

FORTY SEVEN PROPERTIES SITE PLAN

SECTION 17, TOWNSHIP 4 SOUTH, RANGE 17 EAST

LAKE CITY, COLUMBIA COUNTY, FLORIDA

PROJECT SITE



LOCATION MAP
NOT TO SCALE

OWNER:

FORTY SEVEN PROPERTIES, INC
796 SE CR 252
LAKE CITY, FL 32025
CONTACT: LARRY PERRY
386.397.6621
larry@capitalmetalsupply.com

CIVIL ENGINEER:

CAROL CHADWICK, P.E.
1208 S.W. FAIRFAX GLEN
LAKE CITY, FL 32025
307.680.1772
ccpewyo@gmail.com

SURVEYOR:

BRITT SURVEYING & MAPPING, LLC
1438 SW MAIN BOULEVARD
LAKE CITY, FL 32025
386.752.7163
lsbnitt@msn.com

DEVELOPMENT INFORMATION			
NEW WAREHOUSE AND OFFICE AND PAVED PARKING WITH ASSOCIATED UTILITES AND FENCED OUTDOOR STORAGE			
PARCEL NUMBER	17-45-17-08410-101		
ZONING	ILW		
LAND USE	INDUSTRIAL		
ADDRESS	TBD S US HWY 441, LAKE CITY, FL		
PROPERTY AREA	SQUARE FEET	ACRES	% OF SITE
PARCEL AREA	150718	3.46	100
ON-SITE DISTURBANCE AREA	52533	1.21	34.86
OFF-SITE DISTURBANCE AREA	0	0.00	-
TOTAL DISTURBANCE AREA	52533	1.21	34.86
TOTAL IMPERVIOUS AREA			
PROPOSED BUILDING	10000	0.23	6.63
PROPOSED SIDEWALK & CONCRETE	616	0.01	0.41
PROPOSED ASPHALT PARKING & DRIVEWAYS	10496	0.24	6.96
EXISTING PAVEMENT	566	0.01	0.38
TOTAL IMPERVIOUS AREA	21678	0.50	14.38
LANDSCAPING			
REQUIRED	PER SECTION 4.2.17.10, COLUMBIA COUNTY L.D.R. LANDSCAPING: 10% OF OFF-STREET PARKING (10496 SF) 1 TREE PER 200 SF OF LANDSCAPING 1050 S.F. LANDSCAPING & 5 TREES		
PROPOSED AREA	4995 S.F. & 7 TREES		
PARKING			
REQUIRED SPACES	PER SECTION 4.16.11, COLUMBIA COUNTY L.D.R. WAREHOUSE: 1 PARKING SPACE PER 6000 S.F. OF FLOOR AREA 8000 / 6000 = 1 PARKING SPACE PER SECTION 4.13.11, COLUMBIA COUNTY L.D.R. OFFICE: 1 SPACE PER 200 S.F. OF FLOOR AREA 2000 / 200 = 10 PARKING SPACES TOTAL REQUIRED: 11 PARKING SPACES INCLUDING 1 ADA SPACE		
PROPOSED SPACES	14 INCLUDING 1 HANDICAP SPACE		

NOTES

1. SITE PARCEL: 17-45-17-08410-101
2. FUTURE LAND USE: INDUSTRIAL
3. ZONING: ILW
4. SITE ADDRESS: TBD S US HWY 441, LAKE CITY, FL

SHEET INDEX

- 1 COVER SHEET
- 2 NOTES, LEGEND & DETAILS
- 3 OVERALL SITE PLAN
- 4 SITE, DIMENSION & LANDSCAPE PLAN
- 5 GRADING & STORM DRAIN PLAN



ENGINEER OF RECORD: CAROL CHADWICK, P.E.
P.E. NO.: 82560

This sheet has been digitally signed and sealed by Carol Chadwick, P.E. on the date subject to the seal. Printed copies of this document are not considered legal and the signature must be verified on any electronic copies.

CAROL CHADWICK, P.E.
 FORTY SEVEN PROPERTIES, INC
 LAKE CITY, FL 32025
 CONTACT: LARRY PERRY
 larry@capitalmetalsupply.com
 AUG. 7, 2024
 SHEET 1 OF 5

EXISTING LINETYPES, SYMBOLS, AND HATCH PATTERNS

SA	SANITARY SEWER MAIN	O	ROOF DRAIN	SW	STORM SEWER MANHOLE
SS	SANITARY SEWER SERVICE	BM	BENCHMARK	[Grid]	GRATED STORM INLET
W	WATER MAIN	[Star]	REFERENCE MONUMENT	[X]	STORM INLET
WS	WATER SERVICE	CA	CABLE TV RISER	SA	SANITARY SEWER MANHOLE
SW	STORM SEWER	T	TELEPHONE RISER	CO	CLEAN OUT
[Dashed]	SWALE/FLOWLINE	W	WATER METER PIT	(G)	GAS VALVE
[Dashed]	CULVERT	[Fire]	FIRE HYDRANT	[G]	GAS METER
OP	OVERHEAD POWER	[Gate]	GATE VALVE	[Star]	STREET LIGHT
UP	UNDERGROUND POWER	CS	CURB STOP	[Guy]	GUY WIRE ANCHOR
GAS	GAS LINE	[Tree]	CONIFEROUS TREE	[Pole]	POWER POLE
T	PHONE LINE	[Decid]	DECIDUOUS TREE	[Gas]	GAS MARKER
FO	FIBER OPTIC	[Bush]	BUSH	[E-Mark]	ELECTRIC MARKER
CA	CABLE TV	[Hedge]	HEDGE/TREE LINE	[T-Phase]	TRANSFORMER SINGLE PHASE
[Dashed]	PROPERTY LINE	[Sign]	I POLE SIGN	[3-Phase]	TRANSFORMER 3 PHASE
[Dashed]	R.O.W.	[BH]	BOREHOLE	[Vault]	ELECTRICAL VAULT
[Dashed]	BUILDING SETBACK LINE	[MW]	MONITORING WELL	[Meter]	ELECTRICAL METER
[Dashed]	EASEMENT LINE	[Signal]	TRAFFIC SIGNAL	[Pedestal]	FIBER OPTIC PEDISTAL
[Box]	STRUCTURE			[Vault]	FIBER OPTIC VAULT
[Hatch]	EXISTING CONCRETE			[Head]	SPRINKLER HEAD
[Hatch]	EXISTING ASPHALT			[Control]	IRRIGATION CONTROL

PROPOSED LINETYPES, SYMBOLS, AND HATCH PATTERNS

SA	SANITARY SEWER MAIN	CA	CABLE TV RISER	SW	STORM SEWER MANHOLE
SS	SANITARY SEWER SERVICE	T	TELEPHONE RISER	[Grid]	GRATED STORM INLET
W	WATER MAIN	W	WATER METER PIT	[X]	STORM INLET
WS	WATER SERVICE	[Fire]	FIRE HYDRANT	SA	SANITARY SEWER MANHOLE
SW	STORM SEWER	[Gate]	GATE VALVE	CO	CLEAN OUT
OP	OVERHEAD POWER	CS	CURB STOP	(G)	GAS VALVE
UP	UNDERGROUND POWER	[G]	GAS METER	[Star]	STREET LIGHT
GAS	GAS LINE	[Guy]	GUY WIRE ANCHOR	[Pole]	POWER POLE
T	PHONE LINE	[Gas]	GAS MARKER	[E-Mark]	ELECTRIC MARKER
FO	FIBER OPTIC	[T-Phase]	TRANSFORMER SINGLE PHASE	[3-Phase]	TRANSFORMER 3 PHASE
CA	CABLE TV	[Vault]	ELECTRICAL VAULT	[Meter]	ELECTRICAL METER
[Dashed]	PROPERTY LINE	[Pedestal]	FIBER OPTIC PEDISTAL	[Vault]	FIBER OPTIC VAULT
[Striping]	STRIPING	[Head]	SPRINKLER HEAD	[Control]	IRRIGATION CONTROL
[Line]	BUILDING SETBACK LINE	[FM]	SEWER FORCE MAIN		
[Line]	EASEMENT LINE	[TB]	TOP OF BANK		
[Line]	SIDEWALK	[LS]	LIFT STATION		
SF	SILT FENCE				
[Box]	PROPOSED STRUCTURE				
[Hatch]	PROPOSED CONCRETE				
[Hatch]	PROPOSED ASPHALT				
[Hatch]	PROPOSED GRAVEL SURFACE				
[Dotted]	GRASS				

EROSION CONTROL NOTES

- EROSION AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL"
- THE CONTRACTOR SHALL ADHERE TO THE FLORIDA DEPARTMENT OF TRANSPORTATION, WATER MANAGEMENT DISTRICT, COLUMBIA COUNTY AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS.
- THE CONTRACTOR SHALL ADJUST AND REVISE CONTROL MEASURES SHOWN ON THESE PLANS TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
- ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
- SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT FROM LEAVING PROJECT LIMITS.
- CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
- DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
- ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
- A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
- ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF HAY BALES OR SODDING.
- ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
- ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
- LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
- EXCESS DIRT SHALL BE REMOVED DAILY.
- THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS.
- QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES, THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.25 INCHES OR GREATER.
- SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

ENGINEER'S NOTES

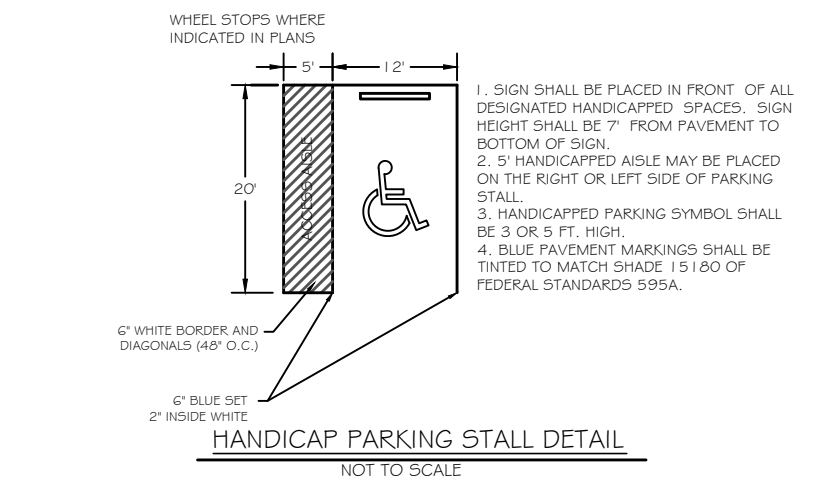
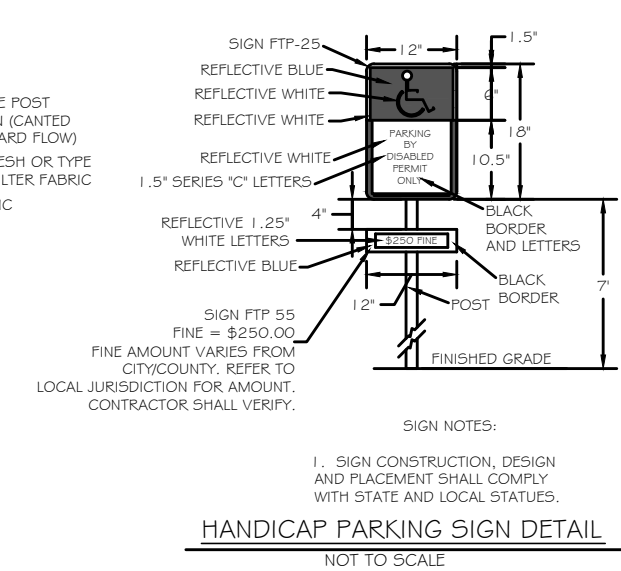
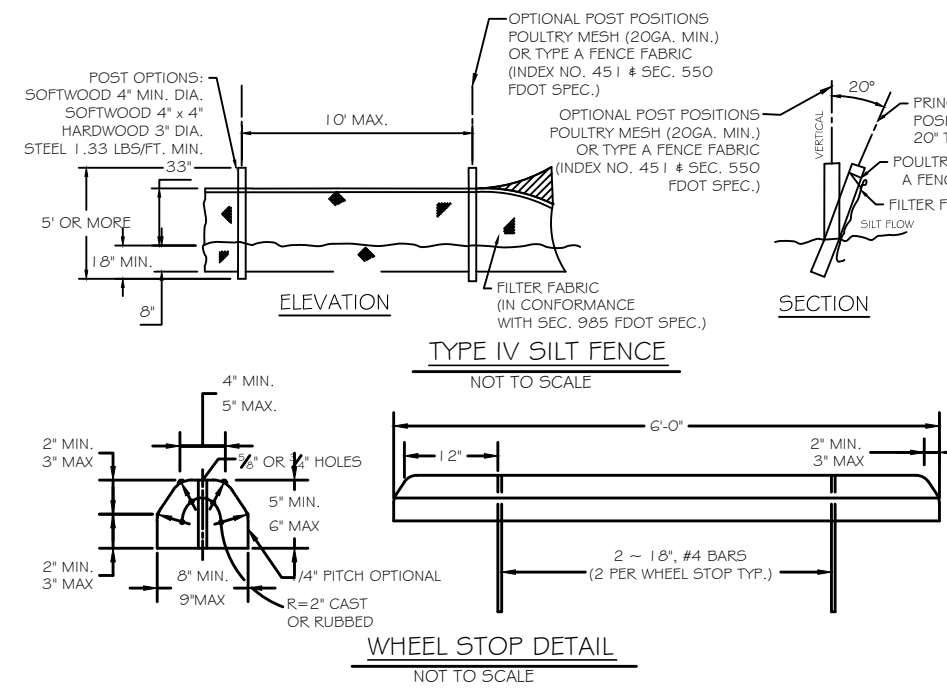
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO CONSTRUCTION TO ENSURE THAT ALL WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SAID DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
- ALL DISTURBED AREAS SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND SHORT-TERM VEGETATION. THE LONG-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 70 POUNDS PER ACRE. THE SHORT-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 20 POUNDS PER ACRE AND SHALL CONSIST OF WINTER RYE FROM SEPTEMBER THROUGH MARCH OR MILLET FROM APRIL THROUGH AUGUST.
- THE PERMITTEE/CONTRACTOR SHALL INSTITUTE NECESSARY MEASURES DURING CONSTRUCTION TO MINIMIZE EROSION, TURBIDITY, NUTRIENT LOADING, AND SEDIMENTATION TO ADJACENT LANDS AND IN THE RECEIVING WATER.
- ALL GRADES MAY BE ADJUSTED IN THE FIELD A MAXIMUM OF SIX (6) INCHES AS LONG AS THE FLOW OF WATER IS NOT CHANGED.
- WHERE DITCH MUST BE DEEPER THAN NORMAL TO ACCOMMODATE A PIPE, THE TRANSITION FROM NORMAL DITCH GRADE TO PIPE FLOW LINE SHALL BE A MINIMUM LENGTH OF 100 FEET.
- THE CONTRACTOR SHALL ADHERE TO THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION UNTIL THE AS-BUILTS ARE COMPLETED.
- QUANTITIES ARE ESTIMATES ONLY. CONTRACTOR SHALL VERIFY QUALITIES PRIOR TO BID AND CONSTRUCTION.
- NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL AND OTHER DELETERIOUS MATERIAL.

UNAUTHORIZED CHANGES AND USES CAUTION:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS. THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE GOVERNING AGENCIES.

PRIVATE ENGINEER'S NOTICE TO CONTRACTOR:

THE CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, HE/SHE WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

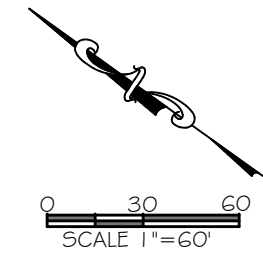
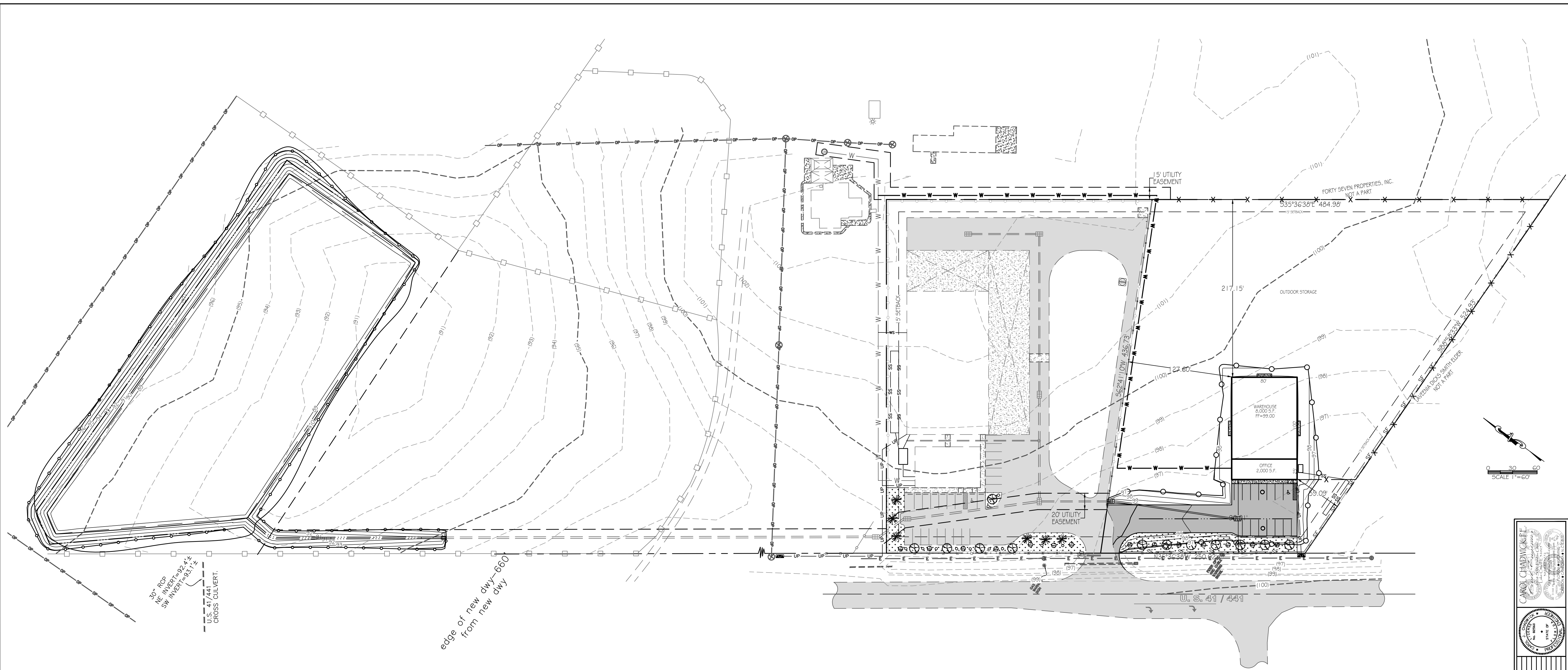


FORTY SEVEN PROPERTIES SITE PLAN
 NOTES, LEGEND & DETAILS
 AUG. 7, 2024
 SHEET 2 OF 5
 CONTRACT: LARRY PERRY
 CONTACT: LARRY PERRY
 larry@carolchadwick.com
 CAROL CHADWICK
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 124415
 EXPIRES 12/31/2025

NOTE: ALL UTILITY PROVIDERS MUST BE CONTACTED PRIOR TO DIGGING IN ACCORDANCE TO CHAPTER 556 "SUNSHINE STATE ONE CALL" CALL 811 48 HOURS PRIOR TO DIGGING

 Digitally signed by Carol Chadwick
 DN: c=US, o=Florida, dnQualifiers=A014, dnQualifier=1000000180463, email=carol@carolchadwick.com
 Date: 2024.08.08 08:57:22 -0400
 This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date subject to the seal. Printed copies of this document are not considered legal and valid and the signatures must be verified on any electronic copies.

C:\COURT\DRAWING\PROJECTS\FORTY SEVEN PROPERTIES\424015\240807\DWG_071024_3.350.12.PLT



NOTES

1. THE STORMWATER MANAGEMENT FACILITY AND ANY CONVEYANCES CHANNELING STORMWATER OFF-SITE SHALL BE PART OF PERPETUAL STORMWATER EASEMENT WITH THE SUBJECT PROPERTY TO BE DEVELOPED AND DEDICATED TO THE DEVELOPER IN PERPETUITY.
2. THE UTILITY EASEMENT FOR THE WATER SYSTEM SHALL BE PART OF PERPETUAL STORMWATER EASEMENT WITH THE SUBJECT PROPERTY TO BE DEVELOPED AND DEDICATED TO THE DEVELOPER IN PERPETUITY.

30" RCP
 NE INVERT = 92.41'
 SW INVERT = 93.11'
 GROSS CULVERT

edge of new drwy - 600
 from new drwy

U.S. 41 / 441



Digitally signed by
 Carol Chadwick
 DN: c=US,
 o=Florida,
 ou=Qualifier-00141,
 ou=000000180463B4,
 email=carol@chadwick.com,
 cn=Carol Chadwick
 Date: 2024.08.08
 08:57:04 -0400

PREPARED FOR:
 FORTY SEVEN PROPERTIES, INC.
 PALM CITY, FL 32925
 CONTACT: LARRY PERRY
 larry@fortysevenproperties.com

DESIGNED BY:
 CAROL CHADWICK, P.E.
 LICENSE NO. 124015

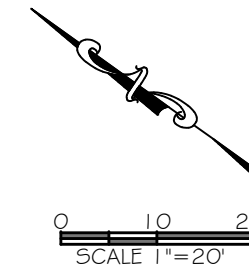
PROJECT NO.:
 FORTY SEVEN PROPERTIES SITE PLAN
 OVERALL SITE PLAN

DATE:
 AUG. 7, 2024

SHEET NO.:
 3 OF 5

C:\COURT\DRAWING\PROJECTS\2024\1524\000\DWG\1524-000\DWG_012024_3.dwg 8/7/2024 3:48:15 PM

OUTDOOR STORAGE



CONSTRUCTION NOTES & ESTIMATED QUANTITIES

①	1-1/2" AC PAVEMENT OVER 6" LIMEROCK BASE	10,496 S.F.
②	CONCRETE SIDEWALK	400 S.F.
③	CONCRETE APRON	216 S.F.
④	HANDICAP PARKING STALL PER DETAILS ON SHEET 2	1 EA.
⑤	HANDICAP PARKING SIGN PER DETAIL ON SHEET 2	1 EA.
⑥	WHEEL STOP PER DETAIL ON SHEET 2	7 EA.
⑦	6' CHAINLINK FENCE	972 L.F.
⑧	CONNECT TO EXISTING WELL (SEE SHEET 3 FOR LOCATION)	1 EA.
⑨	1/2" WATER SERVICE	818 L.F.
⑩	SEPTIC SYSTEM BY OTHERS (LOCATION MAY CHANGE)	1 EA.
⑪	ELECTRIC SERVICE	1 EA.
⑫	SILT FENCE PER DETAIL ON SHEET 2	505 L.F.

NOTES

- SIGN PER SEPARATE PERMIT
- REFER TO BLDG PLANS FOR FIRE DEPARTMENT ACCESS THROUGH GATES
- SEPTIC PERMIT PER SEPARATE PERMIT
- SITE IS LOCATED IN A RURAL FIRE DISTRICT

LANDSCAPE NOTES

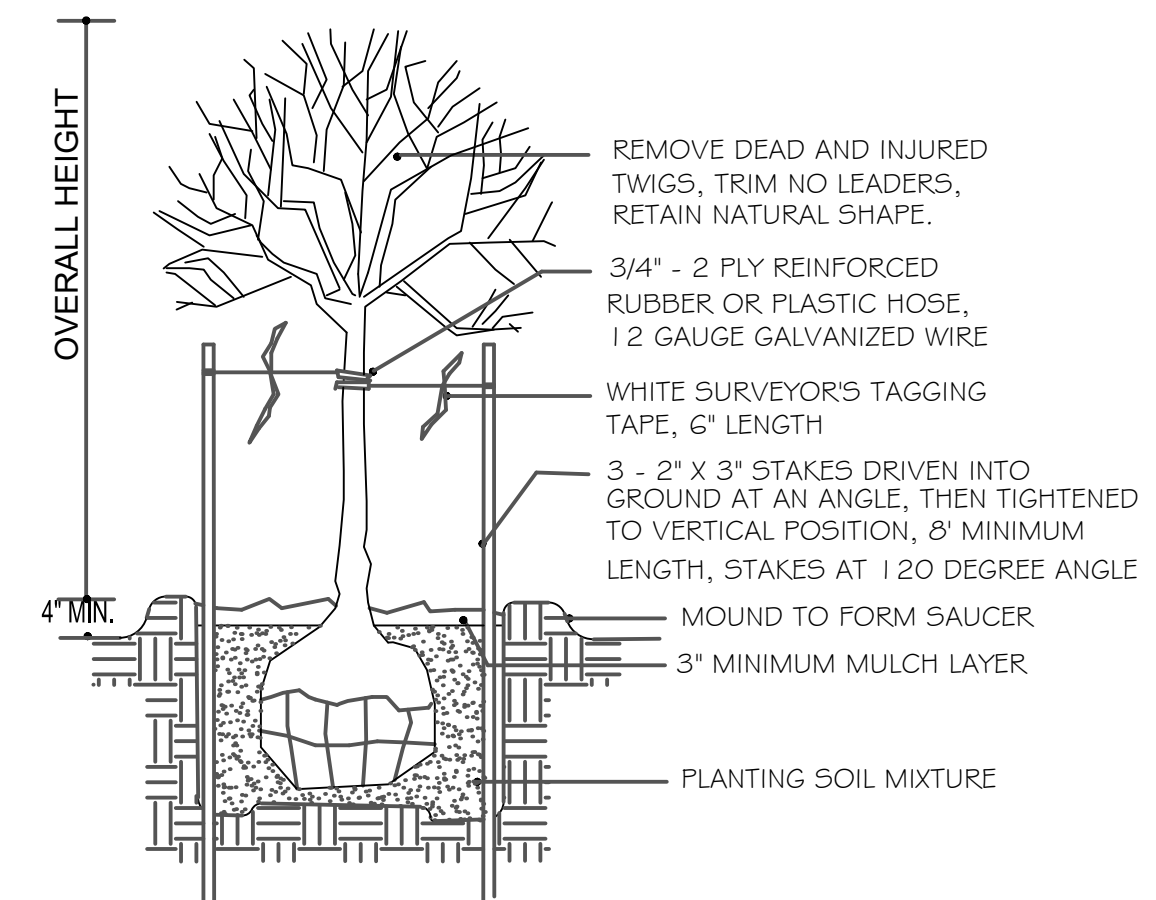
- ALL PLANT MATERIAL TO BE FLORIDA No. 1 QUALITY
- A MINIMUM OF 3" OF MULCH IN ALL PLANT BEDS
- 100% IRRIGATION COVERAGE REQUIRED
- STAKING REQUIRED FOR ALL SINGLE-TRUNK TREES
- A 3" "RING" OF MULCH TO BE MAINTAINED AROUND ALL TREES NOT INCORPORATED IN PLANT BEDS.
- LANDSCAPING REQUIRED AROUND ALL BACKFLOW DEVICES
- UNOBSTRUCTED VISIBILITY REQUIRED WITHIN SITE VISIBILITY TRIANGLE (INDICATE WITH DIAGRAM, FIGURE 33.01)
- PROTECTION REQUIRED FOR EXISTING TREES TO BE SAVED DURING CONSTRUCTION. DIAGRAM OF TREE PROTECTION PLAN REQUIRED
- ALL PLANT BEDS TO BE FREE OF LIME ROCK, CONSTRUCTION DEBRIS, AND ANY IMPERVIOUS MATERIAL. EXCAVATION AND BACKFILLING MAY BE REQUIRED
- THE OWNER/DEVELOPER IS RESPONSIBLE FOR THE ESTABLISHMENT AND MAINTENANCE OF ALL PLANT MATERIAL. LANDSCAPE AREAS MUST BE MAINTAINED TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE AT ALL TIMES AND SHALL BE KEPT FREE OF TRASH AND DEBRIS

PLANT & FENCE SCHEDULE

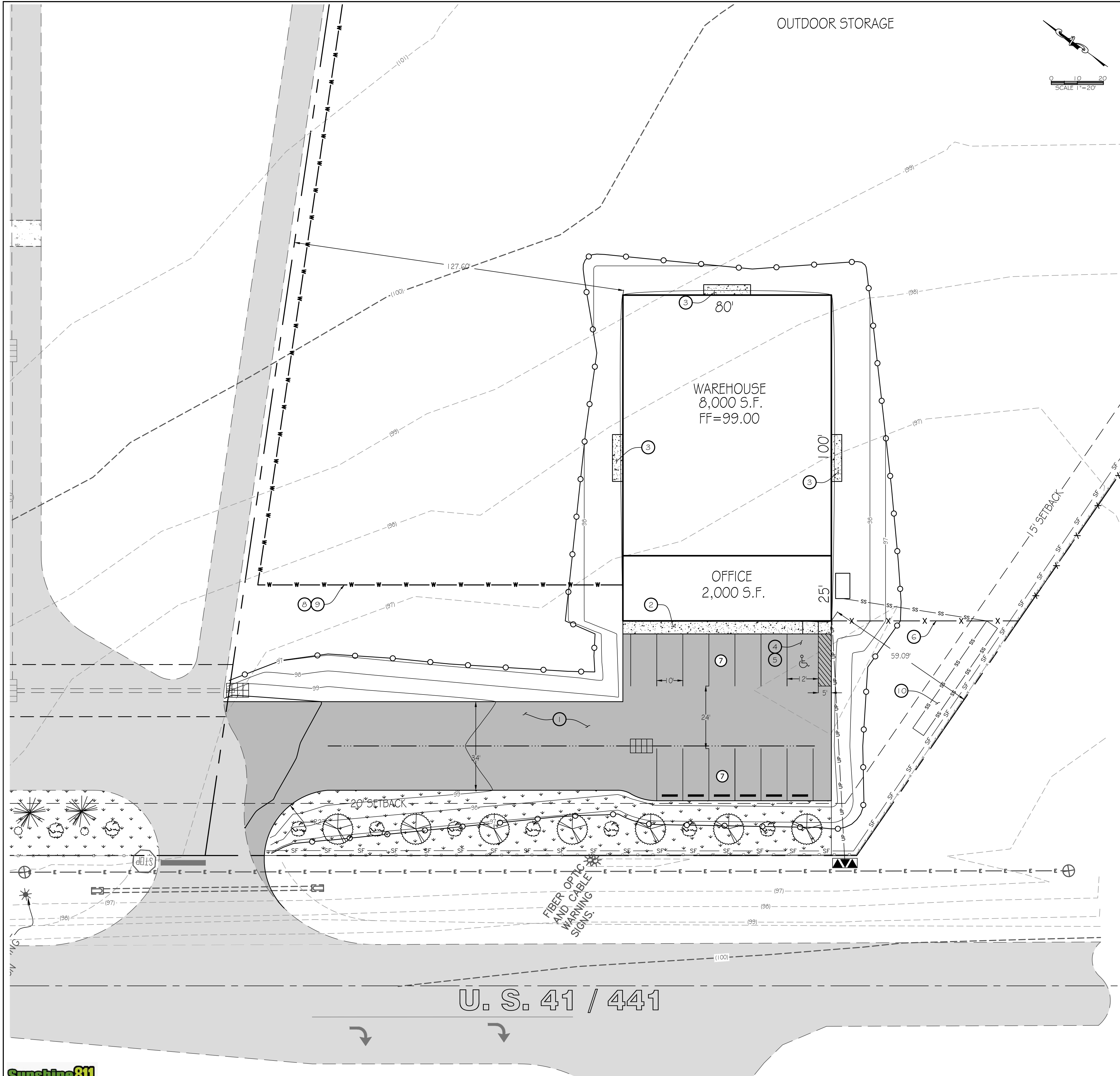
SYMBOL	PLANT TYPE	QTY	CALIPER SIZE, IN	HEIGHT, FT.	GALLONS
⊗	CREPE MYRTLE	6	1.75 TO 2.25	6	15

NOTES:

- ALL REQUIRED LANDSCAPING IS TO BE PERPETUALLY MAINTAINED BY THE OWNER, AND ALL REQUIRED PLANTINGS SHALL BE REPLACED IF THEY DO NOT SURVIVE OR UPON NOTIFICATION BY THE COUNTY.
- IN LIEU OF AN IRRIGATION SYSTEM, THE OWNER SHALL MAKE SATISFACTORY ALTERNATE ARRANGEMENTS FOR WATERING OF ALL LANDSCAPED AREAS AS NEEDED FOR THEM TO BECOME ESTABLISHED AND KEPT ALIVE AS NEEDED.



TREE STAKING AND PLANTING DETAIL
NOT TO SCALE



U. S. 41 / 441



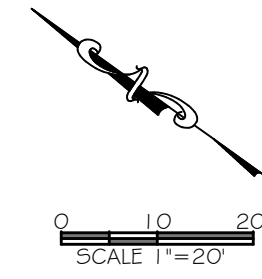
Digitally signed by Carol Chadwick
DN: cn=Carol Chadwick, o=Florida, ou=Forty Seven Properties, email=carol@fortysevenproperties.com, c=US
Date: 2024.08.08 08:56:48 -0400

FORTY SEVEN PROPERTIES, INC.
 1401 W. US HWY 1, SUITE 100
 LAKE CITY, FL 32025
 CONTACT: LARRY PERRY
 larry@fortysevenproperties.com

FORTY SEVEN PROPERTIES SITE PLAN
 SITE & DIMENSION PLAN
 LANDSCAPE PLAN

SHEET 4 OF 5

OUTDOOR STORAGE



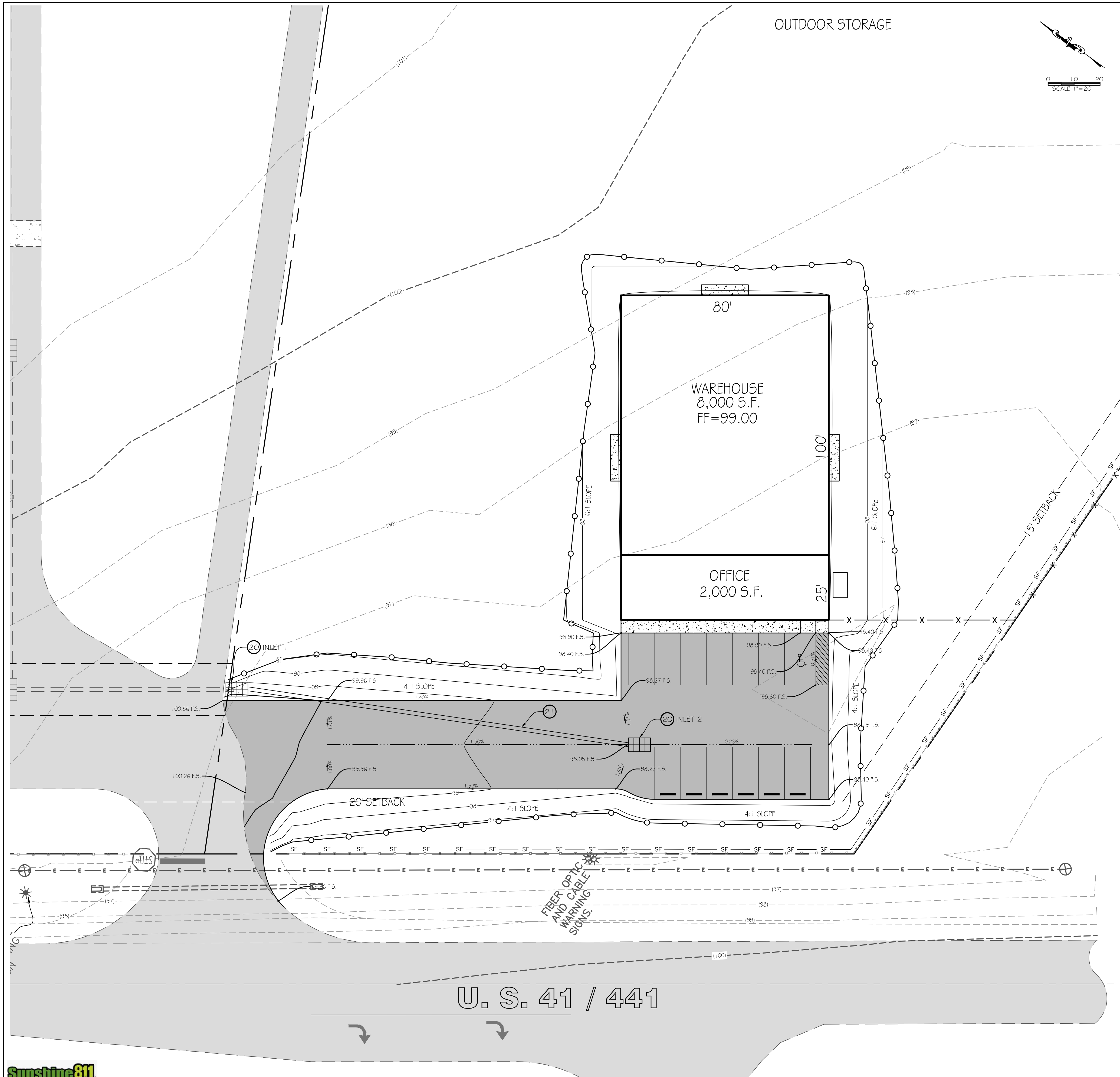
CONSTRUCTION NOTES & ESTIMATED QUANTITIES

- (20) TYPE F INLET PER FDOT INDEX 425-053 2 EA.
- (21) 18" STORM PIPE 148 L.F.

STORM SYSTEM DESIGN						
STRUCTURE	INV.	TOP	DEPTH	LENGTH	SLOPE	SIZE, INCH
EX. 18" STORM PIPE	95.00					
INLET 1	95.42	100.56	5.14			
PIPE 1				148.00	0.50	18
INLET 2	96.16	98.05	1.89			

NOTE TO CONTRACTOR:

EXISTING STORM DRAIN INVERT AND LOCATION MUST BE VERIFIED PRIOR TO CONSTRUCTION. ENGINEER WILL MAKE ADJUSTMENTS AS NECESSARY TO ACCOMMODATE DISCREPANCIES.



Digitally signed by Carol Chadwick
DN: cn=Carol Chadwick, o=Florida, ou=Qualifier-401410, email=carol@sunshine811.com, c=US

This sheet has been digitally signed and sealed by Carol Chadwick, P.E. on the data subject to the seal. Printed copies of this document are not considered legal and sealed and the signature must be verified on any electronic copies.

FORTY SEVEN PROPERTIES, INC.
 1500 W. UNIVERSITY BLVD.
 SUITE 100
 LAKE CITY, FL 32025
 CONTACT: LARRY PERRY
 larry@fortysevenproperties.com

CAROL CHADWICK, P.E.
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 124015

PROJECT NO. F124015
 DATE: AUG. 7, 2024
 SHEET NO. 5 OF 5
 GRADING & STORM DRAIN PLAN