

DATE 04/29/2011

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT 000029363

APPLICANT M. RENEE KEITH PHONE 386.755.1647
ADDRESS 638 NW CLUBVIEW CIRCLE LAKE CITY FL 32055
OWNER CHARLES & M. RENEE KEITH PHONE 386.755.1647
ADDRESS 638 NW CLUBVIEW CIRCLE LAKE CITY FL 32055
CONTRACTOR CHARLES & M. RENEE KEITH PHONE 386.755.1647
LOCATION OF PROPERTY 90-W TO COMMERCE BLVD,TR TO FAIRWAY DR TO CLUBVIEW,TL AND IT'S FIRST R ON CLUBVIEW.
TYPE DEVELOPMENT DETACHED GARAGE ESTIMATED COST OF CONSTRUCTION 20000.00
HEATED FLOOR AREA TOTAL AREA 1120.00 HEIGHT STORIES
FOUNDATION CONC WALLS FRAMED ROOF PITCH 4'12 FLOOR CONC
LAND USE & ZONING RSF-2 MAX. HEIGHT 35
Minimum Set Back Requirements: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 27-3S-16-02346-024 SUBDIVISION CLUB VIEW PARK ...NORTH & SOUTH 1/2
LOT 9/10 BLOCK 2 PHASE UNIT TOTAL ACRES

OWNERS
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING X-11-030 BLK TC N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE. ACCESSORY USE.

Check # or Cash 2011

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
Under slab rough-in plumbing Slab Sheathing/Nailing
Framing Insulation
Rough-in plumbing above slab and below wood floor Electrical rough-in
Heat & Air Duct Peri. beam (Lintel) Pool
Permanent power C.O. Final Culvert
Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing
Reconnection RV Re-roof

BUILDING PERMIT FEE \$ 100.00 CERTIFICATION FEE \$ 5.60 SURCHARGE FEE \$ 5.60
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 186.20
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



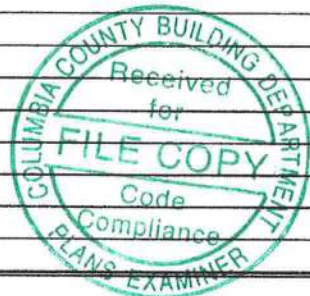
## PRODUCT APPROVAL SPECIFICATION SHEET

**Location:** 638 NW Clubview Cir

**Project Name:** Keth Garage

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at [www.floridabuilding.org](http://www.floridabuilding.org)

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>A. EXTERIOR DOORS</b>			
1. Swinging	ThermaTru	3 ft. door	8838.1
2. Sliding			
3. Sectional	Clopay	16' Garage	5684.3
4. Roll up			
5. Automatic			
6. Other			
<b>B. WINDOWS</b>			
1. Single hung	PGI Ind.	3' SH. Alum	239.5
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
<b>C. PANEL WALL</b>			
1. Siding	Certainteed	Exterior	1573.1
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
<b>D. ROOFING PRODUCTS</b>			
1. Asphalt Shingles	Owens Corning	3 tab	3663.2
2. Underlayments			
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			







THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID 04 230  
POST OFFICE BOX 1328  
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID  
POST OFFICE BOX 1328  
LAKE CITY, FL 32056-1328

Property Appraiser's  
Identification Number  
r02346-024

#### WARRANTY DEED

This Warranty Deed, made this 12th day of April, 2004, BETWEEN M.C. MONTGOMERY and JEAN MONTGOMERY, Husband and Wife whose post office address is Route 13, Box 567, Lake City, FL 32055, of the County of Columbia, State of Florida, grantor\*, and CHARLES G. KEITH and MISCHAEL R. KEITH, Husband and Wife whose post office address is 638 NW Clubview Circle, Lake City, Florida 32055, of the County of Columbia, State of Florida, grantee\*.

Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, trusts and trustees.

**Witnesseth:** that said grantor, for and in consideration of the sum of Ten Dollars (\$10.00), and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to wit:

North 1/2 of Lot 8 and the South 1/2 of Lot 10 in Block 2 of CLUBVIEW PARK, a subdivision according to the plat thereof as recorded in Plat Book 3, Page 102 of the public records of Columbia County, Florida.

ALSO

Lot 9 in Block 2 of CLUBVIEW PARK, a subdivision according to the plat thereof as recorded in Plat Book 3, Page 102 of the public records of Columbia County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And subject to taxes for the current year and later years and all valid easements and restrictions of record, if any, which are not hereby reimposed; and also subject to any claim, right, title or interest arising from any recorded instrument reserving, conveying, leasing, or otherwise alienating any interest in the oil, gas and other minerals. And grantor warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, subject only to the exceptions set forth herein.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered  
in our presence:

*Lisa C Ogburn*  
(Signature of First Witness)  
Lisa C. Ogburn  
(Typed Name of First Witness)

*DeEtte F. Brown*  
(Signature of Second Witness)  
DeEtte F. Brown  
(Typed Name of Second Witness)

*M.C. Montgomery* (SEAL)  
Grantor  
M.C. MONTGOMERY  
Printed Name

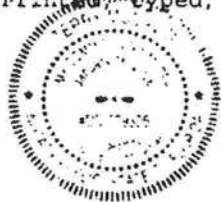
*Jean Montgomery* (SEAL)  
Grantor  
JEAN MONTGOMERY  
Printed Name

STATE OF Florida  
COUNTY OF Columbia

The foregoing instrument was acknowledged before me this 12<sup>th</sup>  
day of April, 2004, by M.C. MONTGOMERY and JEAN MONTGOMERY, Husband  
and Wife who are personally known to me or who have produced  
\_\_\_\_\_ as identification and who did not take an oath.

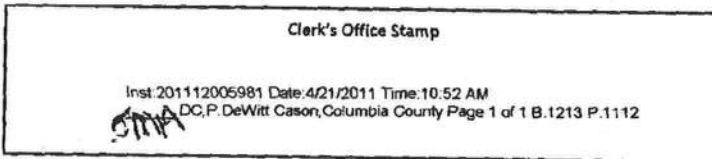
My Commission Expires:

*[Signature]*  
Notary Public  
Printed, typed, or stamped name:



### NOTICE OF COMMENCEMENT

Tax Parcel Identification Number: \_\_\_\_\_



THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): N 1/2 of Lot 8, Lot 9 and S 1/2 of Lot 10, Block 2 Clubview Park S/D  
 a) Street (job) Address: 638 NW Clubview Dr.
2. General description of improvements: 1100(+) sq. ft Enclosed garage
3. Owner Information
  - a) Name and address: Charles or Renee Keith
  - b) Name and address of fee simple titleholder (if other than owner) \_\_\_\_\_
  - c) Interest in property \_\_\_\_\_
4. Contractor Information
  - a) Name and address: Owner/builder
  - b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
5. Surety Information
  - a) Name and address: N/A
  - b) Amount of Bond: \_\_\_\_\_
  - c) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
6. Lender
  - a) Name and address: N/A
  - b) Phone No. \_\_\_\_\_
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
  - a) Name and address: \_\_\_\_\_
  - b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
  - a) Name and address: \_\_\_\_\_
  - b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

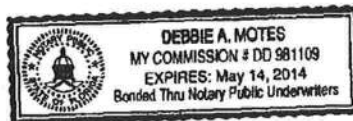
STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. Mischael R Keith  
 Signature of Owner or Owner's Authorized Office/Director/Partner/Manager  
Mischael R. Keith  
 Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 23<sup>rd</sup> day of March, 2011, by:  
 \_\_\_\_\_ as owner (type of authority, e.g. officer, trustee, attorney fact) for \_\_\_\_\_ (name of party on behalf of whom instrument was executed).

Personally Known  OR Produced Identification \_\_\_\_\_ Type \_\_\_\_\_

Notary Signature Debbie A. Motes Notary Stamp or Seal:



11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Mischael R. Keith  
 Signature of Natural Person Signing (in line #10 above.)

# Columbia County Property Appraiser

2010 Tax Year

DB Last Updated: 3/22/2011

Parcel: 27-3S-16-02346-024

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

<< Next Lower Parcel

Next Higher Parcel >>

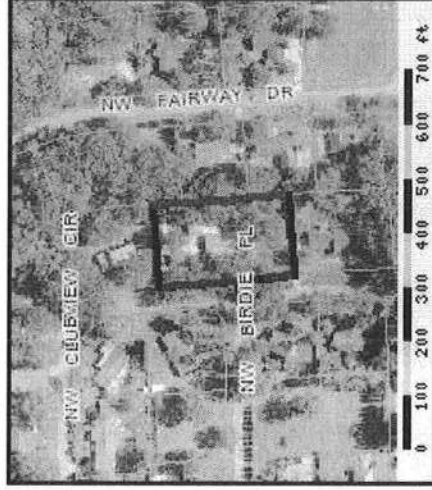
Interactive GIS Map

Print

## Owner & Property Info

Search Result: 1 of 1

<b>Owner's Name</b>	KEITH CHARLES G & MISCHAEL R		
<b>Mailing Address</b>	638 NW CLUBVIEW CIRCLE LAKE CITY, FL 32055		
<b>Site Address</b>	638 NW CLUBVIEW CR		
<b>Use Desc. (code)</b>	SINGLE FAM (000100)		
<b>Tax District</b>	2 (County)	<b>Neighborhood</b>	27316
<b>Land Area</b>	0.000 ACRES	<b>Market Area</b>	06
<b>Description</b>	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
LOT 9 & N1/2 OF LOT 8 & S1/2 OF LOT 10 BLOCK 2 CLUB VIEW PARK S/D. ORB 701-143. 822-047, WD 1012-378.			



## Property & Assessment Values

2010 Certified Values	
Mkt Land Value	cnt: (0) \$42,962.00
Ag Land Value	cnt: (1) \$0.00
Building Value	cnt: (1) \$85,195.00
XFOB Value	cnt: (5) \$9,405.00
<b>Total Appraised Value</b>	\$137,562.00
Just Value	\$137,562.00
Class Value	\$0.00
Assessed Value	\$137,562.00
Exempt Value	(code: HX) \$50,000.00
<b>Total Taxable Value</b>	Other: \$87,562   SchI: \$112,562

## 2011 Working Values

**NOTE:**  
2011 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

## Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
4/12/2004	1012/378	WD	I	Q		\$132,000.00
5/15/1996	822/47	WD	I	Q		\$110,000.00
10/10/1988	666/79	WD	I	Q		\$76,000.00
7/1/1984	543/597	WD	I	Q		\$65,000.00





1107-45



2011

Columbia County Building Permit Application

For Office Use Only Application # 1104-45 Date Received 4/21/11 By LT Permit # 29363  
 Zoning Official BLK Date 29.04.11 Flood Zone X Land Use RES. Low DEN. Zoning RSF-2  
 FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner T.C. Date 4-22-11  
 Comments \_\_\_\_\_  
 NOC  EH  Deed or PA  Site Plan  State Road Info  Well letter  911 Sheet  Parent Parcel # \_\_\_\_\_  
 Dev Permit # \_\_\_\_\_  In Floodway  Letter of Auth. from Contractor  F W Comp. letter  
 IMPACT FEES: EMS \_\_\_\_\_ Fire \_\_\_\_\_ Corr \_\_\_\_\_  Sub VF Form  Liab - Robby Peasck  
 Road/Code \_\_\_\_\_ School N/A = TOTAL (Suspended)  App Fee Paid

Septic Permit No. X11-030 *Accessory Use* Cell # 623-0153  
 Name Authorized Person Signing Permit Renee Keith Phone 386-755-1647 *After 6 PM*  
 Address 638 NW Clubview Cir Lake City, FL 32055  
 Owners Name Charles or Renee Keith Phone \_\_\_\_\_  
 911 Address 638 NW Clubview Cir Lake City, FL 32055  
 Contractors Name N/A Owner Builder Phone \_\_\_\_\_  
 Address \_\_\_\_\_

Fee Simple Owner Name & Address \_\_\_\_\_  
 Bonding Co. Name & Address N/A  
 Architect/Engineer Name & Address William H. Freeman 128 SW Nassau, L.C.  
 Mortgage Lenders Name & Address N/A

Circle the correct power company FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 27-35-16-02346-024 Estimated Cost of Construction 20,000.00  
 Subdivision Name Club View Park Lot 10 Block 2 Unit \_\_\_\_\_ Phase \_\_\_\_\_  
 Driving Directions W on 90, Turn Right on NW Commerce Dr.  
Continue onto NW Fairway, Turn Left @ NW Clubview  
Take 1st R on Clubview Number of Existing Dwellings on Property 1

Construction of Enclosed Garage Detached Total Acreage \_\_\_\_\_ Lot Size \_\_\_\_\_  
 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height \_\_\_\_\_  
 Actual Distance of Structure from Property Lines - Front 88.9 Side 10 Side 21.6' Rear 15  
 Number of Stories 1 Heated Floor Area \_\_\_\_\_ Total Floor Area 1104 sq. Roof Pitch 4/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code. Page 1 of 2 (Both Pages must be submitted together.) Revised 1-11

*JW Done w/ Renee 4.29.11*



## **COLUMBIA COUNTY BUILDING DEPARTMENT**

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

### **OWNER BUILDER DISCLOSURE STATEMENT**

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.



I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myflorida.com/dbpr/pro/cilb/index.html> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

638 NW Clubview Circle, Lake City, FL 32055

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.





**Columbia County Building Permit Application**

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

Michael R. Keith  
Owners Signature

\*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

\_\_\_\_\_  
Contractor's Signature (Permitee)

Contractor's License Number \_\_\_\_\_  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this \_\_\_\_ day of \_\_\_\_\_ 20\_\_.  
Personally known \_\_\_\_\_ or Produced Identification \_\_\_\_\_

\_\_\_\_\_  
State of Florida Notary Signature (For the Contractor)

SEAL:



**SUBCONTRACTOR VERIFICATION FORM**

APPLICATION NUMBER 1104-45 CONTRACTOR Owner build PHONE 755-1647

**THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT**

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

**Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.**

<b>ELECTRICAL</b>	Print Name <u>Owner</u> Signature <u>Renee Keith</u> License #: _____ Phone #: _____
<b>MECHANICAL/A/C</b>	Print Name <u>Owner</u> Signature <u>Renee Keith</u> License #: _____ Phone #: _____
<b>PLUMBING/GAS</b>	Print Name <u>Owner</u> Signature <u>Renee Keith</u> License #: _____ Phone #: _____
<b>ROOFING</b> 201	Print Name <u>Robert Feasel</u> Signature <u>Robert Feasel</u> License #: <u>RC0032600</u> Phone #: <u>386-755-5137</u>
<b>SHEET METAL</b>	Print Name _____ Signature _____ License #: _____ Phone #: _____
<b>FIRE SYSTEM/SPRINKLER</b>	Print Name <u>N/A</u> Signature _____ License #: _____ Phone #: _____
<b>SOLAR</b>	Print Name _____ Signature _____ License #: _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON	000097	Kenneth Lowden	<u>Kenneth Lowden</u>
CONCRETE FINISHER	000218	TONY E JORDAN SR	<u>Tony E Jordan Sr</u>
FRAMING 289	RG0066597	John D Morris	<u>John D Morris</u>
INSULATION	Owner	Renee Keith	<u>Renee Keith</u>
STUCCO Handic	RG0066597	John D Morris	<u>John D Morris</u>
DRYWALL	Owner	Renee Keith	<u>Renee Keith</u>
PLASTER	N/A		
CABINET INSTALLER	N/A		
PAINTING	Owner	Renee Keith	<u>Renee Keith</u>
ACOUSTICAL CEILING	N/A		
GLASS	N/A		
CERAMIC TILE	N/A		
FLOOR COVERING	N/A		
ALUM/VINYL SIDING	N/A		
GARAGE DOOR	Owner	Renee Keith	<u>Renee Keith</u>
METAL BLDG ERECTOR	N/A		

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



# ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844  
Florida Engineering Certificate of Authorization Number: 0 278  
Florida Certificate of Product Approval # FL1999  
Page 1 of 1 Document ID: IUAM487-Z0228150942



Truss Fabricator: Anderson Truss Company  
Job Identification: 11-063--Fill in later FREEMAN DESIGNS/KEITH -- , \*\*  
Truss Count: 3  
Model Code: Florida Building Code 2007 and 2009 Supplement  
Truss Criteria: FBC2007Res/TPI-2002(STD)  
Engineering Software: Alpine Software, Version 9.05.  
Structural Engineer of Record: The identity of the structural EOR did not exist as of  
Address: the seal date per section 61G15-31.003(5a) of the FAC  
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration  
Floor - N/A  
Wind - 110 MPH ASCE 7-05 -Closed

#### Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

William H. Krick  
-Truss Design Engineer-

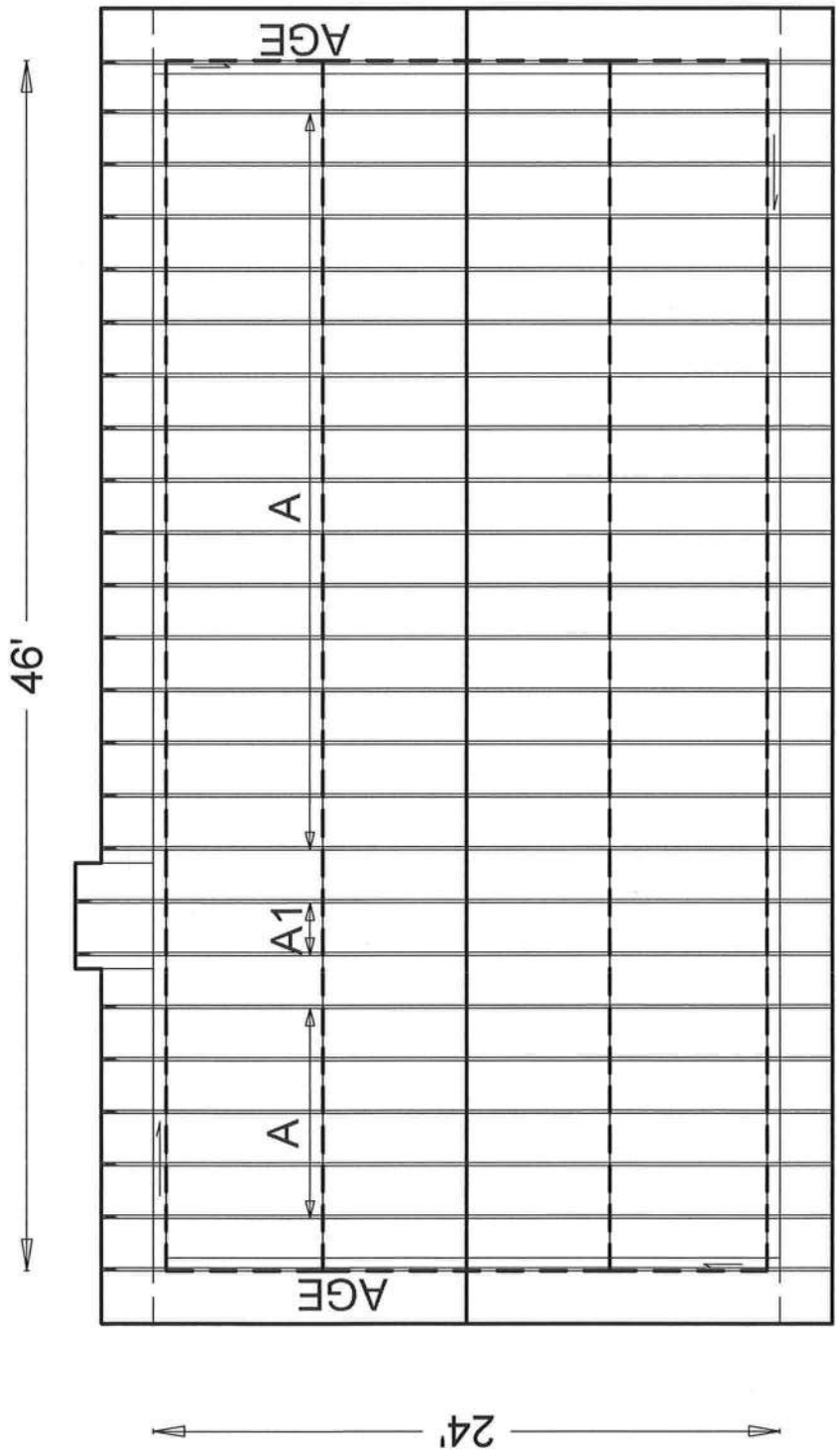
1950 Marley Drive  
Haines City, FL 33844

Details: A1101505-GBLLETIN-

#	Ref	Description	Drawing#	Date
1	67484--A		11087002	03/28/11
2	67485--A1		11087003	03/28/11
3	67486--AGE		11087001	03/28/11



Roof Plane Sheathing Area = 1476 sq. ft



# FREEMAN DESIGNS/KEITH GARAGE

JOB DESCRIPTION: Fill in later  
/; FREEMAN DESIGNS/KEITH

JOB NO:  
11-063

PAGE NO:  
1 OF 1



(11-063--Fill in later FREEMAN DESIGNS/KEITH -- \*\* - A)

Top chord 2x4 SP #2 Dense  
 Bot chord 2x4 SP #2 Dense  
 Webs 2x4 SP #3

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, Exp B, wind TC DL-5.0 psf, wind BC DL-5.0 psf. Iw=1.00 GCpi (+/-)=0.18

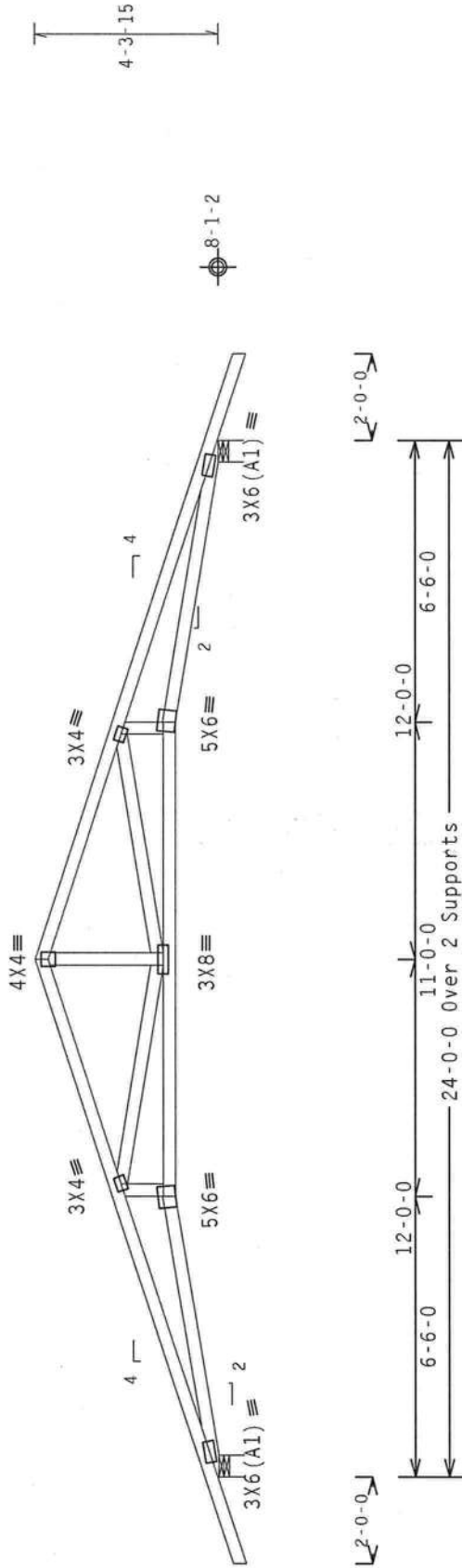
Roof overhang supports 2.00 psf soffit load.

Wind reactions based on MMFRS pressures.

Calculated horizontal deflection is 0.15" due to live load and 0.15" due to dead load.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.



R-1105 U-123 W-6"  
 RL-97/-97

R-1105 U-123 W-6"

PLT TYP. Wave

Design Crit: FBC2007Res/TPI-2002  
 FT/RT=10%(0%)/0(0)

QTY: 20 FL/-/4/-/R/-

Scale = .25"/Ft.

TC LL	20.0 PSF	REF	R487 -- 67484
TC DL	10.0 PSF	DATE	03/28/11
BC DL	10.0 PSF	DRW	HCUSR487 11087002
BC LL	0.0 PSF	HC-ENG	TCE/AP *
TOT.LD.	40.0 PSF	SEQN-	192983
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	IUAM487_Z02

WILLIAM H. KRICK  
 LICENSE NO. 70867  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 03/28/2011

9.05.03.0819.117  
 NO. 70867

WARNING: TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BEST BUILDING COMPONENT SAFETY INFORMATION PUBLISHED BY TPI CROSS PLATFORMS, INC. FOR ALL TRUSS DESIGN CONSIDERATIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

IMPORTANT: FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITM BCG SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH THIS DESIGN SHALL BE THE RESPONSIBILITY OF THE INSTALLATION CONTRACTOR. REFER TO BEST BUILDING COMPONENT SAFETY INFORMATION PUBLISHED BY TPI CROSS PLATFORMS, INC. FOR ALL TRUSS DESIGN CONSIDERATIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEX A3 OF TPI-2002 SEC.3. A SEAL SHALL BE DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.

ALPINE

ITW Building Components Group Inc.  
 Haines City, FL 33844  
 FL COA #0278

(11-063--Fill in later FREEMAN DESIGNS/KEITH -- \*\* - A1)

Top chord 2x4 SP #2 Dense  
Bot chord 2x4 SP #2 Dense  
Webs 2x4 SP #3

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 Gcpi(+/-)=0.18

Roof overhang supports 2.00 psf soffit load.

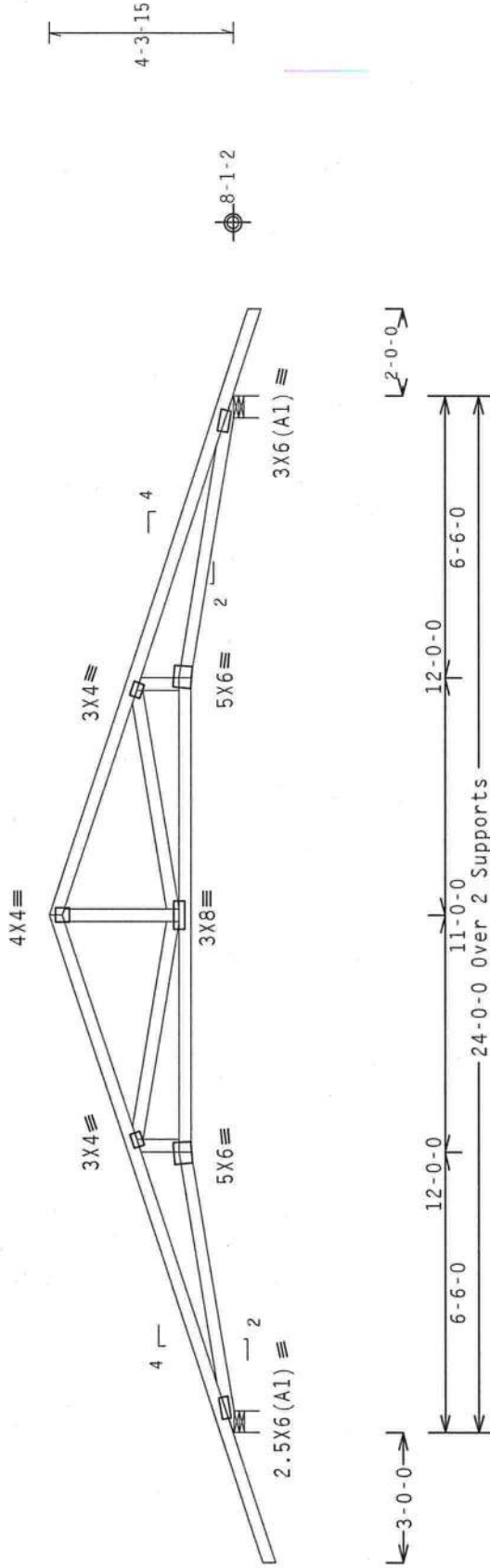
Wind reactions based on MMFRS pressures.

Calculated horizontal deflection is 0.15" due to live load and 0.14" due to dead load.

Bottom chord checked for 10.00 psf non-concurrent live load.

MMFRS loads based on trusses located at least 7.50 ft. from roof edge.

Deflection meets L/240 live and L/180 total load.



R-1178 U-137 W-6"  
RL-102/-105

R-1098 U-121 W-6"

PLT TYP. Wave

Design Crit: FBC2007Res/TPI-2002  
FT/RT=10%(0%)/0(0)

QTY: 2

Scale = .25" / Ft.



**ALPINE**

**ITW Building Components Group Inc.**  
Haines City, FL 33844  
FL COA #0278

TC LL	20.0 PSF	REF	R487 -- 67485
TC DL	10.0 PSF	DATE	03/28/11
BC DL	10.0 PSF	DRW	HCUSR487 11087003
BC LL	0.0 PSF	HC-ENG	TCE/AP
TOT.LD.	40.0 PSF	SEQN-	192988
DUR.FAC.	1.25	JREF-	1UAM487_Z02
SPACING	24.0"		

**\*\*WARNING\*\*** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. ITM BUILDING CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN COMPLIANCE WITH THIS DESIGN SHALL BE THE RESPONSIBILITY OF THE INSTALLER. REFER TO EACH BUILDING COMPONENT INFORMATION, INCLUDING THE ITM BUILDING CONTRACTOR'S INSTALLATION MANUAL, FOR ALL APPLICABLE PROVISIONS OF THE NATIONAL DESIGN SPEC. BY AIA/ASA AND TPI-2002. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF THE NATIONAL DESIGN SPEC. BY AIA/ASA AND TPI-2002. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

**\*\*IMPORTANT\*\*** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITM BUILDING CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN COMPLIANCE WITH THIS DESIGN SHALL BE THE RESPONSIBILITY OF THE INSTALLER. REFER TO EACH BUILDING COMPONENT INFORMATION, INCLUDING THE ITM BUILDING CONTRACTOR'S INSTALLATION MANUAL, FOR ALL APPLICABLE PROVISIONS OF THE NATIONAL DESIGN SPEC. BY AIA/ASA AND TPI-2002. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF THE NATIONAL DESIGN SPEC. BY AIA/ASA AND TPI-2002. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEX A3 OF TPI-2002 SEC.3. A SEAL SHALL BE OBTAINED FROM THE DESIGNER INDICATING ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.

03/28/2011



(11-063--F11) in later FREEMAN DESIGNS/KEITH -- \*\* - AGE)

Top chord 2x4 SP #2 Dense  
Bot chord 2x4 SP #2 Dense  
Webs 2x4 SP #3

:Stack Chord SC1 2x4 SP #2 Dense::Stack Chord SC2 2x4 SP #2 Dense:

Roof overhang supports 2.00 psf soffit load.

See DWGS A11015050109 & 68LLETIN0109 for more requirements.

Stacked top chord must NOT be notched or cut in area (NNL). Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.

The Building Designer is responsible for the design of the roof and ceiling diaphragms, gable end shear walls, and supporting shear walls. Shear walls must provide continuous lateral restraint to the gable end. All connections to be designed by the Building Designer.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. IW=1.00 GCPI(+/-)=0.18

Wind reactions based on MMFRS pressures.

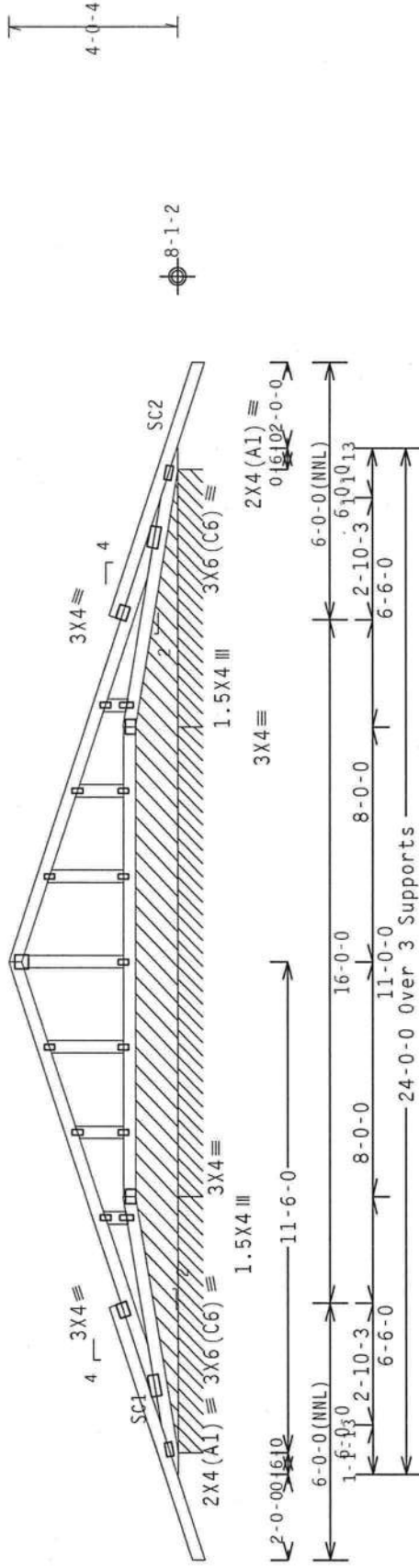
Truss spaced at 24.0" OC designed to support 2-0-0 top chord outlookers. Cladding load shall not exceed 10.00 PSF. Top chord must not be cut or notched.

In lieu of structural panels use purlins to brace TC @ 24" OC.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.

4X4



R-205 PLF U=46 PLF W=6-0-0  
RL=32/-32 PLF  
R=147 PLF U=25 PLF W=11-0-0

Design Crit: FBC2007Res/TPI-2002  
FT/RT=10%(0%)/0(0)

Note: All Plates Are 1.5X3 Except As Shown.

PLT TYP. Wave

QTY: 2

Scale = .25" / Ft.

TC LL	20.0 PSF	REF	R487-- 67486
TC DL	10.0 PSF	DATE	03/28/11
BC DL	10.0 PSF	DRW	HCUR487 11087001
BC LL	0.0 PSF	HC-ENG	TCE/AP
TOT.LD.	40.0 PSF	SEQN-	192996
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1UAM487_Z02

ALPINE  
ITW Building Components Group Inc.  
Haines City, FL 33844  
FL COA #0278

PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
LITIAN H. KRICK  
LICENSE NO. 48087  
9.05.03.0819.12  
M-6-0-0

WARNING: TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. ITW BUILDING COMPONENTS SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN COMPLIANCE WITH THE DESIGN SHALL BE THE RESPONSIBILITY OF THE INSTALLER. REFER TO BUILDING COMPONENTS GROUP INC. FOR TRUSS CONSTRUCTION DETAILS. TRUSS CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DESIGN. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

IMPORTANT: FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITW BUILDING COMPONENTS SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN COMPLIANCE WITH THE DESIGN SHALL BE THE RESPONSIBILITY OF THE INSTALLER. REFER TO BUILDING COMPONENTS GROUP INC. FOR TRUSS CONSTRUCTION DETAILS. TRUSS CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DESIGN. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEX A3 OF TPI-2002 SEC. 3. A SEAL SHALL BE AFFIXED TO THE DRAWING INDICATING ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSII/TPI 1 SEC. 2.

03/28/2011

ASCE 7-05: 110 MPH WIND SPEED, 15' MEAN HEIGHT, ENCLOSED, I = 1.00, EXPOSURE C, Kzt = 1.00

GABLE STUD REINFORCEMENT DETAIL

2X4 GABLE VERTICAL SPACING	BRACE SPECIES AND GRADES	BRACE											
		1X4 "L" BRACE		2X4 "L" BRACE		2X4 "L" BRACE		2X6 "L" BRACE		2X6 "L" BRACE		2X6 "L" BRACE	
		GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B
MAX GABLE VERTICAL LENGTH	SPF	6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	9' 8"	12' 5"	12' 9"	14' 0"	14' 0"	14' 0"	14' 0"
	HF	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 4"	12' 4"	14' 0"	14' 0"	14' 0"	14' 0"
	SP	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"	14' 0"	14' 0"
	DFL	6' 2"	6' 2"	7' 11"	8' 1"	9' 5"	10' 2"	12' 5"	12' 8"	14' 0"	14' 0"	14' 0"	14' 0"
16" O.C.	SPF	6' 1"	6' 1"	7' 11"	8' 0"	9' 5"	9' 11"	12' 5"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"
	HF	5' 3"	5' 3"	6' 11"	6' 11"	8' 4"	9' 4"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"
	SP	7' 8"	7' 10"	9' 1"	9' 4"	10' 10"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	DFL	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
12" O.C.	SPF	6' 4"	6' 4"	8' 4"	8' 4"	10' 10"	10' 10"	12' 11"	12' 11"	14' 0"	14' 0"	14' 0"	14' 0"
	HF	8' 3"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	SP	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	DFL	7' 7"	7' 7"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
12" O.C.	SPF	6' 5"	6' 5"	8' 6"	8' 6"	10' 10"	10' 10"	13' 3"	13' 3"	14' 0"	14' 0"	14' 0"	14' 0"
	HF	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	SP	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	DFL	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"

BRACING GROUP SPECIES AND GRADES:

GROUP A:

SPRUCE-PINE-FIR	HEM-FIR
#1 / #2 STANDARD	#2 STUD
#3 STUD	#3 STANDARD

DOUGLAS FIR-LARCH

#3 STUD
STANDARD

SOUTHERN PINE

#3 STUD
STANDARD

GROUP B:

HEM-FIR	DOUGLAS FIR-LARCH
#1 & BTR	#1
	#2

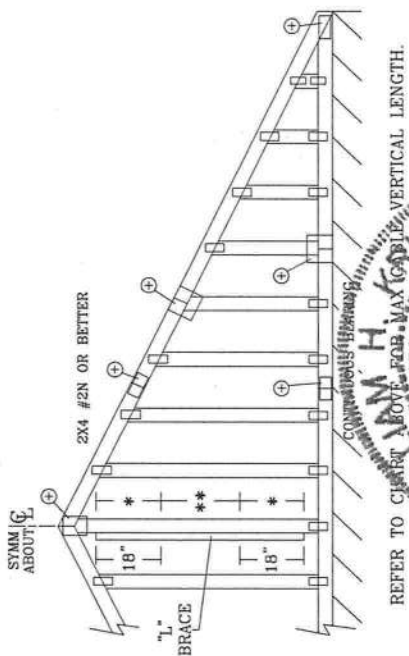
GABLE TRUSS DETAIL NOTES:

- LIVE LOAD DEFLECTION CRITERIA IS L/240.
- PROVIDE UPLIFT CONNECTIONS FOR 80 PLF OVER CONTINUOUS BEARING (5 PSF TC DEAD LOAD).
- GABLE END SUPPORTS LOAD FROM 4' 0" OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.
- ATTACH EACH "L" BRACE WITH 10d NAILS.
- \* FOR (1) "L" BRACE: SPACE NAILS AT 2" O.C. IN 18" END ZONES AND 4" O.C. BETWEEN ZONES.
- \*\* FOR (2) "L" BRACES: SPACE NAILS AT 3" O.C. IN 18" END ZONES AND 6" O.C. BETWEEN ZONES.
- "L" BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.

GABLE VERTICAL PLATE SIZES

VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0" BUT LESS THAN 11' 6"	2-5X4
GREATER THAN 11' 6"	3X4

+ REFER TO COMMON TRUSS DESIGN FOR PEAK, SPLICE, AND HEEL PLATES.



DIAGONAL BRACE OPTION: VERTICAL LENGTH MAY BE DOUBLED WHEN DIAGONAL BRACE IS USED. CONNECT DIAGONAL BRACE FOR 600# AT EACH END. MAX WEB TOTAL LENGTH IS 14'.

VERTICAL LENGTH SHOWN IN TABLE ABOVE.

CONNECT DIAGONAL AT MIDPOINT OF VERTICAL WEB.

REFER TO CHART FOR MAXIMUM VERTICAL LENGTH.

REF	ASCE 7-05-CAB11015
DATE	1/1/09
DRWG	A11015050109

MAX. TOT. LD.	60 PSF
MAX. SPACING	24.0"

Professional Engineer Seal for M. H. K. License No. 70861, State of Florida. The seal includes the text 'FLORIDA PROFESSIONAL ENGINEER' and 'M. H. K. LICENSE NO. 70861 STATE OF FLORIDA'.

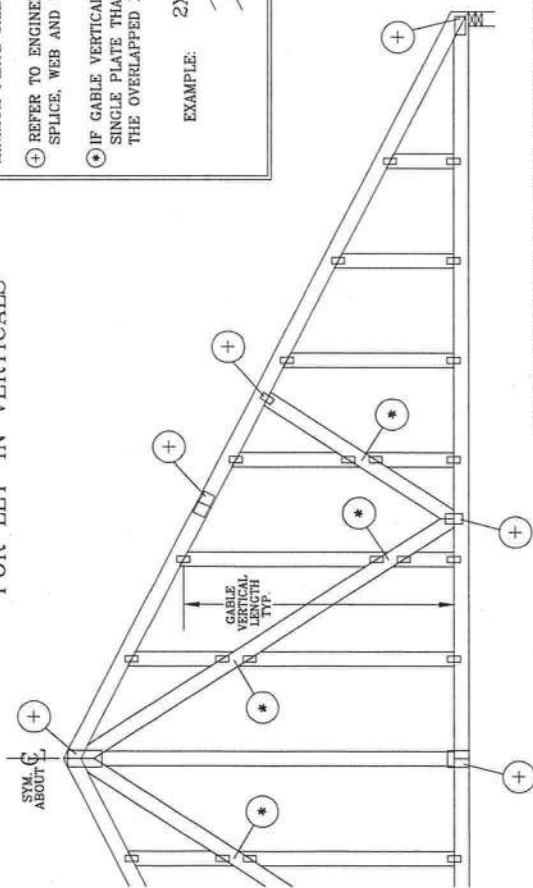
**WARNING\*\*** READ AND FOLLOW ALL NOTES ON THIS SHEET. This drawing requires extreme care in interpreting, installing and bracing. It is the responsibility of the contractor to verify the accuracy of all dimensions and to perform these functions. Installers shall provide temporary bracing per BCS. Unless noted otherwise, top chord shall have properly attached structural panels and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCS sections B3 & B7. See this job's general notes page for more information.

**IMPORTANT\*\*** FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR. ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design or any failure to build the truss in conformance with TPI, or fabricating, handling, shipping, installing or using any of the truss components. ITWBCG connector plates are made of 2018/18GA (WH/S/K) ASTM A653 Grade 37/40/40 (K/W/H/S) galv. steel. Apply plates to each face of truss, positioned as shown above and below the web. A seal on this drawing or cover page indicates acceptance and professional engineering responsibility for the truss component design shown. ITWBCG is a registered provider of building products for the construction industry. Building products are sold through ITWBCG.com. TPI: www.tpiusa.com; ITW-BCC: www.itwbcg.com; TPI: www.tpiusa.com; ICC: www.iccsafe.org.





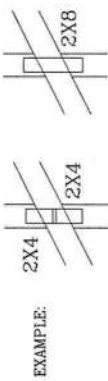
# GABLE TRUSS ATTACHMENT DETAIL FOR LET-IN VERTICALS



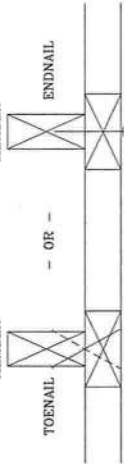
GABLE TRUSS PLATE SIZES  
REFER TO APPROPRIATE ITW GABLE DETAIL FOR MINIMUM PLATE SIZES FOR VERTICAL STUDS.

⊕ REFER TO ENGINEERED TRUSS DESIGN FOR PEAK, SPLICE, WEB AND HEEL PLATES.

⊙ IF GABLE VERTICAL PLATES OVERLAP, USE A SINGLE PLATE THAT COVERS THE TOTAL AREA OF THE OVERLAPPED PLATES TO SPAN THE WEB.



## "T" REINFORCEMENT ATTACHMENT DETAIL



TO CONVERT FROM "L" TO "T" REINFORCING MEMBERS, MULTIPLY "T" INCREASE BY LENGTH (BASED ON APPROPRIATE ITW GABLE DETAIL).

MAXIMUM ALLOWABLE "T" REINFORCED GABLE VERTICAL LENGTH IS 14' FROM TOP TO BOTTOM CHORD.

WEB LENGTH INCREASE W/ "T" BRACE

WIND SPEED AND MRH	"T" REINF. MBR. SIZE	"T" REINF. INCREASE
140 MPH	2x4	10 %
15 FT	2x6	50 %
140 MPH	2x4	10 %
30 FT	2x6	50 %
130 MPH	2x4	10 %
15 FT	2x6	50 %
130 MPH	2x4	10 %
30 FT	2x6	50 %
120 MPH	2x4	10 %
15 FT	2x6	50 %
120 MPH	2x4	10 %
30 FT	2x6	40 %
110 MPH	2x4	10 %
15 FT	2x6	40 %
110 MPH	2x4	10 %
30 FT	2x6	50 %
100 MPH	2x4	20 %
15 FT	2x6	30 %
100 MPH	2x4	10 %
30 FT	2x6	40 %
90 MPH	2x4	20 %
15 FT	2x6	20 %
90 MPH	2x4	20 %
30 FT	2x6	30 %

EXAMPLE:

ASCE WIND SPEED = 100 MPH  
MEAN ROOF HEIGHT = 30 FT,  $Kz1 = 1.00$   
GABLE VERTICAL = 24" O.C. SP #3

"T" REINFORCING MEMBER SIZE = 2X4

"T" BRACE INCREASE (FROM ABOVE) = 10% = 1.10

(1) 2X4 "L" BRACE LENGTH = 6' 7"

MAXIMUM "T" REINFORCED GABLE VERTICAL LENGTH = 1.10 x 6' 7" = 7' 3"

PROVIDE CONNECTIONS FOR UPLIFT SPECIFIED ON THE ENGINEERED TRUSS DESIGN.

ATTACH EACH "T" REINFORCING MEMBER WITH

END DRIVEN NAILS:

10# COMMON (0.148" X 3." MIN) NAILS AT 4" O.C. PLUS

(4) NAILS IN TOP AND BOTTOM CHORD.

TOENAILED NAILS:

10# COMMON (0.148" X 3." MIN) TOENAILS AT 4" O.C. PLUS

(4) TOENAILS IN TOP AND BOTTOM CHORD.

THIS DETAIL TO BE USED WITH THE APPROPRIATE ITW GABLE DETAIL FOR ASCE

WIND LOAD.

ASCE 7-98 GABLE DETAIL DRAWINGS

A13015980109, A12015980109, A11015980109, A10015980109,

A13030980109, A12030980109, A11030980109, A10030980109

ASCE 7-02 GABLE DETAIL DRAWINGS

A13015020109, A12015020109, A11015020109, A10015020109,

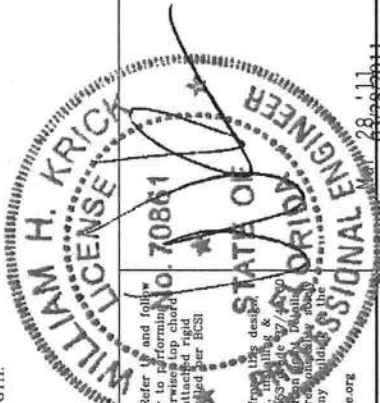
A13030020109, A12030020109, A11030020109, A10030020109

ASCE 7-05 GABLE DETAIL DRAWINGS

A13015050109, A12015050109, A11015050109, A10015050109,

A13030050109, A12030050109, A11030050109, A10030050109

SEE APPROPRIATE ITW GABLE DETAIL FOR MAXIMUM UNREINFORCED GABLE VERTICAL LENGTH.



**\*\*WARNING\*\* READ AND FOLLOW ALL NOTES ON THIS SHEET.**  
Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow ITW Building Components (ITWBC) Building Component Safety information, by ITW and WCA, for safety practices prior to performing any work. Trusses shall have property attached structural panels and bottom chord shall have a property attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing specified per BCS1 sections B3 & B7. See this job's general notes page for more information.

**\*\*IMPORTANT\*\* FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR.**  
ITW Building Components Inc. (ITWBC) shall be responsible for any deviations from the design, including any failure to build the truss in conformance with TPI, or fabricating, handling, shipping, installing & bracing of trusses. ITWBC connector plates are made of 20/18/16GA (W/H/S/K) ASTM A653-50 galv/40 (K/W/H/S) galv. steel. Apply plates to each face of truss, positioned as shown above and on the drawing. A seal on this drawing or cover page indicates acceptance and professional engineering responsibility for the truss component design shown. The suitability and use of this component for any application is the responsibility of the building designer per ANSI/TPI 1, Sec. 2.2.  
ITW-BC: www.itwbc.com; TPI: www.tpiust.com; WCA: www.abindustry.com; ICC: www.iccsafe.org



Earth, MO 63045

REF LET-IN VERT

DATE 1/1/09

DRWG GBLLETIN0109

MAX TOT. LD. 60 PSF

DUR. FAC. ANY

MAX SPACING 24.0"

28.11

6/28/2011