

LOT 115 EMERALD LAKES PHASE 4.
814-1147, 864-1038, 948-254, WD

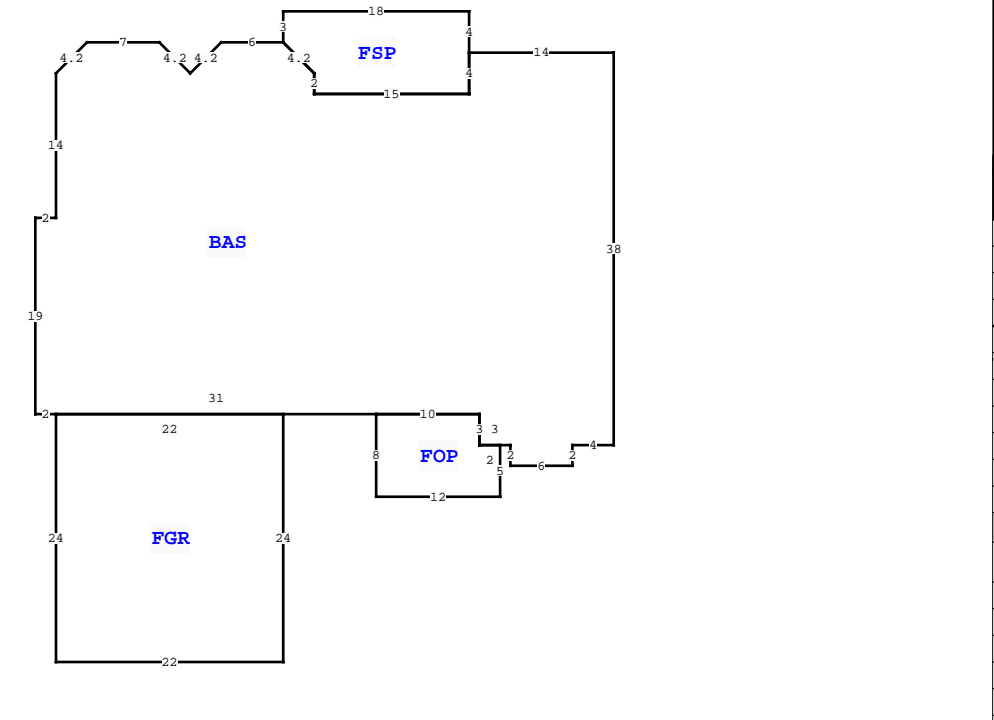
BAER JAMES L/BAER KALEIGH M
391 NW ZACK DR
LAKE CITY, FL 32055

2026

28-3S-16-02372-415
VALUATION SUMMARY PAGE 1 of 1

ELEMENT	CD	CONSTRUCTION
Exterior Wall	16	WD FR STUC 70
Exterior Wall	19	COMMON BRK 30
Roof Structure	08	IRREGULAR 100
Roof Cover	03	COMP SHNGL 100
Interior Wall	05	DRYWALL 100
Interior Floor	14	CARPET 70
Interior Floor	15	HARDTILE 30
Air Condition	03	CENTRAL 100
Heating Type	04	AIR DUCTED 100
Bedrooms		3 100
Bathrooms		2 100
Frame	02	WOOD FRAME 100
Stories	1.	1. 100
Architectual	05	CONV 100
Units		0 100
Condition Adj	03	03 100
Kitchen Adjus	01	01 100
Quality	07	07
DOR CODE	0100	SINGLE FAMILY

TYPE	MDL	EFF. AREA	TOT ADJ PTS	EFF. BASE RATE	REPL. COST NEW	AYB	EYB	ECON	FNCT	NORM	% COND
0100	01	2,297	126.2151	141.36	324,704	2004	2004	0	0	28.35	71.65



AREA TYPE	TOTAL GROSS AREA	PCT OF BASE	YEAR	TOT ADJ AREA	SUBAREA MARKET VALUE
BAS	1,926	100		1,926	195,074
FGR	528	55		290	29,372
FOP	90	30		27	2,735
FSP	134	40		54	5,469
TOTALS	2,678			2,297	232,650

391 NW ZACK DR, LAKE CITY
BLD DATE
XF DATE
INC DATE
LGL DATE
LAND DATE
AG DATE
04/03/2025 MLU

L N	OB/XF CODE	DESCRIPTION	BLD CAP	L	W	UNITS	UT	Adj R	ADJ UNIT PRICE	ORIG COND	YEAR ON	YEAR ACTUAL	Q	% COND	OB/XF MKT VALUE	NOTES
1	0166	CONC, PAVMT	0	100	0	2,375.00	UT	2.00	2.00	100	2004	2004	3	100	4,750	
2	0296	SHED METAL	0	100	0	1.00	UT	0.00	0.00	100	2014	2014	3	100	1,200	
3	0169	FENCE/WOOD	0	100	0	1.00	UT	0.00	0.00	100	2017	2017	3	100	1,000	

TOTAL OB/XF 6,950

L N	USE CODE	CLS	LAND USE DESCRIPTION	CAP	R D	LOC ZONE	FRONT	DEPTH	TOT LND UTS	UNIT TYPE	D T	DPH FACT	% COND	TOT ADJ	UNIT PRICE	ADJ UNIT PRICE	LAND VALUE	OTHER ADJUSTMENTS AND NOTES	YEAR	DENSITY	DECL	FRZ	YR	CONSRV
1	0100	C	SFR	100		00	0.00	0.00	1.00	LT		1.00	1.00	1.00	35,000.00	35,000.00	35,000							

VALUATION BY		STANDARD
Tax Group: 2	Tax Dist:	
BUILDING MARKET VALUE		232,650
TOTAL MARKET OB/XF VALUE		6,950
TOTAL LAND VALUE - MARKET		35,000
TOTAL MARKET VALUE		274,600
SOH/AGL Deduction		84,383
ASSESSED VALUE		190,217
TOTAL EXEMPTION VALUE	HX HB	51,411
BASE TAXABLE VALUE		138,806
TOTAL JUST VALUE		274,600
NCON VALUE		0
INCOME VALUE		
PREVIOUS YEAR MKT VALUE		278,984

PERMIT NUM	DESCRIPTION	AMT	ISSUED
21302	SFR	475	12/03/2003

SALES DATA						
OFF RECORD Number	DATE	TYPE INST	Q U	V I	RSN CD	SALE PRICE
1493/1850	6/27/2023	WD	U	I	11	100
GRANTOR: BAER JAMES L						
GRANTEE: BAER JAMES L						
1015/1167	5/13/2004	WD	Q	I		169,900
GRANTOR: ERKINGER HOME BUILDER						
GRANTEE: JAMES L & MARGARET						

BUILDING NOTES

BUILDING DIMENSIONS
BAS= W14 FSP= N4 W18 S3 D3 R3 S2 E15 N4\$ S4 W15 N2 L3 U3 W6 D3 L3 L3 U3 W7 D3 L3 S14 W2 S19 E2 FGR= S24 E22 N24 W22\$ E31 FOP= S8 E12 N5 W2 N3 W10\$ E10 S3 E3 S2 E6 N2 E4 N38\$.