

DATE 07/08/2005

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000023365

APPLICANT KEVIN BEDENBAUGH PHONE 938-5588
 ADDRESS P.O. BOX 1416 LIVE OAK FL 32064
 OWNER DEL STEWART/DIANE SALERNO PHONE _____
 ADDRESS 248 SW FRIENDSHIP WAY LAKE CITY FL 32024
 CONTRACTOR KEVIN BEDENBAUGH PHONE 386 938-5588
 LOCATION OF PROPERTY 247S, TL ON 242, TL INTO BLAINE EST, 4TH LOT ON LEFT

TYPE DEVELOPMENT MODULAR ESTIMATED COST OF CONSTRUCTION .00
 HEATED FLOOR AREA _____ TOTAL AREA _____ HEIGHT .00 STORIES 1
 FOUNDATION CONC WALLS FRAMED ROOF PITCH 3/12 FLOOR SLAB
 LAND USE & ZONING RR MAX. HEIGHT 15
 Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
 NO. EX.D.U. 0 FLOOD ZONE X PP DEVELOPMENT PERMIT NO. _____

PARCEL ID 22-4S-16-03090-104 SUBDIVISION BLAINE ESTATES
 LOT 4 BLOCK _____ PHASE _____ UNIT _____ TOTAL ACRES 1.07

000000733 25.00 RB0066597 *Kevin Bedenbaugh*
 Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
 _____ 05-0633-N BK _____ Y
 Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD, NOC ON FILE

Check # or Cash 37054

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power _____ Foundation _____ Monolithic _____
 _____ date/app. by _____ date/app. by _____ date/app. by
 Under slab rough-in plumbing _____ Slab _____ Sheathing/Nailing _____
 _____ date/app. by _____ date/app. by _____ date/app. by
 Framing _____ Rough-in plumbing above slab and below wood floor _____
 _____ date/app. by _____ date/app. by _____ date/app. by
 Electrical rough-in _____ Heat & Air Duct _____ Peri. beam (Lintel) _____
 _____ date/app. by _____ date/app. by _____ date/app. by
 Permanent power _____ C.O. Final _____ Culvert _____
 _____ date/app. by _____ date/app. by _____ date/app. by
 M/H tie downs, blocking, electricity and plumbing _____ Pool _____
 _____ date/app. by _____ date/app. by _____ date/app. by
 Reconnection _____ Pump pole _____ Utility Pole _____
 _____ date/app. by _____ date/app. by _____ date/app. by
 M/H Pole _____ Travel Trailer _____ Re-roof _____
 _____ date/app. by _____ date/app. by _____ date/app. by

BUILDING PERMIT FEE \$.00 CERTIFICATION FEE \$.00 SURCHARGE FEE \$.00
 MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 11.34 WASTE FEE \$ 24.50
 FLOOD ZONE DEVELOPMENT FEE \$ _____ CULVERT FEE \$ 25.00 **TOTAL FEE** 310.84

INSPECTORS OFFICE *[Signature]* CLERKS OFFICE *CH*

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only Application # 0506-85 Date Received 6/2/05 By G Permit # 133/23365
 Application Approved by - Zoning Official BLK Date 08.07.05 Plans Examiner OK JH Date 7-1-05
 Flood Zone Xpght Development Permit N/A Zoning RR Land Use Plan Map Category RES U.L. Dev.
 Comments _____

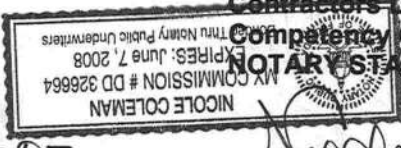
Applicants Name Kevin Bedenbaugh Phone 386-938-5588
 Address PO Box 1416 Live Oak, FL 32064
 Owners Name DEL Stewart & Diane Sakena Phone _____
 911 Address 248 SW FRIENDSHIP WAY LAKE CITY, FL 32024
 Contractors Name Plumb Level Const. Phone 386-938-5588
 Address P.O. Box 1416 Live Oak, FL 32064

Fee Simple Owner Name & Address _____
 Bonding Co. Name & Address _____
 Architect/Engineer Name & Address H.W.C & ASS. 1627 S MYRTLE AVE, CLEARWATER, FL 33756
 Mortgage Lenders Name & Address MIT MORTGAGE CORP. 2270 ERM COURT, LANCASTER, PA 17604
 Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy
 Property ID Number 22-45-16-03090-104 Estimated Cost of Construction 98,000.00
 Subdivision Name Blaine Estates Lot 4 Block _____ Unit _____ Phase 1
 Driving Directions TAKE Hwy 247, turn (L) ON Hwy 242, 60 miles ON (L) IS Blaine Estates, turn (L) 4th Lot on (L)

Type of Construction SF MODULAR Number of Existing Dwellings on Property 0
 Total Acreage 1.07 Lot Size _____ Do you need a Culvert Permit or Culvert Waiver or Have an Existing Drive
 Actual Distance of Structure from Property Lines - Front 75 Side 65 Side 64 Rear 125
 Total Building Height 15' Number of Stories 1 Heated Floor Area 2088 Roof Pitch 3/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.
 OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.
WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Agent (Including Contractor) _____ Contractor Signature Kevin Bedenbaugh
 STATE OF FLORIDA COUNTY OF COLUMBIA Contractors License Number RB0066597
 Sworn to (or affirmed) and subscribed before me this 24 day of June 2005. Competency Card Number _____
 Personally known X or Produced Identification _____ Notary Signature Nicole Coleman



Display Device WA
 User GAIL

@ CAM110M01 CanaUSA Appraisal System
 6/27/2005 13:30 Property Maintenance Sel
 Year T Property
 2005 R 22-4S-16-03090-104
 Owner ANDERSON MARY J
 Addr 160 SW RAY TERRACE
 Conf

City, St LAKE CITY FL Zip 32024 Retain Cap? Renewal Notice
 County (PUD1) (PUD2) (PUD3) MKTA06

Appr By HC Date 3/12/2003 AppCode Usecd 000000 VACANT
 TxDist Nhdh MktA ExCode Exemption/% TxCode Units Tp
 003 22416.00 06

House# - Street City MD Dir #
 Subd N/A Condo .00 N/A
 Sect 22 Twn 4S Rng 16E Subd Blk Lot
 Legals LOT 4 BLAINE ESTATES PHASE 1. WD 1013-1032.

Map# 46 Mnt 3/23/2005 JEFF
 F1=Task F2=ExtX F3=Exit F4=Prompt F11=Docs F10=GoTo PgUp/PgDn F24=More

RON E. BIAS WELL DRILLING
RT.2 BOX 5340
FT. WHITE, FLORIDA 32038
(904) 497-1045
MOBILE: 364-9233

TO: Columbia County Building Department

Description of well to be installed for Customer: Stewart
Located at Address: Lt. 4 Blaine Estates

1 hp - 1 1/4" drop over 86 gallon tank, 250 gallon equivalent captive with back flow preventer. 35-gallon draw down with check valve pass requirements.

Ron E. Bias
Ron Bias

ATS

NOTICE OF COMMENCEMENT

STATE OF FLORIDA
COUNTY OF Sarasota

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement:

1. Description of Property: Lot 4, Blaine Estates, Phase I, a subdivision according to the plat thereof as recorded in Plat Book 7, Pages 21-22, Public Records of Columbia County, Florida.

2. General Description of Improvement: SINGLE FAMILY DWELLING
3. Owner Information:
Name and Address: Del Stewart and Diane Salerno
3954 Helena Street, Sarasota, Florida 34241
 - a. Interest in Property: Fee Simple
 - b. Name and Address of Fee Simple titleholder (if other than Owner):
SAME AS ITEM 3a ABOVE
4. Contractor (name and address): C & G Mobile Homes
 2680 West Hwy 90, Lake City, Florida 3201
5. Surety: Inst: 2005012658 Date: 05/27/2005 Time: 15:35
DC, P. Dewitt Cason, Columbia County B: 1047 P: 1315
 - a. Name and Address: N/A
 - b. Amount of Bond: N/A
6. Lender (Name and Address): M & T Mortgage Corporation, 2270 Erin Court, Lancaster, PA 17601
7. Persons within the State of Florida designated by Owner upon notices or other documents may be served as provided by 713.13(1)(a)(7), Florida Statutes:

8. In addition to himself, the Owner designates the following person to receive a copy of the Lienor's Notice as provided in 713.13(1)(b), Florida Statutes (Name and Address):
M & T Mortgage Corporation, 2270 Erin Court, Lancaster, PA 17601
9. Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified):

Del Stewart
Type Owner Name: Del Stewart

Diane Salerno
Type Owner Name: Diane Salerno

Adriana Gonzalez
Witness #1

Lillian Marie Denham
Witness #2

Sworn to and subscribed before me by the ~~Stacey Ann Worrell~~ - Del Stewart and Diane Salerno
Owner (s) on this 24 day of May, 2005

Lillian Marie Denham
Type Name:
Notary Public, State of Florida
COMMISSION EXPIRES



Personally Known _____
Produced Identification Florida Drivers Licenses
Did Take an Oath Did Not Take an Oath

Jun 22, 2005 10:22AM Abstract & Title

No. 5050 P. 3

Prepared by:
Michael H. Harrell
Abstract & Title Services, Inc.
283 NW Cole Terrace
Lake City, Florida 32055

ATS# 14920

Inst: 2005012656 Date: 05/27/2005 Time: 15:35

Doc Stamp-Deed : 136.50

MLK DC, P. DeWitt Cason, Columbia County B: 1047 P: 1297

Warranty Deed

Individual to Individual

THIS WARRANTY DEED made the 28th day of January, 2005, Daniel Crapps and L. James Cherry, as Trustees of the CR-242 Land Trust dated November 14, 1986, hereinafter called the grantor, to Del Stewart and Diane R. Salerno, as joint tenants with right of survivorship whose post office address is: 3954 Helena Street, Sarasota, Florida 34241 hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all that certain land situate in COLUMBIA County, Florida, viz: Parcel ID# R03090-104

Lot 4, Blaine Estates, Phase I, a subdivision according to the plat thereof recorded in Plat Book 7, Pages 21-22, Public Records of Columbia County, Florida.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2004.

Jun 22, 2005 10:22AM Abstract & Title

No. 5050 P. 4

Prepared by:
Michael H. Harrell
Abstract & Title Services, Inc.
283 NW Cole Terrace
Lake City, Florida 32055

ATS# 14920

Inst: 2005012656 Date: 05/27/2005 Time: 15:35
Doc Stamp-Deed : 136.50
DC, P. Dewitt Cason, Columbia County B. 1047 P: 1298

Wm M. Harvey
Witness: Wm M. Harvey

Leslie B. Brown
Witness: Leslie B. Brown

[Signature]
L. James Cherry, as Trustee

STATE OF FLORIDA
COUNTY OF Leon

The foregoing instrument was acknowledged before me this 10th day of May, 2005 by L. JAMES CHERRY AS TRUSTEE OF THE CR-242 LAND TRUST DATED NOVEMBER 14, 1996 personally known to me or, if not personally known to me, who produced Driver's License No. _____ for identification and who did not take an oath.

Leslie B. Brown
Notary Public

(Notary Seal)



FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: 2201-0029 F C258 Address: City, State: , FL Owner: HOMES OF MERIT Climate Zone: South	Builder: Permitting Office: Permit Number: 23365 Jurisdiction Number: 221000
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1. New construction or existing New <input type="checkbox"/> 2. Single family or multi-family Single family <input type="checkbox"/> 3. Number of units, if multi-family 1 <input type="checkbox"/> 4. Number of Bedrooms 4 <input type="checkbox"/> 5. Is this a worst case? Yes <input type="checkbox"/> 6. Conditioned floor area (ft²) 2071 ft² <input type="checkbox"/> 7. Glass area & type Single Pane Double Pane a. Clear glass, default U-factor 0.0 ft² 0.0 ft² <input type="checkbox"/> b. Default tint, default U-factor 0.0 ft² 0.0 ft² <input type="checkbox"/> c. Labeled U-factor or SHGC 0.0 ft² 283.0 ft² <input type="checkbox"/> 8. Floor types R=11.0, 2071.0ft² <input type="checkbox"/> a. Raised Wood, Post or Pier <input type="checkbox"/> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> 9. Wall types R=19.0, 1532.0 ft² <input type="checkbox"/> a. Frame, Wood, Exterior <input type="checkbox"/> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> d. N/A <input type="checkbox"/> e. N/A <input type="checkbox"/> 10. Ceiling types R=30.0, 2130.0 ft² <input type="checkbox"/> a. Under Attic <input type="checkbox"/> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> 11. Ducts(Leak Free) <input type="checkbox"/> a. Sup: Unc. Ret: Unc. AH(Sealed):OutdoorsSup. R=6.0, 248.0 ft <input type="checkbox"/> b. N/A <input type="checkbox"/>	12. Cooling systems Cap: 48.0 kBtu/hr SEER: 12.00 <input type="checkbox"/> a. Central Unit <input type="checkbox"/> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> 13. Heating systems Cap: 46.0 kBtu/hr HSPF: 7.00 <input type="checkbox"/> a. Electric Heat Pump <input type="checkbox"/> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> 14. Hot water systems Cap: 50.0 gallons EF: 0.88 <input type="checkbox"/> a. Electric Resistance <input type="checkbox"/> b. N/A <input type="checkbox"/> c. Conservation credits (HR-Heat recovery, Solar DHP-Dedicated heat pump) <input type="checkbox"/> 15. HVAC credits <input type="checkbox"/> (CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)
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Glass/Floor Area: 0.14	Total as-built points: 32210 Total base points: 34546	PASS
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I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: Robert E. Gregg

DATE: APPROVED JUN 17 2005

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

Date _____ Plan _____

BUILDING OFFICIAL: James A. Lyons

DATE: _____



SEE MANUFACTURER'S CONTRACT WITH FLORIDA DCA. EnergyGauge® (Version: FLRCSB v3.4)

Modular Building Plans Examiner
Florida License No. SMP-12

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: 2201-0029 F C258 Address: City, State: , FL Owner: HOMES OF MERIT Climate Zone: North	Builder: Permitting Office: Permit Number: Jurisdiction Number:
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Glass/Floor Area: 0.14	Total as-built points: 29935	PASS
	Total base points: 32399	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: Robert E. Gregg

DATE: APPROVED JUN 17 2005

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

Date _____ Plan No. _____

BUILDING OFFICIAL: Approved By JAMES A. LYONS

DATE: _____



SEE MANUFACTURER'S CONTRACT WITH FLORIDA DCA.

EnergyGauge® (Version: FLRCSB v3.4)

Modular Building Plans Examiner
 Florida License No. SMP-12

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: 2201-0029 F C258 Address: _____ City, State: , FL Owner: HOMES OF MERIT Climate Zone: Central	Builder: _____ Permitting Office: _____ Permit Number: _____ Jurisdiction Number: _____
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I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: Robert E. Gregg

DATE: APPROVED JUN 17 2005

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

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BUILDING OFFICIAL: James A. Lyons

DATE: _____



SEE MANUFACTURER'S CONTRACT WITH FLORIDA DCA. EnergyGauge® (Version: FLRCSB v3.4)

Modular Building Plans Examiner
Florida License No. SMP-12



HOMES OF MERIT, INC.
 P.O. BOX 2097
 HWY 100 EAST
 LAKE CITY, FLORIDA 32056

FLORIDA TYPICAL
COVER PAGE

PAGE 1.	COVER PAGE
PAGE 2.	GENERAL NOTES
PAGE 3.	HOME WITH STEEL FRAME COVER PAGE
PAGE 4.	CROSS SECTION
PAGE 5.	FOUNDATION DETAILS
PAGE 6.	HOME WITHOUT STEEL FRAME COVER PAGE
PAGE 7.	CROSS SECTION
PAGE 8.	FOUNDATION DETAILS
PAGE 9.	ENDWALL CROSS SECTION
PAGE 10.	TYPICAL POTABLE WATER SUPPLY LINES



THIRD PARTY
 HILBORN, WERNER, CARTER
 & ASSOCIATES
 1827 SOUTH WYRTLE AVE.
 CLEARWATER, FL 33758

[Handwritten Signature]
 MAY 17 2004



PAGE 1
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HOMES OF MERIT, INC.
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Date: 5-5-04	Revisions	Cad#: FL-TYP1
Dr'n CP		
Scale: N.T.S.		
Code: D (04)		
FLORIDA	DCA: DCA TYPICAL PACKAGE	Print: PAGE 1 INDEX

ROBERT E. GREGG
 REGISTERED ARCHITECT
 650 CHESTNUT STREET
 FL = 9927
 CLEARWATER, FL 33759
 PHONE: (727) 796-8774
 FAX: (727) 791-8942

GENERAL NOTES: 2001 FBC, NFPA 101, 2000

- ALL GLAZING WITHIN 24" ARC OF DOORS, WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR AND ALL GLAZING IN DOORS SHALL BE SAFETY, TEMPERED OR ACRYLIC PLASTIC SHEET.
- FLOOR DESIGN LIVE LOAD -- 40 PSF.
- MAXIMUM WIND SPEED -- 130 MPH -- EXP.C
- OCCUPANCY IS RESIDENTIAL (R-3).
- 1.5"x26ga. WITH 7-15ga. x 7/16" CROWN STAPLES W/1" PENETRATION EACH END OF STRAP OR EQUIVALENT FROM RIDGE BEAM TO COLUMN, AND COLUMN TO FLOOR.
- THIS BUILDING HAS NOT BEEN DESIGNED FOR COASTAL HAZARD AREAS, OCEAN HAZARD OR REGULATORY FLOOD PLAIN AREAS.
- CONSTRUCTION IS TYPE VI, UNPROTECTED.
- CEILING FANS SHALL BE 80" MIN. FROM BOTTOM OF BLADES TO FINISH FLOOR.
- MIN. CORRIDOR WIDTH IS 36".
- ALL MATERIALS COMPRISING THE BUILDING ENVELOPE SHALL HAVE FLORIDA PRODUCT APPROVALS, PER FLORIDA BUILDING COMMISSION CHAPTER 9B-72. RULES.

SITE INSTALLED ITEMS:

NOTE: THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL.

- THE COMPLETE FOUNDATION SUPPORT AND TIE DOWN SYSTEM.
- RAMPS, STAIRS AND GENERAL ACCESS TO THE BUILDING.
- PORTABLE FIRE EXTINGUISHER(S).
- BUILDING DRAINS, CLEANOUTS, AND HOOK-UP TO PLUMBING SYSTEM.
- ELECTRICAL SERVICE HOOK-UP (INCLUDING FEEDERS) TO THE BUILDING.
- THE MAIN ELECTRICAL PANEL AND SUB-FEEDERS (MULTI-UNITS ONLY).
- CONNECTION OF ELECTRICAL CIRCUITS CROSSING OVER MODULE MATING LINE(S) - (MULTI-UNITS ONLY).
- STRUCTURAL AND AESTHETIC INTERCONNECTIONS BETWEEN MODULES (MULTI-UNITS ONLY).
- DORMERS, AND ANY OTHER AESTHETIC CONNECTIONS.
- FOUNDATION SILL PLATE ANCHORAGE.
- FLOOR INSULATION MAY BE SITE INSTALLED.
- POTABLE WATER SERVICE, MAIN SHUT OFF VALVE.
- OPENING PROTECTION IN WIND DEBRIS REGIONS I.E. WINDOWS, DOORS, SHUTTERS.
- PLAN REVIEW AND INSPECTION REQUIRED BY CHAPTER 633 F.S., TO BE HANDLED BY LOCAL FIRE INSPECTOR.
- ROOFING MATERIAL, EYE DRIP

MECHANICAL NOTES: 2001 FMC/FGC

- ALL SUPPLY AIR REGISTERS ARE ADJUSTABLE, EXCEPT WHERE OTHERWISE SPECIFIED.
- INTERIOR DOORS SHALL BE UNDERCUT 1.5" ABOVE FINISHED FLOOR FOR AIR RETURN AND/OR AS NOTED ON FLOOR PLAN.
- BATHROOM VENT FANS SHALL PROVIDE A MINIMUM OF 50 CFM.
- VENT FANS SHALL BE DUCTED TO THE EXTERIOR AND TERMINATE AT AN APPROVED VENT CAP.
- HVAC EQUIPMENT SHALL BE EQUIPPED WITH OUTSIDE FRESH AIR INTAKES PROVIDING 15 CFM FOR EACH OCCUPANT, OR 50 CFM FOR EACH WATER CLOSET AND EACH URINAL, WHICHEVER IS GREATER.

RIDGE BEAM CONSTRUCTION NOTES

- LVL F_b = 2600 PSI
- LVL OR OTHER SIMILAR MATERIAL MUST BE CONTINUOUS OVER CLEARSPAN(S).
- BEAMS SUPPORTED BY ENDWALL COLUMNS MUST EXTEND CONTINUOUS OVER COLUMNS TO EXTERIOR FACE OF ENDWALL.
- INSTALL (2x4) x 20" SFP #8 RIDGE BEAM BEARING STIFFENER OVER SUPPORT COLUMNS WHEN SPECIFIED ON FLOOR PLAN. FASTEN THE FACE OF THE STIFFENER TO THE RIDGE BEAM WITH 100% GLUE COVERAGE AND 8-15ga x 2 1/2" STAPLES.
- FASTEN ROOF SHEATHING INTO TOP EDGE OF BEAM TO PROVIDE CONTINUOUS LATERAL SUPPORT OF BEAM.

ELECTRICAL NOTES: 2002 NEC

- ALL CIRCUITS AND EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE APPROPRIATE ARTICLES OF THE NATIONAL ELECTRICAL CODE (NEC).
- WHEN LIGHT FIXTURES ARE INSTALLED IN CLOSETS THEY SHALL BE SURFACE MOUNTED OR RECESSED. INCANDESCENT FIXTURES SHALL HAVE COMPLETELY ENCLOSED LAMPS. SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 12" AND ALL OTHER FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 6" FROM "STORAGE AREA" AS DEFINED BY NEC 410-8(g).
- WHEN WATER HEATERS ARE INSTALLED TO THE WATER HEATERS SERVED, THE BRANCH ACCESSIBLE DISCONNECTS ADJACENT TO THE WATER HEATERS SERVED, THE BRANCH CIRCUIT SWITCH OR CIRCUIT BREAKER SHALL BE PERMITTED TO SERVE AS THE DISCONNECTING MEANS ONLY WHERE THE SWITCH OR CIRCUIT BREAKER IS WITHIN SIGHT FROM THE WATER HEATER OR IS CAPABLE OF BEING LOCKED IN THE OPEN POSITION.
- HVAC EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE EQUIPMENT SERVED. A UNIT SWITCH WITH A MARKED OFF POSITION THAT IS A PART OF THE HVAC EQUIPMENT AND DISCONNECTS ALL UNDERGROUND CONDUCTORS SHALL BE PERMITTED AS THE DISCONNECTING MEANS WHERE OTHER DISCONNECTING MEANS ARE ALSO PROVIDED BY A READILY ACCESSIBLE CIRCUIT BREAKER.
- PRIOR TO ENERGIZING THE ELECTRICAL SYSTEM THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DESIGNED AND VERIFIED AS BEING IN COMPLIANCE WITH SECTION 110-9 OF THE NEC BY LOCAL ELECTRICAL CONSULTANT.
- THE MAIN ELECTRICAL PANEL AND FEEDERS ARE DESIGNED BY OTHERS, SITE INSTALLED AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
- SMOKE DETECTORS SHALL BE WIRED SO THAT THE OPERATION OF ANY ONE SMOKE DETECTOR WILL CAUSE SIMULTANEOUS ACTIVATION OF ALL OTHERS.
- ALL CIRCUITS CROSSING OVER MODULE MATING LINE(S) SHALL BE SITE CONNECTED WITH APPROVED ACCESSIBLE JUNCTION BOXES OR CABLE CONNECTORS.
- 20 AMP WITH 12/2 WIRE MAY REPLACE 15 AMP 14/2 WIRE GENERAL LIGHTING CIRCUITS, AND 20 AMP 12/3 WIRE MAY REPLACE 15 AMP 14/3 WIRE, ON SMOKE DETECTOR CIRCUITS
- ARC-FAULT CIRCUIT INTERRUPTERS LISTED FOR PROTECTION OF THE ENTIRE BRANCH CIRCUIT INSTALLED ON ALL BEDROOM CIRCUITS.
- RECEPT, INSTALLED IN A WET EXTERIOR LOCATIONS SHALL BE IN A WEATHER PROOF ENCLOSURE. THE INTEGRITY OF WHICH IS NOT AFFECTED WHEN THE ATTACHMENT PLUG IS INSERTED OR REMOVED.

PLUMBING NOTES: 2001 FPC

- ALL PLUMBING FIXTURES SHALL HAVE SEPARATE SHUT-OFF VALVES.
- WATER HEATER SHALL HAVE SAFETY PAN WITH 1" DRAIN TO EXTERIOR, T & P RELIEF VALVE WITH DRAIN TO EXTERIOR, AND A SHUT OFF VALVE WITHIN 3'-0" ON A COLD WATER SUPPLY LINE.
- WATER PIPES INSTALLED IN A WALL EXPOSED TO THE EXTERIOR SHALL BE LOCATED ON THE HEATED SIDE OF THE WALL INSULATION. WATER PIPING INSTALLED IN AN UNCONDITIONED ATTIC SHALL BE INSULATED WITH AN INSULATION OF R-6.5 MIN.
- DWV SYSTEM SHALL BE EITHER ABS OR PVC - DWV.
- WATER SUPPLY LINES SHALL BE POLYBUTYLENE, CPVC, OR COPPER. WHEN POLYBUTYLENE SUPPLY LINES ARE INSTALLED THE MAX. WATER HEATER TEMPERATURE SETTING IS 180° F. THE POLYBUTYLENE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS LIMITATIONS AND INSTRUCTIONS.
- TUB ACCESS PROVIDED UNDER HOME, UNLESS OTHERWISE NOTED.
- SHOWER STALLS SHALL BE COVERED WITH NONABSORBENT MATERIAL TO A HEIGHT OF 70" ABOVE FINISH FLOOR.
- THERMAL EXPANSION DEVICE, IF REQUIRED BY WATER HEATER INSTALLED, AND IF NOT SHOWN ON PLUMBING PLAN, IS DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL APPROVAL.

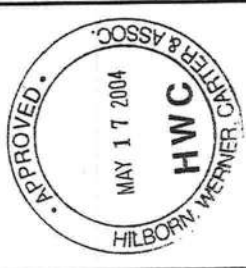
FOUNDATION:

IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF COMMUNITY AFFAIRS, THESE FOUNDATION PLANS CONTAIN FOUNDATION SUPPORT AND TIE DOWN SYSTEM DETAILS FROM THESE DESIGN PLANS THEN THE ARCHITECT / ENGINEER OF BUILDING PLANS SHOULD BE CONTACTED TO OBTAIN APPROPRIATE FOUNDATION PLANS. IF FOUNDATION PLANS ARE DESIGNED BY OTHERS, THE ARCHITECT / ENGINEER OF BUILDING PLANS SHALL NOT BE HELD RESPONSIBLE OR LIABLE FOR THE FOUNDATION DESIGN AND THE CONSEQUENTIAL PERFORMANCE OF THE SUPERSTRUCTURE'S STRUCTURAL COMPONENTS AND SYSTEMS RELATING THERE TO. THIS BUILDING IS ON A PERMANENT FOUNDATION AND IS NOT A HUD UNIT.

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MAY 17 2004

THIRD PARTY
HILBORN, WERNER, CARTER
1627 SOUTH WIRTH AVE
SUITE 200
CLEARWATER, FL 33756



HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

FLORIDA
DCA: DCA TYPICAL PACKAGE
Code: D (04)
Scale: N.T.S.
Dr'n: ROB
Date: 5-3-04
Revisions

Print
PAGE 2
GENERAL NOTES

ROBERT J. GREGG
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PAGE 2
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HOMES OF MERIT

P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

FLORIDA

HOME WITH STEEL FRAME

NOTES:

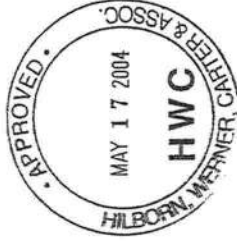
1. THE STEEL FRAME LOCATED UNDER THIS HOME IS FOR PERMANENT SET-UP AND NOT INTENDED FOR RELOCATING THE HOME AFTER INITIAL SET-UP.
2. ALL FOUNDATION CONSTRUCTION, MATERIALS, AND INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
3. TIE-DOWN STRAPS TO BE 1-1/4" X .035" TYPE-1, FINISH B, GRADE 1 ZINC COATED STEEL STRAPPING CONFORMING WITH ASTM D3953-91. TIE-DOWN STRAPS AND CONNECTING HARDWARE SHALL HAVE 3150# MINIMUM WORKING CAPACITY.
4. GROUND ANCHORS SHALL HAVE 3150# MINIMUM WORKING CAPACITY, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. DESIGN OF GROUND ANCHOR, INCLUDING SHAFT LENGTH, NUMBER AND DIAMETER OF HELICES, ETC., TO BE AS SPECIFIED BY THE GROUND ANCHOR MANUFACTURER FOR THE ACTUAL SOIL TYPE ENCOUNTERED. IF THE HOLDING OR PULLOUT CAPACITIES OF GROUND ANCHORS ARE BELOW THE VALUES SPECIFIED ABOVE A ARCHITECT/ENGINEER MUST BE CONSULTED FOR AN ALTERNATE ANCHORAGE DESIGN.
5. I-BEAM SUPPORT PIERS MAY BE INSTALLED Laterally (90° FROM THE ORIENTATION SHOWN ON THE FOUNDATION PLAN). MUST BE LOCATED DIRECTLY BELOW THE I-BEAM CENTERLINE.
6. INSTALL BLOCK PIER ON EACH SIDE OF ALL EXTERIOR DOOR OPENINGS. (MANUFACTURER'S RECOMMENDATION ONLY - OPTIONAL WHEN NOT SHOWN) SLIGHT ADJUSTMENT MAY BE REQUIRED TO INSURE OPENABILITY AFTER INSTALLATION OF BUILDING IS COMPLETE.
7. THE FIRST TIE-DOWN STRAP FROM ENDWALL SHALL NOT EXCEED 1/2 THE MAXIMUM SPACING INDICATED.
8. ALL PIERS SHALL BE CONSTRUCTED OF 8" X 8" X 16" CONCRETE MASONRY UNITS CONFORMING TO ASTM C90. MASONRY UNITS SHALL BE LAID IN TYPE M OR S MORTAR. PIER FOOTINGS SHALL BE DESCRIBED AS ABOVE.
9. ALL PIERS SHALL BE CAPPED WITH 2X8 SYP PRESSURE TREATED SILL PLATES. FULL LENGTH OF PIER.

THE FOLLOWING PRINTS ARE TO ONLY BE USED WHEN STEEL FRAME REMAINS ON HOME.

CROSS SECTION PAGE 4

BLOCK AND ANCHOR PAGE 5

FOUNDATION (SEE HOUSE PACKAGE PAGE 9)



THIRD PARTY

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MAY 17 2004



HOMES OF MERIT
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

PAGE 3
E5.2

Date: 5-5-04	Revisions	Cod#: FL-TYP3
D'n CP		
Scale: N.T.S.		
Code: D (04)		
Model: DCA TYPICAL PACKAGE	Print:	PAGE 3 ON FRAME

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GENERAL CROSS SECTION NOTES

1. ALL LAG SCREWS AND BOLTS MUST COMPLY WITH ASTM A307, ANS/ASME B 18.2.1
2. SEE FOUNDATION PLAN FOR PIER, FOUNDATION WALL AND THE DOWN SIZES, STORAGE LOCATIONS, ORIENTATIONS, AND THE DOWN SIZES.
3. SKY LITE OPTIONS, SEE FL ENERGY CALC'S FOR MAX. ALLOWABLE.

2x4 SQUARE FEET NET FREE AREA OF A.T.I.C. VENTILATION TO BE PROVIDED BY SOFFIT AND RIDGE VENTS/ROOF VENTS.

CEILING PITCH VARIES PER RAFTER PACKAGE

SEE H.V.A.C. PLAN FOR CEILING DUCT SPECIFICATIONS. BAFFLE INSTALLED TO KEEP BLOWN INSULATION FROM BLOCKING VENT AREA.

SOFFIT WITH VENT

SIMPSON RST-3 OR H-10 HURRICANE STRAP W/4-#9 x 1 1/2" WOOD SCREWS PER STRAP END. (TYPICAL SIDEWALL) OR EQUIVALENT

19/13 STUB-1-FLOOR 20 O.C. OR 19/22 O.S.B. EQUIVALENT.

BOTTOM PLATE 2x6 SFF #3

2x6 GA. x 1 1/2" STEEL STRAP FROM WALL STUD TO WALL STUD AND/OR FROM RIDGE BEAM TO WALL STUD AT 16" ON CENTER WITH 7-15 GA. STAPLES W/1" PEN. PER STRAP END. (TYPICAL SIDEWALLS & ENDWALLS)

DBL. RM. JOIST 2x8 SYP #2 W/ NO SPITS 5' >

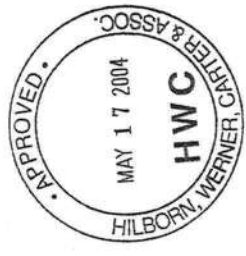
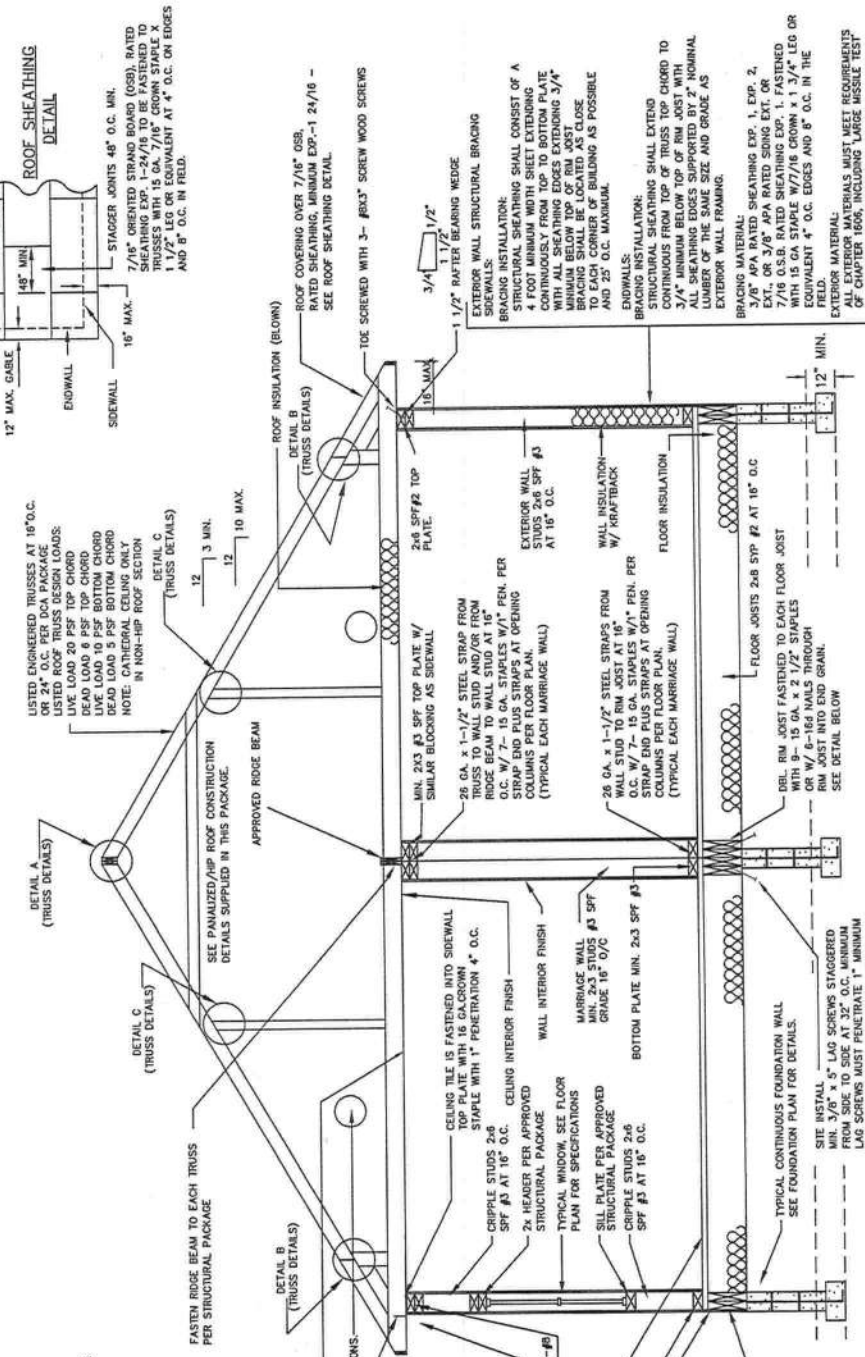
INTERIOR FINISH MATERIAL
 CEILING - 1/2" HIGH STRENGTH, REINFORCED TYPE OPSUM BOARD, APPROVED FOR WET FINISH APPLICATION, INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

WALL - 3/8" HIGH MINIMUM OPSUM BOARD OPSUM BOARD IN BATHROOMS. 3/8" MIN. GYP W/16" O/C STUDS 1/2" MIN. GYP W/24" O/C STUDS BATHROOM AND OTHER WET AREAS. CAULK, BLOCK AND FINISH MATERIALS MAY BE FIELD INSTALLED.

FLOOR - BLOCK TILE OR UNCLEM IN BATHROOM AND OTHER WET AREAS. CAULK, BLOCK AND FINISH MATERIALS MAY BE FIELD INSTALLED.

EXTERIOR FINISH MATERIAL
 ROOF - CERTAINTED FRESHSCREEN +2000 SHINGLES ASTM D3462, U/I 790, 897, MIAMI DADE ACCEPTED, (NO. 940316.15), TYPE I CLASS A. PERMANENTLY FASTENED TO STUDS AS INSTALLED PER MANUFACTURER'S SPECIFICATIONS. 15# FELT, 2 LAYERS FOR PITCHES UP TO 4/12 AND 1 LAYER FOR 4/12 AND STEEPER.

WALL - 5/8" 11-11 APA RATED PANEL SOUND OR VINYL HORIZONTAL LAP SOUND INSTALLED PER MANUFACTURER'S SPECIFICATIONS. BRICK VENEER, STUCCO, OR OTHER APPROVED FINISH SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL APPROVAL.



[Handwritten Signature]
 MAY 17 2004

THIRD PARTY
 HILBORN, WERNER, CARTER & ASSOCIATES
 1827 SOUTH WYRTLE AVE.
 CLEARWATER, FL 33756

HOMES OF MERIT, INC.
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 LAKE CITY, FLORIDA 32056

Date: 5-1-02	D'n ROB	Scale: N.T.S.	Code: D (04)	FLORIDA
Revisions				DCA: DCA TYPICAL PACKAGE
Cod#: FL-TYP4				Print: PAGE 4 CROSS SECTION

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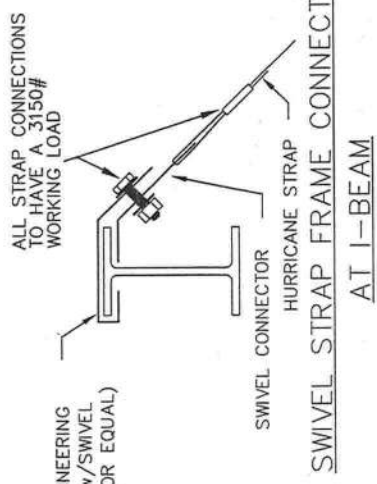
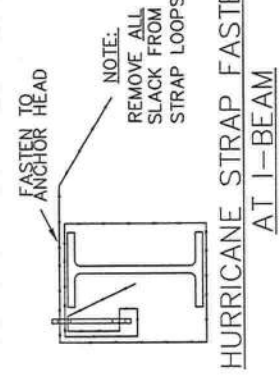
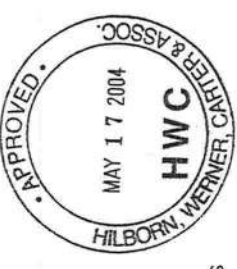
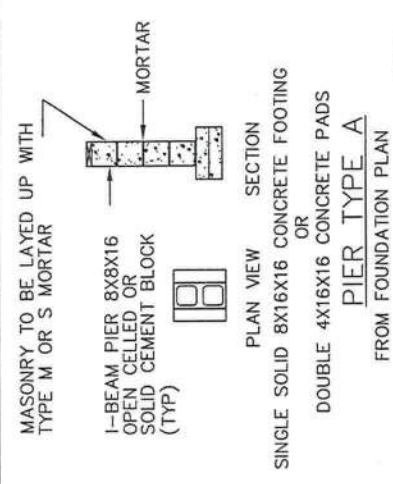
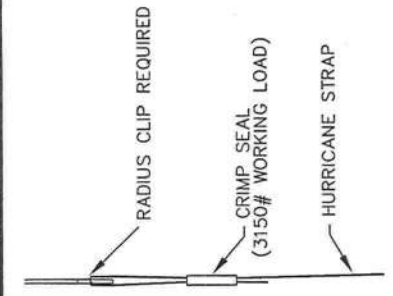
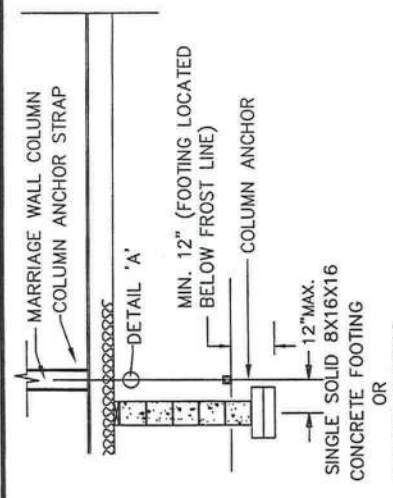


CHART-A

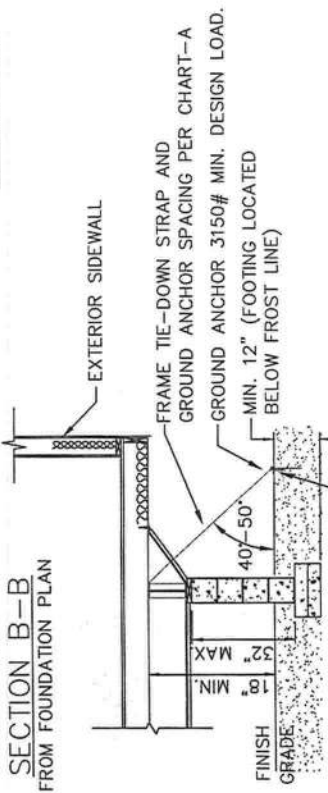
WIND SPEED ZONE(ENH/ALD)	ROOF PITCH							
	UP TO 4/12	INT	END	UP TO 7/12	INT	END	UP TO 10/12	INT
130 MPH	4'-0"	6'-7"	4'-4"	5'-6"	2'-11"	3'-8"		
120 MPH	5'-0"	8'-2"	5'-1"	6'-8"	3'-5"	4'-4"		
110 MPH	6'-4"	10'-3"	6'-2"	7'-11"	4'-1"	5'-2"		
100 MPH	8'-0"	12'-0"	7'-7"	9'-9"	5'-0"	6'-4"		



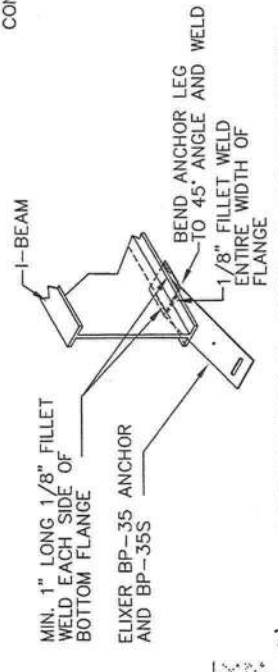
DETAIL 'A'



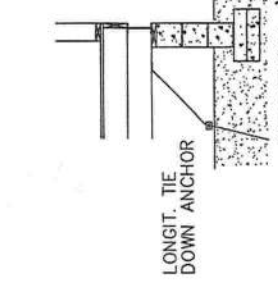
SECTION B-B FROM FOUNDATION PLAN



SECTION A-A FROM FOUNDATION PLAN



LONGITUDINAL STRAP CONNECTION



SECTION 'C-C'

[Handwritten Signature]
 MAY 17 2004



HOMES OF MERIT

P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

HOME WITHOUT STEEL FRAME

ROBERT E. GREGG
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630 CHESTNUT STREET
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Date: 5-5-04	Revisions	Cod#: FL-TYP6
Dr'n CP		
Scale: N.T.S.		
Code: D (04)		
Model: DCA TYPICAL PACKAGE	Print	PAGE 6 OFF-FRAME

HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056



PAGE 6
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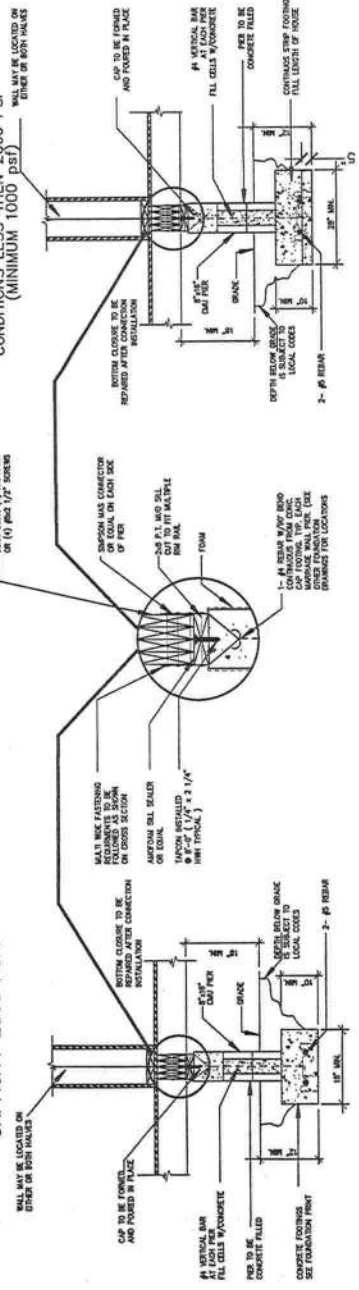
NOTES:

1. ALL FOUNDATION CONSTRUCTION, MATERIALS, AND INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
2. SOIL BEARING CAPACITY SHOWN ON THIS PLAN IS 2,000 PSF. IF THE ACTUAL SOIL BEARING CAPACITY IS LESS THAN 2,000 PSF, AN ARCHITECT/ENGINEER MUST BE CONSULTED FOR REQUIRED ALTERNATE FOUNDATION DESIGN. FOOTINGS SHALL BE PLACED ON NON-EXPANSIVE SOILS ONLY.
3. MINIMUM CONCRETE FOOTING COMPRESSIVE STRENGTH 2,500 PSI AT 28 DAYS.
4. ALL REINFORCEMENT BARS SHALL COMPLY WITH ASTM A615, GRADE 60. REINFORCEMENT BARS SHALL BE EQUALLY SPACED AND PLACED WITH 3" CLEARANCE FROM BOTTOM AND SIDES OF THE FOOTING. LAP SPLICES TO BE 48 BAR DIAMETERS.
5. MASONRY UNITS SHALL COMPLY WITH ASTM C90
6. MORTAR SHALL BE TYPE M OR S.

FOUNDATION NOTE:
THE FOLLOWING PRINTS ARE TO BE USED ONLY
WHEN STEEL FRAME IS REMOVED FROM HOME.

CROSS SECTION PAGE 7
DETAIL PAGE 8
FOUNDATION (SEE HOUSE PACKAGE PAGE 10)

STANDARD
MINIMUM SOIL BEARING
CAPACITY 2000 PSF.



THIRD PARTY
HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH WYATLE AVE.
CLEARWATER, FL 33756

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MAY 17 2004

GENERAL CROSS SECTION NOTES

- UNLESS OTHERWISE SPECIFIED, ALL STEEL I-BEAMS MUST COMPLY WITH ASTM A36, YIELD STRENGTH = 36 KSI
- ALL LAG SCREWS AND BOLTS MUST COMPLY WITH ASTM A307, A307B/A307C, B 18.2.
- SEE FOUNDATION PLAN FOR PIER, FOUNDATION WALL AND STORAGE LOCATIONS, ORIENTATIONS, AND SPECIFICATIONS.
- SKY LITE OPTIONS, SEE E.L. ENERGY CALC3 FOR MAX. ALLOWABLE.

2.8. SQUARE FEET NET FREE AREA OF ANY SKYLIGHTS TO BE PROVIDED BY SOUTH AND RIDGE VENTS/ROOF VENTS.

CEILING PITCH VARIES PER RAFTER PACKAGE

SEE H.V.A.C. PLAN FOR CEILING DUCT SPECIFICATIONS.

BAFFLE INSTALLED TO KEEP BLOWN INSULATION FROM BLOWING INTO VENT AREA.

SIMPSON RST-3 OR H-10 HURRICANE STRAP W/ 1/2" X 1/2" O.C. END STUDS AND 1/2" X 1/2" O.C. END STUDS (TYPICAL SIDEWALL OR ENDWALL) OR 19/32 O.S.B. EQUIVALENT.

19/32 STUDD-I-FLOOR 20 O.C.

CRIPPLE STUDS 2x6 SFF #3 AT 16" O/C

2x4 HEADER PER APPROVED STRUCTURAL PACKAGE

TYPICAL WINDOW, SEE FLOOR PLAN FOR SPECIFICATIONS

CELL PLATE PER APPROVED STRUCTURAL PACKAGE

CRIPPLE STUDS 2x6 SFF #3 AT 16" O/C

2x4 HEADER PER APPROVED STRUCTURAL PACKAGE

CEILING TILE IS FASTENED INTO SIDEWALL TOP PLATE WITH 16 GA. CROWN STAPLE WITH 1" PENETRATION 4" O.C.

MIN. 2x3 STUDS #3 SFF GRADE 18" O/C

MARRIAGE WALL

WALL INTERIOR FINISH

CEILING INTERIOR FINISH

MIN. 2x3 STUDS #3 SFF GRADE 18" O/C

26 GA. X 1-1/2" STEEL STRAP FROM RIDGE BEAM TO WALL STUD AT 16" O.C. W/ 7-16 OR 15 GA. STAPLES W/1" PEN. PER STRAP END PLUS STRAPS AT 16" O.C. (TYPICAL EACH MARRIAGE WALL)

26 GA. X 1-1/2" STEEL STRAP FROM WALL STUD TO RIM JOIST AT 16" O/C W/ 7-15 GA. STAPLES W/1" PEN. PER STRAP END PLUS STRAPS AT OPENING (TYPICAL EACH MARRIAGE WALL)

WALL INSULATION

FLOOR INSULATION

DOUBLE RIM JOIST FASTENED TO EACH FLOOR JOIST W/ 8-15ga. NAILS OR 1/2" STAPLES OR 1/4" NAILS THROUGH RIM JOIST INTO END GRAN. SEE DETAIL BELOW.

DBL. RIM JOIST FASTENING DETAIL

FASTEN INNER 2x8 RM TO JOIST W/ 3-16d NAILS OR 5-15ga. x 2 1/2" STAPLES.

OPTION: FASTEN INNER 2x10 RM TO JOIST W/ 8-16d NAILS OR 8-15ga. x 2 1/2" STAPLES.

2x8 JOIST (MIN.)

OUTER 2x8 RM FASTENED TO INNER RM W/ 12d NAILS OR 2" STAPLES OR 1/2" NAILS TO TOP AND BOTTOM.

OPTION: OUTER 2x10 RM FASTENED TO INNER RM W/ 16d NAILS x 2 1/2" STAPLES OR 8" O/C TOP AND BOTTOM.

INTERIOR FINISH MATERIAL

CEILING - 1/2 INCH, HIGH STRENGTH, REINFORCED TYPE GYPSUM BOARD PER MANUFACTURER'S FINISH APPLICATION.

WALL - 3/8 INCH MINIMUM GYPSUM BOARD OVER 1/2" MIN. GYPSUM W/ 24" O/C STUDS

FLOOR - BLOCK TILE OR UNCLEM IN BATHROOM AND OTHER WET AREAS. CARPET, BLOCK TILE, OR UNCLEM IN ALL OTHER AREAS. FLOOR FINISH MAY BE FIELD INSTALLED.

EXTERIOR FINISH MATERIAL

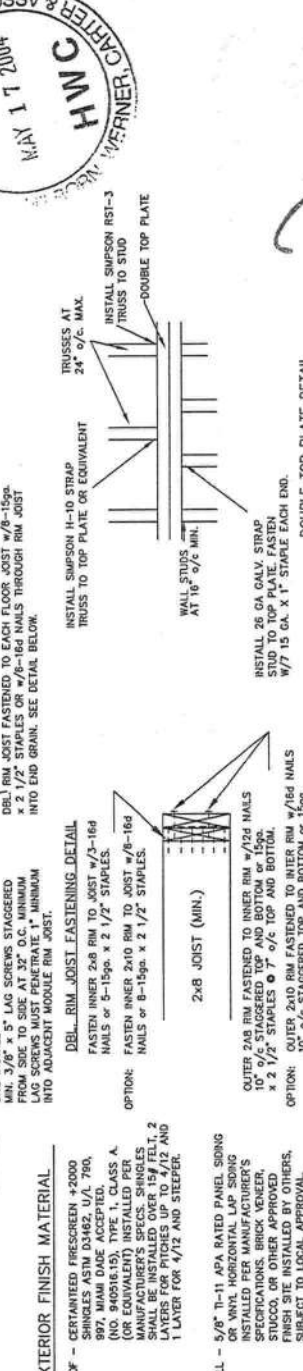
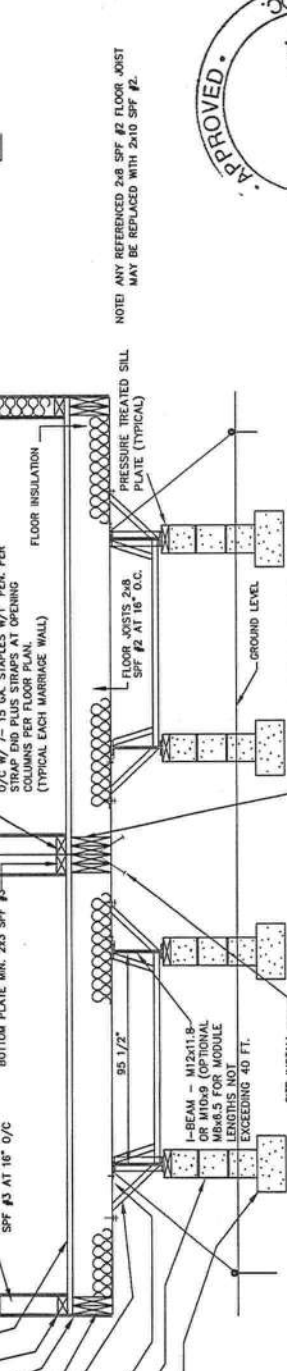
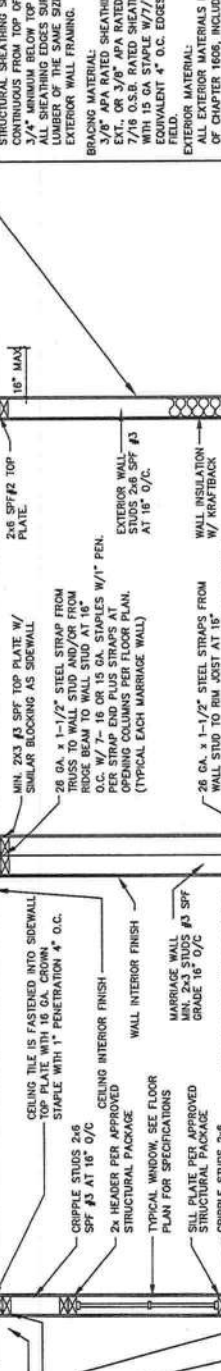
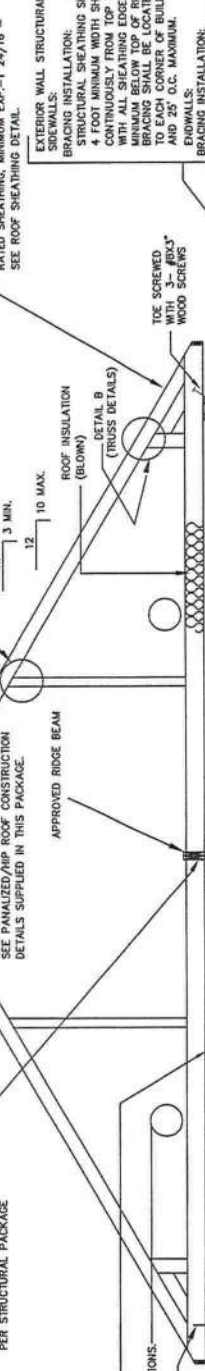
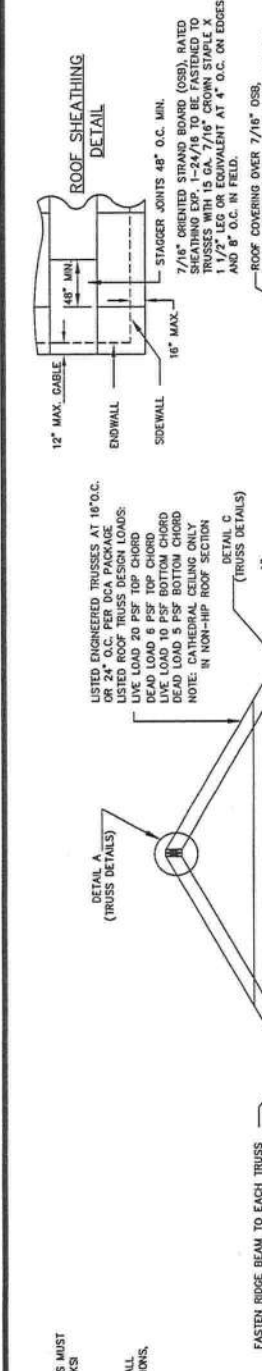
ROOF - CERTAINTED PRESGREEN #2000 SHINGLES ASTM D3682, U/L 760, 15 YEAR WARRANTY PER MANUFACTURER'S FINISH APPLICATION.

WALL - 5/8" T-11 APA RATED PANEL SING OR VINYL HORIZONTAL LAP SIDING INSTALLED PER MANUFACTURER'S SPECIFICATIONS. FINISH SITE INSTALLED BY OTHERS. SUBJECT TO LOCAL APPROVAL.

EXTERIOR FINISH MATERIAL

ROOF - CERTAINTED PRESGREEN #2000 SHINGLES ASTM D3682, U/L 760, 15 YEAR WARRANTY PER MANUFACTURER'S FINISH APPLICATION.

WALL - 5/8" T-11 APA RATED PANEL SING OR VINYL HORIZONTAL LAP SIDING INSTALLED PER MANUFACTURER'S SPECIFICATIONS. FINISH SITE INSTALLED BY OTHERS. SUBJECT TO LOCAL APPROVAL.



Model: DCA TYPICAL PACKAGE	Print: PAGE 7	ON - FRAME CROSS SECTION
Date: 5-3-04	Revisions	Cad#: FL-TYP7
D'n: ROB	Scale: N.T.S.	Code: D (04)
Florida		

HOMES OF MERRIT
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LAKE CITY, FLORIDA 32056

THIRD PARTY
HILBORN, MERRER, CARTER
1627 SOUTH WARTLE AVE.
CLEARWATER, FL 33756

APPROVED.
MAY 1 2004
HMC
HILBORN, MERRER, CARTER & ASSOC.

DATE: 5-3-04
SCALE: N.T.S.
CODE: D (04)

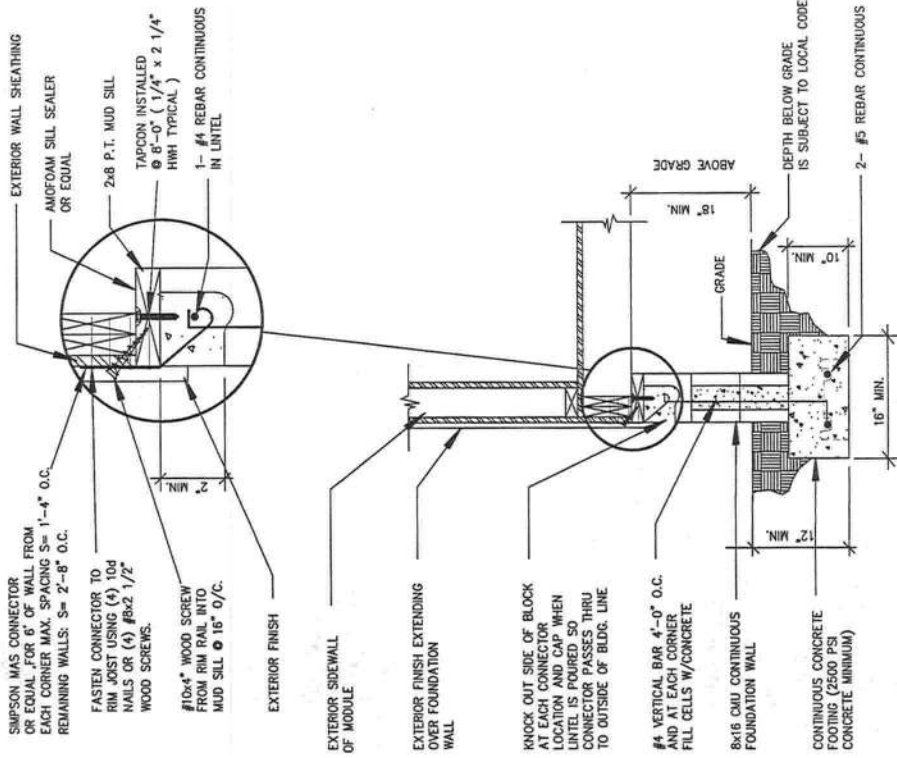
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MAY 17 2004

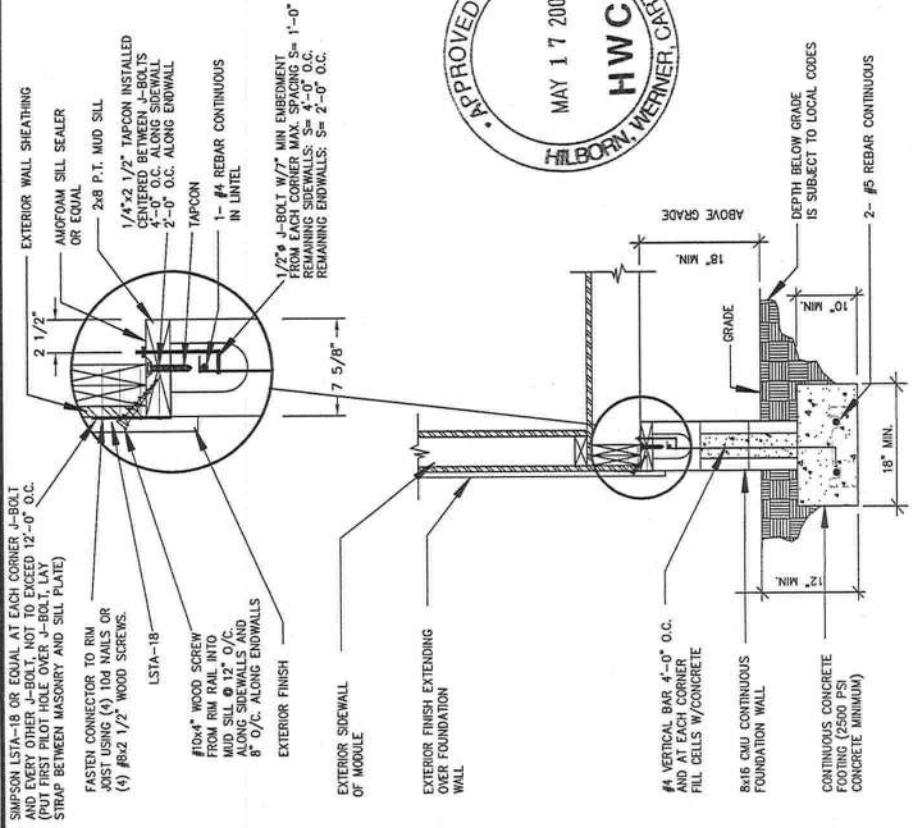
FLUSH SIDE WALL AND FOUNDATION WALL DETAILS

NOTE: FOUNDATION DESIGN IS IN ACCORDANCE WITH 2001 IRC CHAPTERS 16, 18, 19, & 21 AND IS BASED ON 130 MPH WIND.

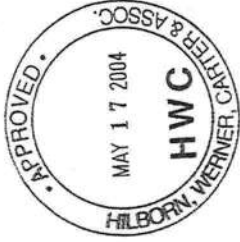
* OR EQUIVALENT



OPTION 1 USING SIMPSON* MAS MUDSILL



OPTION 2 USING 1/2" ϕ ANCHOR BOLTS & SIMPSON* LSTA-18



THIRD PARTY
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MAY 17 2004

Date: S-5-04	Dr'n: CP	Scale: N.T.S.	D (04)
Revisions:			
Cod# F-TYP8			
DCA: DCA TYPICAL PACKAGE		Print: PAGE 8	FLORIDA FOUNDATION DETAILS

HOMES OF MERIT, INC.
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FLORIDA	Model: DCA TYPICAL PACKAGE	Print: ENDWALL SECTION DETAILS
Code: D (04)		
Scale: N.T.S.		
Dr'n: ROB		
Date: 5-5-04	Revisions	Cad#: FL-TYP9

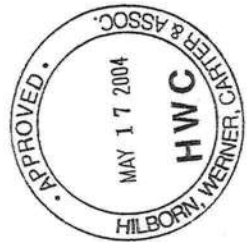
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PAGE 9
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PHONE: (727)-796-8774
FAX: (727)-791-6942

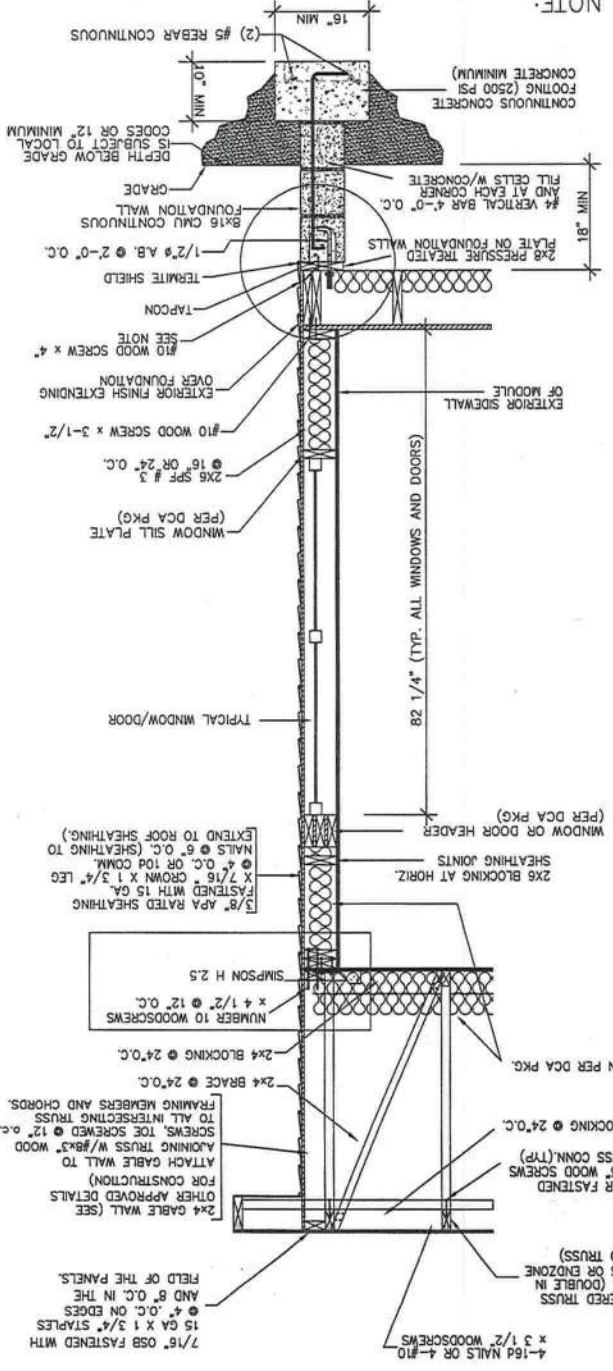
THIRD PARTY
HILBORN, WERNER, CARTER
& ASSOCIATES
1827 SOUTH MARTE AVE.
CLEARWATER, FL 33756



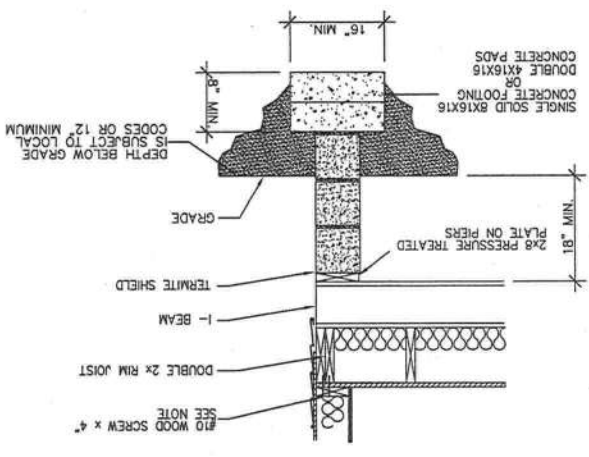
[Handwritten Signature]
MAY 17 2004

ENDWALL SECTION W/O FRAME

NOTE:
#10 WOOD SCREW x 4" (MIN. 1" PENETRATION INTO SILL PLATE)
SPACED 6" O.C. ALONG PERIMETER OF HOME.
TOE SCREW FROM FLOOR RIM RAIL TO SILL PLATE.

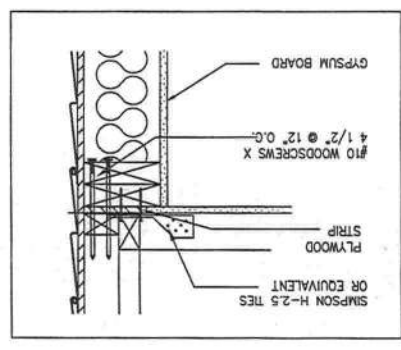
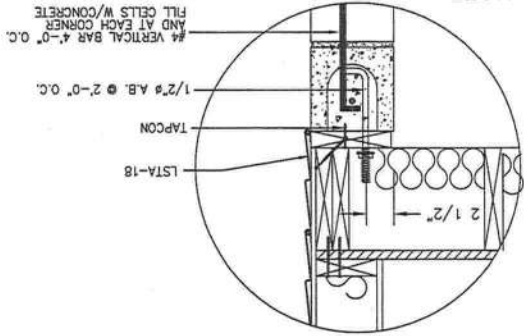


ENDWALL SECTION W/FRAME



ENDWALL SECTION DETAILS

NOTE:
J-BOLT WITH LSTA MAY BE REPLACED WITH
MUDSILL ANCHORS. SEE FOUNDATION PAGE
FOR DETAILS ON OPTION #1 OR OPTION #2.





HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date: 5-5-04	Revisions	Code: D (04)	FLORIDA
Dr'n CP		Scale: 3/16"=1'	DCA: DCA TYPICAL
			Print: PAGE 10
			TYP SUPPLY POTABLE WATER

THIRD PARTY
HILBORN, WERNER, CARTER & ASSOCIATES
1827 SOUTH MARTE AVE.
CLEARWATER, FL 33756



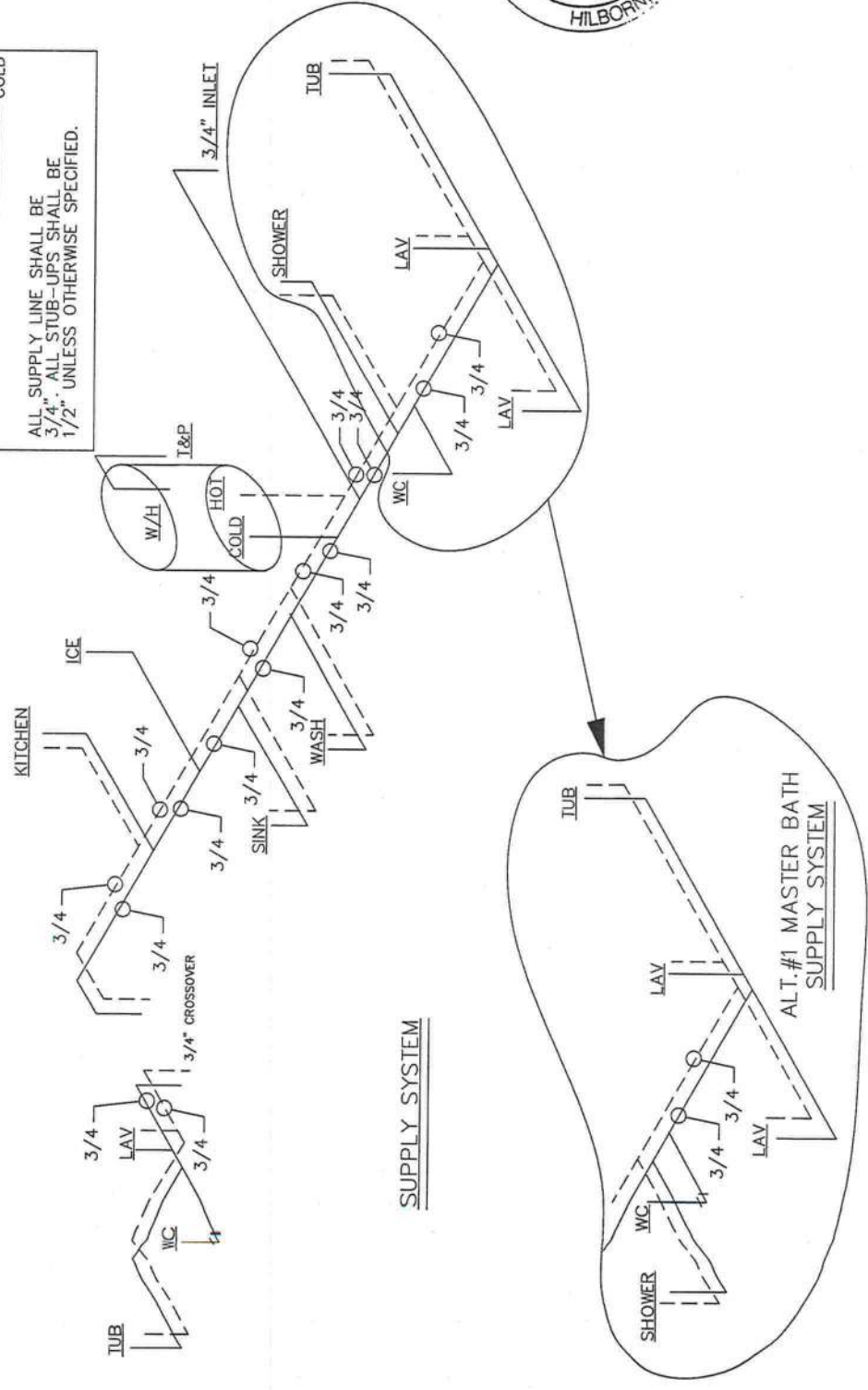
[Handwritten Signature]
MAY 17 2004

SUPPLY LINE SIZING IS BASED ON AN ASSUMED AVAILABLE PRESSURE OF 46 TO 60 PSI AT MAIN INLET, AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.

ALL SUPPLY LINE SHALL BE 3/4" - ALL STUB-UPS SHALL BE 1/2" UNLESS OTHERWISE SPECIFIED.

----- HOT
----- COLD

HOT WATER SUPPLY IS ON LEFT SIDE OF FIXTURE



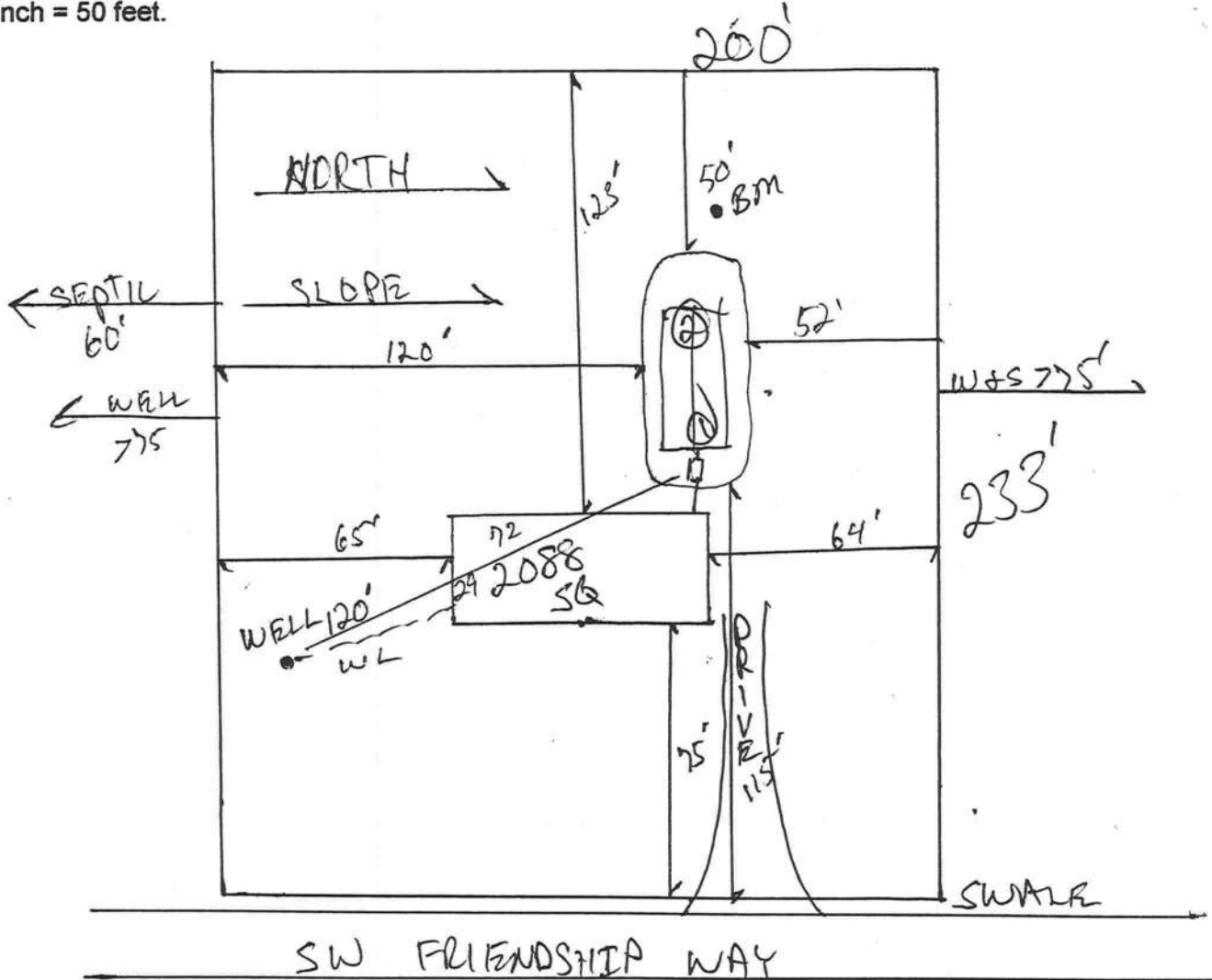
ROBERT E. GREGG
REGISTERED ARCHITECT
600 GREGG STREET
FL 33707
CLEARWATER, FL 33759
PHONE: (727)-796-8774
FAX: (727)-791-6942

**STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT**

Permit Application Number 05-0633

----- PART II - SITEPLAN -----

Scale: 1 inch = 50 feet.



Notes: _____

Site Plan submitted by: Rock D F
 Plan Approved Not Approved _____
 By M S L Columbia

MASTER CONTRACTOR
 Date 6-21-05
 County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

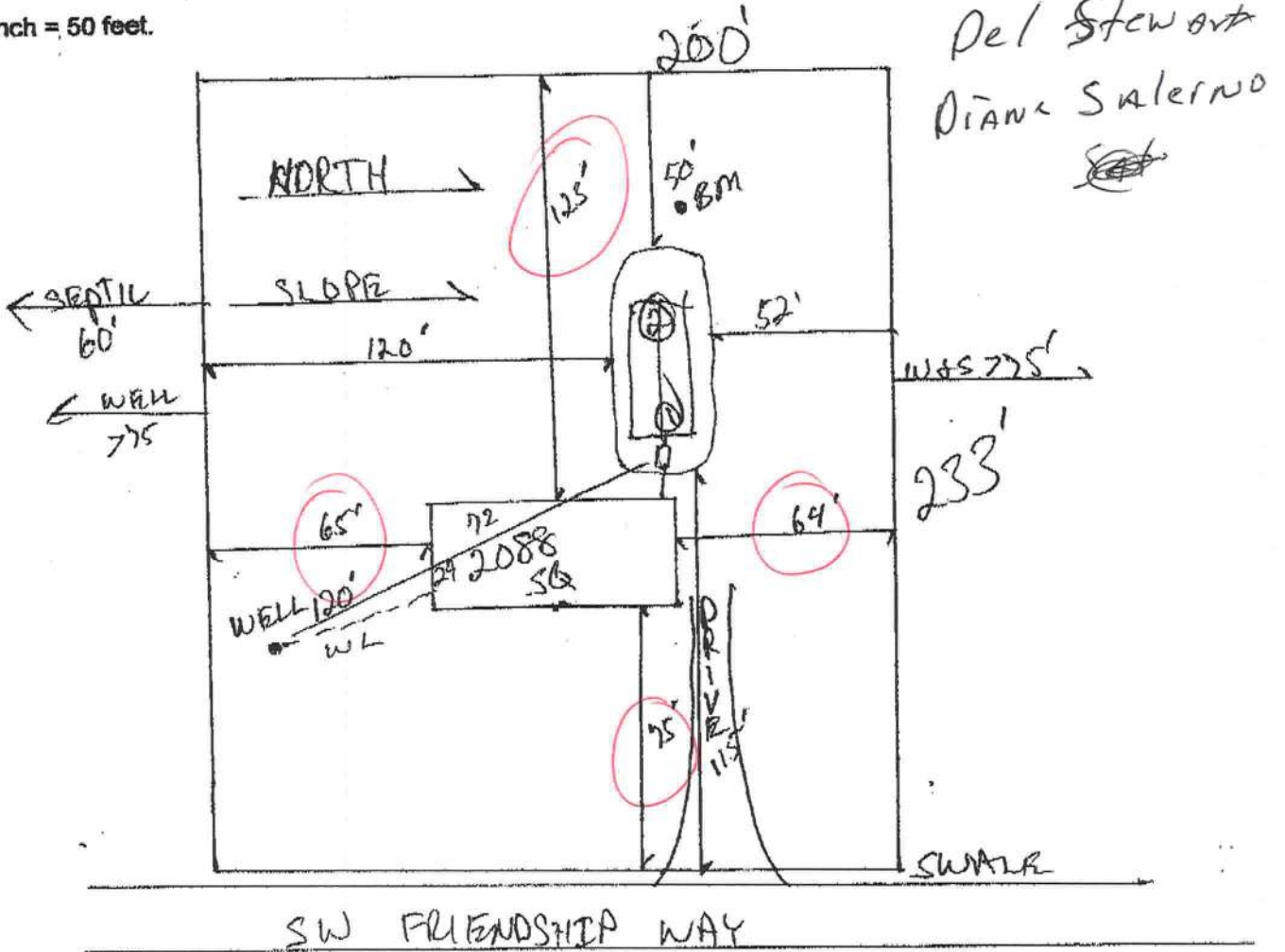
Blaine Estates

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number _____

----- PART II - SITEPLAN -----

Scale: 1 inch = 50 feet.



Notes: _____

Site Plan submitted by: *Rock D. F.*

MASTER CONTRACTOR

Plan Approved _____

Not Approved _____

Date _____

By _____ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

**Columbia County Building Department
Culvert Permit**

**Culvert Permit No.
000000733**

DATE 07/08/2005 PARCEL ID # 22-4S-16-03090-104
APPLICANT KEVIN BEDENBAUGH PHONE 938-5588
ADDRESS P.O. BOX 1416 LIVE OAK FL 32064
OWNER DEL STEWART/DIANE SALERNO PHONE _____
ADDRESS 248 SW FRIENDSHIP WAY LAKE CITY FL 32024
CONTRACTOR KEVIN BEDENBAUGH PHONE 386 938-5588
LOCATION OF PROPERTY 247S, TL ON 242, TL INTO BLAIRE ESTATES, 4TH LOT ON LEFT

SUBDIVISION/LOT/BLOCK/PHASE/UNIT BLANE ESTATES 4

SIGNATURE

Signature on file

INSTALLATION REQUIREMENTS

Culvert size will be 18 inches in diameter with a total length of 32 feet, leaving 24 feet of driving surface. Both ends will be mitered 4 foot with a 4 : 1 slope and poured with a 4 inch thick reinforced concrete slab.

INSTALLATION NOTE: Turnouts will be required as follows:

- a) a majority of the current and existing driveway turnouts are paved, or;
 - b) the driveway to be served will be paved or formed with concrete.
- Turnouts shall be concrete or paved a minimum of 12 feet wide or the width of the concrete or paved driveway, whichever is greater. The width shall conform to the current and existing paved or concreted turnouts.

Culvert installation shall conform to the approved site plan standards.

Department of Transportation Permit installation approved standards.

Other _____

**ALL PROPER SAFETY REQUIREMENTS SHOULD BE FOLLOWED
DURING THE INSTALATION OF THE CULVERT.**

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

Amount Paid 25.00



GENERAL CONTRACTORS
OF

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 22-4S-16-03090-104

Building permit No. 000023365

Use Classification MODULAR

Fire: 11.34

Permit Holder KEVIN BEDENBAUGH

Waste: 24.50

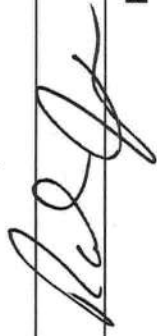
Owner of Building DEL STEWART/DIANE SALERNO

Total: 35.84

Location: 248 SW FRIENDSHIP WAY, BLAINE EST. LOT 4

PD 7-8-05

Date: 08/29/2005



Building Inspector



POST IN A CONSPICUOUS PLACE
(Business Places Only)