

**PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION**

**For Office Use Only** (Revised 6-23-05)      Zoning Official BLK 20.01.04 Building Official OK JTH 1-18

AP# 0601-36      Date Received 1-13-06      By LH      Permit # 24054

Flood Zone X      Development Permit N/A      Zoning RSP/MH-2      Land Use Plan Map Category RES/MLD

Comments Section 2.3.8

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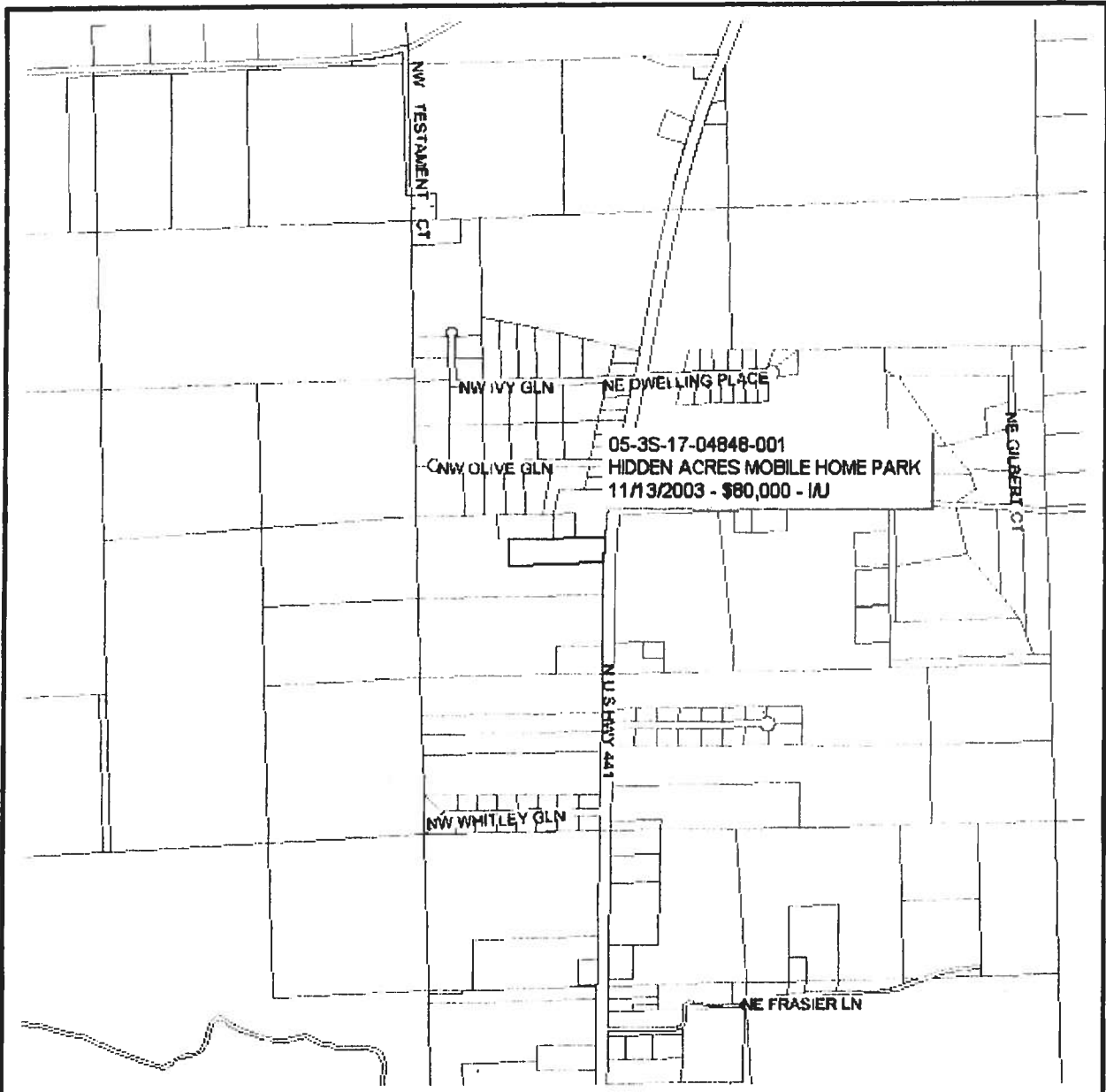
FEMA Map# \_\_\_\_\_ Elevation \_\_\_\_\_ Finished Floor \_\_\_\_\_ River \_\_\_\_\_ In Floodway \_\_\_\_\_

Site Plan with Setbacks Shown     EH Signed Site Plan     EH Release     Well letter     Existing well

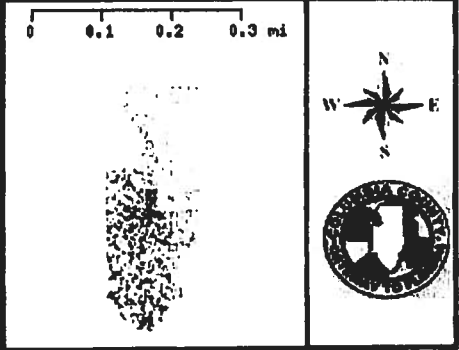
Copy of Recorded Deed or Affidavit from land owner     Letter of Authorization from installer  
(Pre Home Insp. Here)

- Property ID # 05-35-17-04848-001 ~~0530517 01849 001~~      Must have a copy of the property deed
- New Mobile Home \_\_\_\_\_ Used Mobile Home       Year 1997
- Applicant William Smith      Phone # 288-6280
- Address 596 NE frogs Glen, Lake City FL 32055
- Name of Property Owner William Smith      Phone# \_\_\_\_\_
- 911 Address 4816 N us Hwy 441 Lot 9 Lake City FL 32055
- Circle the correct power company - FL Power & Light - Clay Electric  
 (Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home William Smith      Phone # \_\_\_\_\_  
 Address \_\_\_\_\_
- Relationship to Property Owner \_\_\_\_\_
- Current Number of Dwellings on Property 10
- Lot Size \_\_\_\_\_ Total Acreage 4.5      275.00
- Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver (Circle one)
- Is this Mobile Home Replacing an Existing Mobile Home Yes (10 MHS on Property)
- Driving Directions to the Property 441 N, on (D) 1 mile past I-10  
into the MH Park then 1st MH on (E)  
(across from KOA)

- Name of Licensed Dealer/Installer Jackie Gibbs      Phone # 386-755-2349
- Installers Address 1664 SW. Sebastian CA      Lake City FL
- License Number FH 0000214      Installation Decal # 253271



<b>Columbia County Property Appraiser</b>	
J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083	
<b>PARCEL: 05-3S-17-04848-001 - PARKING/MH (002801)</b>	
COMM INTERS OF N LINE OF SW1/4 & W/RW US-441, RUN S 210.50 FT FOR POB, RUN S 218.31 FT, W	
Name: HIDDEN ACRES MOBILE HOME PARK	LandVal \$15,330.00
Site:	BldgVal \$152,708.00
598 NE FROGS GLN	ApprVal \$215,038.00
Mall: LAKE CITY, FL 320556816	JustVal \$215,038.00
11/13/2003 \$80,000.00 / U	Assd \$71,451.00
Sales 8/4/2002 \$100.00 / U	Exmpt \$0.00
Info 1/29/1993 \$144,700.00 / U	Taxable \$71,451.00



This information, GIS Map Updated: 8/3/2005, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



12-54-00024

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

X 1500 X 1500 X 1500

POCKET PENETROMETER TESTING METHOD

- 1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1500 X 1500 X 1500

TORQUE PROBE TEST

The results of the torque probe test is 288 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name: Parker G. G. Date Tested: 12/28/05

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg.

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg.

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg.

Site Preparation

Debris and organic material removed Swale Pad Other

Fastening multi wide units

Floor: Type Fastener: Length: Spacing:
Walls: Type Fastener: Length: Spacing:
Roof: Type Fastener: Length: Spacing:
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket Pg. Installed: Between Floors Yes Between Walls Yes Bottom of ridgebeam Yes

Weatherproofing

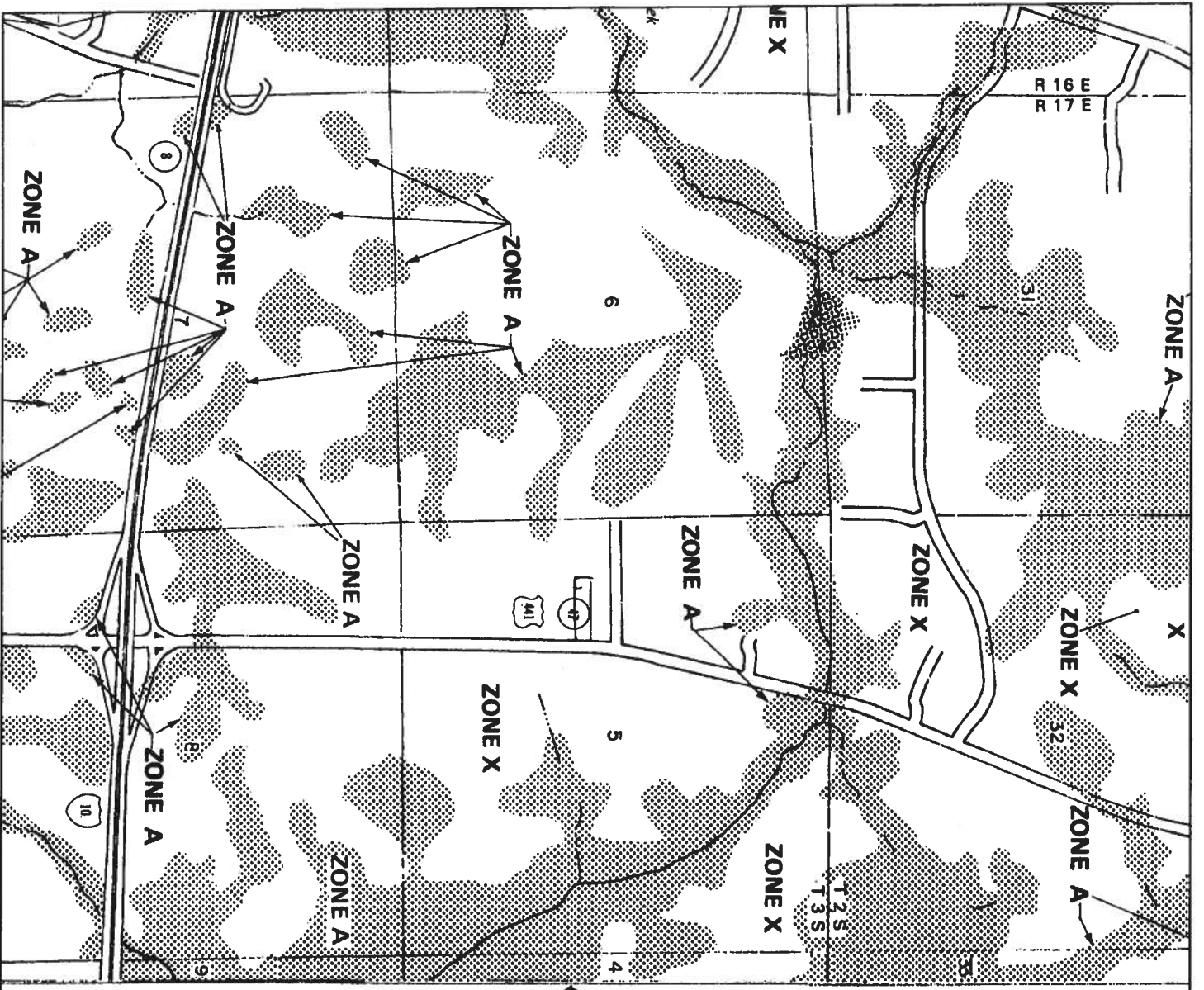
The bottomboard will be repaired and/or taped. Yes Pg. Siding on units is installed to manufacturer's specifications. Yes Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes No No
Dryer vent installed outside of skirting. Yes No N/A
Range downflow vent installed outside of skirting. Yes No N/A
Drain lines supported at 4 foot intervals. Yes No N/A
Electrical crossovers protected. Yes No

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature: Parker G. G. Date: 1/19/06



APPROXIMATE SCALE IN FEET



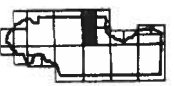
NATIONAL FLOOD INSURANCE PROGRAM

**FIRM**  
FLOOD INSURANCE RATE MAP

COLUMBIA  
COUNTY,  
FLORIDA  
(UNINCORPORATED AREAS)

PANEL 125 OF 290

PANEL LOCATION



COMMUNITY-PANEL NUMBER  
120070 0125 B

EFFECTIVE DATE:  
JANUARY 6, 1988



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at [www.fema.gov/nifmap](http://www.fema.gov/nifmap).

**CODE ENFORCEMENT**  
COLUMBIA COUNTY, FLORIDA  
**PRELIMINARY MOBILE HOME INSPECTION REPORT**

DATE RECEIVED \_\_\_\_\_ BY \_\_\_\_\_ IS THE M/H ON THE PROPERTY WHERE THE PERMIT WILL BE ISSUED? \_\_\_\_\_

OWNERS NAME William Smith PHONE \_\_\_\_\_ CELL \_\_\_\_\_

ADDRESS \_\_\_\_\_

MOBILE HOME PARK Hidden Acres SUBDIVISION \_\_\_\_\_

DRIVING DIRECTIONS TO MOBILE HOME 441 to KOA Campground turn Left in front of KOA

MOBILE HOME INSTALLER Jackie Gibbs PHONE 386-755-2349 CELL 386-365-7227

**MOBILE HOME INFORMATION**

MAKE Liberty YEAR 1997 SIZE 16 X 60 COLOR White

SERIAL No. 10L25441

WIND ZONE II Must be wind zone II or higher NO WIND ZONE I ALLOWED

**INTERIOR: INSPECTION STANDARDS**

(P or F) - P=PASS F= FAILED

- P SMOKE DETECTOR ( ) OPERATIONAL ( ) MISSING
- P FLOORS (✓) SOLID ( ) WEAK ( ) HOLES DAMAGED LOCATION \_\_\_\_\_
- P DOORS (✓) OPERABLE ( ) DAMAGED
- P WALLS (✓) SOLID ( ) STRUCTURALLY UNSOUND
- P WINDOWS (✓) OPERABLE ( ) INOPERABLE
- P PLUMBING FIXTURES (✓) OPERABLE ( ) INOPERABLE ( ) MISSING
- P CEILING (✓) SOLID ( ) HOLES ( ) LEAKS APPARENT
- \_\_\_\_\_ ELECTRICAL (FIXTURES/OUTLETS) (✓) OPERABLE ( ) EXPOSED WIRING ( ) OUTLET COVERS MISSING ( ) LIGHT FIXTURES MISSING

**EXTERIOR:**

- good WALLS/SIDING ( ) LOOSE SIDING ( ) STRUCTURALLY UNSOUND ( ) NOT WEATHERTIGHT ( ) NEEDS CLEANING
- good WINDOWS ( ) CRACKED/ BROKEN GLASS ( ) SCREENS MISSING ( ) WEATHERTIGHT
- good ROOF (✓) APPEARS SOLID ( ) DAMAGED

**STATUS:**

APPROVED \_\_\_\_\_ WITH CONDITIONS: \_\_\_\_\_

NOT APPROVED \_\_\_\_\_ NEED REINSPECTION FOR FOLLOWING CONDITIONS \_\_\_\_\_

COMPANY NAME Jackie Gibbs LICENSE # IH0000214  
SIGNATURE Jackie Gibbs PRINT NAME Jackie Gibbs ID NUMBER \_\_\_\_\_ DATE 1/11/06

**ONLY THE ACTUAL LICENSE HOLDER OR A BUILDING INSPECTOR CAN SIGN THIS FORM**

**LIMITED POWER OF ATTORNEY**

I, Jackie Gibbs license # TH000214 hereby authorize William Smith to be my representative and act on my behalf in all aspects of applying for a mobile home permit to be placed on the following described property located in Columbia County, Florida.

Property Owner: William S Smith  
911 Address: 4816 N US 441 <sup>lot #9</sup> LC 32055  
Parcel ID#: 053517-04848-001  
Sect: \_\_\_\_\_ Twp: \_\_\_\_\_ Rge: \_\_\_\_\_

Jackie Gibbs  
Mobile Home Installer Signature

1/12/06  
Date

Sworn to and subscribed before me this 13<sup>th</sup> day of January 2006.

Susan Todd  
Notary Public

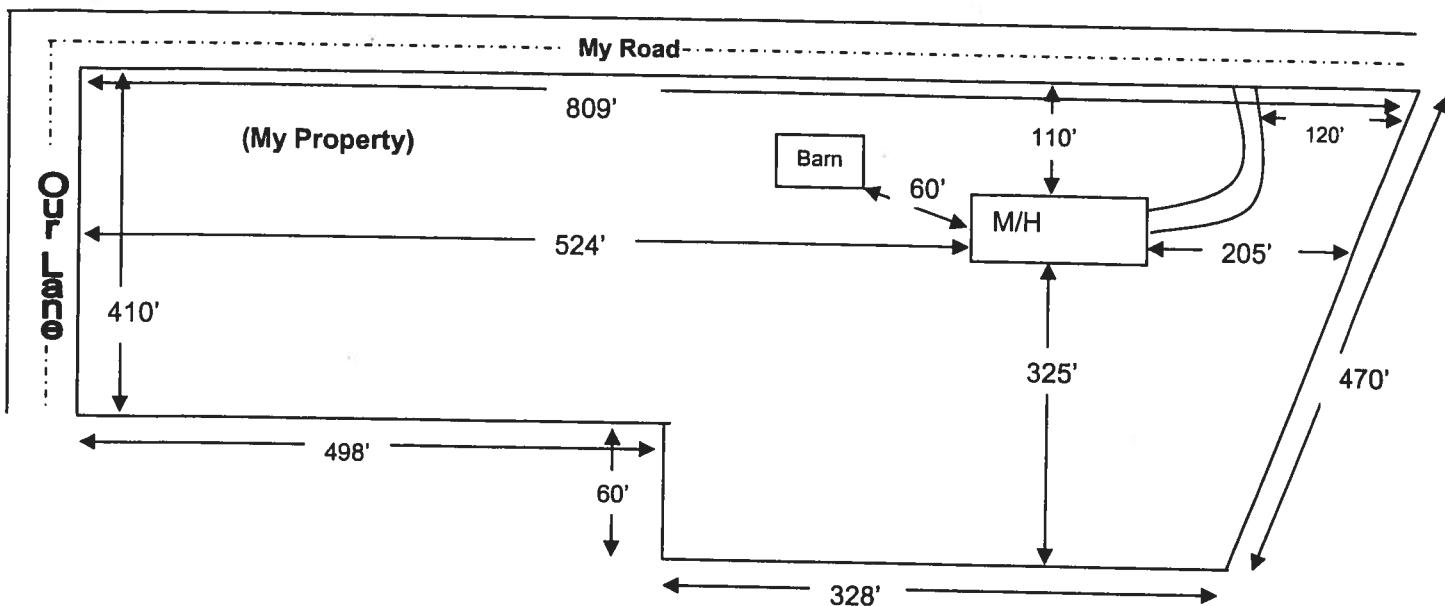
My Commission expires: July 10 2009  
Commission Number: DD449132  
Personally known: \_\_\_\_\_  
Produced ID (type): \_\_\_\_\_



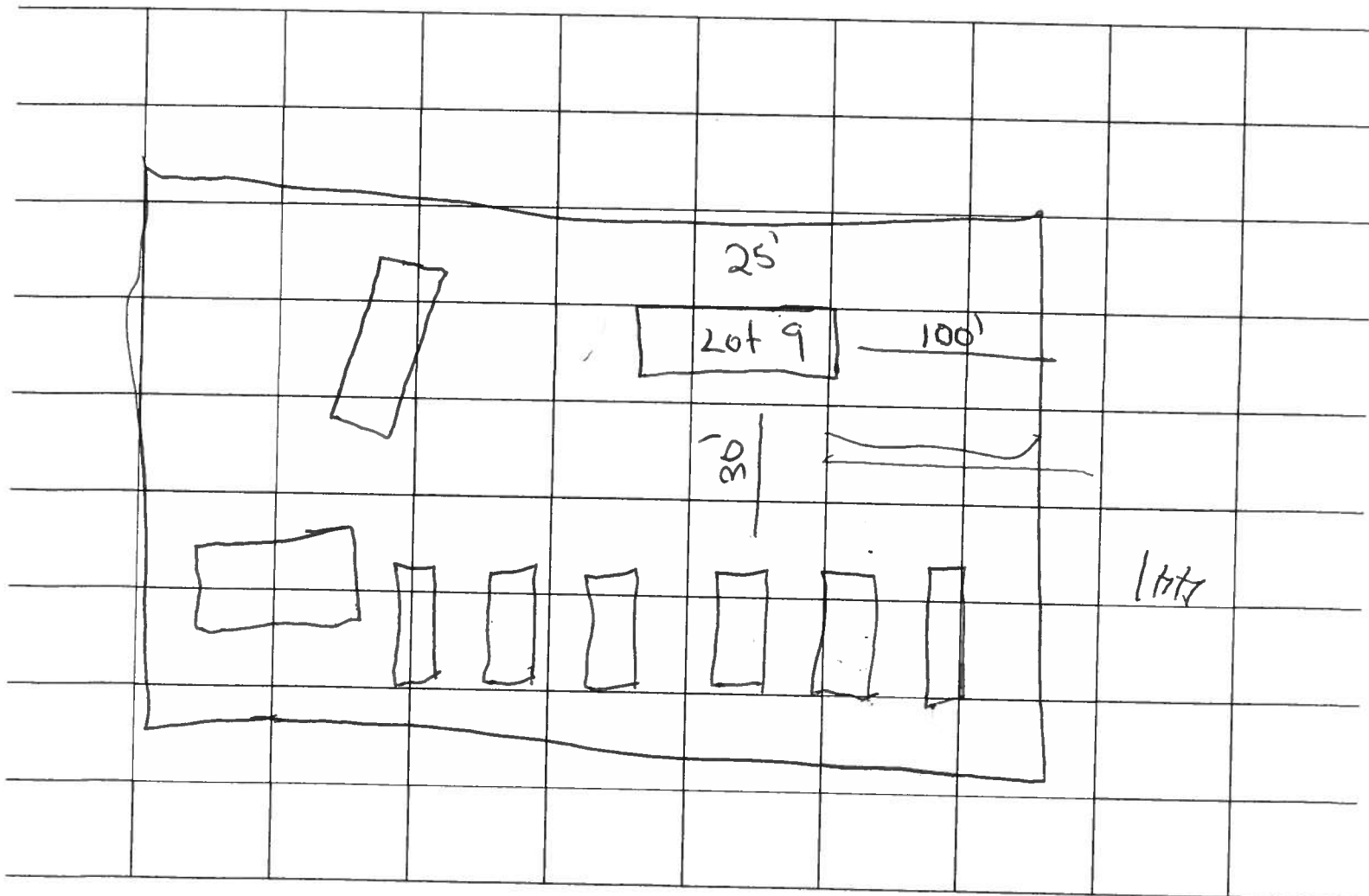
**Susan Todd**  
Commission # DD449132  
Expires July 10, 2009  
Bonded Troy Fin - Insurance Inc 800-385-7019

288  
6280

# SITE PLAN EXAMPLE / WORKSHEET



Use this example to draw your own site plan. Show all existing buildings and any other homes on this property and show the distances between them, Also show where the roads or roads are around the property. This site plan can also be used for the 911 Addressing department if you include the distance from the driveway to the nearest property line.



@ CAM112M01 S CamaUSA Appraisal System  
 1/13/2006 11:20 Legal Description Maintenance  
 Year T Property \* PRIOR YEAR \* Sel  
 2005, R 05-3S-17-04848-001

Columbia County  
 14400 Land 003 \*  
 AG 000  
 9037 Bldg 001 \*  
 47000 Xfea 002 \*  
 70437 TOTAL C\*

HIDDEN ACRES MOBILE HOME PARK

1	COMM INTERS OF N LINE OF SW1/4	& W R/W US-441, RUN S 210.50	2
3	FT. FOR POB, RUN S 218.31 FT, W	799.65 FT, N 214.30 FT, E	4
5	815.90 FT TO POB.	ORB 728-489, DC 770-1262,	6
7	QC 955-1712, WD 999-2817.		8
9			10
11			12
13			14
15			16
17			18
19			20
21			22
23			24
25			26
27			28

Mnt 12/04/2003 KYLIE

F1=Task F3=Exit F4=Prompt F10=GoTo PgUp/PgDn F24=More