Height (ft)	Unit width (in)											
	17.00	18.00	23.00	27.00	28.00	31.75	35.00	39.00	41.00	43.00	47.00	53.13
35.0	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0
43.0	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0
47.0	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0
55.0	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0
68.75	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0
72.00	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0	52.5	35.0

Number of anchors required. Units anchored using 6d nails

Height (ft)	Unit width (in)											
	17.00	18.00	23.00	27.00	28.00	31.75	35.00	39.00	41.00	43.00	47.00	53.13
35.0	2	2	2	2	2	2	2	2	2	2	2	2
43.0	2	2	2	2	2	2	2	2	2	2	2	2
47.0	2	2	2	2	2	2	2	2	2	2	2	2
55.0	2	2	2	2	2	2	2	2	2	2	2	2
68.75	2	2	2	2	2	2	2	2	2	2	2	2
72.00	2	2	2	2	2	2	2	2	2	2	2	2

Number of anchors required. Units anchored with #8 wood screw.

Height (ft)	Unit width (in)											
	17.00	18.00	23.00	27.00	28.00	31.75	35.00	39.00	41.00	43.00	47.00	53.13
35.0	2	2	2	2	2	2	2	2	2	2	2	2
43.0	2	2	2	2	2	2	2	2	2	2	2	2
47.0	2	2	2	2	2	2	2	2	2	2	2	2
55.0	2	2	2	2	2	2	2	2	2	2	2	2
68.75	2	2	2	2	2	2	2	2	2	2	2	2
72.00	2	2	2	2	2	2	2	2	2	2	2	2

REVISIONS			
REV	DESCRIPTION	DATE	APPROVED
A	REVISED PER 2007 FBC REQUIREMENTS OF THE FLORIDA BUILDING CODE.	8/13/08	R.L.
B	ADDED ANCHOR CHARTS	01/25/12	R.L.
C	REVISED NAME	10/15/13	R.L.

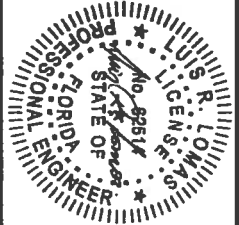
- NOTES:
- 1) THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE.
 - 2) OPENING TO BE DESIGNED TO PROPERLY TRANSFER ALL LOADS TO STRUCTURE. OPENING DESIGN IS THE RESPONSIBILITY OF THE ARCHITECT OR ENGINEER OF RECORD.
 - 3) CONTRACTOR IS RESPONSIBLE FOR MAINTAINING STRUCTURAL INTEGRITY OF WINDOW OPENING AND ALL WOOD FRAMING AROUND WINDOW.
 - 4) WINDOW FRAME MATERIAL TO BE PVC.
 - 5) ALL FASTENERS SHALL BE MADE OF CORROSION RESISTANT MATERIAL.
 - 6) SHIM AS REQUIRED AT EACH INSTALLATION ANCHOR WITH LOAD BEARING SHIM. SHIM WHERE SPACE OF 1/16" OR GREATER OCCURS. MAXIMUM ALLOWABLE SHIM STACK TO BE 1/4".
 - 7) INSTALL UNITS IN SPRUCE PINE FIR OR BETTER USING 6d .120" DIAMETER NAIL OR #8 WOOD SCREWS LOCATE ANCHORS 6" FROM EACH CORNER AND 17" MAX O.C.THEREAFTER.
 - 8) APPROVED IMPACT PROTECTIVE SYSTEM IS REQUIRED ON THIS PRODUCT IN WIND BORNE DEBRIS REGIONS.
 - 9) CAULK BEHIND WINDOW FLANGE AT HEAD, SILL AND JAMBS.
 - 10) USE CAULK FOR PERIMETER SEAL AROUND EXTERIOR OF WINDOW.
 - 11) WHERE WATER RESISTANCE TEST REQUIREMENT OF 15% OF DESIGN LOAD APPLIES, POSITIVE DESIGN PRESSURE IS LIMITED TO 35PSF DUE TO WATER TEST PRESSURE OF 5.25PSF ACHIEVED IN TEST.
 - 12) IF EXACT WINDOW SIZE IS NOT LISTED USE NEXT LARGER SIZE FOR THE APPROPRIATE DESIGN PRESSURE.
 - 13) UNITS MUST BE GLAZED IN ACCORDANCE WITH ASTM E1300-04 AND MAY VARY DEPENDING UPON SIZE.

SIGNED: 10/18/2013

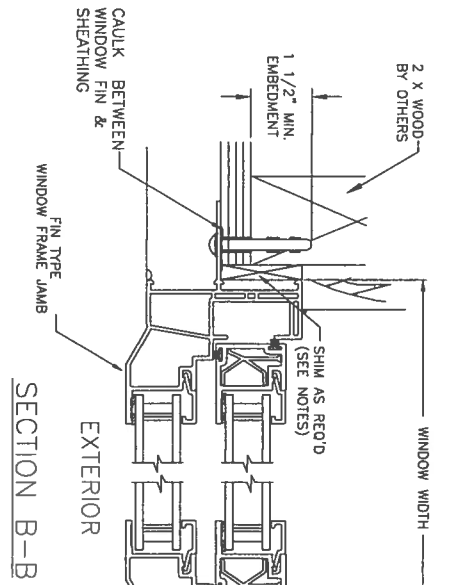
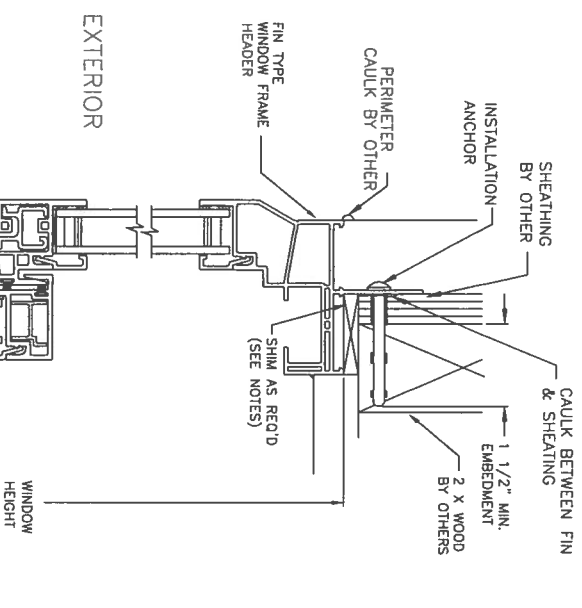
MI WINDOWS AND DOORS LLC
1001 W. CROSBY RD.
CARROLLTON, TX 75006

SERIES GA 7050 RECTANGULAR PVC SH
TILT WINDOW - 53 1/8 X 72
INSTALLATION DETAILS AND DESIGN PRESURE CHART

SCALE NTS DATE 9/09/07 SHEET 1 OF 2



REVISIONS			
REV	DESCRIPTION	DATE	APPROVED
A	REVISED PER 2007 FBC	8/13/08	R.L.
B	ADDED ANCHOR CHARTS	01/25/12	R.L.
C	REVISED NAME	10/15/13	R.L.

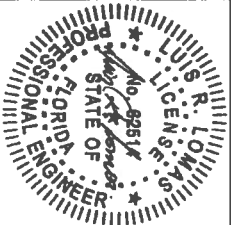


Horizontal		Vertical	
Window Horizontal Call Size	Window Horizontal I/F D	Window Vertical Call Size	Window Vertical I/F D
1-6	17 1/2	2-4	27 1/2
1-8	19 1/2	3-0	35 1/2
2-0	23 1/2	3-8	43 1/2
2-4	27 1/2	4-0	47 1/2
2-6	29 1/2	4-4	51 1/2
2-8	31 3/4	4-8	55 1/2
3-0	35 1/2	5-0	59 3/4
3-4	39 1/2	SPCL	72
3-6	41 1/2		
3-8	43 1/2		
4-0	47 1/2		
SPCL	53 1/8		

MI WINDOWS AND DOORS LLC
 1001 W. CROSBY RD.
 CARROLLTON, TX 75006

SERIES GA 7050 RECTANGULAR PVC SH
 TILT WINDOW - 53 1/8 X 72
 INSTALLATION DETAILS AND DESIGN PRESURE CHART

DRAWN R.L.	DWG NO. 08-00248	REV C
SCALE NTS	DATE 9/09/07	SHEET 2 OF 2





Application Instructions for HERITAGE® LAMINATED ASPHALT SHINGLES

FORMERLY HERITAGE® 30

Tuscaloosa, AL

THESE ARE THE MANUFACTURER'S APPLICATION INSTRUCTIONS FOR THE ROOFING CONDITIONS DESCRIBED. TAMKO BUILDING PRODUCTS, INC. ASSUMES NO RESPONSIBILITY FOR LEAKS OR OTHER ROOFING DEFECTS RESULTING FROM FAILURE TO FOLLOW THE MANUFACTURER'S INSTRUCTIONS. FAILURE TO FOLLOW THESE INSTRUCTIONS WILL ADVERSELY AFFECT COVERAGE UNDER THE LIMITED WARRANTY. SEE THE LIMITED WARRANTY FOR DETAILS.

THIS PRODUCT IS COVERED BY A LIMITED WARRANTY, THE TERMS OF WHICH ARE PRINTED ON THE WRAPPER.

IN COLD WEATHER (BELOW 40°F), CARE MUST BE TAKEN TO AVOID DAMAGE TO THE EDGES AND CORNERS OF THE SHINGLES.

IMPORTANT FASTENING INFORMATION: DO NOT PLACE FASTENERS ON OR ABOVE THE PAINT LINE ON THE SHINGLE. The paint line on the shingle is the upper-most edge of TAMKO's expanded Nail Zone. For complete details regarding TAMKO's expanded Nail Zone, see section 3 of these Application Instructions. Failure to follow fastening instructions, including but not limited to improper placement of fasteners on or above the paint line, will adversely affect coverage under TAMKO's applicable Limited Warranty. Avoid placing fasteners into the sealant strip.

IMPORTANT: It is not necessary to remove the plastic strip from the back of the shingles.

I. ROOF DECK

These shingles are for application to roof decks consisting of plywood or sheathing boards capable of receiving and retaining fasteners, and to inclines of not less than 2 in. per foot. For roofs having pitches 2 in. per foot to less than 4 in. per foot, refer to special instructions titled "Low Slope Application". For roofs having pitches greater than 4 in. per foot, refer to special instructions titled "Mansard Roof or Steep Slope Roof". Shingles must be applied properly. TAMKO assumes no responsibility for leaks or defects resulting from improper application, or failure to properly prepare the surface to be roofed over.

NEW ROOF DECK CONSTRUCTION: Roof deck must be smooth, dry and free from warped surfaces. It is recommended that metal drip edges be installed at eaves and rakes.

PLYWOOD: All plywood shall be exterior grade as defined by APA - The Engineered Wood Association. Plywood shall be a minimum of 3/8 in. thickness and applied in accordance with the recommendations of APA - The Engineered Wood Association.

SHEATHING BOARDS: Boards shall be well-seasoned tongue-and-groove boards and not over 6 in. nominal width. Boards shall be a 1 in. nominal minimum thickness. Boards shall be properly spaced and nailed.

2. VENTILATION

Inadequate ventilation of attic spaces can cause accumulation of moisture in winter months and a build up of heat in the summer. These conditions can lead to:

1. Vapor Condensation
2. Buckling of shingles due to deck movement.
3. Rotting of wood members.
4. Premature failure of roof.

To insure adequate ventilation and circulation of air, the ventilation system must include inlets and outlets. This may be accomplished with a combination of ridge and soffit vents or by using gable end vents. FHA minimum property standards require one square foot of net free ventilation area to each 150 square feet of space to be vented. This may be reduced to one square foot of ventilation

area per 300 square feet if at least 40% and not more than 50% of venting is provided not more than 3 feet below the ridge or if a Class I or II vapor barrier is installed on the warm in winter side of the ceiling in climate zones 6, 7, and 8 as recommended by the 2012 International Residential Code. For more information consult your design professional. If the ventilation openings are screened, the total area should be doubled.

IT IS PARTICULARLY IMPORTANT TO PROVIDE ADEQUATE VENTILATION.

3. FASTENERS

WIND CAUTION: Extreme wind velocities can damage these shingles after application when proper sealing of the shingles does not occur. This can especially be a problem if the shingles are applied in cooler months or in areas on the roof that do not receive direct sunlight. These conditions may impede the sealing of the adhesive strips on the shingles. The inability to seal down may be compounded by prolonged cold weather conditions and/or blowing dust. In these situations, hand sealing of the shingles is required. To insure immediate sealing, apply 4 quarter-sized dabs of TAM-PRO® Premium SBS Adhesive or TAMKO Tam-Seal Adhesive on the back of the shingle 1 in. (25mm) and 13 in. (330mm) in from each side and 1 in. (25mm) up from the bottom of the shingle. Press shingle firmly into the adhesive. For maximum wind resistance along rakes, install any TAMKO starter shingle including sealant or cement shingles to the underlayment and each other in a 4 in. (102mm) width of TAM-PRO SBS Adhesive or TAMKO Tam-Seal Adhesive. Caution: Apply ONLY a thin uniform layer of adhesive less than 1/8 in. (3mm) thick. Excessive amounts can cause blistering of the shingles and may soften the asphalt in certain underlayments resulting in the asphalt flowing, dripping and staining. Shingles must also be fastened according to the fastening instructions described below.

Correct placement of the fasteners is critical to the performance of the shingle. If the fasteners are not placed as shown in the diagram and described below, this will result in the termination of TAMKO's liabilities under the Limited Warranty. TAMKO will not be responsible for damage to shingles caused by winds in excess of the applicable mph as stated in the Limited Warranty. See Limited Warranty on the wrapper or tamko.com for details.

(Continued)

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Central District	220 West 4th St., Joplin, MO 64801	800-641-4691
Northeast District	4500 Tamko Dr., Frederick, MD 21701	800-368-2055
Southeast District	2300 35th St., Tuscaloosa, AL 35401	800-228-2656
Southwest District	7910 S. Central Exp., Dallas, TX 75216	800-443-1834
Western District	5300 East 43rd Ave., Denver, CO 80216	800-530-8868

05/14

FASTENING PATTERNS:

1) NAIL ZONE: The Nail Zone for standard fastening is defined as the 1-3/4 in. area beginning at 6-1/8 in. from the bottom edge of the shingle and ending at the paint line located at 7-7/8 in. from the bottom edge of the shingle. **DO NOT PLACE FASTENERS ON OR ABOVE THE PAINT LINE ON THE SHINGLE.**

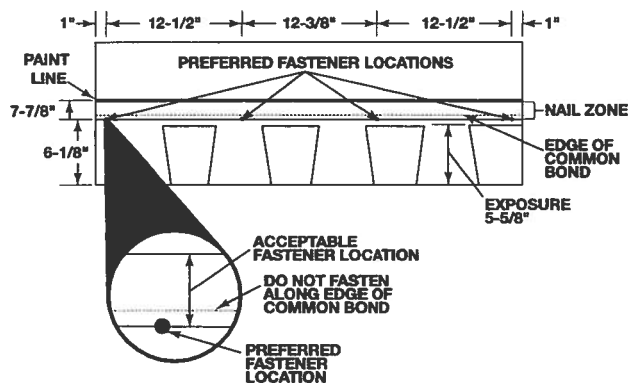
2) Standard Fastening Pattern Options.
(For use on decks with slopes 2 in. per foot to 21 in. per foot.)

A. Preferred Fastener Location: Fasteners should be placed 6-1/8 in. from the bottom edge of the shingle, penetrating through the common bond, and located horizontally as shown in the Standard Fastening Pattern diagram.

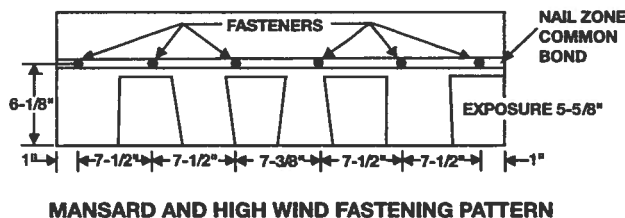
B. Acceptable Fastener Location: Fasteners must be placed in the 1-3/4 in. nailing area beginning at 6-1/8 in. from the bottom edge of the shingle and ending at the paint line located at 7-7/8 in. from the bottom edge of the shingle. Nails shall be located horizontally as shown in the Standard Fastening Pattern diagram.

CAUTION: Fasteners must not be driven into the edge of the common bond area. Avoid placing fasteners into the sealant strip.

STANDARD FASTENING PATTERN IN NAIL ZONE



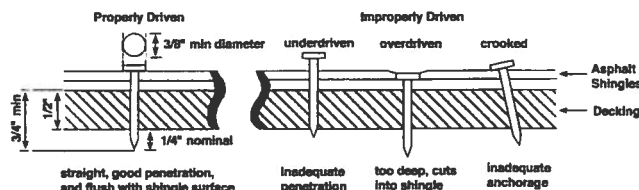
3) Mansard Fastening Pattern. (For use on decks with slopes greater than 21 in. per foot.) One fastener 1 in. from each end and one fastener 8-1/2 in. from each end and one fastener 16 in. from each end for a total of 6 fasteners per shingle. (See Mansard and High Wind Fastening Pattern illustrated below.)



4) High Wind Fastening Pattern. (For High Wind Application requirements) One fastener 1 in. from each end. One fastener 8-1/2 in. from each end and one fastener 16 in. from each end for a total of six (6) fasteners per shingle. In addition to this shingle fastening pattern requirement for High Wind Application, TAMKO also requires the use of TAMKO starter shingles including sealant strip at eaves and rakes. Alternatively, along rakes, cement shingles to the underlayment and each other in a 4 in. (102 mm) width of TAM-PRO SBS Adhesive or TAMKO Tam-Seal Adhesive. Caution: Apply ONLY a thin uniform layer of adhesive less than 1/8 in. (3mm) thick. Excessive amounts can cause blistering of the shingles and may soften the asphalt in certain underlayments resulting in the asphalt flowing, dripping and staining. High Wind Application is offered on new construction or complete tear-off applications only. It is not offered for recover applications. If High Wind Application requirements are not followed, the High Wind Application Warranty MPH, as stated on Table I in the Limited Warranty, reverts to the Standard Application Wind Warranty MPH limit. (See Mansard and High Wind Fastening Pattern illustrated above.)

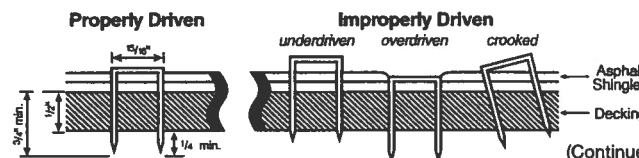
CAUTION: ALL FASTENERS FOR MANSARD AND HIGH WIND APPLICATIONS MUST BE DRIVEN INTO THE NAIL ZONE COMMON BOND (PREFERRED FASTENER LOCATIONS) AS SHOWN IN THE MANSARD AND HIGH WIND FASTENING PATTERN DIAGRAM.

NAILS: TAMKO recommends the use of nails as the preferred method of application. Standard type roofing nails should be used. Nail shanks should be made of minimum 12 gauge wire, and a minimum



head diameter of 3/8 in. Nails should be long enough to penetrate 3/4 in. into the roof deck. Where the deck is less than 3/4 in. thick, the nails should be long enough to penetrate completely through plywood decking and extend at least 1/8 in. through the roof deck. Drive nail head flush with the shingle surface.

STAPLES: If staples are used in the attaching process, follow the above instructions for placement. All staples must be driven with pneumatic staplers. The staple must meet the following minimum dimensional requirements. Staples must be made from a minimum 16 gauge galvanized wire. Crown width must be at least 15/16 in. (staple crown width is measured outside the legs). Leg length should be a minimum of 1-1/4 in. for new construction and 1-1/2 in. for reroofing thus allowing a minimum deck penetration of 3/4 in. The crown of the staple must be parallel to the length of the shingle. The staple crown should be driven flush with the shingle surface. Staples that are crooked, underdriven or overdriven are considered improperly applied.



(Continued)

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Northeast District	4500 Tamko Dr., Frederick, MD 21701	800-368-2055
Southeast District	2300 35th St., Tuscaloosa, AL 35401	800-228-2656
Southwest District	7910 S. Central Exp., Dallas, TX 75216	800-443-1834
Western District	5300 East 43rd Ave., Denver, CO 80216	800-530-8868

HERITAGE®
LAMINATED ASPHALT SHINGLES

Tuscaloosa, AL

4. UNDERLAYMENT

UNDERLAYMENT: An underlayment must be applied over the entire deck before the installation of TAMKO shingles. Failure to add underlayment can cause premature failure of the shingles which is not covered by TAMKO's Limited Warranty.

Products which are acceptable for use as underlayment are:

Asphalt Saturated Felt Underlayments:

- TAMKO SuperX 15™ or SuperX 30™ Underlayment
- TAMKO No. 15 Asphalt Saturated Organic Felt
- Any TAMKO non-perforated asphalt saturated organic felt
- A non-perforated asphalt saturated organic felt which meets ASTM: D226, Type I or II or ASTM D4869

Specialty Underlayments:

- Tam-Shield® Synthetic Underlayment
- TAMKO Moisture Guard Plus®, TW Underlayment and TW Metal and Tile Underlayment® (additional ventilation may be required. Contact TAMKO's Technical Services Department for more information.)
- A self-adhesive underlayment designed for use with asphalt shingles which meets ASTM D1970.

For Asphalt Saturated Felt Underlayments:

Apply the felt when the deck is dry. On roof decks with slopes 4 in. per foot and greater apply the felt parallel to the eaves lapping each course of the felt over the lower course at least 2 in. Where ends join, lap the felt 4 in. If left exposed, the felt may be adversely affected by moisture and weathering. Laying of the felt and the shingle application must be done together.

For All Other Specialty Underlayments:

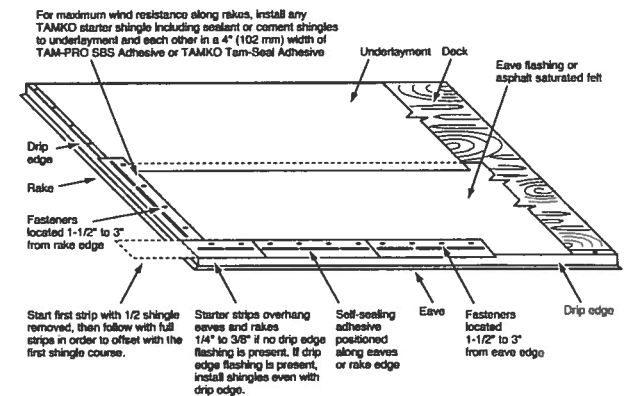
On roof decks with slopes 4 in. per foot and greater apply the underlayment parallel to the eaves in accordance with underlayment written application instructions. The underlayment should not be left exposed for a longer period of time than is specified in the underlayment's written application instructions. The final roof covering must be installed before the structure is exposed to adverse weather conditions, such as wind driven rain, high wind, hail, ice storms, etc.

In areas where ice builds up along the eaves or a back-up of water from frozen or clogged gutters is a potential problem, TAMKO's Moisture Guard Plus®, TW Metal and Tile Underlayment or TW Underlayment (or any specialty eaves flashing product) may be applied to eaves, rakes, ridges, valleys, around chimneys, skylights or dormers to help prevent water damage. Contact TAMKO's Technical Services Department for more information.

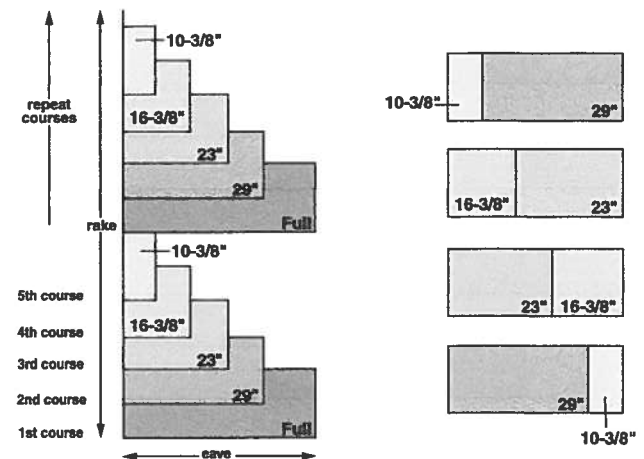
Substitute products as shingle underlayment should not be used.

5. APPLICATION INSTRUCTIONS

STARTER COURSE: A starter course may consist of TAMKO Shingle Starter, TAMKO 10-inch Starter or self-sealing 3-tab shingles. If self-sealing 3-tab shingles are used, remove the exposed tab portion and install with the factory applied adhesive adjacent to the eaves. Attach the starter course with approved fasteners along a line parallel to and 1.5 in. to 3 in. above the eaves edge. The starter course should overhang both the eaves and rake edges 1/4 in. to 3/8 in. if drip edge flashing is not used along the eaves or rakes. If drip edge flashing is present, install shingles even with the drip edge.



SHINGLE APPLICATION: Start the first course with a full size shingle and overhang the rake edge 1/4 in. if drip edge is not present. If drip edge is present, align shingle edge with drip edge flashing. Cut 10-3/8 in. from a full shingle to form a shingle 29 in. long. Use this to start the second course (see diagram below). Cut a 23 in. long shingle to start the third course. Use the remaining 16-3/8 in. piece of shingle to start the fourth course and use the remaining 10-3/8 in. piece to begin the fifth course. Continue up the rake in as many rows as necessary using the same formula as outlined above.



(Continued)

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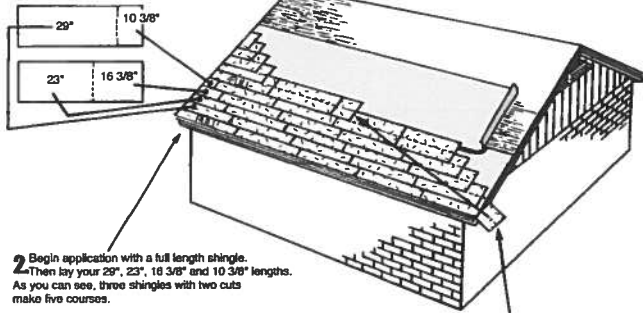
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The butt of the shingle should be aligned with the top edge of the sawtooth of the underlying shingle for a 5-5/8 in. exposure (see shingle application drawing illustrated on this panel). When you make your final cut at the roof's edge, flip any pieces that are 8 in. or longer back onto the roof. These pieces can be worked in anywhere without creating zippers or color variations.

NOTE: Do not align joints of shingle courses when working in cut pieces. Joints should be no closer than 4 in. from one another.

1 Cut your first course shingle to make 29" and a 10 3/8" length. Cut a second shingle to make a 23" and a 16 3/8" length.



2 Begin application with a full length shingle. Then lay your 29", 23", 16 3/8" and 10 3/8" lengths. As you can see, three shingles with two cuts make five courses.

3 Continue working your way across the roof. When you make your final cut at the roof's edge, flip any pieces that are 8" or longer back onto the roof. These pieces can be worked in anywhere without creating zippers or color variations. **NOTE:** Do not align joints of shingle courses when working in cut pieces. Joints should be no closer than 4" from one another.

6. LOW SLOPE APPLICATION

On pitches 2 in. per foot to 4 in. per foot cover the deck with two layers of underlayment. Begin by applying the underlayment in a 1/2-sheet width along the eaves and overhanging the drip edge by 1/4 to 3/4 in. Place a full-sheet width over the 1/2-sheet width starter piece, completely overlapping it. All succeeding courses will be positioned to overlap the preceding course by 1/2-sheet width. If winter temperatures average 25°F or less, thoroughly cement the laps of the entire underlayment to each other with TAM-PRO or TAMKO Plastic Roof Cement from eaves and rakes to a point of a least 24 in. inside the interior wall line of the building. As an alternative, TAMKO's Moisture Guard Plus®, TW Metal and Tile Underlayment, or TW Underlayment self-adhering underlayment may be used in lieu of the cemented felts.

7. MANSARD ROOF OR STEEP SLOPE ROOF

If the slope exceeds 21 in. per foot (60°), each shingle must be sealed with TAM-PRO SBS Adhesive or TAMKO Tam-Seal Adhesive immediately upon installation. Quarter-sized dabs of cement must be applied to shingles with a 5-5/8 in. exposure, use 6 fasteners per shingle. See Section 3 for the Mansard Fastening Pattern.

8. RE-ROOFING

Before re-roofing, be certain to inspect the roof decks. All plywood shall meet the requirements listed in Section 1.

It is not recommended to install laminated asphalt shingles directly over existing laminated shingles due to the unevenness of the existing

multi-layered shingles. The performance of the sealant feature may be compromised, preventing the shingles from sealing properly. It is acceptable to install laminated shingles over existing three-tab strip shingles which are flat and essentially intact. Nail down or remove curled or broken shingles from the existing roof. Replace all missing shingles with new ones to provide a smooth base. Shingles that are buckled usually indicate warped decking or protruding nails. Hammer down all protruding nails or remove them and refasten in a new location. Remove all drip edge metal and replace with new.

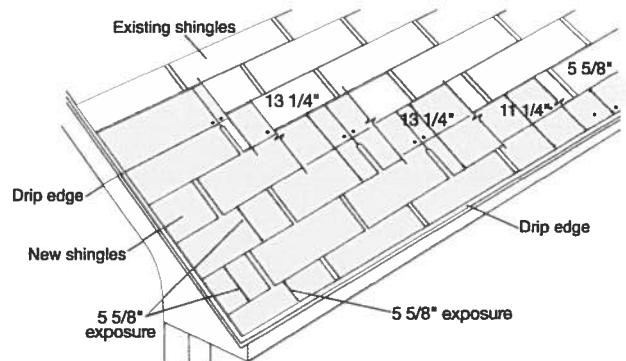
If re-roofing over an existing roof where new flashing is required to protect against ice dams (freeze/thaw cycle of water and/or the backup of water in frozen or clogged gutters), remove the old roofing to a point at least 24 in. beyond the interior wall line and apply TAMKO's Moisture Guard Plus®, TW Metal and Tile Underlayment, or TW Underlayment. Contact TAMKO's Technical Services Department for more information.

Measurements will vary when nesting over an existing 5 in. exposure single roof: Call TAMKO Technical Services for further information.

The nesting procedure described below is the preferred method for re-roofing over existing metric size shingles with a 5-5/8 in. exposure. See description below:

Starter Course: Remove the tabs and an additional portion from the head of a full size shingle so that its height is equal to the exposure of the existing shingles. Position the resulting strip over the existing roof edge (with the factory-applied adhesive strip along the eaves). Cut approximately 6 in. from the rake end and apply the remaining portion at the eaves. Continue the starter strip by applying full length shingle strips cut to height as above, evenly along the existing roof at the eaves. The existing roof should overhang the eaves far enough to carry water off into the gutter. If this is not the case, cut and apply the starter strip so that it will provide sufficient overhang for proper drainage.

First Course: Remove an amount from the butt edge of a full-size shingle so that the remaining portion of the shingle fits between the butts of the existing third course. This course must also be applied evenly along the eaves edge of the new starter strip.



Second and Succeeding Courses: Remove 10-3/8 in. from the rake end of the first shingle in the second course, and continue with full width shingles for the remainder of the course, placing the top edge of each new shingle against the butt edge of the old shingle in the course above. This method should create an exposure of 5-5/8 in. after the first course. When beginning the succeeding courses continue to follow the Heritage application instructions. (See section 5).

(Continued)

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9. VALLEY APPLICATION

Over the shingle underlayment, center a minimum 36 in. wide sheet of TAMKO Moisture Guard Plus®, TW Metal & Tile Underlayment, or a minimum 50 lb. roll roofing in the valley. Nail the underlayment only where necessary to hold it in place and then only nail the outside edges.

IMPORTANT: PRIOR TO INSTALLATION, WARM SHINGLES TO PREVENT DAMAGE WHICH CAN OCCUR WHILE BENDING SHINGLES TO FORM VALLEY.

After valley flashing is in place:

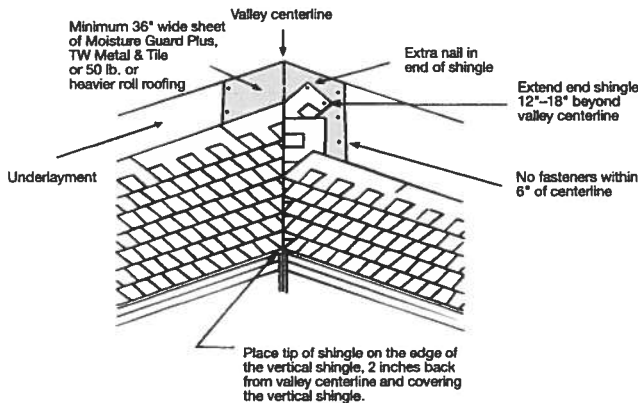
- Apply the first course of shingles along the eaves of one of the intersecting roof planes and across the valley.
- **Note:** For proper flow of water over the trimmed shingle, always start applying the shingles on the roof plane that has the lower slope or less height.
- Extend the end shingle at least 12 in. onto the adjoining roof. Apply succeeding courses in the same manner, extending them across the valley and onto the adjoining roof.
- Press the shingles tightly into the valley.
- Use normal shingle fastening methods.

Note: No fastener should be within 6 in. of the valley centerline, and two fasteners should be placed at the end of each shingle crossing the valley.

- To the adjoining roof plane, apply one row of shingles vertically facing the valley and 2 in. back from the valley centerline.

Note: For a neater installation, snap a chalkline over the shingles for guidance.

- To complete the valley, apply shingles on the adjoining roof plane by positioning the tip of the first shingle of each row at the 2 in. point from the centerline where the edge of the vertical shingle has been applied, covering the vertical shingle.



FOR ALTERNATE VALLEY APPLICATION METHODS, PLEASE CONTACT TAMKO'S TECHNICAL SERVICES DEPARTMENT AT 800-641-4691.

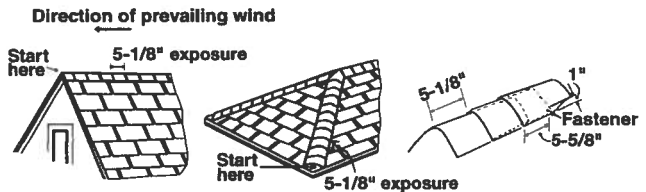
10. HIP AND RIDGE FASTENING DETAIL

Apply the shingles with a 5-1/8 in. exposure beginning at the bottom of the hip or from the end of the ridge opposite the direction of the prevailing winds. Secure each shingle with one fastener on each side, 5-5/8 in. back from the exposed end and 1 in. up from the edge.

TAMKO recommends the use of TAMKO Hip & Ridge shingle products. Where matching colors are available, it is acceptable to use TAMKO's Elite Glass-Seal shingles cut down to 12 in. pieces.

The length of the fastener should be long enough to penetrate through the roofing material and 3/4 in. into the wood decking or completely through approved plywood.

IMPORTANT: PRIOR TO INSTALLATION, CARE NEEDS TO BE TAKEN TO PREVENT DAMAGE WHICH CAN OCCUR WHILE BENDING SHINGLE IN COLD WEATHER.



THESE ARE THE MANUFACTURER'S APPLICATION INSTRUCTIONS FOR THE ROOFING CONDITIONS DESCRIBED. TAMKO BUILDING PRODUCTS, INC. ASSUMES NO RESPONSIBILITY FOR LEAKS OR OTHER ROOFING DEFECTS RESULTING FROM FAILURE TO FOLLOW THE MANUFACTURER'S INSTRUCTIONS. FAILURE TO FOLLOW THESE INSTRUCTIONS WILL ADVERSELY AFFECT COVERAGE UNDER THE LIMITED WARRANTY. SEE THE LIMITED WARRANTY FOR DETAILS. IF YOU HAVE ANY QUESTIONS REGARDING THESE APPLICATION INSTRUCTIONS, PLEASE CONTACT TAMKO'S TECHNICAL SERVICES DEPARTMENT AT 800-641-4691.

Information included in these application instructions was current at time of printing. To obtain a copy of the most current version of these application instructions, visit us online at tamko.com or call us at 800-641-4691.

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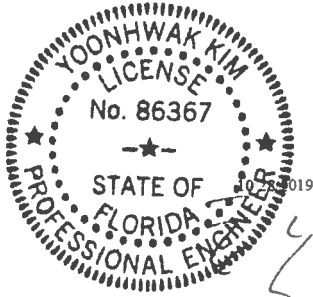
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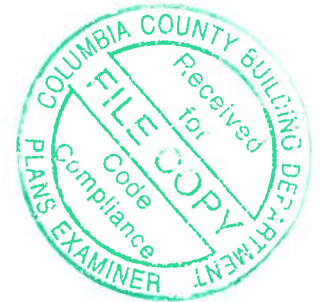
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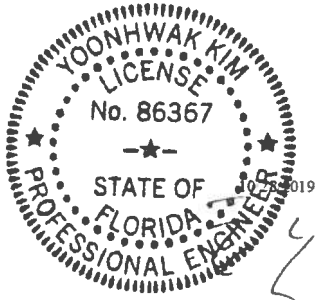
Site Information:	Page 1:
Customer: W. B. Howland Company, Inc.	Job Number: 19-3663
Job Description: /LOT 62 EMERALD COVE /Gibratror Contr.	
Address: LAKE CITY, FL 32025	

Job Engineering Criteria:	
Design Code: FBC 2017 COM	IntelliVIEW Version: 18.02.01B through 19.02.00 JRef #: 1WPN2150004
Wind Standard: ASCE 7-10 Wind Speed (mph): 130	Roof Load (psf): 20.00-10.00- 0.00-10.00
Building Type: Closed	Floor Load (psf): None

This package contains general notes pages, 46 truss drawing(s) and 5 detail(s).

Item	Seal #	Truss	Item	Seal #	Truss
1	298.19.1631.50429	A	2	298.19.1631.50913	A1
3	298.19.1631.50648	A2	4	298.19.1631.50336	B
5	298.19.1631.50633	B01	6	298.19.1631.50803	B02
7	298.19.1631.50929	B03	8	298.19.1631.50741	B04
9	298.19.1631.50882	B05	10	298.19.1631.50290	B06
11	298.19.1631.50397	B07	12	298.19.1631.50351	B08
13	298.19.1631.50538	B09	14	298.19.1631.51021	B10
15	298.19.1631.50445	B11	16	298.19.1631.50835	B12
17	298.19.1631.50476	B13	18	298.19.1631.50539	B14
19	298.19.1631.51007	B15	20	298.19.1631.50305	B16
21	298.19.1631.50883	B17	22	298.19.1631.50836	B18
23	298.19.1631.50757	B19	24	298.19.1631.50944	B20
25	298.19.1631.50584	B21	26	298.19.1635.34583	B22
27	298.19.1631.50914	C	28	298.19.1631.50475	C1
29	298.19.1631.50492	C2	30	301.19.0737.28153	D
31	298.19.1631.50289	D1	32	298.19.1631.51052	J01
33	298.19.1631.50366	J02	34	298.19.1631.50772	J03
35	298.19.1635.48880	J04	36	298.19.1635.54253	J05
37	298.19.1631.50694	J06	38	298.19.1631.50788	J07
39	298.19.1631.50709	J08	40	298.19.1631.50601	J09
41	301.19.0733.14770	J1	42	298.19.1631.50632	J10
43	298.19.1631.50647	J11	44	298.19.1636.17217	J2
45	298.19.1631.51038	P	46	298.19.1631.50959	P1
47	A14015ENC101014		48	BRCLBSUB0119	
49	GBLLETIN0118		50	PB160101014	





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Site Information:	Page 2:
<i>Customer:</i> W. B. Howland Company, Inc.	<i>Job Number:</i> 19-3663
<i>Job Description:</i> LOT 62 EMERALD COVE /Gibraltor Contr.	
<i>Address:</i> LAKE CITY, FL 32025	

Item	Seal #	Truss
51	160TL	

Item	Seal #	Truss

General Notes

Truss Design Engineer Scope of Work, Design Assumptions and Design Responsibilities:

The design responsibilities assumed in the preparation of these design drawings are those specified in ANSI/TPI 1, Chapter 2; and the National Design Standard for Metal Plate Connected Wood Truss Construction, by the Truss Plate Institute. The truss component designs conform to the applicable provisions of ANSI/TPI 1 and NDS, the National Design Specification for Wood Construction by AF&PA. The truss component designs are based on the specified loading and dimension information furnished by others to the Truss Design Engineer. The Truss Design Engineer has no duty to independently verify the accuracy or completeness of the information provided by others and may rely on that information without liability. The responsibility for verification of that information remains with others neither employed nor controlled by the Truss Design Engineer. The Truss Design Engineer's seal and signature on the attached drawings, or cover page listing these drawings, indicates acceptance of professional engineering responsibility solely for the truss component designs and not for the technical information furnished by others which technical information and consequences thereof remain their sole responsibility.

The suitability and use of these drawings for any particular structure is the responsibility of the Building Designer in accordance with ANSI/TPI 1 Chapter 2. The Building Designer is responsible for determining that the dimensions and loads for each truss component match those required by the plans and by the actual use of the individual component, and for ascertaining that the loads shown on the drawings meet or exceed applicable building code requirements and any additional factors required in the particular application. Truss components using metal connector plates with integral teeth shall not be placed in environments that will cause the moisture content of the wood in which plates are embedded to exceed 19% and/or cause corrosion of connector plates and other metal fasteners.

The Truss Design Engineer shall not be responsible for items beyond the specific scope of the agreed contracted work set forth herein, including but not limited to: verifying the dimensions of the truss component, calculation of any of the truss component design loads, inspection of the truss components before or after installation, the design of temporary or permanent bracing and their attachment required in the roof and/or floor systems, the design of diaphragms or shear walls, the design of load transfer connections to and from diaphragms and shear walls, the design of load transfer to the foundation, the design of connections for truss components to their bearing supports, the design of the bearing supports, installation of the truss components, observation of the truss component installation process, review of truss assembly procedures, sequencing of the truss component installation, construction means and methods, site and/or worker safety in the installation of the truss components and/or its connections.

This document may be a high quality facsimile of the original engineering document which is a digitally signed electronic file with third party authentication. A wet or embossed seal copy of this engineering document is available upon request.

Temporary Lateral Restraint and Bracing:

Temporary lateral restraint and diagonal bracing shall be installed according to the provisions of BCSI chapters B1, B2, B7 and/or B10 (Building Component Safety Information, by TPI and SBCA), or as specified by the Building Designer or other Registered Design Professional. The required locations for lateral restraint and/or bracing depicted on these drawings are only for the permanent lateral support of the truss members to reduce buckling lengths, and do not apply to and may not be relied upon for the temporary stability of the truss components during their installation.

Permanent Lateral Restraint and Bracing:

The required locations for lateral restraint or bracing depicted on these drawings are for the permanent lateral support of the truss members to reduce buckling lengths. Permanent lateral support shall be installed according to the provisions of BCSI chapters B3, B7 and/or B10, or as specified by the Building Designer or other Registered Design Professional. These drawings do not depict or specify installation/erection bracing, wind bracing, portal bracing or similar building stability bracing which are parts of the overall building design to be specified, designed and detailed by the Building Designer.

Connector Plate Information:

Alpine connector plates are made of ASTM A653 or ASTM A1063 galvanized steel with the following designations, gauges and grades: W=Wave, 20ga, grade 40; H=High Strength, 20ga, grade 60; S=Super Strength, 18ga, grade 60. Information on model code compliance is contained in the ICC Evaluation Service report ESR-1118, available on-line at www.icc-es.org.

General Notes (continued)

Key to Terms:

Information provided on drawings reflects a summary of the pertinent information required for the truss design. Detailed information on load cases, reactions, member lengths, forces and members requiring permanent lateral support may be found in calculation sheets available upon written request.

BCDL = Bottom Chord standard design Dead Load in pounds per square foot.

BCLL = Bottom Chord standard design Live Load in pounds per square foot.

Des Ld = total of TCLL, TCDL, BCLL and BCDL Design Load in pounds per square foot.

HORZ(LL) = maximum Horizontal panel point deflection due to Live Load, in inches.

HORZ(TL) = maximum Horizontal panel point long term deflection in inches, due to Total Load, including creep adjustment.

HPL = additional Horizontal Load added to a truss Piece in pounds per linear foot or pounds.

L/# = user specified divisor for limiting span/deflection ratio for evaluation of actual L/defl value.

L/defl = ratio of Length between bearings, in inches, divided by the immediate vertical Deflection, in inches, at the referenced panel point. Reported as 999 if greater than or equal to 999.

Loc = Location, starting location of left end of bearing or panel point (joint) location of deflection.

Max BC CSI = Maximum bending and axial Combined Stress Index for Bottom Chords for of all load cases.

Max TC CSI = Maximum bending and axial Combined Stress Index for Top Chords for of all load cases.

Max Web CSI = Maximum bending and axial Combined Stress Index for Webs for of all load cases.

NCBCLL = Non-Concurrent Bottom Chord design Live Load in pounds per square foot.

PL = additional Load applied at a user specified angle on a truss Piece in pounds per linear foot or pounds.

PLB = additional vertical load added to a Bottom chord Piece of a truss in pounds per linear foot or pounds

PLT = additional vertical load added to a Top chord Piece of a truss in pounds per linear foot or pounds.

PP = Panel Point.

R = maximum downward design Reaction, in pounds, from all specified gravity load cases, at the indicated location (Loc).

-R = maximum upward design Reaction, in pounds, from all specified gravity load cases, at the identified location (Loc).

Rh = maximum horizontal design Reaction in either direction, in pounds, from all specified gravity load cases, at the indicated location (Loc).

RL = maximum horizontal design Reaction in either direction, in pounds, from all specified non-gravity (wind or seismic) load cases, at the indicated location (Loc).

Rw = maximum downward design Reaction, in pounds, from all specified non-gravity (wind or seismic) load cases, at the identified location (Loc).

TCDL = Top Chord standard design Dead Load in pounds per square foot.

TCLL = Top Chord standard design Live Load in pounds per square foot.

U = maximum Upward design reaction, in pounds, from all specified non-gravity (wind or seismic) load cases, at the indicated location (Loc).

VERT(CL) = maximum Vertical panel point deflection in inches due to Live Load and Creep Component of Dead Load in inches.

VERT(LL) = maximum Vertical panel point deflection in inches due to Live Load.

VERT(TL) = maximum Vertical panel point long term deflection in inches due to Total load, including creep adjustment.

W = Width of non-hanger bearing, in inches.

Refer to ASCE-7 for Wind and Seismic abbreviations.

Uppercase Acronyms not explained above are as defined in TPI 1.

References:

1. AF&PA: American Forest & Paper Association, 1111 19th Street, NW, Suite 800, Washington, DC 20036; www.afandpa.org.

2. ICC: International Code Council; www.iccsafe.org.

3. Alpine, a division of ITW Building Components Group Inc.: 13723 Riverport Drive, Suite 200, Maryland Heights, MO 63043; www.alpineitw.com.

4. TPI: Truss Plate Institute, 218 North Lee Street, Suite 312, Alexandria, VA 22314; www.tpinst.org.

5. SBCA: Wood Truss Council of America, 6300 Enterprise Lane, Madison, WI 53719; www.sbcindustry.co