

Columbia County New Building Permit Application

For Office Use Only Application # 60727 Date Received \_\_\_\_\_ By \_\_\_\_\_ Permit # \_\_\_\_\_  
Zoning Official \_\_\_\_\_ Date \_\_\_\_\_ Flood Zone \_\_\_\_\_ Land Use \_\_\_\_\_ Zoning \_\_\_\_\_  
FEMA Map # \_\_\_\_\_ Elevation \_\_\_\_\_ MFE \_\_\_\_\_ River \_\_\_\_\_ Plans Examiner \_\_\_\_\_ Date \_\_\_\_\_  
Comments \_\_\_\_\_

- NOC  EH  Deed or PA  Site Plan  State Road Info  Well letter  911 Sheet  Parent Parcel # \_\_\_\_\_
- Dev Permit # \_\_\_\_\_  In Floodway  Letter of Auth. from Contractor  F W Comp. letter
- Owner Builder Disclosure Statement  Land Owner Affidavit  Ellisville Water  App Fee Paid  Sub VF Form

Septic Permit No. \_\_\_\_\_ OR City Water  Fax N/A

Applicant (Who will sign/pickup the permit) Gibraltar Contracting, LLC Phone 352-283-2002

Address 25232 NW 168<sup>th</sup> Ln. High Springs, FL 32643

Owners Name Dennis & Rebecca Mouras Phone \_\_\_\_\_

911 Address 735 SW Sterling Ter. High Springs, FL 32643

Contractors Name Mark Bauer Phone 352-283-2002

Address 25232 NW 168<sup>th</sup> Ln. High Springs, FL 32643

Contractor Email gibraltarcontracting@gmail.com \*\*\*Include to get updates on this job.

Fee Simple Owner Name & Address \_\_\_\_\_

Bonding Co. Name & Address \_\_\_\_\_

Architect/Engineer Name & Address Will Myers / Mark Disasway Lake City, FL

Mortgage Lenders Name & Address \_\_\_\_\_

Circle the correct power company  FL Power & Light  Clay Elec.  Suwannee Valley Elec.  Duke Energy

Property ID Number 16-7S-17-10006-107 Estimated Construction Cost \$825,000<sup>00</sup>

Subdivision Name N/A Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions from a Major Road Take US Hwy 441 South to CR 77B on Right. Follow CR 77B to SW Sterling Ter on left. Property is approx 1/2 mile down SW Sterling Ter. on left.

Construction of New SFD Commercial OR  Residential

Proposed Use/Occupancy Single Family Number of Existing Dwellings on Property \_\_\_\_\_

Is the Building Fire Sprinkled? No If Yes, blueprints included \_\_\_\_\_ Or Explain \_\_\_\_\_

Circle Proposed  Culvert Permit or  Culvert Waiver or  D.O.I. Permit or  Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 100' Side 368.5' Side 358' Rear 344.3'

Number of Stories 2 Heated Floor Area 3942 sf Total Floor Area 6560 sf Acreage 10.6

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) \_\_\_\_\_

Columbia County Building Permit Application

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Dennis Mouras
Rebecca Mouras
Print Owners Name

DocuSigned by: Dennis Mouras
DocuSigned by: Rebecca Mouras
Owners Signature

\*\*Property owners must sign here before any permit will be issued.

\*\*If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.

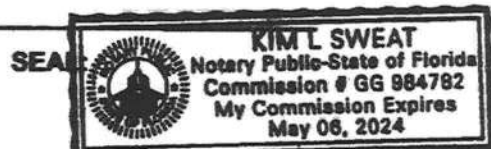
CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature

Contractor's License Number CBC 1259633
Columbia County
Competency Card Number

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 29th day of March 2023.

Personally known [X] or Produced Identification
Kim Sweat
State of Florida Notary Signature (For the Contractor)



**NOTICE OF COMMENCEMENT**

Loan No: [REDACTED]  
STATE OF FLORIDA  
COUNTY OF Columbia

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

- 1. Description of Property:
  - a. Property Address: **Lot 7 SW Sterling Terrace  
High Springs, FL 32643**
  - b. Legal Description: **See Schedule A attached**
  
- 2. Description of Improvements: **Construction of Single Family Residence**
- 3. Owner Information:
  - a. Name and Address: **Dennis J Mouras and Rebecca J Mouras  
1146 SW Mandiba Dr, Lake City, FL 32024**
  - b. Interest in Property: **Fee Simple**
  - c. Name and Address of Fee Simple Title Holder (if other than Owner)  
**Dennis Mouras  
1146 SW Mandiba Dr, Lake City, FL 32024**
- 4. Contractor Name and Address: **Gibraltar Contracting, LLC  
20267 NW 248th Way, High Springs, FL 32643**
- 5. Other Contractor(s) Name and Address:
- 6. Surety:
- 7. Lender: **Seacoast National Bank  
815 S Colorado Ave, Stuart, FL 34994**
- 8. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7, Florida Statutes: **N/A**
- 9. In addition to himself, Owner designated the following persons to receive a copy of the Lienor's Notice as provided in section 713.13(1)(b), Florida Statutes: **N/A**
- 10. Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified):

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

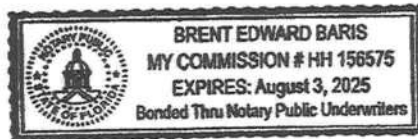
*Dennis J Mouras*  
 \_\_\_\_\_  
 Dennis J Mouras

*Rebecca J Mouras*  
 \_\_\_\_\_  
 Rebecca J Mouras

STATE OF Florida  
 The foregoing was acknowledged before me by means of (check one)  physical presence or  online notarization, this 13th day of February, 2023, by Columbia County ss:  
 Dennis J Mouras AND Rebecca J Mouras Husband and Wife

They (check one)  are personally known to me or as identification.  have produced FL drivers' licenses

My Commission expires: 8/3/25 [Signature]  
 \_\_\_\_\_  
 - Notary Public



## Exhibit A

**Parcel 7 of Summers Acres:**

A parcel of land in Section 16, Township 7 South, Range 17 East, Columbia County, Florida, being more particularly, described as follows:

Commence at a found 4" x 4" concrete monument 'SRD' at the Northwest corner of said Section 16, Township 7 South, Range 17 East and run thence South 00° 15' 48" East, along the West line of said Section 16, 80.15 feet to a found 4" x 4" concrete monument 'SRD' on the South right of way line of County Road No. 778 (80 foot right of way); thence North 89° 55' 25" East, along said South right of way line, 698.08 feet to a set 1/2" rebar & cap 'PLS 4789'; thence South 00° 15' 48" East, 3054.10 feet to a set 1/2" rebar & cap 'PLS 4789' and the point of beginning; thence continue South 00° 15' 48" East, 856.22 feet to a set 1/2" rebar & cap 'PLS 4789' on the South line of the North 1/2 of the Southwest 1/4 of said Section 16; thence North 89° 38' 29" East, along said South line, 539.83 feet to a found 4" x 4" concrete monument PSM 5757'; thence North 00° 14' 01" West, 853.56 feet to a set 1/2" rebar & cap PLS 4789'; thence South 89° 55' 25" West, 540.28 feet to the point of beginning.

Subject to & together with an easement for ingress, egress, drainage and public utilities being more particularly described as follows:

Commence at a found 4" x 4" concrete monument 'SRD' at the Northwest corner of said Section 16, Township 7 South, Range 17 East and run thence South 00° 15' 48" East, along the West line of said Section 16, 80.15 feet to a found 4" x 4" concrete monument 'SRD' on the South right of way line of County Road No. 778 (80 foot right of way); thence North 89° 55' 25" East, along said South right of way line, 668.08 feet to the point of beginning; thence South 00° 15' 48" East, 3910.47 feet to the South line of the North 1/2 of the Southwest 1/4 of said Section 16; thence North 89° 38' 29" East, along said South line, 60.00 feet; thence North 01° 15' 48" West, 3910.17 feet to the said South right of way line of County Road No. 778; thence South 89° 55' 25" West, along said South right of way line, 60.00 feet to the point of beginning.

**Columbia County Property Appraiser**

Jeff Hampton

**2023 Working Values**

updated: 2/16/2023

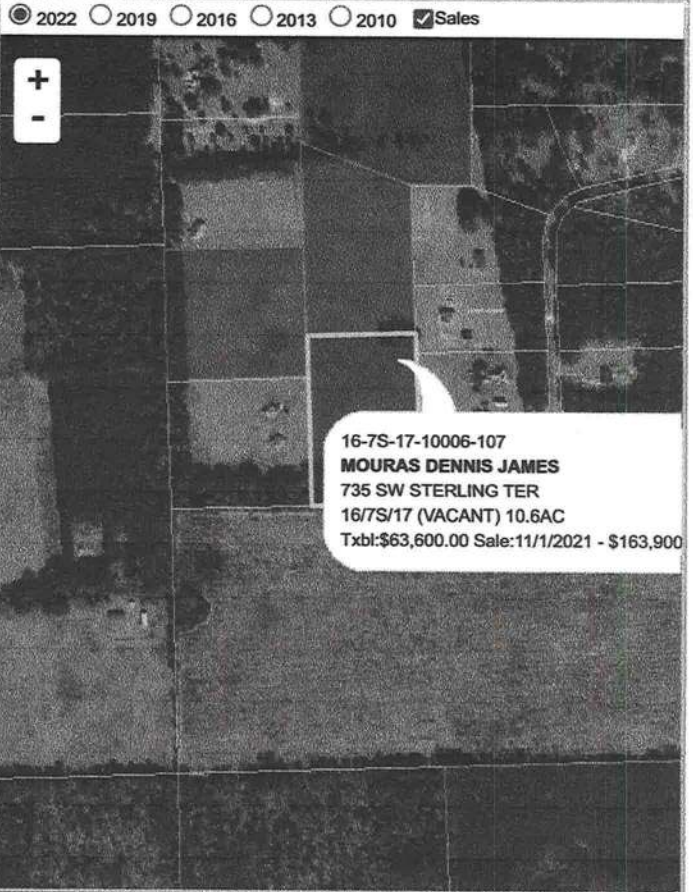
Parcel: << **16-7S-17-10006-107 (37277)** >>

Aerial Viewer Pictometry Google Maps

**Owner & Property Info**

Owner	<b>MOURAS DENNIS JAMES</b> <b>MOURAS REBACCA JANE</b> 1146 SW MANDIBA DR LAKE CITY, FL 32024		
Site	735 SW STERLING TER, HIGH SPRINGS		
Description*	COMM AT NW COR OF SEC, RUN S 80.15 FT TO S R/W OF C R 778, E ALONG R/W 698.08 FT, S 3054.10 FT FOR POB, CONT S 856.22 FT, E 539.83 FT, N 853.56 FT, W 540.28 FT TO POB, AKA PARCEL 7, SUMMERS ACRES UNR ORB 994-2498. WD 1160-2117, WD 1451-1700,		
Area	10.6 AC	S/T/R	16-7S-17
Use Code**	VACANT (0000)	Tax District	3

\*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.  
 \*\*The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.



**Property & Assessment Values**

2022 Certified Values		2023 Working Values	
Mkt Land	\$63,600	Mkt Land	\$63,600
Ag Land	\$0	Ag Land	\$0
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$63,600	Just	\$63,600
Class	\$0	Class	\$0
Appraised	\$63,600	Appraised	\$63,600
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$63,600	Assessed	\$63,600
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$63,600 city:\$0 other:\$0 school:\$63,600	Total Taxable	county:\$63,600 city:\$0 other:\$0 school:\$63,600

**Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
11/1/2021	\$163,900	1451/1700	WD	V	Q	01
10/10/2008	\$100	1160/2117	WD	V	U	01
9/16/2003	\$44,400	0994/2498	WD	V	Q	

**Building Characteristics**

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

**Extra Features & Out Buildings (Codes)**

Code	Desc	Year Blt	Value	Units	Dims
NONE					

**Land Breakdown**

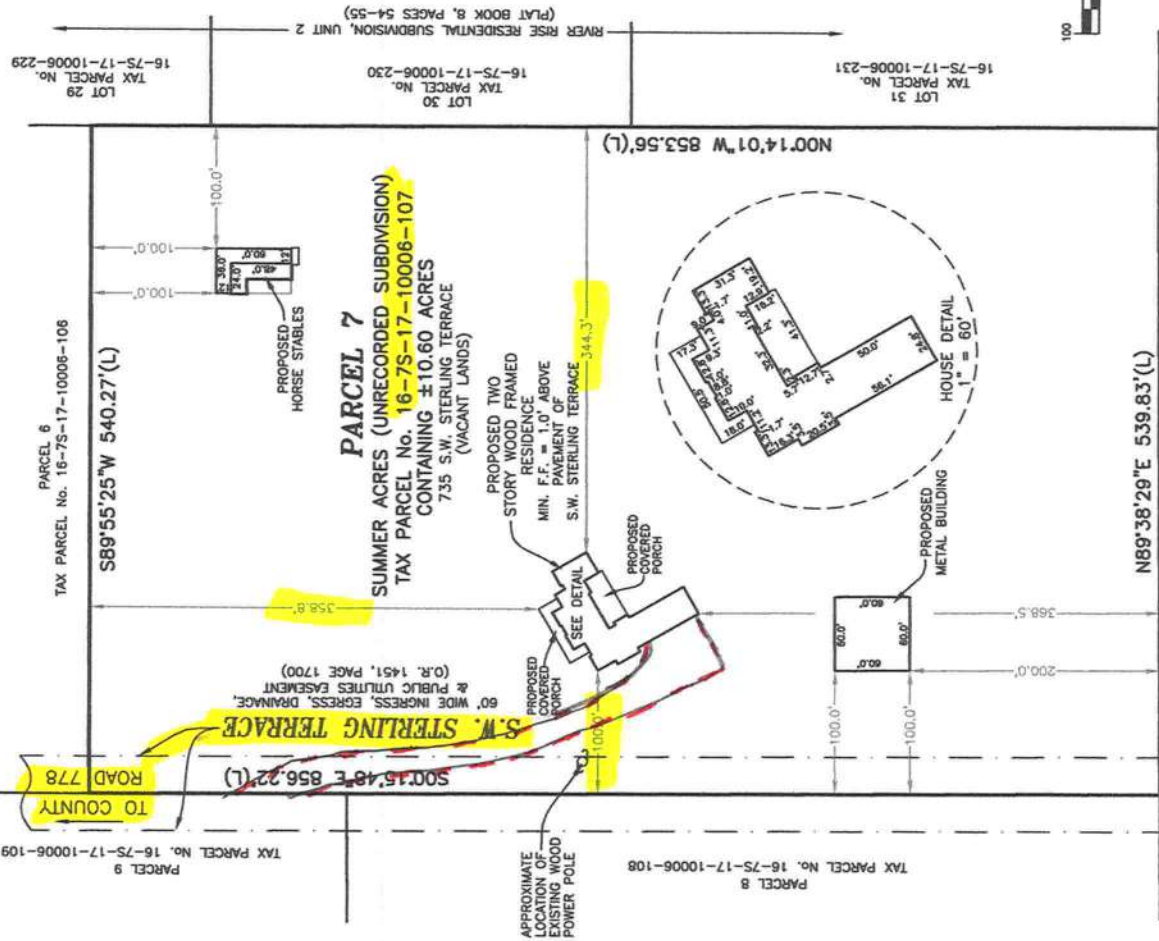
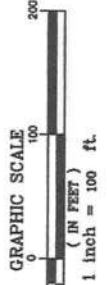
Code	Desc	Units	Adjustments	Eff Rate	Land Value
0000	VAC RES (MKT)	10.600 AC	1.0000/1.0000 1.0000/ /	\$6,000 /AC	\$63,600

# 60727

# PLOT PLAN

LYING IN SECTION 16, TOWNSHIP 7, SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA  
 THIS IS NOT A BOUNDARY SURVEY

- LEGEND**
- (L) = LEGAL DESCRIPTION DATA
  - R/W = RIGHT OF WAY
  - O.R. = OFFICIAL RECORDS BOOK
  - MIN. F.F. = MINIMUM FINISH FLOOR



**LEGAL DESCRIPTION (O.R. 1451, PAGE 1700)**  
 PARCEL 7 OF SUMMERS ACRES:  
 A PARCEL OF LAND IN SECTION 16, TOWNSHIP 7, SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 COMMENCE AT A FOUND 4" X 4" CONCRETE MONUMENT 'SRD' AT THE NORTHWEST CORNER OF SAID SECTION 16, TOWNSHIP 7 SOUTH, RANGE 17 EAST AND RUN THENCE SOUTH 00° 15' 48" EAST, ALONG THE WEST LINE OF SAID SECTION 16, 80.15 FEET TO A FOUND 4" X 4" CONCRETE MONUMENT 'SRD' ON THE SOUTH RIGHT OF WAY LINE OF COUNTY ROAD NO. 778 (80 FOOT RIGHT OF WAY); THENCE NORTH 89° 55' 25" EAST, ALONG SAID SOUTH RIGHT OF WAY LINE, 698.08 FEET TO A SET 1/2" REBAR & CAP 'PLS 4789'; THENCE SOUTH 00° 15' 48" EAST, 3054.10 FEET TO A SET 1/2" REBAR & CAP 'PLS 4789' AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 00° 15' 48" EAST 856.22 FEET TO A SET 1 1/2" REBAR & CAP 'PLS 4789' ON THE SOUTH LINE OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION 16; THENCE NORTH 89° 38' 29" EAST, ALONG SAID SOUTH LINE, 539.83 FEET TO A FOUND 4" X 4" CONCRETE MONUMENT PSM 5757; THENCE NORTH 00° 14' 01" WEST, 853.56 FEET TO A SET 1 1/2" REBAR & CAP PLS 4789; THENCE SOUTH 89° 55' 25" WEST, 540.28 FEET TO THE POINT OF BEGINNING.

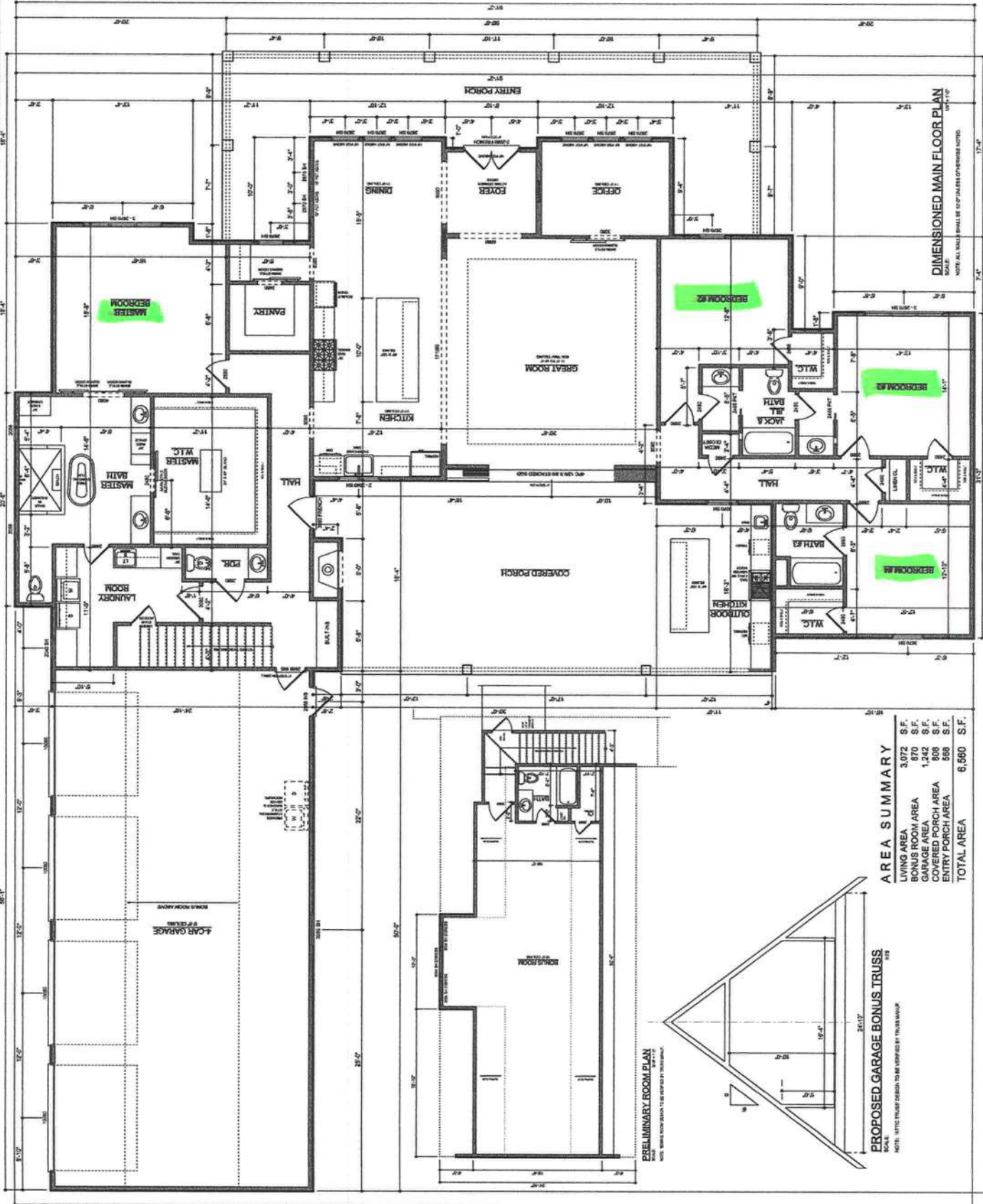
**FLOOD NOTE:**  
 THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOODPLAIN MAP, PANEL NUMBER 12001C051X FOR COLUMBIA COUNTY, FLORIDA, EFFECTIVE DATE FEBRUARY 4, 2009, FOR COLUMBIA COUNTY UNINCORPORATED AREAS, COMMUNITY NUMBER 120070 PANEL NUMBER 0513 SUFFIX C.

- SURVEYOR NOTES:**
1. THE BEARINGS SHOWN HEREON ARE BASED THE LEGAL DESCRIPTION OF RECORD.
  2. RECORDED EASEMENT AND/OR DEEDS NOT FURNISHED TO THE SURVEYOR ARE NOT SHOWN.
  3. ELEVATIONS SHOWN HEREON ARE ON AN ASSUMED DATUM, BASED ON THE CENTERLINE OF BETHLEHEM AVENUE, HAVING AN ELEVATION OF 100.00'.
  4. THIS IS NOT A BOUNDARY SURVEY

UNPLATTED LANDS  
 TAX PARCEL No. 16-75-17-10004-001

NOTE: ALL DRAWINGS NOT TO BE SCALED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

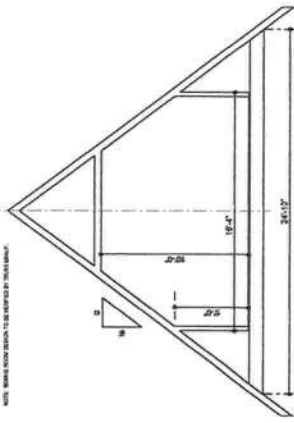
J.M. G.P.P.



**DIMENSIONED MAIN FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 NOTE: ALL WALLS SHALL BE 1/2" GIBBS UNLESS NOTED.

**AREA SUMMARY**

LIVING AREA	3,072 S.F.
BONUS ROOM AREA	670 S.F.
GARAGE AREA	1,442 S.F.
COVERED PORCH AREA	888 S.F.
ENTRY PORCH AREA	358 S.F.
<b>TOTAL AREA</b>	<b>6,580 S.F.</b>



**PRELIMINARY ROOM PLAN**  
 NOTE: THESE ROOM DIMENSIONS TO BE CHECKED BY THE MANUFACTURER

## SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # \_\_\_\_\_

JOB NAME

Mouras

**THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED**

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

*NOTE: It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.*

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

*NOTE: If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.*

Violations will result in stop work orders and/or fines.

<p>ELECTRICAL</p> <p><input type="checkbox"/></p> <p>CC# _____</p>	<p>Print Name <u>Donald R DAVIS</u> Signature <u><i>Donald R Davis</i></u></p> <p>Company Name: <u>High Springs Electric, Inc</u></p> <p>License #: <u>EC0002306</u> Phone #: <u>386-623-0499</u></p>	<p><u>Need</u></p> <p><input type="checkbox"/> Lic</p> <p><input type="checkbox"/> Liab</p> <p><input type="checkbox"/> W/C</p> <p><input type="checkbox"/> EX</p> <p><input type="checkbox"/> DE</p>
<p>MECHANICAL/ A/C</p> <p><input type="checkbox"/></p> <p>CC# _____</p>	<p>Print Name _____ Signature _____</p> <p>Company Name: _____</p> <p>License #: _____ Phone #: _____</p>	<p><u>Need</u></p> <p><input type="checkbox"/> Lic</p> <p><input type="checkbox"/> Liab</p> <p><input type="checkbox"/> W/C</p> <p><input type="checkbox"/> EX</p> <p><input type="checkbox"/> DE</p>
<p>PLUMBING/ GAS</p> <p><input type="checkbox"/></p> <p>CC# _____</p>	<p>Print Name _____ Signature _____</p> <p>Company Name: _____</p> <p>License #: _____ Phone #: _____</p>	<p><u>Need</u></p> <p><input type="checkbox"/> Lic</p> <p><input type="checkbox"/> Liab</p> <p><input type="checkbox"/> W/C</p> <p><input type="checkbox"/> EX</p> <p><input type="checkbox"/> DE</p>
<p>ROOFING</p> <p><input type="checkbox"/></p> <p>CC# _____</p>	<p>Print Name _____ Signature _____</p> <p>Company Name: _____</p> <p>License #: _____ Phone #: _____</p>	<p><u>Need</u></p> <p><input type="checkbox"/> Lic</p> <p><input type="checkbox"/> Liab</p> <p><input type="checkbox"/> W/C</p> <p><input type="checkbox"/> EX</p> <p><input type="checkbox"/> DE</p>
<p>SHEET METAL</p> <p><input type="checkbox"/></p> <p>CC# _____</p>	<p>Print Name _____ Signature _____</p> <p>Company Name: _____</p> <p>License #: _____ Phone #: _____</p>	<p><u>Need</u></p> <p><input type="checkbox"/> Lic</p> <p><input type="checkbox"/> Liab</p> <p><input type="checkbox"/> W/C</p> <p><input type="checkbox"/> EX</p> <p><input type="checkbox"/> DE</p>
<p>FIRE SYSTEM/ SPRINKLER</p> <p><input type="checkbox"/></p> <p>CC# _____</p>	<p>Print Name _____ Signature _____</p> <p>Company Name: _____</p> <p>License #: _____ Phone #: _____</p>	<p><u>Need</u></p> <p><input type="checkbox"/> Lic</p> <p><input type="checkbox"/> Liab</p> <p><input type="checkbox"/> W/C</p> <p><input type="checkbox"/> EX</p> <p><input type="checkbox"/> DE</p>
<p>SOLAR</p> <p><input type="checkbox"/></p> <p>CC# _____</p>	<p>Print Name _____ Signature _____</p> <p>Company Name: _____</p> <p>License #: _____ Phone #: _____</p>	<p><u>Need</u></p> <p><input type="checkbox"/> Lic</p> <p><input type="checkbox"/> Liab</p> <p><input type="checkbox"/> W/C</p> <p><input type="checkbox"/> EX</p> <p><input type="checkbox"/> DE</p>
<p>STATE SPECIALTY</p> <p><input type="checkbox"/></p> <p>CC# _____</p>	<p>Print Name _____ Signature _____</p> <p>Company Name: _____</p> <p>License #: _____ Phone #: _____</p>	<p><u>Need</u></p> <p><input type="checkbox"/> Lic</p> <p><input type="checkbox"/> Liab</p> <p><input type="checkbox"/> W/C</p> <p><input type="checkbox"/> EX</p> <p><input type="checkbox"/> DE</p>

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<b>ELECTRICAL</b>  <input type="checkbox"/>  CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>MECHANICAL/ A/C</b>  <input checked="" type="checkbox"/>  CC# _____	Print Name <u>Clinton Wilson</u> Signature <u><i>Clinton Wilson</i></u> Company Name: <u>Wilson Heat &amp; Air Inc.</u> License #: <u>CAC057886</u> Phone #: <u>386-496-9000</u>	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>PLUMBING/ GAS</b>  <input type="checkbox"/>  CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>ROOFING</b>  <input type="checkbox"/>  CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>SHEET METAL</b>  <input type="checkbox"/>  CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>FIRE SYSTEM/ SPRINKLER</b>  <input type="checkbox"/>  CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>SOLAR</b>  <input type="checkbox"/>  CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>STATE SPECIALTY</b>  <input type="checkbox"/>  CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE

## SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # \_\_\_\_\_ JOB NAME Mouras

**THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED**

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

**NOTE:** It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

**NOTE:** If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

<b>ELECTRICAL</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>MECHANICAL/ A/C</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>PLUMBING/ GAS</b> <input checked="" type="checkbox"/> CC# _____	Print Name <u>James L Butler</u> Signature <u>James L Butler</u> Company Name: <u>Butler Plumbing of Gainesville Inc</u> License #: <u>CFC057960</u> Phone #: <u>352 472 3677</u>	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>ROOFING</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>SHEET METAL</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>FIRE SYSTEM/ SPRINKLER</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>SOLAR</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>STATE SPECIALTY</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE

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APPLICATION/PERMIT # \_\_\_\_\_ JOB NAME Mouras

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**NOTE:** It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

**Use website to confirm licenses:** <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

**NOTE:** If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

<b>ELECTRICAL</b>  <input type="checkbox"/>  CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>MECHANICAL/ A/C</b>  <input type="checkbox"/>  CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>PLUMBING/ GAS</b>  <input type="checkbox"/>  CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>ROOFING</b>  <input type="checkbox"/>  CC# _____	Print Name <u>LEWIS WALKER</u> Signature _____ Company Name: <u>LEWIS WALKER ROOFING INC</u> License #: <u>CCC1333551</u> Phone #: <u>866.959.7663</u>	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>SHEET METAL</b>  <input type="checkbox"/>  CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>FIRE SYSTEM/ SPRINKLER</b>  <input type="checkbox"/>  CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>SOLAR</b>  <input type="checkbox"/>  CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>STATE SPECIALTY</b>  <input type="checkbox"/>  CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE



COLUMBIA COUNTY BUILDING DEPARTMENT  
 135 NE Hernando Ave, Suite B-21, Lake City, FL 32055  
 Phone: 386-758-1008 Fax: 386-758-2160

LETTER OF AUTHORIZATION TO SIGN FOR PERMITS

I, Mark Bauer (license holder name), licensed qualifier for Gibraltar Contracting, LLC (company name), do certify that the below referenced person(s) listed on this form is/are contracted/hired by me, the license holder, or is/are employed by me directly or through an employee leasing arrangement; or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are under my direct supervision and control and is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Person Authorized	Signature of Authorized Person
1. <u>Kim Sweat</u>	1. <u>[Signature]</u>
2.	2.
3.	3.
4.	4.
5.	5.

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances. I understand that the State and County Licensing Boards have the power and authority to discipline a license holder for violations committed by him/her, his/her agents, officers, or employees and that I have full responsibility for compliance with all statutes, codes and ordinances inherent in the privilege granted by issuance of such permits.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

License Holders Signature (Notarized) [Signature] License Number CBCL259633 Date 3-29-23

NOTARY INFORMATION:  
 STATE OF: Florida COUNTY OF: Columbia

The above license holder, whose name is Mark Bauer, personally appeared before me and is known by me or has produced identification (type of I.D.) \_\_\_\_\_ on this 29<sup>th</sup> day of March, 2023.

NOTARY'S SIGNATURE [Signature] (Seal/Stamp)





### Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued: **2/2/2023 10:53:25 AM**

Address: **735 SW STERLING Ter**

City: **HIGH SPRINGS**

State: **FL**

Zip Code **32643**

Parcel ID **10006-107**

REMARKS: **New address for Habitable structure (family home, business, etc.) on the parcel.**

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.**

**Issuance of a 9-1-1 address for your property should not be construed by you or anyone else to mean that your property is buildable pursuant to the Columbia County Land Development Regulations. To determine whether your property is eligible for a building permit please contact the Building and Zoning Department.**

Address Issued By: **MOORE, DAVID R.**



**COLUMBIA COUNTY BUILDING DEPARTMENT  
RESIDENTIAL CHECK LIST**

**MINIMUM PLAN REQUIREMENTS: FLORIDA BUILDING CODE RESIDENTIAL 2017 EFFECTIVE 1 JANUARY 2018  
AND THE NATIONAL ELECTRICAL 2014 EFFECTIVE 1 JANUARY 2018**

**ALL REQUIREMENTS ARE SUBJECT TO CHANGE**

**ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE CURRENT FLORIDA BUILDING CODES RESIDENTIAL AND THE NATIONAL ELECTRICAL CODE. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS, FBC 1609.3.1 THRU 1609.3.3.**

**FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FLORIDA BUILDING CODE FIGURE 1609-A THROUGH 1609-C ULTIMATE DESIGN WIND SPEEDS FOR RISK CATEGORY AND BUILDINGS AND OTHER STRUCTURES  
Revised 7/1/18**

**Website:** <http://www.columbiacountyfla.com/BuildingandZoning.asp>

Items to Include-  
Each Box shall be  
Circled as  
Applicable

**GENERAL REQUIREMENTS:**

**APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

Select From Drop down

1	Two (2) complete sets of plans containing the following:	<input checked="" type="checkbox"/>			
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void	<input checked="" type="checkbox"/>			
3	Condition space (Sq. Ft.)		Total (Sq. Ft.) under roof	Yes	No NA

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL 107.1.

**Site Plan information including:**

4	Dimensions of lot or parcel of land	Yes		<input type="checkbox"/>
5	Dimensions of all building set backs	Yes		<input type="checkbox"/>
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	Yes		<input type="checkbox"/>
7	Provide a full legal description of property.	Yes		<input type="checkbox"/>

**Wind-load Engineering Summary, calculations and any details are required.**

<b>GENERAL REQUIREMENTS:</b>		Items to include- Each Box shall be Circled as Applicable		
<b>APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</b>		Yes	No	NA
8	Plans or specifications must show compliance with FBCR Chapter 3			
		Select From Drop down		
9	Basic wind speed (3-second gust), miles per hour	Yes		<input type="checkbox"/>
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	Yes		<input type="checkbox"/>
11	Wind importance factor and nature of occupancy	Yes		<input type="checkbox"/>
12	The applicable internal pressure coefficient, Components and Cladding	Yes		<input type="checkbox"/>
13	The design wind pressure in terms of psf (kN/m <sup>2</sup> ), to be used for the design of exterior component, cladding materials not specifically designed by the registered design professional.	Yes		<input type="checkbox"/>

**Elevations Drawing including:**

14	All side views of the structure	Yes		<input type="checkbox"/>
15	Roof pitch	Yes		<input type="checkbox"/>
16	Overhang dimensions and detail with attic ventilation	Yes		<input type="checkbox"/>
17	Location, size and height above roof of chimneys	Yes		<input type="checkbox"/>
18	Location and size of skylights with Florida Product Approval	NA		<input type="checkbox"/>
19	Number of stories	Yes		<input type="checkbox"/>
20	Building height from the established grade to the roofs highest peak	Yes		<input type="checkbox"/>

**Floor Plan Including:**

21	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	Yes		<input type="checkbox"/>
22	Raised floor surfaces located more than 30 inches above the floor or grade	NA		<input type="checkbox"/>
23	All exterior and interior shear walls indicated	Yes		<input type="checkbox"/>
24	Shear wall opening shown (Windows, Doors and Garage doors)	Yes		<input type="checkbox"/>
25	Show compliance with Section FBCR 310 Emergency escape and rescue opening shown in each bedroom (net clear opening shown) and Show compliance with Section FBC 1405.13.2 where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Glazing between the floor and 24 inches shall be fixed or have openings through which a 4-inch-diameter sphere cannot pass.	Yes		<input type="checkbox"/>
26	Safety glazing of glass where needed	Yes		<input type="checkbox"/>
27	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 and chapter 24 of FBCR)	Yes		<input type="checkbox"/>
28	Show stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails	NA		<input type="checkbox"/>
29	Identify accessibility of bathroom (see FBCR SECTION 320)	Yes		<input type="checkbox"/>

**All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plans (see Florida product approval form)**

<p><b>GENERAL REQUIREMENTS:</b>  <b>APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</b></p>	<p>Items to Include-                  Each Box shall be                  Circled as                  Applicable</p>
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**FBCR 403: Foundation Plans**

			Select From Drop down
30	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	Yes	<input type="checkbox"/>
31	All posts and/or column footing including size and reinforcing	Yes	<input type="checkbox"/>
32	Any special support required by soil analysis such as piling.	NA	<input type="checkbox"/>
33	Assumed load-bearing value of soil _____ Pound Per Square Foot	NA	<input type="checkbox"/>
34	Location of horizontal and vertical steel, for foundation or walls (include # size and type) For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	NA	<input type="checkbox"/>

**FBCR 506: CONCRETE SLAB ON GRADE**

35	Show Vapor retarder (6mil. Polyethylene with joints taped 6 inches and sealed)	Yes	<input type="checkbox"/>
36	Show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and Supports	Yes	<input type="checkbox"/>

**FBCR 318: PROTECTION AGAINST TERMITES**

37	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or Submit other approved termite protection methods. Protection shall be provided by registered termiticides	Yes	<input type="checkbox"/>
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**FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)**

38	Show all materials making up walls, wall height, and Block size, mortar type	NA	<input type="checkbox"/>
39	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement	NA	<input type="checkbox"/>

**Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect**

**Floor Framing System: First and/or second story**

40	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer	NA	<input type="checkbox"/>
41	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers	NA	<input type="checkbox"/>
42	Girder type, size and spacing to load bearing walls, stem wall and/or piers	NA	<input type="checkbox"/>
43	Attachment of joist to girder	NA	<input type="checkbox"/>
44	Wind load requirements where applicable	NA	<input type="checkbox"/>
45	Show required under-floor crawl space	NA	<input type="checkbox"/>
46	Show required amount of ventilation opening for under-floor spaces	NA	<input type="checkbox"/>
47	Show required covering of ventilation opening	NA	<input type="checkbox"/>
48	Show the required access opening to access to under-floor spaces	NA	<input type="checkbox"/>
49	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & intermediate of the areas structural panel sheathing	NA	<input type="checkbox"/>
50	Show Draftstopping, Fire caulking and Fire blocking	NA	<input type="checkbox"/>
51	Show fireproofing requirements for garages attached to living spaces, per FBCR section 302.6	NA	<input type="checkbox"/>
52	Provide live and dead load rating of floor framing systems (psf).	NA	<input type="checkbox"/>

**FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION**

GENERAL REQUIREMENTS: APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable	
Select from Drop down			
53	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	Yes	<input type="checkbox"/>
54	Fastener schedule for structural members per table FBC-R602.3.2 are to be shown	Yes	<input type="checkbox"/>
55	Show wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	Yes	<input type="checkbox"/>
56	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	Yes	<input type="checkbox"/>
57	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBC-R602.7.	Yes	<input type="checkbox"/>
58	Indicate where pressure treated wood will be placed	Yes	<input type="checkbox"/>
59	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	Yes	<input type="checkbox"/>
60	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	Yes	<input type="checkbox"/>

**FBCR :ROOF SYSTEMS:**

61	Truss design drawing shall meet section FBC-R 802.10. 1 Wood trusses	Yes	<input type="checkbox"/>
62	Include a layout and truss details, signed and sealed by Florida Professional Engineer	Yes	<input type="checkbox"/>
63	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	Yes	<input type="checkbox"/>
64	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	Yes	<input type="checkbox"/>
65	Provide dead load rating of trusses	Yes	<input type="checkbox"/>

**FBCR 802:Conventional Roof Framing Layout**

66	Rafter and ridge beams sizes, span, species and spacing	Yes	<input type="checkbox"/>
67	Connectors to wall assemblies' include assemblies' resistance to uplift rating	Yes	<input type="checkbox"/>
68	Valley framing and support details	Yes	<input type="checkbox"/>
69	Provide dead load rating of rafter system	Yes	<input type="checkbox"/>

**FBCR 803 ROOF SHEATHING**

70	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	Yes	<input type="checkbox"/>
71	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	Yes	<input type="checkbox"/>

## ROOF ASSEMBLIES FRC Chapter 9

72	Include all materials which will make up the roof assemblies covering	Yes		<input type="checkbox"/>
73	Submit Florida Product Approval numbers for each component of the roof assemblies covering	Yes		<input type="checkbox"/>

## FBCR Chapter 11 Energy Efficiency Code for Residential Building

Residential construction shall comply with this code by using the following compliance methods in the FBCR Chapter 11 Residential buildings compliance methods. Two of the required forms are to be submitted, *N1100.1.1.1 As an alternative to the computerized Compliance Method A, the Alternate Residential Point System Method hand calculation, Alternate Form 600A, may be used. All requirements specific to this calculation are located in Sub appendix C to Appendix G. Buildings complying by this alternative shall meet all mandatory requirements of this chapter. Computerized versions of the Alternate Residential Point System Method shall not be acceptable for code compliance.*

<b>GENERAL REQUIREMENTS:</b>		Items to Include- Each Box shall be Circled as Applicable		
APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL				

*Select from Drop Down*

74	Show the insulation R value for the following areas of the structure	Yes		<input type="checkbox"/>
75	Attic space	Yes		<input type="checkbox"/>
76	Exterior wall cavity	Yes		<input type="checkbox"/>
77	Crawl space	Yes		<input type="checkbox"/>

### HVAC information

78	Submit two copies of a Manual J sizing equipment or equivalent computation study	Yes		<input type="checkbox"/>
79	Exhaust fans shown in bathrooms Mechanical exhaust capacity of 50 cfm intermittent or 20 cfm continuous required	Yes		<input type="checkbox"/>
80	Show clothes dryer route and total run of exhaust duct	Yes		<input type="checkbox"/>

### Plumbing Fixture layout shown

81	All fixtures waste water lines shall be shown on the foundation plan	Yes		<input type="checkbox"/>
82	Show the location of water heater	Yes		<input type="checkbox"/>

### Private Potable Water

83	Pump motor horse power	NA		<input type="checkbox"/>
84	Reservoir pressure tank gallon capacity	NA		<input type="checkbox"/>
85	Rating of cycle stop valve if used	NA		<input type="checkbox"/>

### Electrical layout shown including

86	Show Switches, receptacles outlets, lighting fixtures and Ceiling fans	Yes		<input type="checkbox"/>
87	Show all 120-volt, single phase, 15- and 20-ampere branch circuits outlets required to be protected by Ground-Fault Circuit Interrupter (GFCI) Article 210.8 A	Yes		<input type="checkbox"/>
88	Show the location of smoke detectors & Carbon monoxide detectors	Yes		<input type="checkbox"/>
89	Show service panel, sub-panel, location(s) and total ampere ratings	Yes		<input type="checkbox"/>
90	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.  For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an Grounding electrode system. Per the National Electrical Code article 250.52.3	Yes		<input type="checkbox"/>
91	Appliances and HVAC equipment and disconnects	Yes		<input type="checkbox"/>
92	Show all 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed Combination arc-fault circuit interrupter, Protection device.	Yes		<input type="checkbox"/>

**Notice Of Commencement:**

A notice of commencement form RECORDED in the Columbia County Clerk Office is required to be filed with the Building Department BEFORE ANY INSPECTIONS can be performed.

<p><b>GENERAL REQUIREMENTS:</b>  <b>APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</b></p>	<p>Items to Include-                  Each Box shall be                  Circled as                  Applicable</p>
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**\*\*ITEMS 95, 96, & 98 Are Required After APPROVAL from the ZONING DEPT.\*\***

*Select from Drop down*

93	<p><b>Building Permit Application</b> A current Building Permit Application is to be completed, by following the Checklist all supporting documents must be submitted. There is a \$15.00 application fee. The completed application with attached documents and application fee can be mailed.</p>	Yes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
94	<p><b>Parcel Number</b> The parcel number (Tax ID number) from the Property Appraisers Office (386) 758-1083 is required. A copy of property deed is also required. <a href="http://www.columbiacountyfla.com">www.columbiacountyfla.com</a></p>	Yes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
95	<p><b>Environmental Health Permit or Sewer Tap Approval</b> A copy of a approved Columbia County Environmental Health (386) 758-1058</p>	-	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
96	<p><b>City of Lake City</b> A City Water and/or Sewer letter. Call 386-752-2031</p>	-	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
97	<p><b>Toilet facilities shall be provided for all construction sites</b></p>	Yes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
98	<p><b>Town of Fort White</b> (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White, an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.</p>	-	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
99	<p><b>Flood Information:</b> All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations (<a href="http://Municode.com">Municode.com</a>)</p>	NA	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
100	<p><b>CERTIFIED FINISHED FLOOR ELEVATIONS</b> will be required on any project where the approved FIRM Flood Maps show the property is in a AE, Floodway, and AH flood zones. Additionally One Foot Rise letters are required for AE and AH zones. In the Floodway Flood zones a Zero Rise letter is required.</p>	Yes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
101	<p>A Flood development permit is also required for AE, Floodway &amp; AH. Development permit cost is \$50.00</p>	NA	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
102	<p><b>Driveway Connection:</b> If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. County Public Works Dept. determines the size and length of every culvert before instillation and completes a final inspection before permanent power is granted. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00) Separate Check when issued. If the project is to be located on an F.D.O.T. maintained road, then an F.D.O.T. access permit is required.</p>	Yes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
103	<p><b>911 Address:</b> An application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125.</p>	Yes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Ordinance Sec. 90-75. - Construction debris.** (e) It shall be unlawful for any person to dispose of or discard solid waste, including construction or demolition debris at any place within the county other than on an authorized disposal site or at the county's solid waste facilities. The temporary storage, not to exceed seven days of solid waste (excluding construction and demolition debris) on the premises where generated or vegetative trash pending disposition as authorized by law or ordinance, shall not be deemed a violation of this section. The temporary storage of construction and demolition debris on the premises where generated or vegetative trash pending disposition as authorized by law or ordinance shall not be deemed in violation of this section; provided, however, such construction and demolition debris must be disposed of in accordance with this article prior to the county's issuance of a certificate of occupancy for the premises. The burning of lumber from a construction or demolition project or vegetative trash when done so with legal and proper permits from the authorized agencies and in accordance with such agencies' rules and regulations, shall not be deemed a violation of this section. No person shall bury, throw, place, or deposit, or cause to be buried, thrown, placed, or deposited, any solid waste, special waste, or debris of any kind into or on any of the public streets, road right-of-way, highways, bridges, alleys, lanes, thoroughfares, waters, canals, or vacant lots or lands within the county. No person shall bury any vegetative trash on any of the public streets, road right-of-way, highways, bridges, lanes, thoroughfares, waters, canals, or lots less than ten acres in size within the county.

**Disclosure Statement for Owner Builders:**

If you as the Applicant will be acting as your own contractor or owner/builder under section 489.103(7) Florida Statutes, you must submit the required notarized Owner Builder Disclosure Statement form.

\*\*This form can be printed from the Columbia County Website on the Building and Zoning page under Documents. Web address is - <http://www.columbiacountyfla.com/BuildingandZoning.asp>

**Section 105 of the Florida Building Code defines the:**

**Time limitation of application.**

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**Single-family residential dwelling.**

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

**Permit intent.**

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

**If work has commenced.**

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

**New Permit.**

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

**Work Shall Be:**

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

**The Fee:**

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

**Notification:**

When the application is approved for permitting the applicant will be notified by phone as to the status by the Columbia County Building & Zoning Department.

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ [www.floridabuilding.org](http://www.floridabuilding.org)

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>1. EXTERIOR DOORS</b>			
A. SWINGING	Plastro	Exterior Swinging Doors	FL-16094-1
B. SLIDING			
C. SECTIONAL/ROLL UP			
D. OTHER			
<b>2. WINDOWS</b>			
A. SINGLE/DOUBLE HUNG	MI	Single Hung Vinyl Windows	FL-17499
B. HORIZONTAL SLIDER			
C. CASEMENT			
D. FIXED			
E. MULLION			
F. SKYLIGHTS			
G. OTHER			
<b>3. PANEL WALL</b>			
A. SIDING	Hardie	Concrete Masonry Siding	FL-13192
B. SOFFITS			
C. STOREFRONTS			
D. GLASS BLOCK			
E. OTHER			
<b>4. ROOFING PRODUCTS</b>			
A. ASPHALT SHINGLES	Tamko	Architectural Shingles	FL-18355-R4
B. NON-STRUCT METAL			
C. ROOFING TILES			
D. SINGLE PLY ROOF			
E. OTHER			
<b>5. STRUCT COMPONENTS</b>			
A. WOOD CONNECTORS			
B. WOOD ANCHORS	Simpson	H2.5	10456.7
C. TRUSS PLATES		LLSTA24	10456.15
D. INSULATION FORMS			
E. LINTELS			
F. OTHERS			
<b>6. NEW EXTERIOR ENVELOPE PRODUCTS</b>			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

NOTES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

# Plastpro

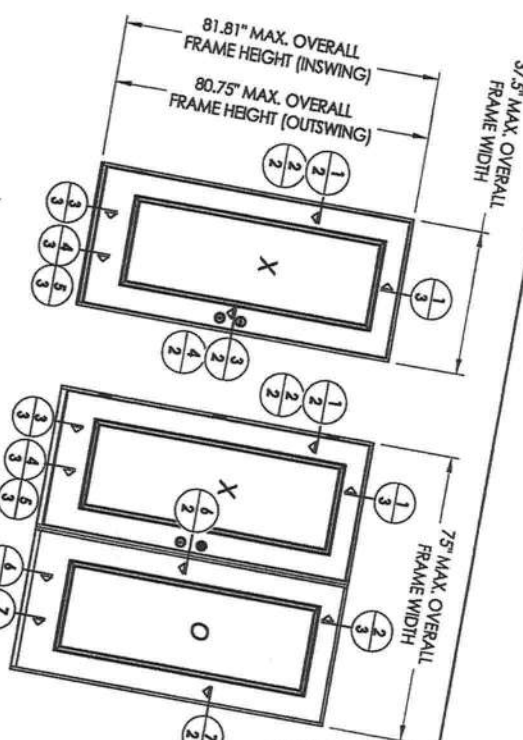
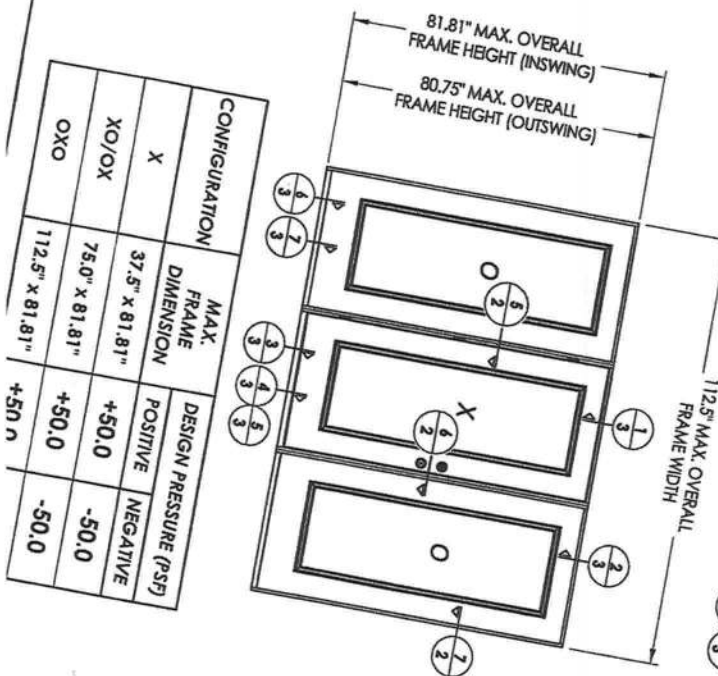
5200 CENTURY BLVD.  
LOS ANGELES, CA 90045

GLAZED FIBERGLASS SINGLE DOOR  
w/ /out SIDELITE(S)  
Ing / Outswing  
IMPACT™

### GENERAL NOTES

- This product anchoring drawing has been Code (FBC) structural requirements included is in compliance with the 4th Edition (2017) Florida Building Code for sizes, specifications and rationally Hurricane Zone" (HVHZ). See the Certification Agency beyond wall dressing or stucco.
- Product anchors shall be as listed and spaced as shown.
- When used in the "HVHZ" this product complies with the Florida Building Code and does not require an impact resistant covering.
- When used in areas outside of the "HVHZ" requirements this product complies with FBC Sections 1609.1.2 & R301.2.1, 2.2 and does not require impact resistant covering. This product meets missile level "D" as defined in ASTM F1803.
- For 2x stud construction, anchoring of these units shall be as shown for 2x-buck masonry construction.
- Site conditions that deviate from the details of this drawing shall be approved by a licensed engineer or registered architect.
- Outswing configurations utilizing the high dem sill other configurations do not meet the water infiltration non-habitable areas or of habitable locations. All edge of canopy or overhang to sill is less than 45 degrees.

SHEET #	DESCRIPTION
1	Typical elevations, design pressure
2	Horizontal cross sections
3	Vertical cross sections
4	Buck anchoring & bill of materials
5	Frame anchoring & glazing details



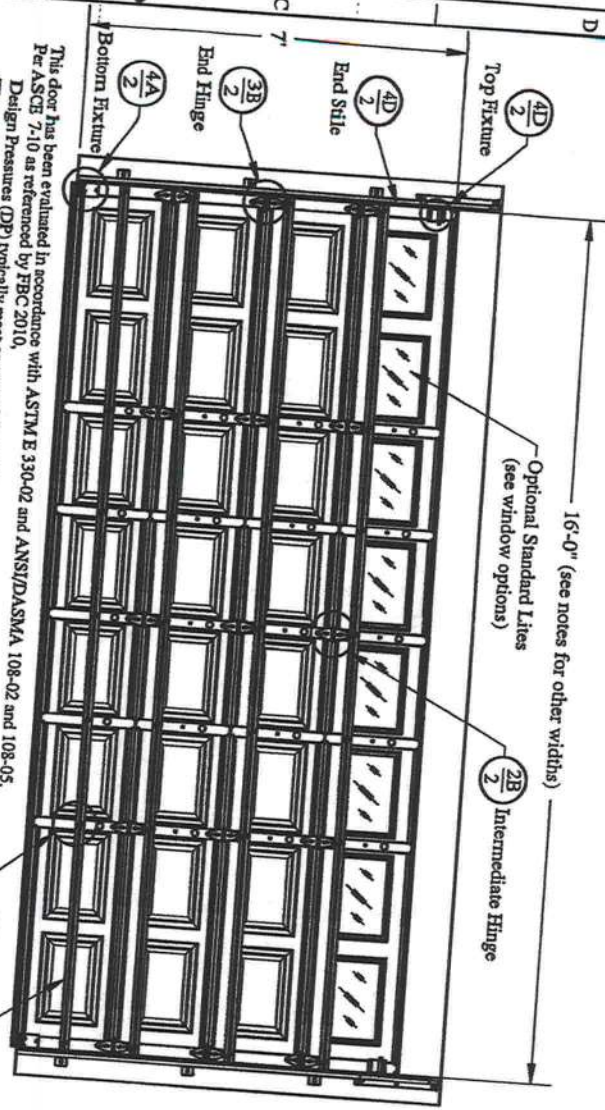
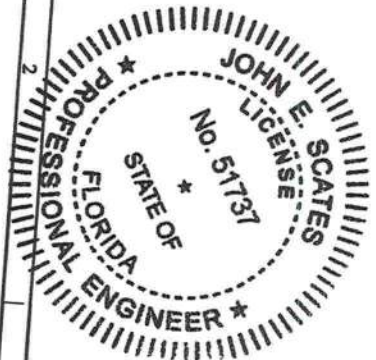
CONFIGURATION	MAX. FRAME DIMENSION	DESIGN PRESSURE (PSF)
X	37.5" x 81.81"	POSITIVE +50.0 NEGATIVE -50.0
XO/OX	75.0" x 81.81"	+50.0 -50.0
OXO	112.5" x 81.81"	+50.0 -50.0

NO.	DATE	REVISIONS
2	10/14/17	UPDATE TO 6TH ED. (2017) FBC
1	8/04/14	CLARIFIED INSTALLATION DETAILS

PRODUCT:	PLASTPRO FIBERGLASS DOOR
PART OR ASSEMBLY:	TYPICAL ELEVATION, DESIGN PRESSURES & GENERAL NOTES
DATE:	October 14, 2017
PREPARED BY:	Lyndon F. Schmidt
CHECKED BY:	P.E. No. 43409



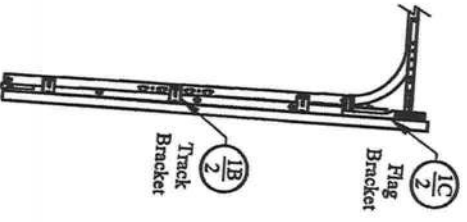
**R.W. BUILDING CONSULTANTS, INC.**  
P.O. Box 230, Valrico, FL 33595  
Phone No.: 813.659.9197  
FBPE C.A. No. 9813



16'-0" (see notes for other widths)  
Optional Standard Lites  
(see window options)

This door has been evaluated in accordance with ASTM E 330-02 and ANSI/DASMA 108-02 and 108-05.  
Per ASCE 7-10 as referenced by FBC 2010,  
Design Pressures (DP) typically meet or exceed the requirements for the following wind speeds.  
These wind speeds are for 7 high doors, taller openings typically withstand higher wind speeds.

Width	Design Pressure	Exposure "B"	Exposure "C"	Windows	Center Sill
21'-00"	10.9 (psf) / -12.1 (psf)	11.0 (mph)	9.9 (mph)	10	9
20'-00"	12.0 (psf) / -13.3 (psf)	11.5 (mph)	9.8 (mph)	10	9
19'-00"	13.3 (psf) / -14.8 (psf)	12.1 (mph)	10.2 (mph)	10	9
18'-00"	14.8 (psf) / -16.4 (psf)	12.8 (mph)	10.5 (mph)	10	9
16'-00"	17.6 (psf) / -19.6 (psf)	13.9 (mph)	10.8 (mph)	10	9
15'-00"	18.7 (psf) / -20.8 (psf)	14.3 (mph)	11.1 (mph)	8	7
14'-00"	19.9 (psf) / -22.2 (psf)	14.7 (mph)	12.1 (mph)	8	7
12'-00"	21.4 (psf) / -23.8 (psf)	15.2 (mph)	12.8 (mph)	7	6
11'-00"	23.2 (psf) / -27.7 (psf)	16.3 (mph)	13.8 (mph)	7	6
10'-00"	25.3 (psf) / -30.3 (psf)	17.3 (mph)	14.3 (mph)	6	5
10'-00"	28.5 (psf) / -31.7 (psf)	17.9 (mph)	14.6 (mph)	5	4
09'-00"	31.5 (psf) / -33.3 (psf)	18.1 (mph)	14.9 (mph)	5	4
09'-00"	33.2 (psf) / -35.0 (psf)	18.5 (mph)	15.3 (mph)	4	3
08'-00"	35.2 (psf) / -39.2 (psf)	18.7 (mph)	15.6 (mph)	4	3
08'-00"	37.4 (psf) / -41.6 (psf)	19.5 (mph)	16.0 (mph)	4	3



Window Options:

For Glass:  
Max daylight opening 39-3/8 x 12-1/2"  
(up to +44.3/-51.5 psf)  
Max daylight opening 16-3/4 x 10-1/4"  
(up to +50.7/-57.5 psf)

For Lites:  
Max daylight opening 16-3/4 x 10-1/4"  
(up to +44.7/-51.5 psf)

1/4" Lexan with Aluminum Frame

door height	section quantity	strut quantity	trk brkt per side
6'-6" to 7'-0"	4	4	3
7'-6" to 8'-0"	5	5	4
8'-3" to 8'-9"	5	5	4
9'-0" to 10'-6"	6	6	5
10'-9" to 12'-3"	7	7	6
12'-6" to 14'-0"	8	8	7
14'-3" to 15'-9"	9	9	8
16'-0" to 17'-6"	10	10	9
17'-9" to 19'-3"	11	11	10
19'-6" to 20'-0"	12	12	11

Track bracket quantities shown are for use with grade 2 or better spruce-pine-fir (SPF) or southern pine joints.

Supplemental Instructions contain details for doors up to 20'-0" high. These are required in addition to this drawing for installation. Always use supplemental instructions in addition to this drawing during door installation.



Model 2240, 2241, 2250, 2251

37.4 (psf) / -41.6 (psf) at 08'-00" through 10.9 (psf) / -12.1 (psf) at 21'-00"

C.H.I. DRAWING: FZ3-16-01311

Supporting structural elements to be designed by registered professional engineer for specified wind loads. If door is not electrically operated, a lock must be installed. Maximum door height: 20'-0" Maximum section height: 21"

Professional Engineer's seal provided only for verification of windload construction details

**FL 15012R1**

*John E. Scates*

John E. Scates, P.E.  
3121 Fairgate Drive  
Carrollton, Texas 75007  
Florida P.E. # 51737

**GENERAL NOTES:**

1. ALL FASTENERS SHALL BE IN ACCORDANCE WITH THESE DRAWINGS. SPECIFIED ANCHOR CURED TO BASE MATERIAL SHALL BE BORED WALL FINISH OR STUCCO.
2. OPENINGS, BLOCKING & BRACING FASTENERS MUST BE PROPERLY DESIGNED AND INSTALLED TO TRANSFER WIND LOADS TO THE FOUNDATION.
3. THESE NON-IMPACT RATED PRODUCT INSTALLATIONS ARE IN ACCORDANCE WITH AND MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE (FBC).
4. ALL ANCHORS SECURING PRODUCT FRAMES TO PRESSURE TREATED BLOCKS OR WOOD FRAMING SHALL BE CAPABLE OF RESISTING CORROSION CAUSED BY THE PRESSURE TREATING CHEMICALS IN THE WOOD.
5. MATERIALS, INCLUDING BUT NOT LIMITED TO STEEL SCREWS, THAT COME INTO CONTACT WITH OTHER DISMILLAR MATERIALS SHALL MEET THE REQUIREMENTS OF FLORIDA BUILDING CODE CHAPTER 20.
6. TO THE BEST OF OUR KNOWLEDGE, THE PRODUCT SHOWN HEREIN IS CERTIFIED & QUALITY ASSURED BY A FLORIDA STATE APPROVED CERTIFICATION/QUALITY ASSURANCE PROGRAM WITH THE FBC AND THE FLORIDA DEPARTMENT OF BUSINESS & PROFESSIONAL REGULATION SPECIFICATIONS. PRODUCT ASSEMBLY IS NOT SUBJECT TO THIS DRAWING AND SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S QUALITY ASSURANCE PROGRAM.
7. CERTIFICATION OF THESE PRODUCT INSTALLATIONS SHALL BE CONSIDERED VOID IF ANY OF THE FOLLOWING APPLY: 1) PRODUCT IS INSTALLED WITHOUT A BUILDING PERMIT FROM THE APPLICABLE LOCAL BUILDING DEPARTMENT. 2) PRODUCT IS INSTALLED BY ANYONE OTHER THAN A LICENSED CONTRACTOR EXPERIENCED WITH INSTALLATIONS OF THIS TYPE OF PRODUCT. 3) IF CHANGES HAVE OCCURRED TO THE PRODUCT'S CERTIFICATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST CERTIFICATION. 4) IF CHANGES HAVE OCCURRED TO THE PRODUCT'S CERTIFICATION THAT CAUSE THESE INSTALLATIONS TO BE INCORRECT OR INCONSISTENT WITH WHAT HAS BEEN TESTED.
8. THE LAST DESIGN PRESSURE SPECIFIED EITHER IN THIS DRAWING OR IN THE PRODUCT'S CERTIFICATION SHALL BE USED FOR THE INSTALLED PRODUCT.
9. THESE DRAWINGS CARRY THE PRODUCT INSTALLATION ONLY. WATER PROOFING OF THE INSTALLED PRODUCT IS NOT PART OF THIS INSTALLATION CERTIFICATION. THAT RESPONSIBILITY SHALL BE THAT OF THE MANUFACTURER &/OR INSTALLER.

**ALTERNATE ANCHOR/SUBSTRATE EVALUATION NOTE:**  
 ALL ALTERNATE ANCHORS IN THEIR SPECIFIED SUBSTRATES HAVE BEEN ANALYZED IN ACCORDANCE WITH THEIR APPLICABLE STANDARDS AND ARE FOUND TO BE EQUIVALENT TO OR STRONGER THAN THE ANCHOR(S) USED IN TESTING WITH THIS PRODUCT.

INSTALLATION EVALUATION IS BASED ON APPLICABLE ANCHOR STANDARDS AND/OR INFORMATION & RESULTS FROM APPLICABLE TEST REPORTS. THE FLORIDA BUILDING CODE VERSION CONSIDERED WITH THE EVALUATION WAS THAT IN FORCE AT THE TIME OF THE EVALUATION. IN THE EVENT OF CODE VERSION CHANGES/UPDATES OR IN THE EVENT THAT NEW OR ADDITIONAL TESTING IS COMPLETED ON THE REFERENCED PRODUCT, PRIOR TO STARTING CODE COMPLIANCE WITH THE STATE, THE MANUFACTURER SHALL BE RESPONSIBLE FOR THE INSTALLATION EVALUATION ENGINEER OF RECORD THAT THE INSTALLATIONS SPECIFIED HEREIN ARE CONFORMANT WITH THE THEN CURRENT TESTING, CODE AND APPLICABLE STANDARDS.

**FRAME ANCHOR REQUIREMENTS TABLE**

OPENING TYPE (SUBSTRATE)	FRAME/CLIP/NAIL FIN TO OPENING FASTENER TYPE	MINIMUM EMBEDDED EDGE DIST.	MINIMUM EDGE DIST.
<b>(1) FRAME SCREWS (SERIES 20)</b>			
MIN. 2X4 WOOD FRAME OR BRICK (MIN. GR. 3 & G=0.55)	NO. 10 SWS OR WOOD SCREW	1 1/4"	3/4"
MIN. 18 GA. 33 KSI METAL STUD	NO. 10 GR. 5 SELF TAP/DRILL SCREW	FULL	1/2"
MIN. 1/8" THK. A36 STEEL	NO. 10 GR. 5 SELF TAP/DRILL SCREW	FULL	1/2"
MIN. 1/8" THK. 6063-T5 ALUM.	NO. 10 GR. 5 SELF TAP/DRILL SCREW	FULL	1/2"
C-90 CMU/2500 PSI CONCRETE	(1) 1/4" CONCRETE SCREW	1 1/4"	2"
<b>(1) INSTALLATION CLIP SCREWS (SERIES 20)</b>			
MIN. 2X4 WOOD FRAME OR BRICK (MIN. GR. 3 & G=0.55)	NO. 10 SWS OR WOOD SCREW	1 1/4"	3/4"
MIN. 18 GA. 33 KSI METAL STUD	NO. 10 GR. 5 SELF TAP/DRILL SCREW	FULL	1/2"
MIN. 1/8" THK. A36 STEEL	NO. 10 GR. 5 SELF TAP/DRILL SCREW	FULL	1/2"
MIN. 1/8" THK. 6063-T5 ALUM.	NO. 10 GR. 5 SELF TAP/DRILL SCREW	FULL	1/2"
C-90 CMU/2500 PSI CONCRETE	(1) 1/4" CONCRETE SCREW	1 1/4"	2"
<b>NAILING FIN FASTENERS (SERIES 10)</b>			
MIN. 2X4 WOOD FRAME OR BRICK (MIN. GR. 3 & G=0.55)	(2) NO. 8 X 1 1/2" SWS	1 3/8"	1/2"
MIN. 2X4 WOOD FRAME OR BRICK (MIN. GR. 3 & G=0.55)	(4) 2" X 11 GA. ROOFING NAIL	1 7/8"	1/2"
MIN. 1/8" THK. A36 STEEL	(3) NO. 8 GR. 5 SELF TAP/DRILL SCREW	FULL	1/2"
MIN. 1/8" THK. 6063-T5 ALUM.	(3) NO. 8 GR. 5 SELF TAP/DRILL SCREW	FULL	1/2"

**ALLOWABLE DESIGN PRESSURE (SINGLE WINDOW)**

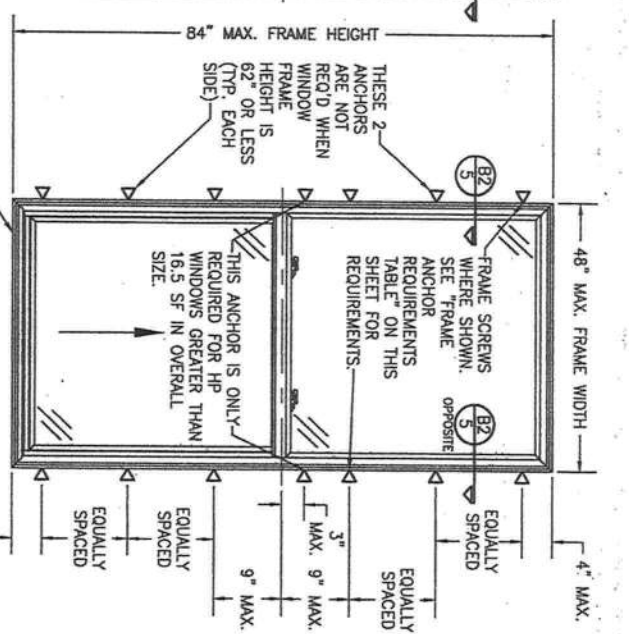
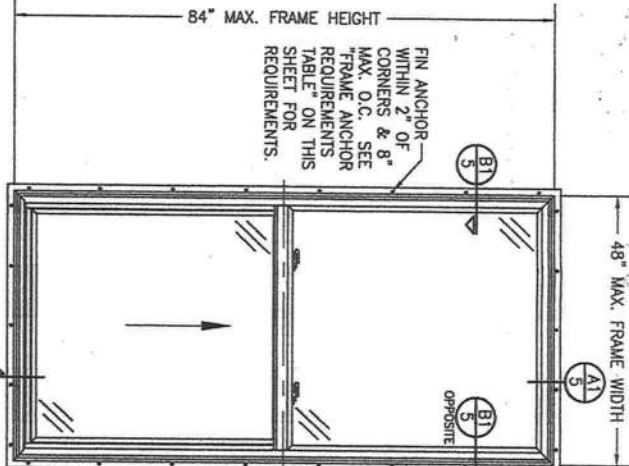
WINDOW SIZE	MAX. FRAME WIDTH (IN.)	MAX. FRAME HEIGHT (IN.)	STYLE REINFORCEMENT	FIXED SASH MEETING RAIL REINFORCEMENT	ACTIVE SASH MEETING RAIL REINFORCEMENT	ALLOWABLE PRESSURE (PSF)
(1) 36	59.5	NO	NO	NO	YES	35
(2) 36	72	YES	NO	YES	YES	35
(3) 42	72	YES	YES	YES	YES	50
(4) 48	59.5	NO	YES	YES	YES	35
(5) 48	72	YES	YES	YES	YES	35
(6) 48	84	YES	YES	YES	YES	35

ALLOWABLE PRESSURE (POSITIVE & NEGATIVE) (PSF)

NO ANCHORS REQ'D AT HEAD & SILL

EXTERIOR ELEVATION: SINGLE WINDOW (FIN INSTALLED SERIES 10)  
 SCALE: 3/4" = 1'-0"

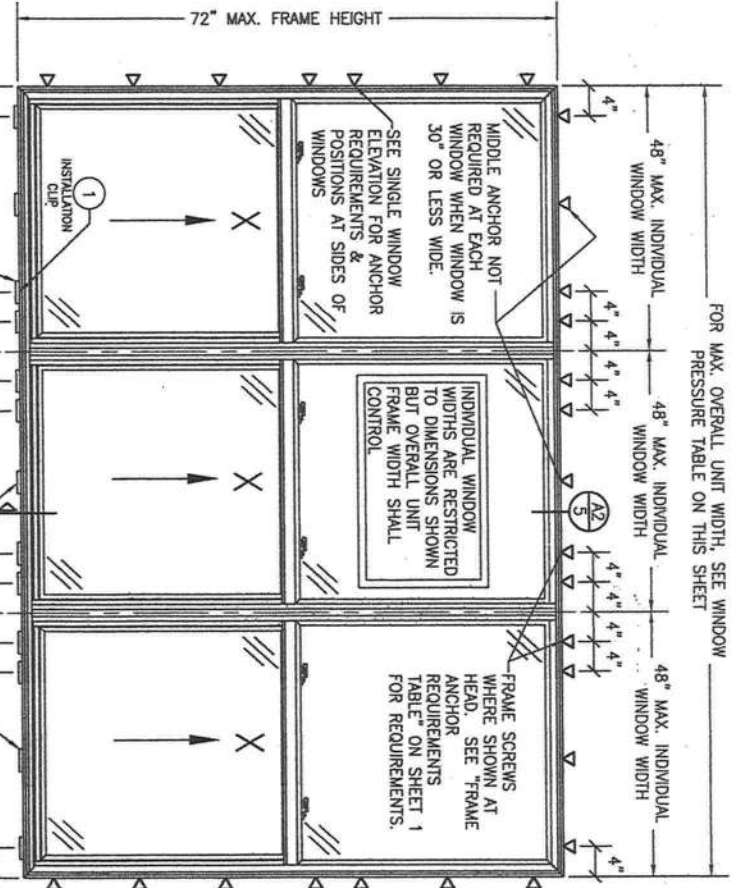
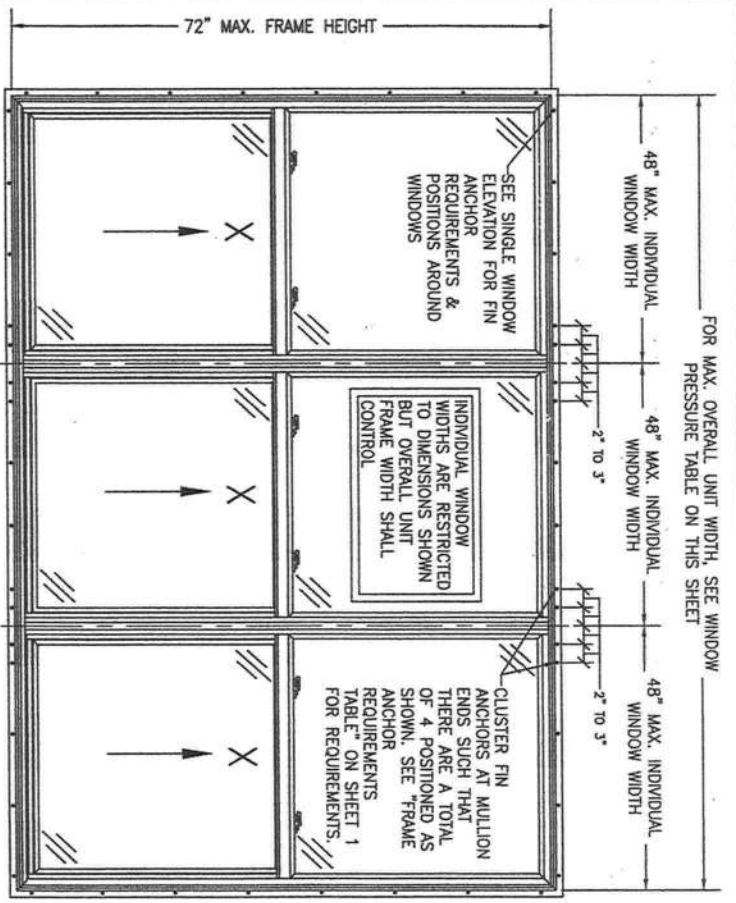
EXTERIOR ELEVATION: SINGLE WINDOW (FRAME SCREW INSTALLED SERIES 20)  
 SCALE: 3/4" = 1'-0"



THESE DRAWINGS ARE APPROVED ONLY TO THE PRODUCT SPECIFICATIONS AND NOT TO BE USED FOR ANY OTHER PRODUCT NOR ANY AND/OR INSTALLATION OF ANY OTHER PRODUCT NOR ANY THEY BE USED FOR NATIONAL, ANY/OR LOCAL APPROVAL, OF ANY PRODUCT NOT PRODUCED BY THE MANUFACTURER LISTED ON THESE DRAWINGS.



<p><b>CERTIFICATION</b></p> <p><b>JAN 30 2020</b></p> <p>WARGEN W. SCHAEFER, P.E.          P.E. NO. 44135</p>	<p>DRAWING TITLE</p> <p><b>SERIES 10/20 VINYL SINGLE HUNG WINDOW</b></p> <p>CONSULTANTS</p> <p><b>W. W. SCHAEFER ENGINEERING &amp; CONSULTING, P.A. (CA 6809)</b></p> <p>7480 150TH COURT NORTH          PALM BEACH GARDENS, FL 33418          PHONE: 561-744-3424</p>	<p>MANUFACTURER</p> <p><b>Pella</b></p> <p><b>PELLA CORPORATION</b>          2000 PROLINE PLACE          GETTYSBURG, PA 17325          717-334-0099</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISION DESCRIPTION</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>UPDATE TO PRESENT STANDARDS</td> <td>W.W.S.</td> <td>01/20/20</td> </tr> <tr> <td>02</td> <td>UPDATE PER NEW TESTING</td> <td>W.W.S.</td> <td>12/15/09</td> </tr> <tr> <td>03</td> <td>UPDATE PER NEW TESTING</td> <td>W.W.S.</td> <td>09/05/10</td> </tr> <tr> <td>04</td> <td>UPDATE CONSULTANTS ADDRESS</td> <td>W.W.S.</td> <td>11/02/11</td> </tr> <tr> <td>05</td> <td>CHANGE FRAME MEMBER PREFIXES</td> <td>W.W.S.</td> <td>01/13/15</td> </tr> <tr> <td>06</td> <td>UPDATE PER NEW TESTING</td> <td>W.W.S.</td> <td>09/14/17</td> </tr> </tbody> </table>	NO.	REVISION DESCRIPTION	BY	DATE	01	UPDATE TO PRESENT STANDARDS	W.W.S.	01/20/20	02	UPDATE PER NEW TESTING	W.W.S.	12/15/09	03	UPDATE PER NEW TESTING	W.W.S.	09/05/10	04	UPDATE CONSULTANTS ADDRESS	W.W.S.	11/02/11	05	CHANGE FRAME MEMBER PREFIXES	W.W.S.	01/13/15	06	UPDATE PER NEW TESTING	W.W.S.	09/14/17
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**EXTERIOR ELEVATION:  
MULTIPLE WINDOWS  
(FIN INSTALLED SERIES 10)**

SCALE: 3/4" = 1'-0"

INSTALLATION CLIPS WHERE SHOWN, SEE "FRAME ANCHOR REQUIREMENTS TABLE" ON SHEET 1 FOR REQUIREMENTS.  
NOTE: CLIPS MAY BE USED AT HEAD ALSO IN LIEU OF FRAME SCREWS

**EXTERIOR ELEVATION:  
MULTIPLE WINDOWS  
(FRAME SCREW INSTALLED SERIES 20)**

SCALE: 3/4" = 1'-0"

MIDDLE ANCHOR NOT REQUIRED AT EACH WINDOW WHEN WINDOW IS 30" OR LESS WIDE.

PRESSURE SHOWN IN THIS TABLE IS FOR INSTALLATION CONDITIONS ONLY. THE GOVERNING DESIGN PRESSURE ON THE WINDOWS SHALL BE THE LESSER OF THAT SHOWN IN THE INDIVIDUAL WINDOW'S STATE APPROVAL OR THAT SHOWN IN THIS TABLE.

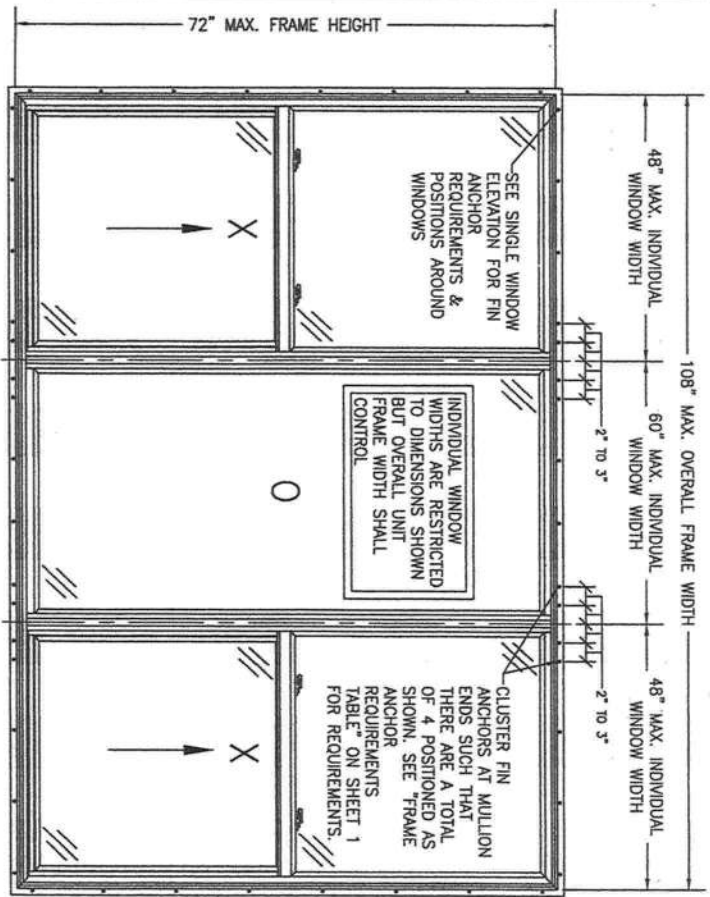
ALLOWABLE DESIGN PRESSURE (DOUBLE & TRIPLE WINDOWS)				
OVERALL WINDOW SIZE	MULLION REINFORCEMENT TYPE	STILE REINFORCEMENT	FIXED SASH MEETING RAIL REINFORCEMENT	ACTIVE SASH MEETING RAIL REINFORCEMENT
MAX. FRAME WIDTH (IN)	MAX. FRAME HEIGHT (IN)			
72	53.5	N/A	NO	YES
72	59.5	1-BAR	NO	YES
72	65.5	1-BAR	YES	YES
72	72	1-BAR	NO	YES
96.5	53.5	N/A	NO	YES
96.5	59.5	1-BAR	NO	YES
96.5	72	1-BAR	YES	YES
108	53.5	N/A	NO	YES
108	59.5	1-BAR	NO	YES
109	59.5	1-BAR	YES	YES
109	72	1-BAR	NO	YES

**NOTE:**

1. ALL WINDOWS ARE RESTRICTED BY THE DIMENSIONS SPECIFIED.
2. TRIPLE WINDOW SHOWN. DOUBLE WINDOW ALSO APPLIES.
3. IF MORE THAN 3 WINDOWS ARE TO BE MULLED IN ONE OPENING, ALLOWABLE PRESSURE ON THOSE UNITS SHALL BE AS STATED FOR THE COMPARABLE TRIPLE UNIT.

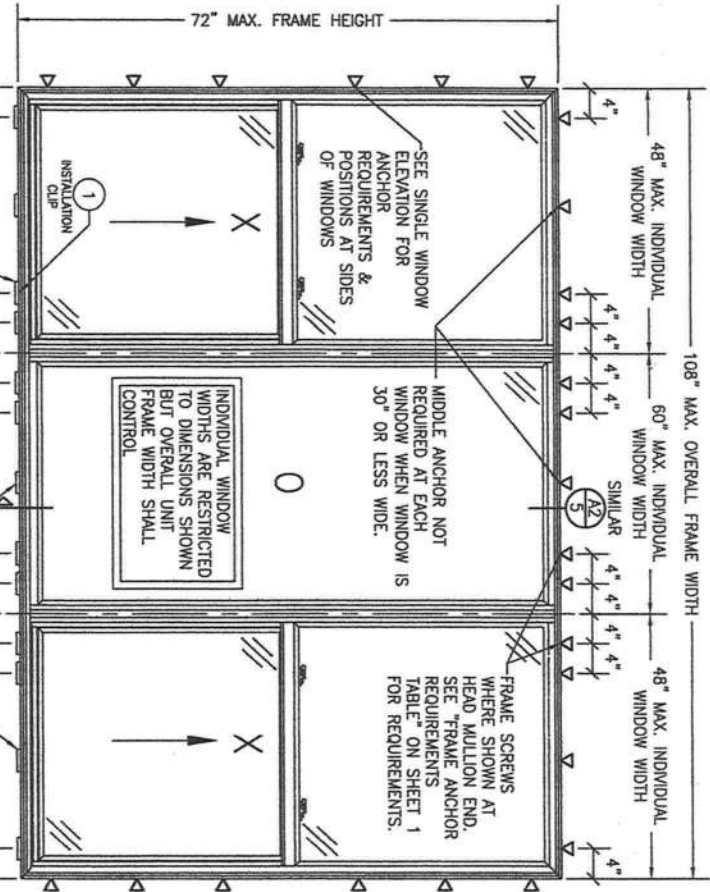


<b>CERTIFICATION</b> JAN 30 2020 WARREN W. SCHAEFER, P.E. P.E. NO. 44138		<b>DRAWING TITLE</b> SERIES 10/20 VINYL SINGLE HUNG WINDOW		<b>NO. REVISION DESCRIPTION BY DATE</b> 1 1/8 2 0/8	
<b>CONSULTANTS</b> W. W. SCHAEFER ENGINEERING & CONSULTING, P.A. (CA 6809) 7480 150TH COURT NORTH PALM BEACH GARDENS, FL 33418 PHONE: 561-744-3424		<b>MANUFACTURER</b> PELLA CORPORATION 2000 PROLINE PLACE GETTYSBURG, PA 17325 717-334-0099		<b>DESIGNED BY</b> DATE: 01/29/08 <b>SCALE</b> 1/8" = 1'-0"	



**EXTERIOR ELEVATION:  
MULTIPLE OPERABLE/FIXED WINDOWS  
(FIN INSTALLED SERIES 10)**

SCALE: 3/4" = 1'-0"



**EXTERIOR ELEVATION:  
MULTIPLE OPERABLE/FIXED WINDOWS  
(FRAME SCREW INSTALLED SERIES 20)**

SCALE: 3/4" = 1'-0"

ALLOWABLE DESIGN PRESSURE (XOX WINDOWS)
+/-30 PSF

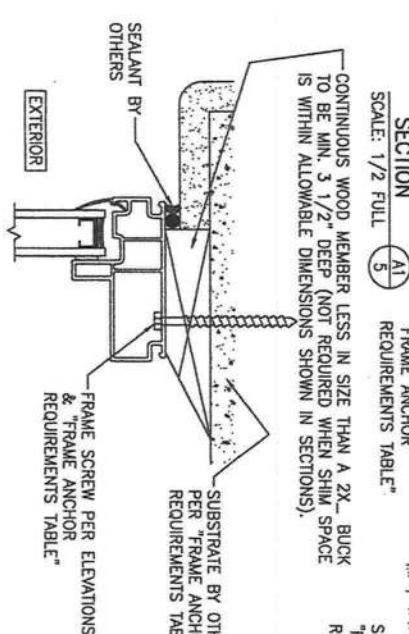
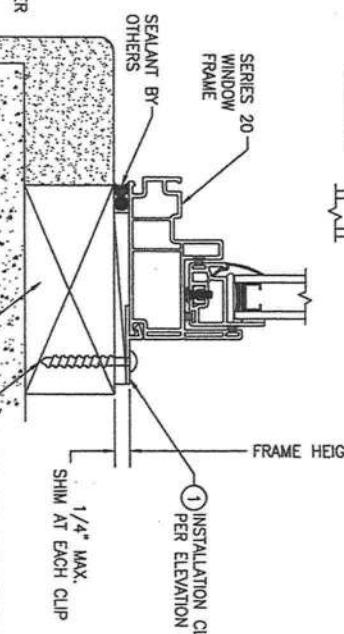
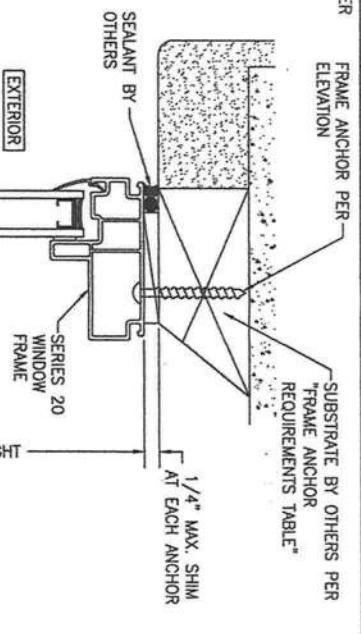
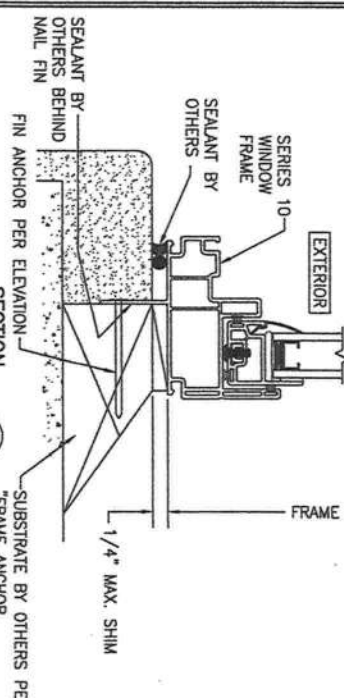
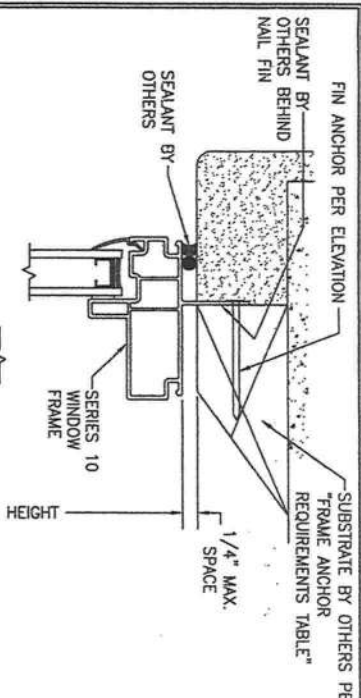
INSTALLATION CLIPS WHERE SHOWN, SEE "FRAME ANCHOR REQUIREMENTS TABLE" ON SHEET 1 FOR REQUIREMENTS.  
NOTE: CLIPS MAY BE USED AT HEAD ALSO IN LIEU OF FRAME SCREWS

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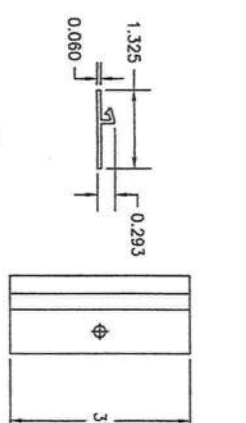
- NOTE:**
1. ALL WINDOWS ARE RESTRICTED BY THE DIMENSIONS SPECIFIED.
  2. TRIPLE WINDOW SHOWN. DOUBLE WINDOW ALSO APPLIES & IS RESTRICTED TO A MAXIMUM OVERALL FRAME WIDTH OF 96".

SHEET NO. 4 OF 4	DRAWING NO. 1572 REV. G	DATE: 01/24/08	CHECKED BY:	NO. REVISION DESCRIPTION BY DATE	DRAWING TITLE <b>SERIES 10/20 VINYL SINGLE HUNG WINDOW</b>	
					CONSULTANTS <b>W. W. SCHAEFER ENGINEERING &amp; CONSULTING, P.A. (CA 6809)</b> 7480 150TH COURT NORTH PALM BEACH GARDENS, FL 33418 PHONE: 561-744-3424	MANUFACTURER  <b>PELLA CORPORATION</b> 2000 PROLINE PLACE GETTYSBURG, PA 17325 717-334-0099

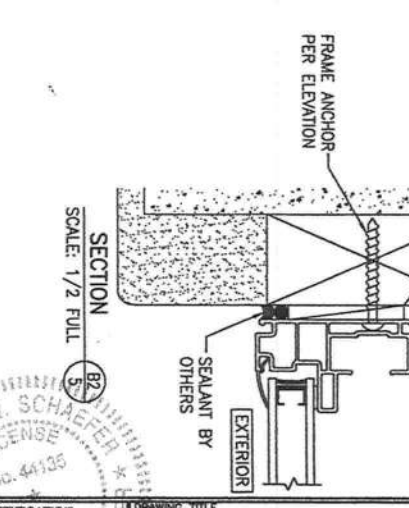
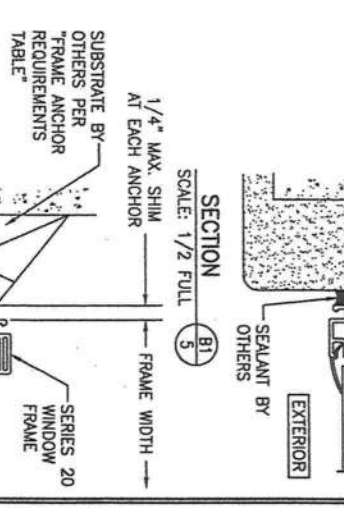
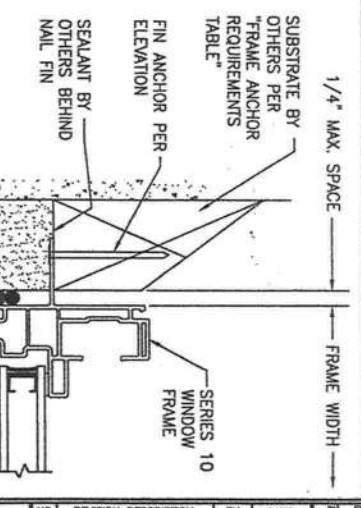




**OPTIONAL (SERIES 20) DIRECT MOUNT DETAIL TO SUBSTRATE WITH SPACER**  
 (HEAD SECTION SHOWN, SIDES ARE INSTALLED THE SAME)  
 (SILL DOES NOT APPLY)  
 (FOR DETAIL NOT SHOWN, SEE SECTIONS A2/4 & B2/4)



**1 INSTALLATION CLIP**  
 (MMNL)



**CERTIFICATION**  
 W. W. SCHAEFER  
 LICENSE No. 44135  
 JAN 30 2020  
 WARREN W. SCHAEFER, P.E.  
 P.E. NO. 44135

**DRAWING TITLE**  
 SERIES 10/20 VINYL SINGLE HUNG WINDOW

**CONSULTANTS**  
 W. W. SCHAEFER ENGINEERING & CONSULTING, P.A. (CA 6809)  
 7460 150TH COURT NORTH  
 PALM BEACH GARDENS, FL 33418  
 PHONE: 561-744-3424

**MANUFACTURER**  
  
 PELLA CORPORATION  
 2000 PROLINE PLACE  
 GETTYSBURG, PA 17325  
 717-334-0099

NO.	REVISION DESCRIPTION	BY	DATE



# Application Instructions for HERITAGE® LAMINATED ASPHALT SHINGLES

FORMERLY HERITAGE® 30

Tuscaloosa, AL

THESE ARE THE MANUFACTURER'S APPLICATION INSTRUCTIONS FOR THE ROOFING CONDITIONS DESCRIBED. TAMKO BUILDING PRODUCTS, INC. ASSUMES NO RESPONSIBILITY FOR LEAKS OR OTHER ROOFING DEFECTS RESULTING FROM FAILURE TO FOLLOW THE MANUFACTURER'S INSTRUCTIONS. FAILURE TO FOLLOW THESE INSTRUCTIONS WILL ADVERSELY AFFECT COVERAGE UNDER THE LIMITED WARRANTY. SEE THE LIMITED WARRANTY FOR DETAILS.

THIS PRODUCT IS COVERED BY A LIMITED WARRANTY, THE TERMS OF WHICH ARE PRINTED ON THE WRAPPER.

IN COLD WEATHER (BELOW 40°F), CARE MUST BE TAKEN TO AVOID DAMAGE TO THE EDGES AND CORNERS OF THE SHINGLES.

**IMPORTANT FASTENING INFORMATION:** DO NOT PLACE FASTENERS ON OR ABOVE THE PAINT LINE ON THE SHINGLE. The paint line on the shingle is the upper-most edge of TAMKO's expanded Nail Zone. For complete details regarding TAMKO's expanded Nail Zone, see section 3 of these Application Instructions. Failure to follow fastening instructions, including but not limited to improper placement of fasteners on or above the paint line, will adversely affect coverage under TAMKO's applicable Limited Warranty. Avoid placing fasteners into the sealant strip.

**IMPORTANT:** It is not necessary to remove the plastic strip from the back of the shingles.

## I. ROOF DECK

These shingles are for application to roof decks consisting of plywood or sheathing boards capable of receiving and retaining fasteners, and to inclines of not less than 2 in. per foot. For roofs having pitches 2 in. per foot to less than 4 in. per foot, refer to special instructions titled "Low Slope Application". For roofs having pitches greater than 21 in. per foot, refer to special instructions titled "Mansard Roof or Steep Slope Roof". Shingles must be applied properly. TAMKO assumes no responsibility for leaks or defects resulting from improper application, or failure to properly prepare the surface to be roofed over.

**NEW ROOF DECK CONSTRUCTION:** Roof deck must be smooth, dry and free from warped surfaces. It is recommended that metal drip edges be installed at eaves and rakes.

**PLYWOOD:** All plywood shall be exterior grade as defined by APA - The Engineered Wood Association. Plywood shall be a minimum of 3/8 in. thickness and applied in accordance with the recommendations of APA - The Engineered Wood Association.

**SHEATHING BOARDS:** Boards shall be well-seasoned tongue-and-groove boards and not over 6 in. nominal width. Boards shall be a 1 in. nominal minimum thickness. Boards shall be properly spaced and nailed.

## 2. VENTILATION

Inadequate ventilation of attic spaces can cause accumulation of moisture in winter months and a build up of heat in the summer. These conditions can lead to:

1. Vapor Condensation
2. Buckling of shingles due to deck movement.
3. Rotting of wood members.
4. Premature failure of roof.

To insure adequate ventilation and circulation of air, the ventilation system must include inlets and outlets. This may be accomplished with a combination of ridge and soffit vents or by using gable end vents. FHA minimum property standards require one square foot of net free ventilation area to each 150 square feet of space to be vented. This may be reduced to one square foot of ventilation

area per 300 square feet if at least 40% and not more than 50% of venting is provided not more than 3 feet below the ridge or if a Class I or II vapor barrier is installed on the warm in winter side of the ceiling in climate zones 6, 7, and 8 as recommended by the 2012 International Residential Code. For more information consult your design professional. If the ventilation openings are screened, the total area should be doubled.

### IT IS PARTICULARLY IMPORTANT TO PROVIDE ADEQUATE VENTILATION.

## 3. FASTENERS

**WIND CAUTION:** Extreme wind velocities can damage these shingles after application when proper sealing of the shingles does not occur. This can especially be a problem if the shingles are applied in cooler months or in areas on the roof that do not receive direct sunlight. These conditions may impede the sealing of the adhesive strips on the shingles. The inability to seal down may be compounded by prolonged cold weather conditions and/or blowing dust. In these situations, hand sealing of the shingles is required. To insure immediate sealing, apply 4 quarter-sized dabs of TAM-PRO® Premium SBS Adhesive or TAMKO Tam-Seal Adhesive on the back of the shingle 1 in. (25mm) and 13 in. (330mm) in from each side and 1 in. (25mm) up from the bottom of the shingle. Press shingle firmly into the adhesive. For maximum wind resistance along rakes, install any TAMKO starter shingle including sealant or cement shingles to the underlayment and each other in a 4 in. (102mm) width of TAM-PRO SBS Adhesive or TAMKO Tam-Seal Adhesive. Caution: Apply ONLY a thin uniform layer of adhesive less than 1/8 in. (3mm) thick. Excessive amounts can cause blistering of the shingles and may soften the asphalt in certain underlayments resulting in the asphalt flowing, dripping and staining. Shingles must also be fastened according to the fastening instructions described below.

Correct placement of the fasteners is critical to the performance of the shingle. If the fasteners are not placed as shown in the diagram and described below, this will result in the termination of TAMKO's liabilities under the Limited Warranty. TAMKO will not be responsible for damage to shingles caused by winds in excess of the applicable mph as stated in the Limited Warranty. See Limited Warranty on the wrapper or tamko.com for details.

(Continued)

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Northeast District	4500 Tamko Dr., Frederick, MD 21701	800-368-2055
Southeast District	2300 35th St., Tuscaloosa, AL 35401	800-228-2656
Southwest District	7910 S. Central Exp., Dallas, TX 75216	800-443-1834
Western District	5300 East 43rd Ave., Denver, CO 80216	800-530-8868

05/14

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**LAMINATED ASPHALT SHINGLES**

Tuscaloosa, AL

**FASTENING PATTERNS:**

**1) NAIL ZONE:** The Nail Zone for standard fastening is defined as the 1-3/4 in. area beginning at 6-1/8 in. from the bottom edge of the shingle and ending at the paint line located at 7-7/8 in. from the bottom edge of the shingle. **DO NOT PLACE FASTENERS ON OR ABOVE THE PAINT LINE ON THE SHINGLE.**

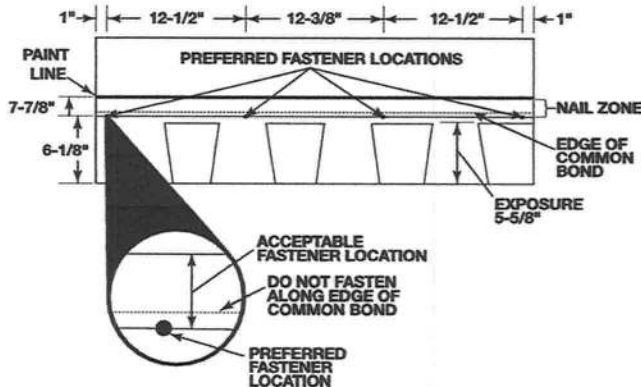
**2) Standard Fastening Pattern Options.**  
(For use on decks with slopes 2 in. per foot to 21 in. per foot.)

**A. Preferred Fastener Location:** Fasteners should be placed 6-1/8 in. from the bottom edge of the shingle, penetrating through the common bond, and located horizontally as shown in the Standard Fastening Pattern diagram.

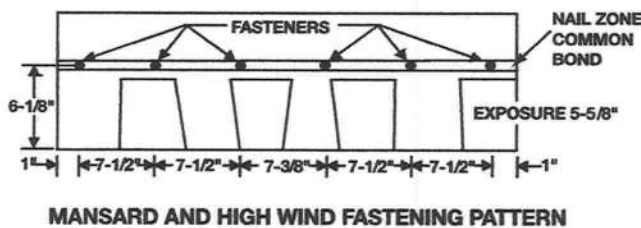
**B. Acceptable Fastener Location:** Fasteners must be placed in the 1-3/4 in. nailing area beginning at 6-1/8 in. from the bottom edge of the shingle and ending at the paint line located at 7-7/8 in. from the bottom edge of the shingle. Nails shall be located horizontally as shown in the Standard Fastening Pattern diagram.

**CAUTION:** Fasteners must not be driven into the edge of the common bond area. Avoid placing fasteners into the sealant strip.

**STANDARD FASTENING PATTERN IN NAIL ZONE**



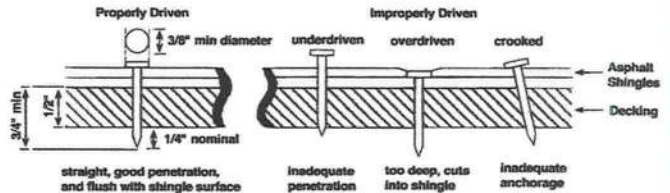
**3) Mansard Fastening Pattern.** (For use on decks with slopes greater than 21 in. per foot.) One fastener 1 in. from each end and one fastener 8-1/2 in. from each end and one fastener 16 in. from each end for a total of 6 fasteners per shingle. (See Mansard and High Wind Fastening Pattern illustrated below.)



**4) High Wind Fastening Pattern.** (For High Wind Application requirements) One fastener 1 in. from each end. One fastener 8-1/2 in. from each end and one fastener 16 in. from each end for a total of six (6) fasteners per shingle. In addition to this shingle fastening pattern requirement for High Wind Application, TAMKO also requires the use of TAMKO starter shingles including sealant strip at eaves and rakes. Alternatively, along rakes, cement shingles to the underlayment and each other in a 4 in. (102 mm) width of TAM-PRO SBS Adhesive or TAMKO Tam-Seal Adhesive. Caution: Apply ONLY a thin uniform layer of adhesive less than 1/8 in. (3mm) thick. Excessive amounts can cause blistering of the shingles and may soften the asphalt in certain underlayments resulting in the asphalt flowing, dripping and staining. High Wind Application is offered on new construction or complete tear-off applications only. It is not offered for recover applications. If High Wind Application requirements are not followed, the High Wind Application Warranty MPH, as stated on Table I in the Limited Warranty, reverts to the Standard Application Wind Warranty MPH limit. (See Mansard and High Wind Fastening Pattern illustrated above.)

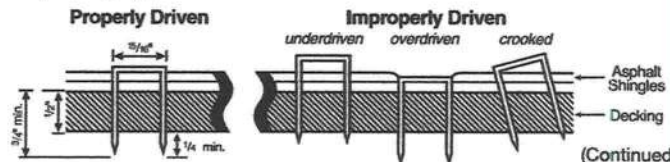
**CAUTION:** ALL FASTENERS FOR MANSARD AND HIGH WIND APPLICATIONS MUST BE DRIVEN INTO THE NAIL ZONE COMMON BOND (PREFERRED FASTENER LOCATIONS) AS SHOWN IN THE MANSARD AND HIGH WIND FASTENING PATTERN DIAGRAM.

**NAILS:** TAMKO recommends the use of nails as the preferred method of application. Standard type roofing nails should be used. Nail shanks should be made of minimum 12 gauge wire, and a minimum



head diameter of 3/8 in. Nails should be long enough to penetrate 3/4 in. into the roof deck. Where the deck is less than 3/4 in. thick, the nails should be long enough to penetrate completely through plywood decking and extend at least 1/8 in. through the roof deck. Drive nail head flush with the shingle surface.

**STAPLES:** If staples are used in the attaching process, follow the above instructions for placement. All staples must be driven with pneumatic staplers. The staple must meet the following minimum dimensional requirements. Staples must be made from a minimum 16 gauge galvanized wire. Crown width must be at least 15/16 in. (staple crown width is measured outside the legs). Leg length should be a minimum of 1-1/4 in. for new construction and 1-1/2 in. for reroofing thus allowing a minimum deck penetration of 3/4 in. The crown of the staple must be parallel to the length of the shingle. The staple crown should be driven flush with the shingle surface. Staples that are crooked, underdriven or overdriven are considered improperly applied.



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**4. UNDERLAYMENT**

**UNDERLAYMENT:** An underlayment must be applied over the entire deck before the installation of TAMKO shingles. Failure to add underlayment can cause premature failure of the shingles which is not covered by TAMKO's Limited Warranty.

Products which are acceptable for use as underlayment are:

Asphalt Saturated Felt Underlayments:

- TAMKO SuperX 15™ or SuperX 30™ Underlayment
- TAMKO No. 15 Asphalt Saturated Organic Felt
- Any TAMKO non-perforated asphalt saturated organic felt
- A non-perforated asphalt saturated organic felt which meets ASTM: D226, Type I or II or ASTM D4869

Specialty Underlayments:

- Tam-Shield® Synthetic Underlayment
- TAMKO Moisture Guard Plus®, TW Underlayment and TW Metal and Tile Underlayment® (additional ventilation may be required. Contact TAMKO's Technical Services Department for more information.)
- A self-adhesive underlayment designed for use with asphalt shingles which meets ASTM D1970.

For Asphalt Saturated Felt Underlayments:

Apply the felt when the deck is dry. On roof decks with slopes 4 in. per foot and greater apply the felt parallel to the eaves lapping each course of the felt over the lower course at least 2 in. Where ends join, lap the felt 4 in. If left exposed, the felt may be adversely affected by moisture and weathering. Laying of the felt and the shingle application must be done together.

For All Other Specialty Underlayments:

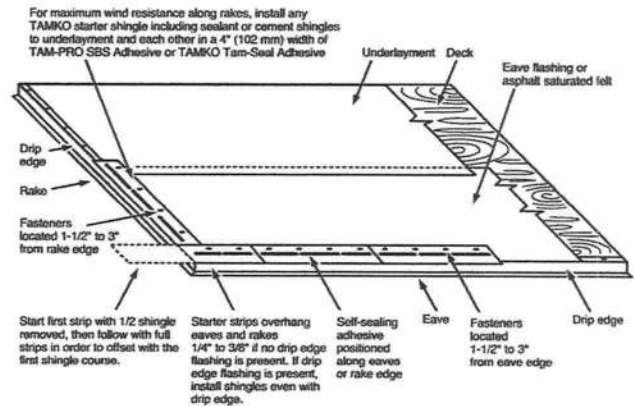
On roof decks with slopes 4 in. per foot and greater apply the underlayment parallel to the eaves in accordance with underlayment written application instructions. The underlayment should not be left exposed for a longer period of time than is specified in the underlayment's written application instructions. The final roof covering must be installed before the structure is exposed to adverse weather conditions, such as wind driven rain, high wind, hail, ice storms, etc.

In areas where ice builds up along the eaves or a back-up of water from frozen or clogged gutters is a potential problem, TAMKO's Moisture Guard Plus®, TW Metal and Tile Underlayment or TW Underlayment (or any specialty eaves flashing product) may be applied to eaves, rakes, ridges, valleys, around chimneys, skylights or dormers to help prevent water damage. Contact TAMKO's Technical Services Department for more information.

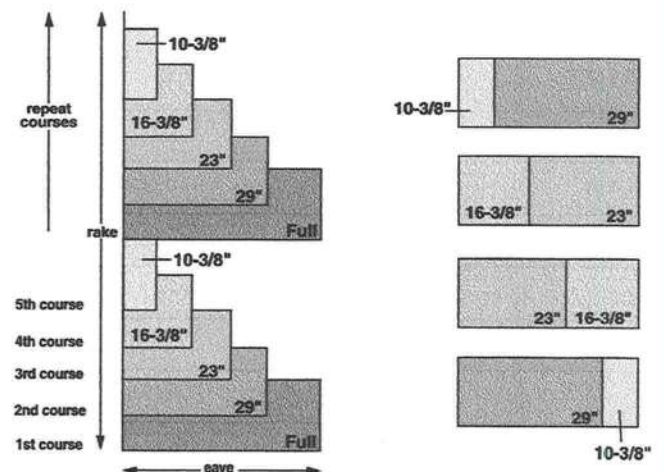
Substitute products as shingle underlayment should not be used.

**5. APPLICATION INSTRUCTIONS**

**STARTER COURSE:** A starter course may consist of TAMKO Shingle Starter, TAMKO 10-inch Starter or self-sealing 3-tab shingles. If self-sealing 3-tab shingles are used, remove the exposed tab portion and install with the factory applied adhesive adjacent to the eaves. Attach the starter course with approved fasteners along a line parallel to and 1.5 in. to 3 in. above the eaves edge. The starter course should overhang both the eaves and rake edges 1/4 in. to 3/8 in. if drip edge flashing is not used along the eaves or rakes. If drip edge flashing is present, install shingles even with the drip edge.



**SHINGLE APPLICATION:** Start the first course with a full size shingle and overhang the rake edge 1/4 in. if drip edge is not present. If drip edge is present, align shingle edge with drip edge flashing. Cut 10-3/8 in. from a full shingle to form a shingle 29 in. long. Use this to start the second course (see diagram below). Cut a 23 in. long shingle to start the third course. Use the remaining 16-3/8 in. piece of shingle to start the fourth course and use the remaining 10-3/8 in. piece to begin the fifth course. Continue up the rake in as many rows as necessary using the same formula as outlined above.



(Continued)

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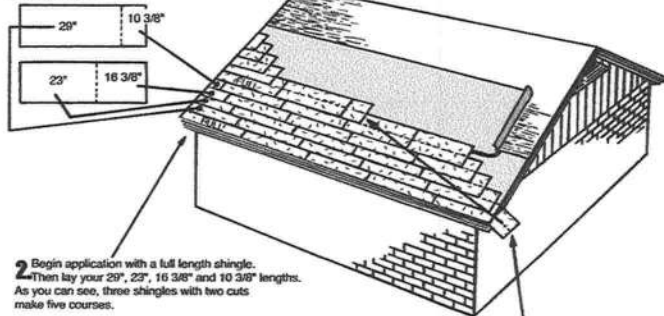
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**LAMINATED ASPHALT SHINGLES**

Tuscaloosa, AL

The butt of the shingle should be aligned with the top edge of the sawtooth of the underlying shingle for a 5-5/8 in. exposure (see shingle application drawing illustrated on this panel). When you make your final cut at the roof's edge, flip any pieces that are 8 in. or longer back onto the roof. These pieces can be worked in anywhere without creating zippers or color variations.

**NOTE:** Do not align joints of shingle courses when working in cut pieces. Joints should be no closer than 4 in. from one another.

**1** Cut your first course shingle to make a 29" and a 10 3/8" length. Cut a second shingle to make a 23" and a 16 3/8" length.



**2** Begin application with a full length shingle. Then lay your 29", 23", 16 3/8" and 10 3/8" lengths. As you can see, three shingles with two cuts make five courses.

**3** Continue working your way across the roof. When you make your final cut at the roof's edge, flip any pieces that are 8" or longer back onto the roof. These pieces can be worked in anywhere without creating zippers or color variations.

**NOTE:** Do not align joints of shingle courses when working in cut pieces. Joints should be no closer than 4" from one another.

**6. LOW SLOPE APPLICATION**

On pitches 2 in. per foot to 4 in. per foot cover the deck with two layers of underlayment. Begin by applying the underlayment in a 1/2-sheet width along the eaves and overhanging the drip edge by 1/4 to 3/4 in. Place a full-sheet width over the 1/2-sheet width starter piece, completely overlapping it. All succeeding courses will be positioned to overlap the preceding course by 1/2-sheet width. If winter temperatures average 25°F or less, thoroughly cement the laps of the entire underlayment to each other with TAM-PRO or TAMKO Plastic Roof Cement from eaves and rakes to a point of a least 24 in. inside the interior wall line of the building. As an alternative, TAMKO's Moisture Guard Plus®, TW Metal and Tile Underlayment, or TW Underlayment self-adhering underlayment may be used in lieu of the cemented felts.

**7. MANSARD ROOF OR STEEP SLOPE ROOF**

If the slope exceeds 21 in. per foot (60°), each shingle must be sealed with TAM-PRO SBS Adhesive or TAMKO Tam-Seal Adhesive immediately upon installation. Quarter-sized dabs of cement must be applied to shingles with a 5-5/8 in. exposure, use 6 fasteners per shingle. See Section 3 for the Mansard Fastening Pattern.

**8. RE-ROOFING**

Before re-roofing, be certain to inspect the roof decks. All plywood shall meet the requirements listed in Section 1.

It is not recommended to install laminated asphalt shingles directly over existing laminated shingles due to the unevenness of the existing

multi-layered shingles. The performance of the sealant feature may be compromised, preventing the shingles from sealing properly. It is acceptable to install laminated shingles over existing three-tab strip shingles which are flat and essentially intact. Nail down or remove curled or broken shingles from the existing roof. Replace all missing shingles with new ones to provide a smooth base. Shingles that are buckled usually indicate warped decking or protruding nails. Hammer down all protruding nails or remove them and refasten in a new location. Remove all drip edge metal and replace with new.

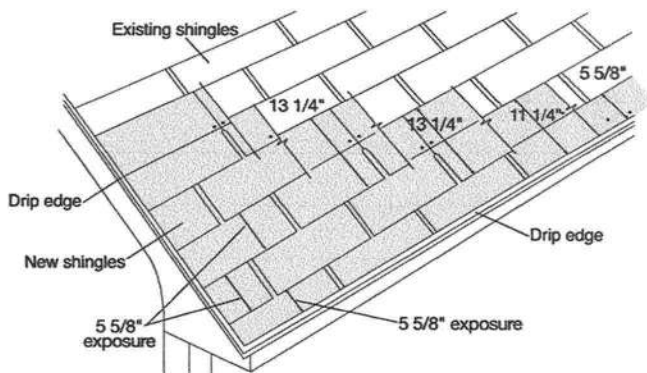
If re-roofing over an existing roof where new flashing is required to protect against ice dams (freeze/thaw cycle of water and/or the backup of water in frozen or clogged gutters), remove the old roofing to a point at least 24 in. beyond the interior wall line and apply TAMKO's Moisture Guard Plus®, TW Metal and Tile Underlayment, or TW Underlayment. Contact TAMKO's Technical Services Department for more information.

Measurements will vary when nesting over an existing 5 in. exposure single roof. Call TAMKO Technical Services for further information.

The nesting procedure described below is the preferred method for re-roofing over existing metric size shingles with a 5-5/8 in. exposure. See description below:

**Starter Course:** Remove the tabs and an additional portion from the head of a full size shingle so that its height is equal to the exposure of the existing shingles. Position the resulting strip over the existing roof edge (with the factory-applied adhesive strip along the eaves). Cut approximately 6 in. from the rake end and apply the remaining portion at the eaves. Continue the starter strip by applying full length shingle strips cut to height as above, evenly along the existing roof at the eaves. **The existing roof should overhang the eaves far enough to carry water off into the gutter. If this is not the case, cut and apply the starter strip so that it will provide sufficient overhang for proper drainage.**

**First Course:** Remove an amount from the butt edge of a full-size shingle so that the remaining portion of the shingle fits between the butts of the existing third course. This course must also be applied evenly along the eaves edge of the new starter strip.



**Second and Succeeding Courses:** Remove 10-3/8 in. from the rake end of the first shingle in the second course, and continue with full width shingles for the remainder of the course, placing the top edge of each new shingle against the butt edge of the old shingle in the course above. This method should create an exposure of 5-5/8 in. after the first course. When beginning the succeeding courses continue to follow the Heritage application instructions. (See section 5).

(Continued)

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**HERITAGE®**  
**LAMINATED ASPHALT SHINGLES**

Tuscaloosa, AL

**9. VALLEY APPLICATION**

Over the shingle underlayment, center a minimum 36 in. wide sheet of TAMKO Moisture Guard Plus®, TW Metal & Tile Underlayment, or a minimum 50 lb. roll roofing in the valley. Nail the underlayment only where necessary to hold it in place and then only nail the outside edges.

**IMPORTANT: PRIOR TO INSTALLATION, WARM SHINGLES TO PREVENT DAMAGE WHICH CAN OCCUR WHILE BENDING SHINGLES TO FORM VALLEY.**

After valley flashing is in place:

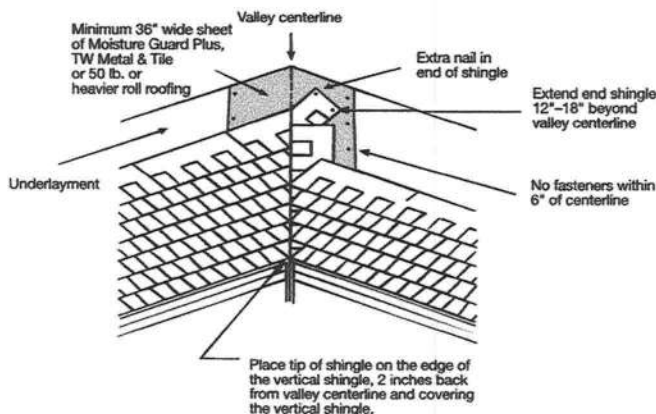
- Apply the first course of shingles along the eaves of one of the intersecting roof planes and across the valley.
- **Note:** For proper flow of water over the trimmed shingle, always start applying the shingles on the roof plane that has the lower slope or less height.
- Extend the end shingle at least 12 in. onto the adjoining roof. Apply succeeding courses in the same manner, extending them across the valley and onto the adjoining roof.
- Press the shingles tightly into the valley.
- Use normal shingle fastening methods.

**Note:** No fastener should be within 6 in. of the valley centerline, and two fasteners should be placed at the end of each shingle crossing the valley.

- To the adjoining roof plane, apply one row of shingles vertically facing the valley and 2 in. back from the valley centerline.

**Note:** For a neater installation, snap a chalkline over the shingles for guidance.

- To complete the valley, apply shingles on the adjoining roof plane by positioning the tip of the first shingle of each row at the 2 in. point from the centerline where the edge of the vertical shingle has been applied, covering the vertical shingle.



FOR ALTERNATE VALLEY APPLICATION METHODS, PLEASE CONTACT TAMKO'S TECHNICAL SERVICES DEPARTMENT AT 800-641-4691.

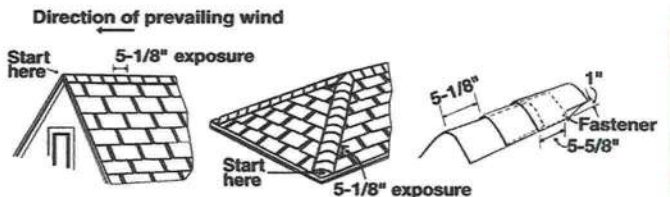
**10. HIP AND RIDGE FASTENING DETAIL**

Apply the shingles with a 5-1/8 in. exposure beginning at the bottom of the hip or from the end of the ridge opposite the direction of the prevailing winds. Secure each shingle with one fastener on each side, 5-5/8 in. back from the exposed end and 1 in. up from the edge.

TAMKO recommends the use of TAMKO Hip & Ridge shingle products. Where matching colors are available, it is acceptable to use TAMKO's Elite Glass-Seal shingles cut down to 12 in. pieces.

The length of the fastener should be long enough to penetrate through the roofing material and 3/4 in. into the wood decking or completely through approved plywood.

**IMPORTANT: PRIOR TO INSTALLATION, CARE NEEDS TO BE TAKEN TO PREVENT DAMAGE WHICH CAN OCCUR WHILE BENDING SHINGLE IN COLD WEATHER.**



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Information included in these application instructions was current at time of printing. To obtain a copy of the most current version of these application instructions, visit us online at tamko.com or call us at 800-641-4691.

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