

DATE 02/12/2009

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000027631

APPLICANT SARAH WALKER PHONE 386.292.0844
ADDRESS 4602 SE HIGH FALLS ROAD FL 32025
OWNER TYLER FLOYDE & SARAH WALKER PHONE 386.397.0577
ADDRESS 4602 SE HIGH FALLS DRIVE LAKE CITY FL 32025
CONTRACTOR RONNIE NORRIS PHONE 386.752.3871
LOCATION OF PROPERTY 441-S TO GABE D, TL TO C-245, TR TO HIGH FALLS RD, TL 1ST DRIVEWAY ON L.

TYPE DEVELOPMENT M/H/UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 12-5S-17-09216-006 SUBDIVISION
LOT BLOCK PHASE UNIT TOTAL ACRES 1.00

IH0000049
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
WAIVER 09-0052 CFS RTJ N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: 1 FOOT ABOVE ROAD. 14.9 FAMILY LOT PERMIT.

Check # or Cash CASH

FOR BUILDING & ZONING DEPARTMENT ONLY

Temporary Power Foundation Monolithic
Under slab rough-in plumbing Slab Sheathing/Nailing
Framing Rough-in plumbing above slab and below wood floor
Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
Permanent power C.O. Final Culvert
M/H tie downs, blocking, electricity and plumbing Pool
Reconnection Pump pole Utility Pole
M/H Pole Travel Trailer Re-roof

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 250.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 51.36 WASTE FEE \$ 134.00
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 510.36
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

**PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION**

**For Office Use Only** (Revised 1-10-08)      Zoning Official ops 1/29/09      Building Official [Signature]

AP# 0901-41      Date Received 1/28      By JW      Permit # 27631/1706

Flood Zone X      Development Permit ---      Zoning A-3      Land Use Plan Map Category A-3

Comments 14.9 family lot permit      Family Lot Affidavit

FEMA Map# \_\_\_\_\_ Elevation \_\_\_\_\_ Finished Floor \_\_\_\_\_ River \_\_\_\_\_ In Floodway \_\_\_\_\_

Site Plan with Setbacks Shown       EH # 09-0052       EH Release       Well letter       Existing well

Recorded Deed or Affidavit from land owner       Letter of Auth. from installer       State Road Access

Parent Parcel # 09216-005       STUP-MH \_\_\_\_\_       F W Comp. letter \_\_\_\_\_

IMPACT FEES: EMS 29.88      Fire 78.63      Corr 442.89      Road/Code 1046/210

School 1500.00      = TOTAL 3097.40       PNE MH sent 2/9/09       out 3 cavity

**P.A. PROPOSED**  
 Property ID # 12-55-17-09216-000 Subdivision \_\_\_\_\_

- New Mobile Home \_\_\_\_\_ Used Mobile Home  MH Size 11x60 Year 90
- Applicant Cory Tyler Flagg Ed. Phone # 386-397-0577
- Address 4602 SE High Falls Dr Lake City, FL 32025
- Name of Property Owner Tyler Flagg / Sarah Walker Phone# \_\_\_\_\_
- 911 Address 4602 SE High Falls Dr Lake City, FL 32025
- Circle the correct power company - Ed. FL Power & Light - Clay Electric  
 (Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home Tyler Flagg / Sarah Walker Phone # 386-292-0844
- Address 4602 SE High Falls Dr Lake City, FL 32025
- Relationship to Property Owner owners
- Current Number of Dwellings on Property 0
- Lot Size \_\_\_\_\_ Total Acreage 1
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)  
 (Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home NO (owes)
- Driving Directions to the Property  Hwy 441 to Green Rd (left) - bore Right on CR225 take left on High Falls 1st driveway on left.
- Name of Licensed Dealer/Installer Ronnie Workis Phone # 752 3871
- Installers Address 10045 SW Chart Fork, Lake City, FL 32049
- License Number TH00000419 Installation Decal # 295-498

ONLY AGY SUB HPIT

TRANSACTION ID'S

29 | 1 | LGB | 2579

AUDIT #



STATE OF FLORIDA APPLICATION FOR VEHICLE/VESSEL CERTIFICATE OF TITLE

L# 1034325 T# 569527580 B# 584922

Form with fields: TITLE NUMBER (70116628), VEHICLE/VESSEL IDENTIFICATION # (GAFLS07A34489BM21), YR. MAKE (1996), MAKE or MANUFACTURER (WEST), BODY TYPE (HS), VEHICLE COLOR (UNK), WT/LENGTH (60), DATE OF ISSUE (01/22/09), TRANS CODE (TRT), VEHICLE USE (PRIVATE)

Applicant/Owner's Name & Address: CORY TYLER FLOYD OR SARAH JEAN WALKER, 4553 SE HIGH FALLS DR, LAKE CITY, FL 32025

Form with fields: BIRTH DATE (02/08/88), RESIDENT (X), SEX (M), HT (5), WT (125), 1st OWNER FL/DI # OR FEID # (F430118880180), 2nd OWNER FL/DI # OR UNIT # (W426790889050)

VOLUNTARY CONTRIBUTIONS

Table with columns: AGENCY FEE (4.75), TITLE FEE (27.00), SALES TAX (860.00), GRAND TOTAL (891.75)

Action Requested: TRANSFER TITLE

Brands:

Form with fields: PREV. STATE (FL), DATE ACQUIRED (01/14/2009), NEW ( ), USED (XX), ODOMETER / VESSEL MANUFACTURER, ODOMETER DECLARATION CERTIFICATION (checkbox)

LIEN INFORMATION: NAME OF FIRST LIENHOLDER (COLUMBIA BANK), ADDRESS (P.O. BOX 1609, LAKE CITY, FL 32056), DATE OF LIEN (01/14/2009), RECEIVED DATE (01/22/2009), FEID # OR FL / DL AND SEX AND DATE OF BIRTH (590201970-07), CNY ACCOUNT # (220447502)

SELLER INFORMATION: NAME OF SELLER, FLORIDA DEALER, OR OTHER PREVIOUS OWNER; ADDRESS; DEALER LICENSE NO.; CONSUMER OR SALES TAX EXEMPTION #

SALES TAX AND USE REPORT: TRANSFER OF TITLE IS EXEMPT FROM FLORIDA SALES OR USE TAX FOR THE REASON(S) CHECKED ( ), PURCHASER HOLDS VALID EXEMPTION CERTIFICATE ( ), VEHICLE / VESSEL WILL BE USED EXCLUSIVELY FOR RENTAL ( ), OTHER ( ), INDICATE TOTAL PURCHASE PRICE (13,500.00), INDICATE SALES OR USE TAX DUE (860.00), SELLING PRICE VERIFIED (checked)

APPLICANT CERTIFICATION: I/WE HEREBY CERTIFY THAT THE VEHICLE/VESSEL TO BE TITLED WILL NOT BE OPERATED UPON THE PUBLIC HIGHWAYS/WATERWAYS OF THIS STATE; I CERTIFY THAT THE CERTIFICATE OF TITLE IS NOT LOST OR DESTROYED; I CERTIFY THAT THIS MOTOR VEHICLE/VESSEL WAS REPOSSESSED UPON DEFAULT OF THE LIEN INSTRUMENT AND IS NOW IN MY POSSESSION; I/WE HEREBY CERTIFY THAT I/WE LAWFULLY OWN THE ABOVE DESCRIBED VEHICLE/VESSEL, AND MAKE APPLICATION FOR TITLE...

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING DOCUMENT AND THAT THE FACTS STATED IN IT ARE TRUE.

Signature of Applicant/Owner

Signature of Applicant/Co-Owner

**PERMIT WORKSHEET**

Installer RONNIE NORRIS License # I H000049  
 Manufacturer Flexwood Length x Width 20x14  
 Name of Owner of this Mobile Home \_\_\_\_\_  
 Phone \_\_\_\_\_  
 Address \_\_\_\_\_

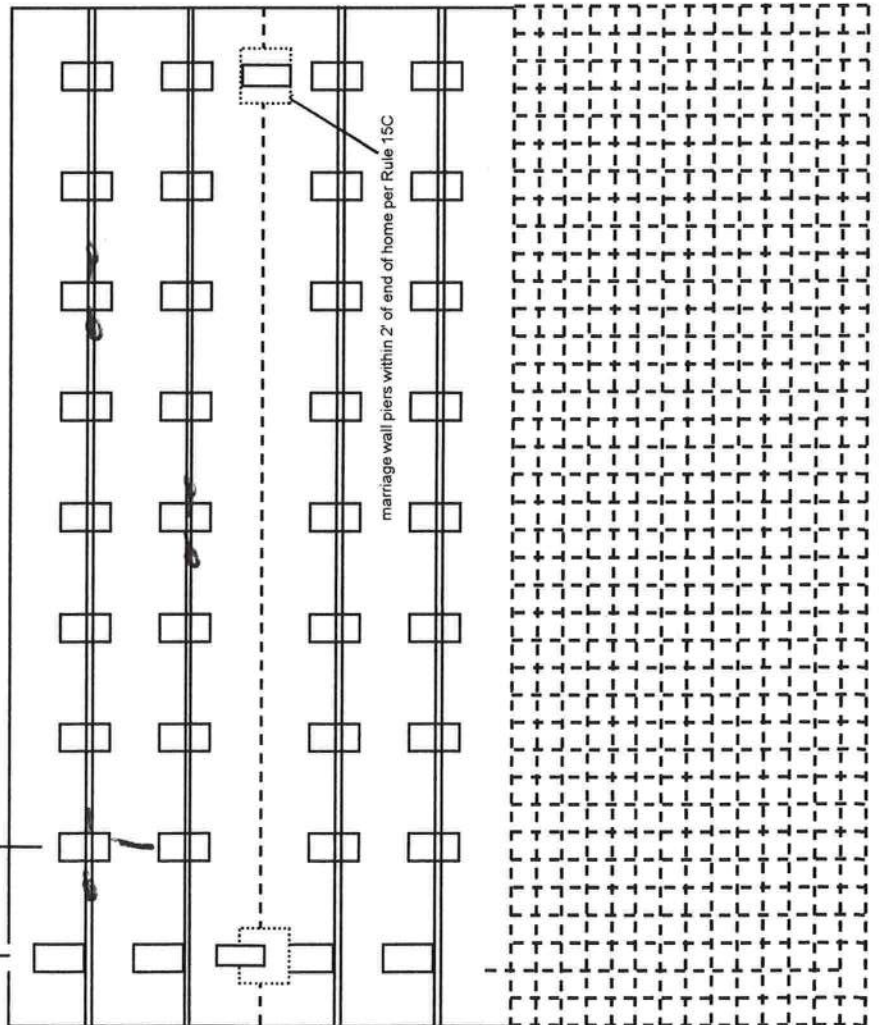
New Home  Used Home  Year 2011  
 Home installed to the Manufacturer's Installation Manual   
 Home is installed in accordance with Rule 15-C   
 Single wide  Wind Zone II  Wind Zone III   
 Double wide  Installation Decal # 0005-408  
 Triple/Quad  Serial # GAHLS07A3489 BM21

**NOTE:** if home is a single wide fill out one half of the blocking plan  
 if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in. Installer's initials RN



Show locations of Longitudinal and Lateral Systems (use dark lines to show these locations)



**PIER SPACING TABLE FOR USED HOMES**

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" X 24" (576)*	26" x 26" (676)
1000 psf	3'		4'	5'	6'	7'	8'
1500 psf	4.6"		6"	7'	8'	8'	8'
2000 psf	6"		8'	8'	8'	8'	8'
2500 psf	7.6"		8'	8'	8'	8'	8'
3000 psf	8'		8'	8'	8'	8'	8'
3500 psf	8'		8'	8'	8'	8'	8'

\* interpolated from Rule 15C-1 pier spacing table.

**PIER PAD SIZES**

I-beam pier pad size 17x25  
 Perimeter pier pad size 16x16  
 Other pier pad sizes (required by the mfg.) \_\_\_\_\_

**POPULAR PAD SIZES**

Pad Size	Sq In
16 x 16	256
<del>16 x 18</del>	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
<del>17 1/2 x 25 1/2</del>	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

**ANCHORS**

Opening \_\_\_\_\_ Pier pad size 5w  
4 ft \_\_\_\_\_  
5 ft \_\_\_\_\_

**FRAME TIES**

within 2' of end of home spaced at 5' 4" oc

**TIEDOWN COMPONENTS**

**Longitudinal Stabilizing Device (LSD)**  
 Manufacturer \_\_\_\_\_  
**Longitudinal Stabilizing Device w/ Lateral Arms**  
 Manufacturer \_\_\_\_\_

**OTHER TIES**

Number \_\_\_\_\_  
 Sidewall \_\_\_\_\_  
 Longitudinal \_\_\_\_\_  
 Marriage wall \_\_\_\_\_  
 Shearwall \_\_\_\_\_

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to psf or check here to declare 1000 lb. soil without testing.

x 1500 x 1500 x 1500

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 1500 x 1500 x 1500

TORQUE PROBE TEST

The results of the torque probe test is 275 inch pounds or check here if you are declaring 5' anchors without testing showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Date Tested

1 22-08

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg.

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg.

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg.

Site Preparation

Debris and organic material removed  
Water drainage: Natural Swale Pad Other

Fastening multi wide units

Floor: Type Fastener: Length: Spacing: SW  
Walls: Type Fastener: Length: Spacing: SW  
Roof: Type Fastener: Length: Spacing: SW  
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

SAU

Type gasket Pg.

Installed:  
Between Floors Yes  
Between Walls Yes  
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg.  
Siding on units is installed to manufacturer's specifications. Yes  
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes No  
Dryer vent installed outside of skirting. Yes N/A  
Range downflow vent installed outside of skirting. Yes  
Drain lines supported at 4 foot intervals. Yes  
Electrical crossovers protected. Yes  
Other:

Installer verifies all information given with this permit worksheet is accurate and true based on the

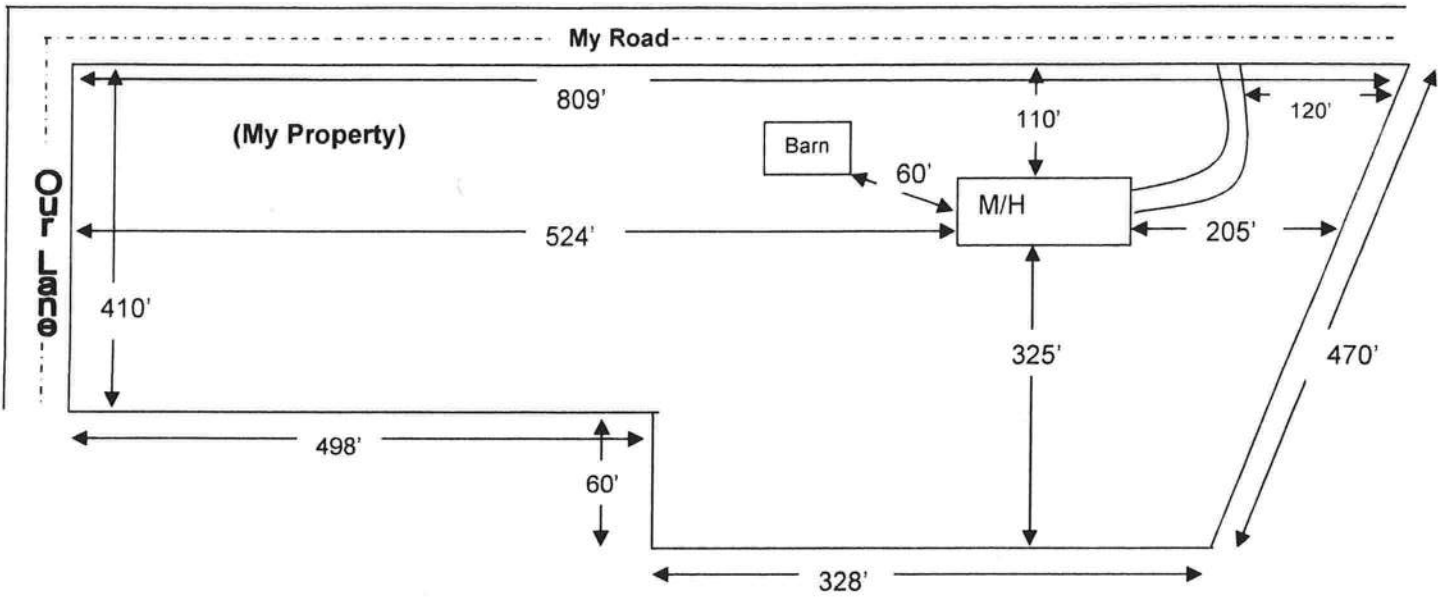
Installer Signature

[Signature]

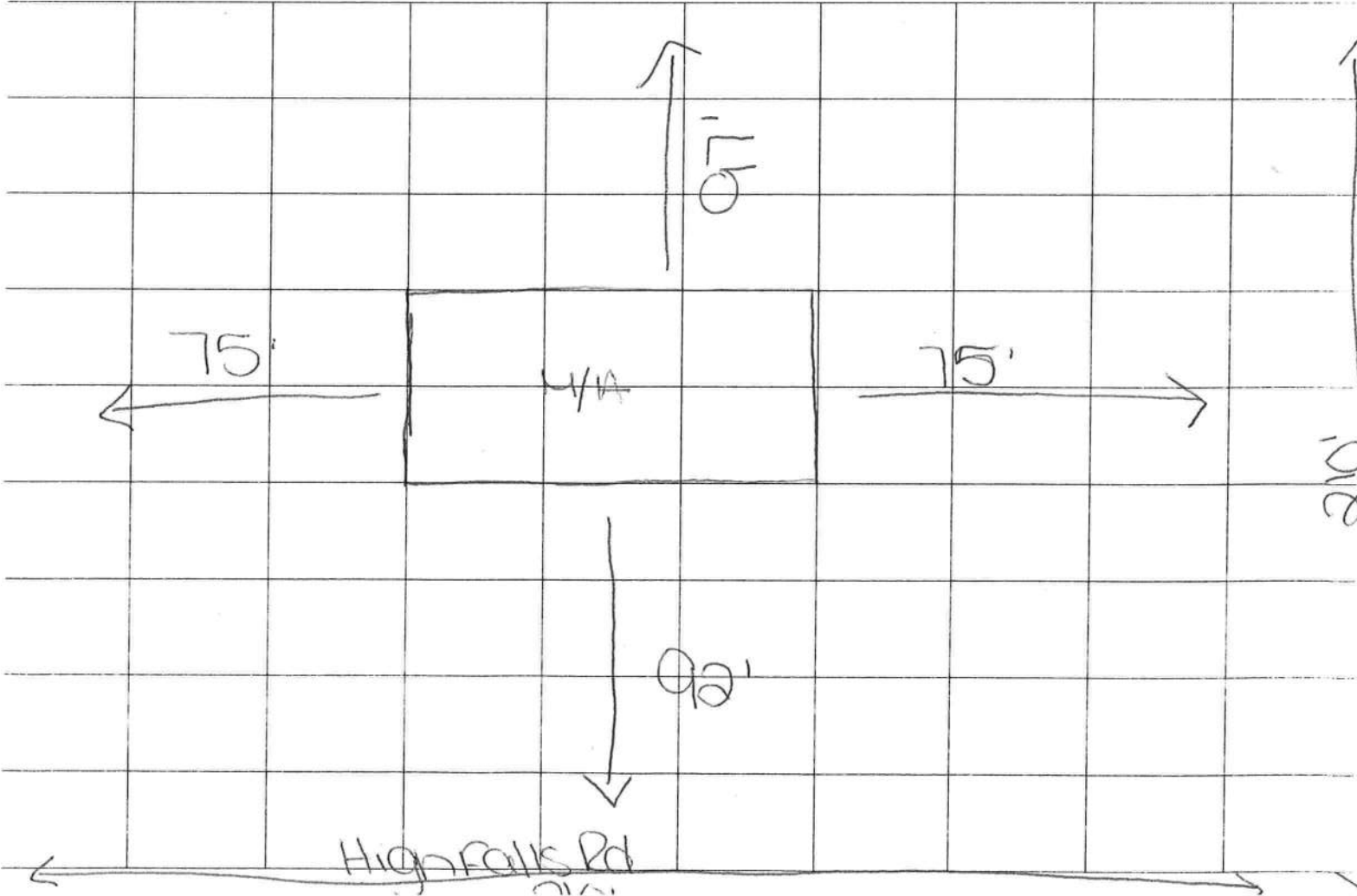
Date

12-08

# SITE PLAN EXAMPLE / WORKSHEET



Use this example to draw your own site plan. Show all existing buildings and any other homes on this property and show the distances between them, Also show where the roads or roads are around the property. This site plan can also be used for the 911 Addressing department if you include the distance from the driveway to the nearest property line.



3

Prepared by:  
Elaine R. Davis / Megan M. Harrell  
American Title Services of Lake City, Inc.  
321 SW Main Boulevard, Suite 105  
Lake City, Florida 32025

File Number: 08-368

Inst 200912000850 Date: 1/15/2009 Time: 11:33 AM  
Doc Stamp-Deed 0.70  
✓ DC, P. DeWitt Cason, Columbia County Page 1 of 2 B 1165 P.1114

### Warranty Deed

Made this JANUARY 14<sup>th</sup>, 2009 A.D.

By CORY TYLER FLOYD, a single man, hereinafter called the grantor,

To CORY TYLER FLOYD and SARAH JEAN WALKER, as Joint Tenants With Rights of Survivorship, whose post office address is: 4514 SE Highfalls Road, Lake City, Florida 32025, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth**, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

See Attached Schedule "A"

Parcel ID Number: Parent 09216-005

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2008.

**In Witness Whereof**, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Megan M. Harrell  
Witness Printed Name Megan M. Harrell

Cory Tyler Floyd (Seal)  
CORY TYLER FLOYD

Elaine R. Davis  
Witness Printed Name Elaine R. Davis

\_\_\_\_\_  
(Seal)

State of Florida  
County of COLUMBIA

The foregoing instrument was acknowledged before me this 14<sup>th</sup> day of JANUARY, 2009, by CORY TYLER FLOYD, who is/are personally known to me or who has produced Drivers license as identification.

Elaine R. Davis  
Notary Public  
Print Name:

My Commission Expires:  ELAINE R. DAVIS  
COMMISSION # DD 709588  
EXPIRES: October 14, 2011  
Receives This Notary Public Underemant

Prepared by:  
Elaine R. Davis / Megan M. Harrell  
American Title Services of Lake City, Inc.  
321 SW Main Boulevard, Suite 105  
Lake City, Florida 32025

File Number: 08-368

## "Schedule A"

### TOWNSHIP 5 SOUTH, RANGE 17 EAST

**SECTION 12:** A Part of the NE 1/4 of the NW 1/4 of Section 12, Township 5 South, Range 17 East, Columbia County, Florida, more particularly described as follows: Begin at the NW corner of the NE 1/4 of the said NW 1/4 and run N 89° 33' 21" E, along the North line of said Section 12, a distance of 331.01 feet, Thence S 00° 45' 54" W, a distance of 457.75 feet, Thence S 89° 33' 21" W, a distance of 46.17 feet to the Point of Beginning, Thence N 00° 45' 54" E, 210.00 feet, Thence S 89° 33' 21" W, 210.00 feet, Thence S 00° 45' 54" W, 210.00 feet, Thence N 89° 33' 21" E, 210.00 feet. **IN COLUMBIA COUNTY, FLORIDA.**

**TOGETHER WITH:** A Non Exclusive perpetual easement for ingress, egress and utilities which shall at all times remain open and unobstructed, over and across the following described property:

A Part of the NE 1/4 of the NW 1/4 of Section 12, Township 5 South, Range 17 East, Columbia County, Florida more particularly described as follows:

Begin at the NW corner of the NE 1/4 of the said NW 1/4 and run S 00° 47' 17" W, a distance of 427.53 feet to the Point of Beginning, of said easement, Thence continue S 00° 47' 17" W, 573.60 feet to a point on a curve, said curve being concave to the SE, having a radius of 627.37 feet and an included angle of 07° 43' 38", Thence run Northeasterly along the arc of said curve an arc distance of 84.61 feet, Being subtended by a chord bearing and distance of N 63° 17' 48" E, 84.55 feet, Thence N 00° 47' 17" E, 535.96 feet, Thence S 89° 43' 39" W, 75.01 feet to the Point of Beginning.

Prepared by  
Elaine R. Davis / Megan M. Harrell  
American Title Services of Lake City, Inc.  
321 SW Main Boulevard, Suite 105  
Lake City, Florida 32025

File Number: 08-368

Inst. 20091200649 Date: [redacted] Time 11:33 AM  
Doc Stamp-Deed 0.70  
A7 P.C. DeWitt Cason, Columbia County Page 1 of 2 B. 1165 P. 1112

### Warranty Deed

Made this JANUARY 12<sup>th</sup>, 2009 A.D.

By CLEDAS J. DICKS and BETTY DICKS, his wife, hereinafter called the grantors,

To CORY TYLER FLOYD whose post office address is: 4514 SE Highfalls Road, Lake City, Florida 32025, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth**, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releascs, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

See Attached Schedule "A"

NB: This deed is being excuted to correct spelling of name of grantee and to correct easement description in deed recorded in Official Record Book 1164 page 145.

Parcel ID Number: Parent 09216-005

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2007.

**In Witness Whereof**, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Elaine R. Davis  
Witness Printed Name Elaine R. Davis

Cledas J. Dicks (Seal)  
CLEDAS J. DICKS

Megan M. Harrell  
Witness Printed Name Megan M. Harrell

Betty Dicks (Seal)  
BETTY DICKS

State of Florida  
County of COLUMBIA

The foregoing instrument was acknowledged before me this 12<sup>th</sup> day of JANUARY, 2009, by CLEDAS J. DICKS AND BETTY DICKS, who is/are personally known to me or who has produced drivers licenses as identification.

Elaine R. Davis  
Notary Public  
Print Name:

My Commission Expires: ELAINE R. DAVIS  
MY COMMISSION # 00 708888  
EXPIRES: October 14, 2011  
Bonds This Notary Public Underwrits

Prepared by:

Elaine R. Davis / Megan M. Harrell  
American Title Services of Lake City, Inc.  
321 SW Main Boulevard, Suite 105  
Lake City, Florida 32025

File Number: 08-368

## "Schedule A"

### TOWNSHIP 5 SOUTH, RANGE 17 EAST

**SECTION 12:** A Part of the NE 1/4 of the NW 1/4 of Section 12, Township 5 South, Range 17 East, Columbia County, Florida, more particularly described as follows: Begin at the NW corner of the NE 1/4 of the said NW 1/4 and run N 89° 33' 21" E, along the North line of said Section 12, a distance of 331.01 feet, Thence S 00° 45' 54" W, a distance of 457.75 feet, Thence S 89° 33' 21" W, a distance of 46.17 feet to the Point of Beginning, Thence N 00° 45' 54" E, 210.00 feet, Thence S 89° 33' 21" W, 210.00 feet, Thence S 00° 45' 54" W, 210.00 feet, Thence N 89° 33' 21" E, 210.00 feet. **IN COLUMBIA COUNTY, FLORIDA.**

**TOGETHER WITH:** A Non Exclusive perpetual easement for ingress, egress and utilities which shall at all times remain open and unobstructed, over and across the following described property:

A Part of the NE 1/4 of the NW 1/4 of Section 12, Township 5 South, Range 17 East, Columbia County, Florida more particularly described as follows:

Begin at the NW corner of the NE 1/4 of the said NW 1/4 and run S 00° 47' 17" W, a distance of 427.53 feet to the Point of Beginning, of said easement, Thence continue S 00° 47' 17" W, 573.60 feet to a point on a curve, said curve being concave to the SE, having a radius of 627.37 feet and an included angle of 07° 43' 38", Thence run Northeasterly along the arc of said curve an arc distance of 84.61 feet, Being subtended by a chord bearing and distance of N 63° 17' 48" E, 84.55 feet, Thence N 00° 47' 17" E, 535.96 feet, Thence S 89° 43' 39" W, 75.01 feet to the Point of Beginning.



STATE OF FLORIDA  
DEPARTMENT OF HEALTH

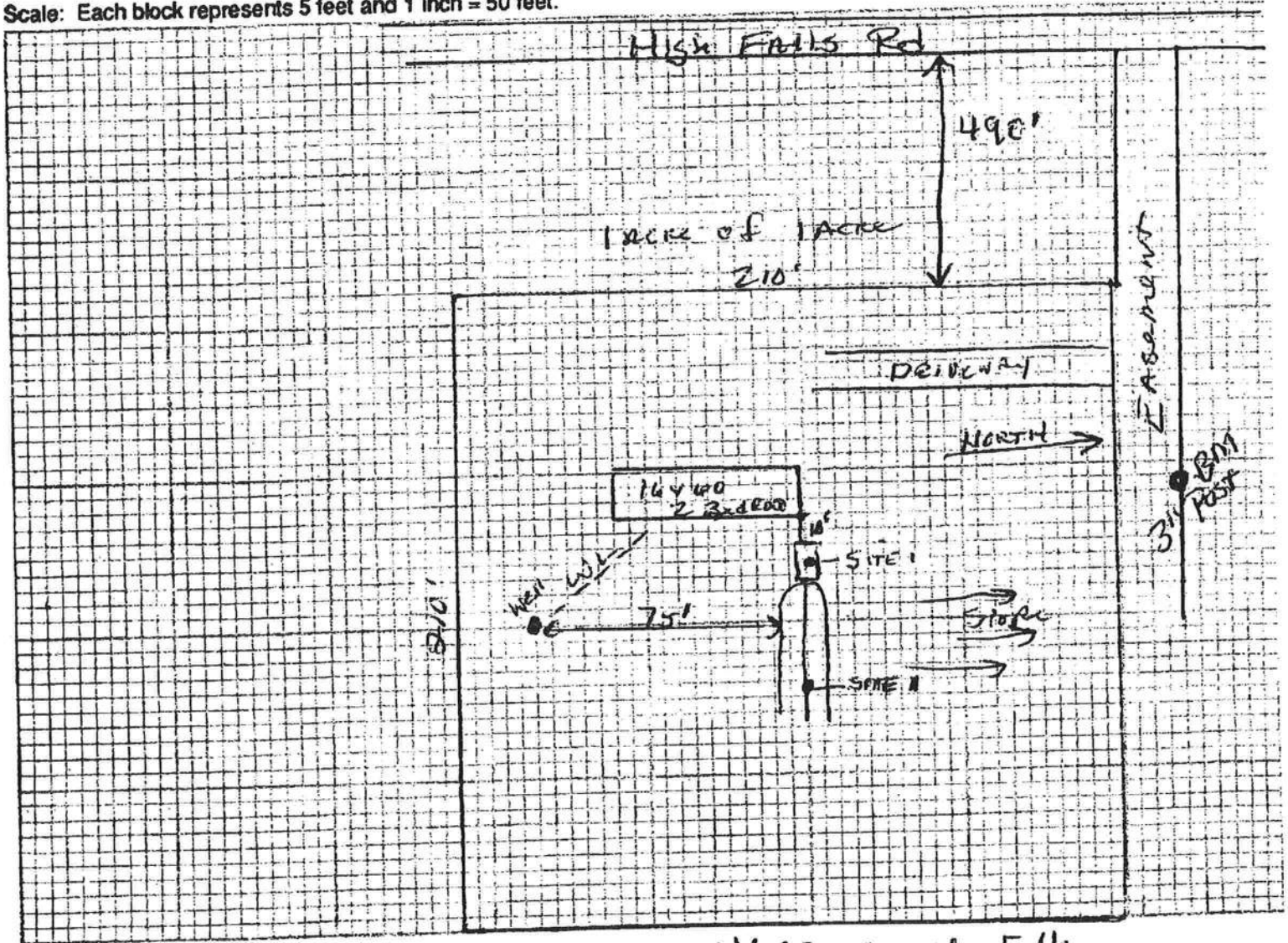
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number

09-0052-N

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: CORCY TYLER FLAYD 4602 SE High Falls  
1 Acre 12-55-17-09216-006

Site Plan submitted by: Robert W. [Signature] Agent  
Signature Title

Plan Approved \_\_\_\_\_ Not Approved \_\_\_\_\_ Date \_\_\_\_\_

By \_\_\_\_\_ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

09-0052-N



STATE OF FLORIDA  
 DEPARTMENT OF HEALTH  
 ONSITE SEWAGE DISPOSAL SYSTEM  
 APPLICATION FOR CONSTRUCTION PERMIT  
 Authority: Chapter 381, FS & Chapter 10D-6, FAC

PERMIT # \_\_\_\_\_  
 DATE PAID \_\_\_\_\_  
 FEE PAID \$ \_\_\_\_\_  
 RECEIPT # \_\_\_\_\_

APPLICATION FOR:  
 New System     Existing System     Holding Tank     Temporary/Experimental  
 Repair     Abandonment     Other (Specify) \_\_\_\_\_

APPLICANT: CORRY TYLER FLOYD    TELEPHONE: 755-6372

AGENT: Robert Ford NEST INC

MAILING ADDRESS: 580 NW Guerdon Rd Lake City Fla.

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. ATTACH BUILDING PLAN AND TO-SCALE SITE PLAN SHOWING PERTINENT FEATURES REQUIRED BY CHAPTER 10D-6, FLORIDA ADMINISTRATIVE CODE.

PROPERTY INFORMATION [IF LOT IS NOT IN A RECORDED SUBDIVISION, ATTACH LEGAL DESCRIPTION OR DEED]

LOT: \_\_\_\_\_ BLOCK: \_\_\_\_\_ SUBDIVISION: meets & bounds DATE OF SUBDIVISION: \_\_\_\_\_

PROPERTY ID #: 12-55-17-09216-006 [Section/Township/Range/Parcel No.] ZONING: \_\_\_\_\_

PROPERTY SIZE: 1.000 ACRES [Sqft/43560]    PROPERTY WATER SUPPLY:  PRIVATE     PUBLIC

PROPERTY STREET ADDRESS: 4602 45th SE High Falls Rd

DIRECTIONS TO PROPERTY: Hwy 245 Price Creek to High Falls Rd

Turn left 1 mile on left

BUILDING INFORMATION     RESIDENTIAL     COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	# Persons Served	Business Activity For Commercial Only
1	M/W SP	2	16x60 960	1	
2					
3					
4					

Garbage Grinders/Disposals     Spas/Hot Tubs     Floor/Equipment Drains  
 Ultra-low Volume Flush Toilets     Other (Specify) \_\_\_\_\_

APPLICANT'S SIGNATURE: Robert W Ford Jr    DATE: 1/22/09

Return, Fax # 752-3041

## COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

### Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 1/14/2009      DATE ISSUED: 1/22/2009

**ENHANCED 9-1-1 ADDRESS:**

4602      SE      HIGH FALLS      RD

LAKE CITY      FL      32025


**PROPERTY APPRAISER PARCEL NUMBER:**

12-5S-17-09216-005

**Remarks:**

PARENT PARCEL

Address Issued By:



Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

# LYNCH WELL DRILLING, INC.

173 SW Tustenuggee Ave  
Lake City, FL. 32025  
Phone 386-752-6677  
Fax 386-752-1477

Building Permit # \_\_\_\_\_ Owner's Name Floyd (Ref:0901-41 \_\_\_\_\_)

Well Depth 122 Ft. Casing Depth 80 Ft. Water Level 60 Ft.

Casing Size 4 inch Steel Pump Installation: Deep Well Submersible

Pump Make Aermotor Pump Model S20-100  
HP 1

System Pressure (PSI) \_\_\_\_\_ On 30 Off 50 Average Pressure 50

Pumping System GPM at average pressure and pumping level 20 (GPM)

Tank Installation: Bladder / Make Challenger  
Model PC244 Size 81

Tank Draw-down per cycle at system pressure 21.5 gallons

**I HEREBY VERIFY THAT THIS WATER WELL SYSTEM HAS BEEN INSTALLED AS PER THE ABOVE INFORMATION.**

*Linda Newcomb*  
Signature

Linda Newcomb  
Print Name

2609  
License Number

1-28-2009  
Date

LETTER OF AUTHORIZATION

Date: 2/2/09

Columbia County Building Department  
P.O. Drawer 1529  
Lake City, FL 32056

I Ronnie Norris, License No. IH 00000-49 do hereby  
Authorize SARA WALKER to pull and sign permits on my  
behalf.

Sincerely,

Ronnie Norris

Sworn to and subscribed before me this 2nd day of February, 2009.

Notary Public: Gale Tedder

My commission expires: \_\_\_\_\_

Personally Known

Produced Valid Identification: \_\_\_\_\_





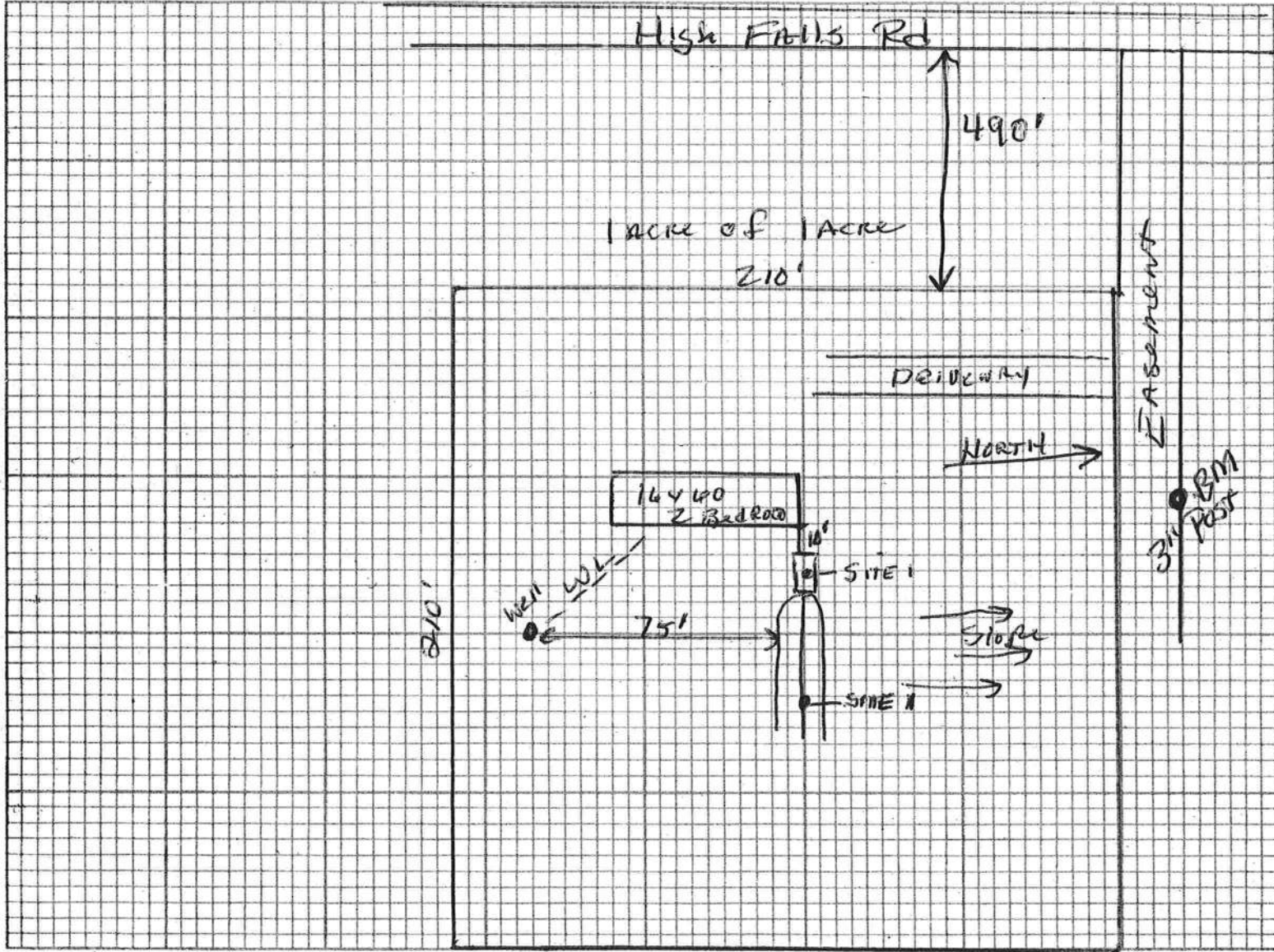
STATE OF FLORIDA  
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 09-0052

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: Corey Tyler Floyd 4602 SE High Falls  
1 Acre 12-55-17-09216-006

Site Plan submitted by: Robert W. [Signature] Agent  
Signature Title

Plan Approved  Not Approved  Date 1-27-09

By Man [Signature] Columbia County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



STATE OF FLORIDA  
 DEPARTMENT OF HEALTH  
 ONSITE SEWAGE DISPOSAL SYSTEM  
 APPLICATION FOR CONSTRUCTION PERMIT  
 Authority: Chapter 381, FS & Chapter 10D-6, FAC

PERMIT # 908940  
 DATE PAID 12/6/09  
 FEE PAID \$ 510.00  
 RECEIPT # 101423

09-0052

APPLICATION FOR:

- New System     Existing System     Holding Tank     Temporary/Experimental  
 Repair     Abandonment     Other (Specify) \_\_\_\_\_

APPLICANT: Corey Tyler Floyd    TELEPHONE: 755-6372

AGENT: Robert Ford NEST inc

MAILING ADDRESS: 580 NW Guerdon Rd Lake City Fla.

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. ATTACH BUILDING PLAN AND TO-SCALE SITE PLAN SHOWING PERTINENT FEATURES REQUIRED BY CHAPTER 10D-6, FLORIDA ADMINISTRATIVE CODE.

PROPERTY INFORMATION [IF LOT IS NOT IN A RECORDED SUBDIVISION, ATTACH LEGAL DESCRIPTION OR DEED]

LOT: \_\_\_\_\_ BLOCK: \_\_\_\_\_ SUBDIVISION: meets & bounds    DATE OF SUBDIVISION: N/A

PROPERTY ID #: 12-55-17-09216-006 [Section/Township/Range/Parcel No.] ZONING: SFR

PROPERTY SIZE: 1.000 ACRES [Sqft/43560]    PROPERTY WATER SUPPLY:  PRIVATE     PUBLIC

PROPERTY STREET ADDRESS: 4602 ~~45th~~ SE High Falls Rd

DIRECTIONS TO PROPERTY: Hwy 245 Price Creek to High Fall Rd  
Turn left 1 mile on left

BUILDING INFORMATION     RESIDENTIAL     COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	# Persons Served	Business Activity For Commercial Only
1	<u>M/H SF</u>	<u>2</u>	<u>16x60</u> <u>960</u>	<u>1</u>	
2					
3					
4					

- Garbage Grinders/Disposals     Spas/Hot Tubs     Floor/Equipment Drains  
 Ultra-low Volume Flush Toilets     Other (Specify) \_\_\_\_\_

APPLICANT'S SIGNATURE: Robert W Ford Jr    DATE: 1/22/09

CODE ENFORCEMENT DEPARTMENT  
COLUMBIA COUNTY, FLORIDA  
OUT OF COUNTY MOBILE HOME INSPECTION REPORT

COUNTY THE MOBILE HOME IS BEING MOVED FROM Suwannee  
OWNERS NAME SARA WALKER PHONE \_\_\_\_\_ CELL \_\_\_\_\_  
INSTALLER RONNIE NORRIS PHONE 752 3871 CELL \_\_\_\_\_  
INSTALLERS ADDRESS 1004 SW OAK TRL

MOBILE HOME INFORMATION

MAKE Floor wash YEAR 1996 SIZE 17 X 70 X  
COLOR CREAM SERIAL No. GAFFLS07834489BM21  
WIND ZONE II SMOKE DETECTOR \_\_\_\_\_

INTERIOR:  
FLOORS OK  
DOORS OK  
WALLS OK  
CABINETS OK  
ELECTRICAL (FIXTURES/OUTLETS) \_\_\_\_\_

EXTERIOR:  
WALLS / SIDING OK  
WINDOWS OK  
DOORS OK

STATUS:  
APPROVED \_\_\_\_\_ NOT APPROVED \_\_\_\_\_

NOTES \_\_\_\_\_  
INSTALLER OR INSPECTORS PRINTED NAME Ronnie Norris  
Installer/Inspector Signature [Signature] License No. IHC000047 Date 2-3-09

**ONLY THE ACTUAL LICENSE HOLDER OR A BUILDING INSPECTOR CAN SIGN THIS FORM.**  
NO WIND ZONE ONE MOBILE HOMES WILL BE PERMITTED. MOBILE HOMES PRIOR TO 1977 ARE PRE-HUD AND THE WIND ZONE MUST BE PROVEN TO BE PERMITTED.  
**BEFORE THE MOBILE HOME CAN BE MOVED INTO COLUMBIA COUNTY THIS FORM MUST BE COMPLETED AND RETURNED TO THE COLUMBIA COUNTY BUILDING DEPARTMENT.**  
**ONCE MOVED INTO COLUMBIA COUNTY AN INSPECTOR MUST COMPLETE A PRELIMINARY INSPECTION ON THE MOBILE HOME. CALL 386-719-2038 TO SET UP THIS INSPECTION. NO PERMIT WILL BE ISSUED BEFORE THIS IS DONE.**

Code Enforcement Approval Signature [Signature] Date 2-3-09

CODE ENFORCEMENT  
PRELIMINARY MOBILE HOME INSPECTION REPORT

DATE RECEIVED 2/9/09 BY G IS THE M/H ON THE PROPERTY WHERE THE PERMIT WILL BE ISSUED? Yes

OWNERS NAME Sarah Walker PHONE \_\_\_\_\_ CELL \_\_\_\_\_

ADDRESS 4602 SE High Falls Dr. L.C. 32025

MOBILE HOME PARK N/A SUBDIVISION N/A

DRIVING DIRECTIONS TO MOBILE HOME 4415, TL Gabard, TR CR  
245, TL on High Falls, 1st drive on left

MOBILE HOME INSTALLER Ronnie Noblis PHONE 752.3871 CELL \_\_\_\_\_

MOBILE HOME INFORMATION

MAKE Fleetwood YEAR 1996 SIZE 70 x 14 COLOR \_\_\_\_\_

SERIAL No. GAFL 507434489 Bm21

WIND ZONE II Must be wind zone II or higher NO WIND ZONE I ALLOWED

INSPECTION STANDARDS

INTERIOR:

(P or F) - P= PASS F= FAILED

- SMOKE DETECTOR ( ) OPERATIONAL ( ) MISSING
- FLOORS ( ) SOLID ( ) WEAK ( ) HOLES DAMAGED LOCATION \_\_\_\_\_
- DOORS ( ) OPERABLE ( ) DAMAGED
- WALLS ( ) SOLID ( ) STRUCTURALLY UNSOUND
- WINDOWS ( ) OPERABLE ( ) INOPERABLE
- PLUMBING FIXTURES ( ) OPERABLE ( ) INOPERABLE ( ) MISSING
- CEILING ( ) SOLID ( ) HOLES ( ) LEAKS APPARENT
- ELECTRICAL (FIXTURES/OUTLETS) ( ) OPERABLE ( ) EXPOSED WIRING ( ) OUTLET COVERS MISSING ( ) LIGHT FIXTURES MISSING

EXTERIOR:

- WALLS / SIDING ( ) LOOSE SIDING ( ) STRUCTURALLY UNSOUND ( ) NOT WEATHERTIGHT ( ) NEEDS CLEANING
- WINDOWS ( ) CRACKED/ BROKEN GLASS ( ) SCREENS MISSING ( ) WEATHERTIGHT
- ROOF ( ) APPEARS SOLID ( ) DAMAGED

STATUS

APPROVED  WITH CONDITIONS: \_\_\_\_\_

NOT APPROVED \_\_\_\_\_ NEED RE-INSPECTION FOR FOLLOWING CONDITIONS \_\_\_\_\_

SIGNATURE [Signature] ID NUMBER 402 DATE 2-11-09  
PAGE 01/01 BUILDING AND ZONING 3867582150 02/09/2009 15:33

AFFIDAVIT OF SUBDIVIDED REAL PROPERTY  
FOR USE OF IMMEDIATE FAMILY MEMBERS  
FOR PRIMARY RESIDENCE

STATE OF FLORIDA  
COUNTY OF COLUMBIA

BEFORE ME the undersigned Notary Public personally appeared.

Betty and Cledas Davis, the Owner of the parent tract which has been subdivided for immediate family primary residence use, hereinafter the Owner, and Cory Tyler Floyd, the family member of the Owner, who is the owner of the family parcel which is intended for immediate family primary residence use, hereafter the Family Member, and is related to the Owner as grandson, and both individuals being first duly sworn according to law, depose and say:

1. Both the Owner and the Family Member have personal knowledge of all matters set forth in this Affidavit.
2. The Owner holds fee simple title to certain real property situated in Columbia County, and more particularly described by reference to the Columbia county Property Appraiser Tax Parcel No. 12-55-17-09216-005.
3. The Owner has divided his parent parcel for use of immediate family members for their primary residence and the parcel divided and the remaining parent parcel are at least ½ acre in size. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child or grandchild.
4. The Family Member is a member of the Owner's immediate family, as set forth above, and holds fee simple title to certain real property divided from the Owner's parcel situated in Columbia County and more particularly described by reference to the Columbia County Property Appraiser Tax Parcel No. 12-55-17-09216-006.
5. No person or entity other than the Owner and Family Member claims or is presently entitled to the right of possession or is in possession of the property, and there are no tenancies, leases or other occupancies that affect the Property.
6. This Affidavit is made for the specific purpose of inducing Columbia County to recognize a family division for a family member on the parcel divided in accordance with Section 14.9 of the Columbia County Land Development Regulations.

7. This Affidavit is made and given by Affiants with full knowledge that the facts contained herein are accurate and complete, and with full knowledge that the penalties under Florida law for perjury include conviction of a felony of the third degree.

We Hereby Certify that the information contained in this Affidavit are true and correct.

Cledas Dicks  
Owner Cledas Dicks

Tyler Floyd  
Family Member

Betty Dicks  
Typed or Printed Name Betty Dicks  
owner

Tyler Floyd  
Typed or Printed Name

Subscribed and sworn to (or affirmed) before me this 10<sup>th</sup> day of February, 2009, by Cledas Dicks & Betty Dicks (Owner) who is personally known to me or has produced Drivers License as identification.

Megan M. Harrell  
Notary Public



Subscribed and sworn to (or affirmed) before me this 11<sup>th</sup> day of February, 2009, by Tyler Floyd (Family Member) who is personally known to me or has produced Drivers License as identification.

Megan M. Harrell  
Notary Public



*John Weegee E.*

**Columbia County Building Department  
Culvert Waiver**

**Culvert Waiver No.  
000001706**

DATE: 02/12/2009 BUILDING PERMIT NO. 27631

APPLICANT SARAH WALKER PHONE 386.292.0844

ADDRESS 4602 SE HIGH FALLS ROAD LAKE CITY FL 32025

OWNER COREY T. FLOYD & SARAH WALKER PHONE 386.397.0577

ADDRESS 4602 SE HIGH FALLS DRIVE LAKE CITY FL 32025

CONTRACTOR RONNIE NORRIS PHONE 386.752.3871

LOCATION OF PROPERTY 441-S TO GABE, TL TO C-245, TR TO HIGHFALLS, TL AND IT'S  
1ST DRIVEWAY ON L.

SUBDIVISION/LOT/BLOCK/PHASE/UNIT \_\_\_\_\_

PARCEL ID # 12-5S-17-09216-006

I HEREBY CERTIFY THAT I UNDERSTAND AND WILL FULLY COMPLY WITH THE DECISION OF THE COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT IN CONNECTION WITH THE HEREIN PROPOSED APPLICATION.

SIGNATURE: *[Signature]*

A SEPARATE CHECK IS REQUIRED  
MAKE CHECKS PAYABLE TO BCC

Amount Paid 50.00

**PUBLIC WORKS DEPARTMENT USE ONLY**

I HEREBY CERTIFY THAT I HAVE EXAMINED THIS APPLICATION AND DETERMINED THAT THE CULVERT WAIVER IS:

✓ APPROVED \_\_\_\_\_ NOT APPROVED - NEEDS A CULVERT PERMIT

COMMENTS: \_\_\_\_\_

SIGNED: *[Signature]* DATE: 02/12/09

ANY QUESTIONS PLEASE CONTACT THE PUBLIC WORKS DEPARTMENT AT 386-752-5955.

135 NE Hernando Ave., Suite B-21  
Lake City, FL 32055  
Phone: 386-758-1008 Fax: 386-758-2160



100 - 00V C Attention: Donna

**CERTIFICATE OF OCCUPANCY**

**M/H OCCUPANCY**

**COLUMBIA COUNTY, FLORIDA**

**Department of Building and Zoning Inspection**

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 12-5S-17-09216-006 Building permit No. 000027631

Permit Holder RONNIE NORRIS

Owner of Building TYLER FLOYD & SARAH WALKER

Location: 4602 SE HIGH FALLS ROAD

Date: 04/09/2009



*Fany Dicko*

Building Inspector

**POST IN A CONSPICUOUS PLACE  
(Business Places Only)**