

DATE 11/23/2004

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000022532

APPLICANT MIKE TODD PHONE 755-4387
ADDRESS 129 N COLBURN AVE LAKE CITY FL 32055
OWNER RALPH & MARY BELL PHONE 755-4337
ADDRESS 424 SW PACKARD ST LAKE CITY FL 32025
CONTRACTOR MIKE TODD PHONE 755-4387
LOCATION OF PROPERTY 441 SOUTH, R PACKARD ST, AROUND THE CURVE, THEN 1ST
DRIVE ON LEFT

TYPE DEVELOPMENT SFD,UTILITY ESTIMATED COST OF CONSTRUCTION 199800.00
HEATED FLOOR AREA 3996.00 TOTAL AREA 5574.00 HEIGHT 30.10 STORIES 2
FOUNDATION CONCRETE WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB
LAND USE & ZONING A-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X PS DEVELOPMENT PERMIT NO.

PARCEL ID 20-4S-17-08623-000 SUBDIVISION
LOT BLOCK PHASE UNIT TOTAL ACRES 20.00

CGC006209
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 03-1014-N BK HD Y
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FLOOR 1 FOOT ABOVE THE ROAD

NOC ON FILE

Check # or Cash 09997

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 1000.00 CERTIFICATION FEE \$ 27.87 SURCHARGE FEE \$ 27.87
MISC. FEES \$.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ WASTE FEE \$
FLOOD ZONE DEVELOPMENT FEE \$ CULVERT FEE \$ TOTAL FEE 1105.74

INSPECTORS OFFICE L. H. CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Building Permit Application

22532 11/21/03
Application No. 0311-41

ate 11/19/03

Applicants Name & Address Ralph/Mary Bell - Mike Todd Const Phone 255-4387
129 N. Colburn Ave Lake City FL 32055
 Owners Name & Address Ralph + Mary Bell Phone _____
424 SW Packard St. Lake City FL 32025
 See Simple Owners Name & Address N/A Phone _____
 Contractors Name & Address Mike Todd Construction Phone 386-755-4387
129 NE Colburn Avenue / Lake City, FL 32055
 Legal Description of Property 20-45-17-08623-000
 Location of Property Hwy 41 South, Turn right on Packard Road,
around curve on LEFT
 Tax Parcel Identification No. 20-45-17-08623-000 Estimated Cost of Construction \$ 272,000
 Type of Development Residential Number of Existing Dwellings on Property 0
 Comprehensive Plan Map Category A-3 Zoning Map Category A-3
 Building Height 30'10" Number of Stories 2 Floor Area 3996 SF Total Acreage in Development 20
 Distance From Property Lines (Set Backs) Front 700' Side 409/175' Rear 575' Street _____
 Flood Zone Xpers. Lp1a Certification Date _____ Development Permit N/A
 Bonding Company Name & Address _____
 Architect/Engineer Name & Address _____
 Mortgage Lenders Name & Address _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY.
 IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]
Owner or Agent (including contractor)

[Signature]
Contractor

C6606209
Contractor License Number

STATE OF FLORIDA
 COUNTY OF COLUMBIA
 Sworn to (or affirmed) and subscribed before me
 this _____ day of _____ by _____

STATE OF FLORIDA
 COUNTY OF COLUMBIA
 Sworn to (or affirmed) and subscribed before me
 this _____ day of _____ by _____

Personally Known _____ OR Produced Identification

Personally Known _____ OR Produced Identification

0311-41



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Compliance with Method B Chapter 6 of the Florida Energy Efficiency Code may be demonstrated by the use of Form 600B for single and multifamily residences of 3 stories or less in height, and additions to existing residential buildings. To comply, a building must meet or exceed all of the energy efficiency prescriptives in any one of the prescriptive component packages and comply with the prescriptive measures listed in Table 6B-1 of this form. An alternative method is provided for additions of 600 square feet or less by use of Form 600C. If a building does not comply with this method, it may still comply under other sections in Chapter 6 of the Code.

PROJECT NAME: AND ADDRESS:	Bell	BUILDER: PERMITTING OFFICE:	Mike Todd Colombia County	CLIMATE ZONE:	1 ☐ 2 ☐ 3 ☐
OWNER:	Ralph & Mary Bell	PERMIT NO.:		JURISDICTION NO.:	

GENERAL DIRECTIONS

1. New construction including additions which incorporates any of the following features cannot comply using this method: steel stud walls, single assembly roof/ceiling construction, or skylights or other non-vertical roof glass.
2. Choose one of the component packages "A" through "E" from Table 6B-1 by which you intend to comply with the Code. Circle the column of the package you have chosen.
3. Fill in all the applicable spaces of the "To Be Installed" column on Table 6B-1 with the information requested. All "To Be Installed" values must be equal to or more efficient than the required levels.
4. Complete page 1 based on the "To Be Installed" column information.
5. Read "Minimum Requirements for All Packages", Table 6B-2 and check each box to indicate your intent to comply with all applicable items.
6. Read, sign and date the "Prepared By" certification statement at the bottom of page 1. The owner or owner's agent must also sign and date the form.

1. Compliance package chosen (A-F)
2. New construction or addition
3. Single family detached or Multifamily attached
4. If Multifamily—No. of units covered by this submission
5. Is this a worst case? (yes / no)
6. Conditioned floor area (sq. ft.)
7. Predominant eave overhang (ft.)
8. Glass type and area :
 - a. Clear glass
 - b. Tint, film or solar screen
9. Percentage of glass to floor area
10. Floor type, area or perimeter, and insulation:
 - a. Slab on grade (R-value)
 - b. Wood, raised (R-value)
 - c. Wood, common (R-value)
 - d. Concrete, raised (R-value)
 - e. Concrete, common (R-value)
11. Wall type, area and insulation:
 - a. Exterior: 1. Masonry (Insulation R-value)
2. Wood frame (Insulation R-value)
 - b. Adjacent: 1. Masonry (Insulation R-value)
2. Wood frame (Insulation R-value)
12. Ceiling type, area and insulation:
 - a. Under attic (Insulation R-value)
 - b. Single assembly (Insulation R-value)
13. Air Distribution System: Duct insulation, location
Test report (attach if required)
14. Cooling system
(Types: central, room unit, package terminal A.C., gas, none)
15. Heating system:
(Types: heat pump, elec. strip, nat. gas, L.P. gas, gas h.p., room or PTAC, none)
16. Hot water system:
(Types: elec., nat. gas, L.P. gas, solar, heat rec., ded. heat pump, other, none)

Please Print

CK

1.	A		
2.	New		
3.	Single Family		
4.			
5.	NO		
6.	3996		
7.	2.0		
	Single Pane	Double Pane	
8a.		sq. ft. 556	sq. ft.
8b.		sq. ft.	sq. ft.
9.	14	%	
10a.	R= 0		lin. ft.
10b.	R=		sq. ft.
10c.	R=		sq. ft.
10d.	R=		sq. ft.
10e.	R=		sq. ft.
11a-1	R=		sq. ft.
11a-2	R= 13	3562	sq. ft.
11b-1	R=		sq. ft.
11b-2	R=		sq. ft.
12a.	R= 30	2858	sq. ft.
12b.	R=		sq. ft.
13.	R= 6		
14a.	Type: Central		
14b.	SEER/EER: 12.0		
14c.	Capacity: 3.383 Tons		
15a.	Type: Heat Pump		
15b.	HSPF/COP/AFUE:		
15c.	Capacity: 38.277 MBH		
16a.	Type: Elect.		
16b.	EF: .88		

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code.

PREPARED BY:

DATE:

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER AGENT:

DATE:

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.

BUILDING OFFICIAL:

DATE:

COLUMBIA COUNTY BUILDING DEPARTMENT

RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR FLORIDA BUILDING CODE 2001

ONE (1) AND TWO (2) FAMILY DWELLINGS

ALL REQUIREMENTS LISTED ARE SUBJECT TO CHANGE

EFFECTIVE MARCH 1, 2002

ALL BUILDING PLANS MUST INCLUDE THE FOLLOWING ITEMS AND INDICATE COMPLIANCE WITH CHAPTER 16 SECTION 1606 OF THE FLORIDA BUILDING CODE 2001 BY PROVIDING CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND TWO-FAMILY DWELLINGS. FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEED AS PER FIGURE 1606 SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: U.S. HIGHWAY 41 FROM COLUMBIA COUNTY'S NORTHERN BOUNDARY TO THE INTERSECTION OF MYRTIS ROAD, FOLLOW MYRTIS ROAD, EAST TO THE INTERSECTION OF C.R. 245, FOLLOW C.R. 245 SOUTH TO THE SOUTHERN BOUNDARY OF COLUMBIA COUNTY.

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE ----- 110 MPH
2. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

GENERAL REQUIREMENTS: Two (2) complete set of plans containing the following:

Applicant	Plans Examiner	
☒	☒	All drawings must be clear, concise and drawn to scale ("Optional" details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans
☒	☐	Designer's name and signature on document (FBC 104.2.1) If licensed architect or engineer, official seal shall be affixed
☒	☒	Site Plan including: ☒ a) Dimensions of lot ☒ b) Dimensions of building setbacks ☒ c) Location of all other buildings on lot, well and septic tank if applicable, and all utility easements.
☒	☒	☒ d) Provide a full legal description of property
		Wind-load Engineering Summary, calculations and any details required
		☒ a) Plans or specifications must state compliance with FBC Section 1606
		☒ b) The following information must be shown as per section 1606.1.7 FBC a. Basic wind speed (MPH) b. Wind importance factor (I) and building category c. Wind exposure - if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated d. The applicable internal pressure coefficient e. Components and Cladding. The design wind pressure in terms of psf (kN/m^2), to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional
☒	☒	Elevations including: a) All Sides b) Roof pitch c) Overhang dimensions and detail with attic ventilation
☒	☒	
☒	☒	
☐	☒	

☒
☐

☒
☐ N/A

- ☒ d) Location, size and height above roof of chimneys
- ☒ e) Location and size of skylights
- ☒ d) Building height
- ☒ e) Number of stories

Floor Plan including:

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- a) Rooms labeled and dimensioned
- b) Shear walls
- c) Windows and Doors (including garage doors) showing size, mfg, approval listing and attachment specs. (FBC1707) and safety glazing where needed (egress windows in bedrooms to be shown)
- d) Fireplaces (gas appliance (vented or non-vented) or wood burning with hearth
- e) Stairs with dimensions (width, tread and riser) and details of guardrails and handrails
- f) Must show and identify accessibility requirements (accessible bathroom)

Foundation Plan including:

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- a) Location of all load bearing walls with required footings indicated as standard or monolithic and their dimensions and reinforcing
- b) All posts and/or column footing including size and reinforcing
- c) Any special support required by soil analysis such as piling
- d) Location of any vertical steel

Roof System

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- a) Truss package including:
 - 1. Truss layout and truss details signed and sealed by Fl. Pro. Eng.
 - 2. Roof assembly (FBC 104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
- b) Conventional Framing Layout including
 - 1. Rafter size, species and spacing
 - 2. Attachment to wall and uplift
 - 3. Ridge Beam sized and valley framing and support details
 - 4. Roof assembly (FBC 104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)

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Wall Sections including:

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- a) Masonry wall
 - 1. All materials making up wall
 - 2. Block size and mortar type with size and spacing of reinforcement
 - 3. Lintel, tie-beam sizes and reinforcement
 - 4. Gable ends with rake beams showing reinforcement or gable truss and wall bracing details
 - 5. All required connectors with uplift rating and required number and size of fasteners for continuous tie from roof to foundation
 - 6. Roof assembly shown here or on roof system detail (FBC 104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with resistance rating)
 - 7. Fire resistant construction (if required)
 - 8. Fireproofing requirements
 - 9. Show type of termite treatment (termicide or alternative method)
 - 10. Slab on grade
 - a. Vapor retarder (6 mil. polyethylene with joints lapped 6 inches and sealed)
 - b. Must show control joints, synthetic fiber reinforcement or

- ~~welded wire fabric reinforcement and supports~~
11. Indicate where pressure-treated wood will be placed
 12. Provide insulation R value for the following:
 - a. Attic space
 - b. Exterior wall cavity
 - c. Crawl space (if applicable)

☒ ☒
b) Wood Frame wall

- ☒ 1. All materials making up wall
- ☒ 2. Size and species of studs
- ☒ 3. Sheathing size, type and nailing schedule
4. Headers sized
5. Gable end showing balloon framing detail or gable truss and wall hinge bracing detail
- ☒ 6. All required connectors with uplift rating and required number and size of fasteners for continuous tie from roof to foundation (truss anchors, straps, anchor bolts and washers)
- ☒ 7. Roof assembly shown here or on roof system detail (FBC 104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
- ☒ 8. Fire resistant construction (if required)
- ☒ 9. Fireproofing requirements
- ☒ 10. Show type of termite treatment (termiteicide or alternative method)
- ☒ 11. Slab on grade
 - ☒ a. Vapor retarder (6 mil polyethylene with joints lapped 6 inches and sealed)
 - ☒ b. Must show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and supports
- ☒ 12. Indicate where pressure treated wood will be placed
- ☒ 13. Provide insulation R value for the following:
 - a. Attic space
 - b. Exterior wall cavity
 - c. Crawl space (if applicable)

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c) Metal Frame wall and roof (Designed, signed and sealed by Fl. Reg. Prof. Engineer or Architect)

Floor Framing System

- ☐ ☐ a) Floor truss package including layout and details signed and sealed by Fl. Reg. P.E.
- ☐ ☐ b) Floor joist size and spacing
- ☐ ☐ c) Girder size and spacing
- ☐ ☐ d) Attachment of joist to girder
- ☐ ☐ e) Wind load requirements where applicable

Plumbing Fixture layout

Electrical layout including:

- ☒ ☒ a) Switches, outlets/receptacles, lighting and all required GFCI outlets identified
- ☒ ☒ b) Ceiling fans
- ☒ ☒ c) Smoke detectors
- ☒ ☒ d) Service panel and sub-panel size and location(s)
- ☒ ☒ e) Meter location with type of service entrance (overhead or underground)
- ☒ ☒ f) Appliances and HVAC equipment

HVAC information

- ☒ ☒ a) Manual J sizing equipment or equivalent computation
- ☒ ☒ b) Exhaust fans in bathrooms

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Energy Calculations (dimensions shall match plans)

Gas System Type (LP or Natural) Location and BTU demand of equipment

N/A Disclosure Statement for Owner Builders

Notice of Commencement

✓ Private Potable Water

- a) Size of pump motor
- b) Size of pressure tank
- c) Cycle Stop Valve if used

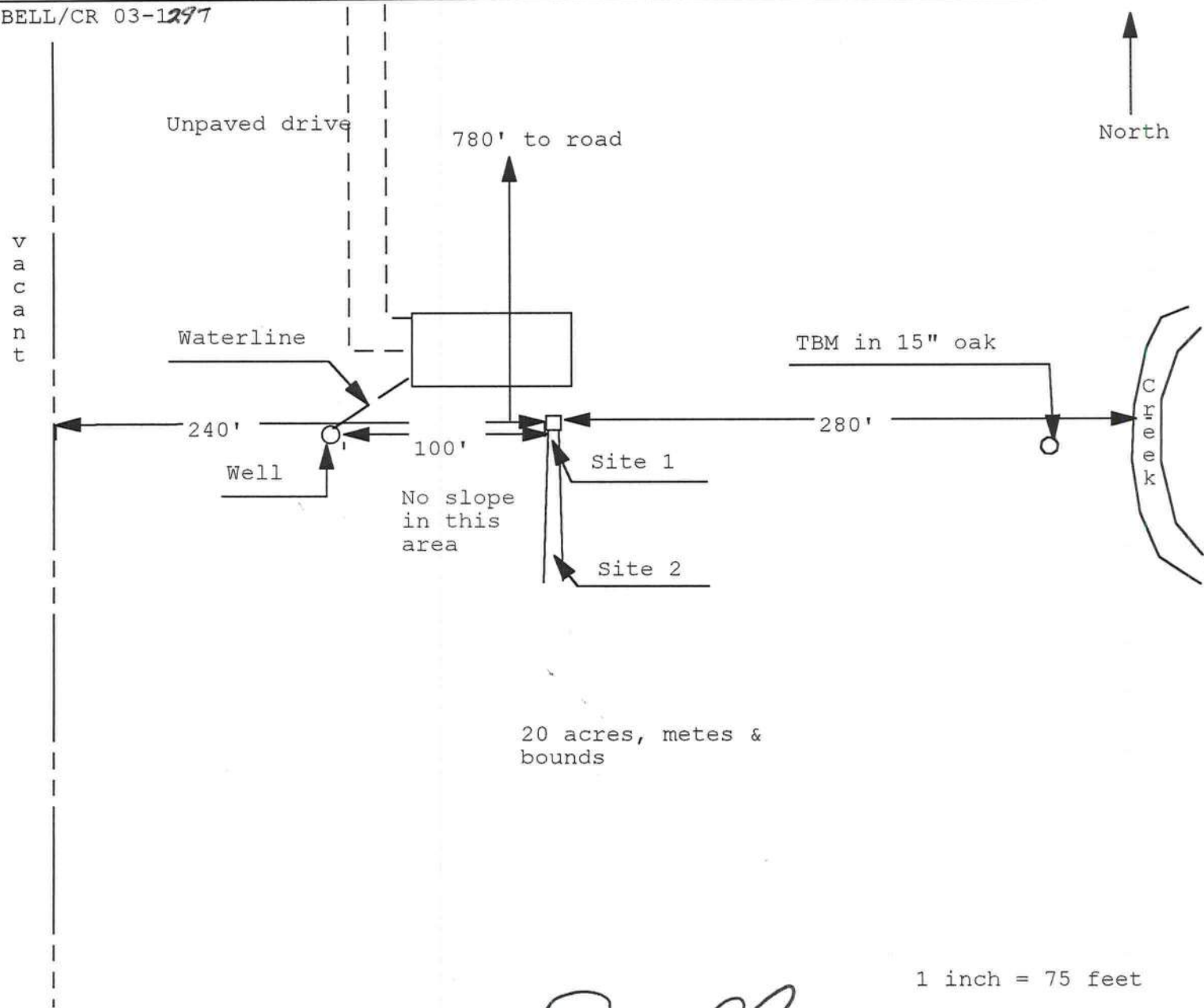
THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS:

1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all residential construction project.
2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser (386-758-1084) is required. A copy of property deed is also requested.
3. **Enviromental Health Permit or Sewer Tap Approval:** A copy of the Enviromental Health permit, existing septic approval or sewer tap approval is required. (386) 758-1058
4. **City Approval:** If the project is located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit.
5. **Flood Information:** All,projects within the Floodway of the Suwanne or Santa Fe Rivers shall requie permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project that is located within a flood zone where the base flood elevation (100 year flood) has not been established shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.**
A development permit will also be required (\$10.00).
6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit must be made (\$5.00). If applicant feels that a culvert is not needed then they may apply for a culvert waiver (\$25.00). The waiver is either approved or denied by the Columbia County Public Works Department.

ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE- TIME WILL NOT ALLOW THIS - PLEASE DO NOT ASK

Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan
Permit Application Number: 03-1014N

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT



1 inch = 75 feet

Site Plan Submitted By Paul Lloyd Date 8/26/03
Plan Approved Not Approved Date 8/26/03
By Paul Lloyd Tim J. [Signature] CPHU
Notes: 11-17-03



FOUNDED 1949

CORPORATE HEADQUARTERS:

P.O. BOX 5369
116 N.W. 18TH AVENUE
GAINESVILLE, FL 32602-5369(352) 376-2661
FAX (352) 376-2791

SCIENTIFIC PEST CONTROL DIRECTED BY GRADUATE ENTOMOLOGISTS

Complete Pest Control Service
Member Florida & National Pest Control Associations11255
RALPH BELLReply to: 536 SE Baya Dr
Lake City, FL 32025
Phone (386) 752-1703 Fax (386) 752-0171

TERMITE TREATMENT CERTIFICATION

Owner:	Permit Number:
RALPH BELL	22532
Lot:	Block:
Subdivision:	Street Address:
	424 SW PACKARD STREET
City:	County:
Lake City	Columbia
General Contractor:	Area Treated:
MIKE TODD CONSTRUCTION	EXTERIOR OF FOUNDATION
Date:	Time:
09/19/05	12:00 PM
Name of applicator:	Applicator ID Number:
JAMES D PARKER	JE55238
Product Used: Active Ingredient: % Concentration	Number of gallons used:
Dursban TC: Chlorpyrifos: 0.5%	114
Method of termite prevention treatment: Soil Treatment	

The building has received a complete treatment for the prevention of subterranean termites. Treatment is in accordance with rules and laws established by the Florida Department of Agriculture and Consumer Services.

This form is proof of complete treatment for Certificate of Occupancy or Closing.

THIS IS PROOF OF WARRANTY

Warranty and Treatment Certifications Have Been Issued.

Authorized Signature:	Date:
Kathi Schmidt Lawi	9-19-05

BRANCHES:

• Crystal River • Daytona Beach • Ft. Walton Beach • Jacksonville South • Jacksonville West • Lake City • Milton • Ocala • Orlando • Palatka • Parrama City • Pensacola • Starke • St. Augustine • Tallahassee • Winter Haven • Leesburg • Kissimmee •

COLUMBIA COUNTY FLORIDA DEPARTMENT OF BUILDING AND ZONING OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 20-4S-17-08623-000

Building permit No. 000022532

Use Classification SFD, UTILITY

Fire: .00

Permit Holder MIKE TODD

Waste: .00

Owner of Building RALPH & MARY BELL

Total: .00

Location: 424 SW PACKARD STREET, LAKE CITY

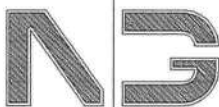
Date: 09/22/2005

Mary Bickel

Building Inspector



POST IN A CONSPICUOUS PLACE
(Business Places Only)



**NICHOLAS
PAUL
GEISLER**
ARCHITECT
N.C.A.R.B. Certified

1758 NW Brown Road
Lake City, FL 32055
386/755-6608

07 FEBRUARY 2005

JOHN KERCE
COLUMBIA COUNTY BUILDING DEPARTMENT
COLUMBIA COUNTY COURTHOUSE ANNEX
LAKE CITY, FLORIDA 32055

RE: BELL RESIDENCE *Mike Todd*
PERMIT Nr.: _____

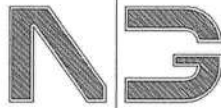
DEAR MR. KERCE:

THE ABOVE REFERENCED PROJECT HAS TWO FRAMING AS-BUILT CONDITIONS THAT HAVE BEEN BROUGHT TO MY ATTENTION FOR COMMENT.

1. THE DOUBLE 2X12 HEADER AT THE QUAD-MULLED WINDOW IS CURRENTLY OVERSTRESSED AND WILL REQUIRE A "SISTER" 2X12 TO BE ADDED TO THE INSIDE FACE OF THE HEADER. REFER TO THE ATTACHED DRAWING FOR DETAILS OF ATTACHMENT.
2. THE CONDITION AT THE CANTILEVERED 2nd FLOOR DECK MAY BE REMEDIED BY ADDING A 2X4 DIAGONAL STRUT FROM THE UPPER INSIDE CORNER TO THE LOWER INSIDE CORNER. SECURE THIS MEMBER WITH 2 - 16d NAILS, EACH END - SEE DETAIL, ATTACHED.
3. THE DOUBLE 2X12 PORCH BEAM CARRYING ONE END OF THE 6'-0" PORCH TRUSSES, WITH A 2 FOOT EAVE, IS SATISFACTORY AS-IS. NO FURTHER REMEDIES ARE REQUIRED.

SHOULD YOU HAVE ANY QUESTION WITH THE FOREGOING, PLEASE CALL FOR ASSISTANCE.

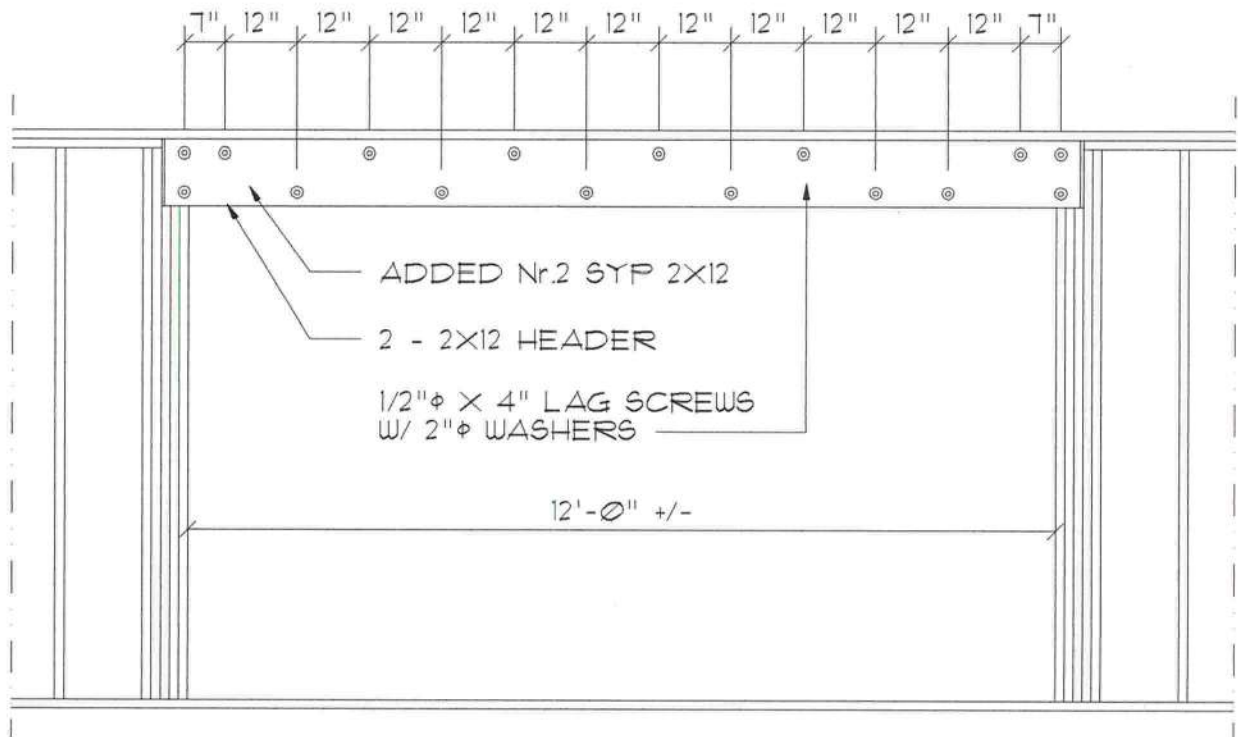
YOURS TRULY,
NICHOLAS PAUL GEISLER, ARCHITECT AR0007005



NICHOLAS
PAUL
GEISLER

ARCHITECT
N.C.A.R.B. Certified

1758 NW Brown Road
Lake City, FL 32055
386/755-6608



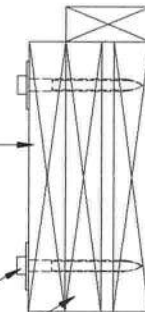
Header Stiffener DETAIL

SCALE: 3/8" = 1'-0"

ADDED Nr.2 SYP 2X12

1/2" φ X 4" LAG SCREWS
W/ 2" φ WASHERS

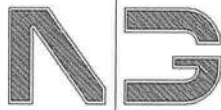
2 - 2X12 HEADER



Stiffener DETAIL

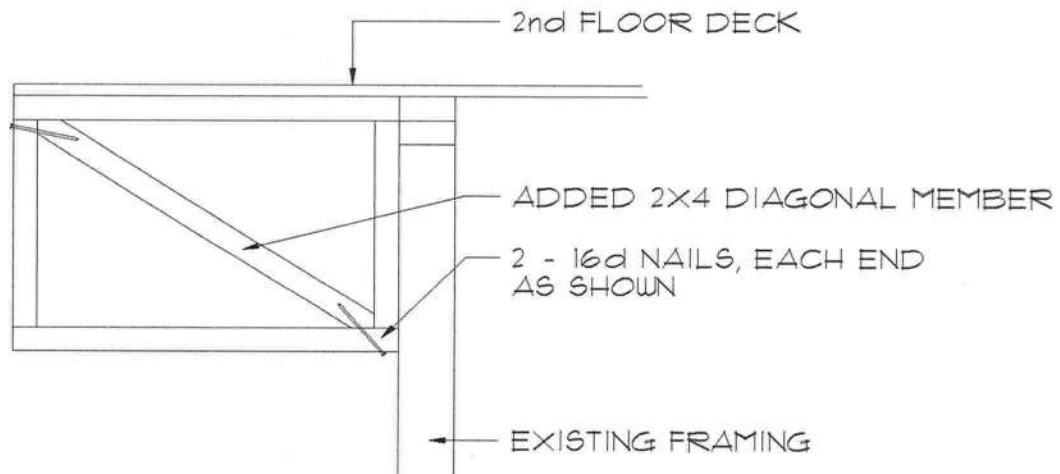
SCALE: 1 1/2" = 1'-0"

Ar 7005 07 Feb 2K5



**NICHOLAS
PAUL
GEISLER**
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Cantilever DETAIL

SCALE: 1 = 1'-0"

ART005 07 FEB 2015