

DATE 03/17/2005

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000022917

APPLICANT VERNON MASTERS PHONE 386-288-2055
 ADDRESS 4295 SW BIRLEY AVE LAKE CITY FL 32024
 OWNER MIKE STREICHER PHONE 352-317-4476
 ADDRESS 135 SW PHILLIPS CR LAKE CITY FL 32055
 CONTRACTOR VERNON MASTERS PHONE 386-288-2055
 LOCATION OF PROPERTY 90 W, L 252, L 252-B, 2ND ON RIGHT

TYPE DEVELOPMENT SFD, UTILITY ESTIMATED COST OF CONSTRUCTION 101600.00
 HEATED FLOOR AREA 2032.00 TOTAL AREA 3085.00 HEIGHT 20.00 STORIES 1
 FOUNDATION CONCRETE WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB
 LAND USE & ZONING RSF-2 MAX. HEIGHT 35
 Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
 NO. EX.D.U. 0 FLOOD ZONE A DEVELOPMENT PERMIT NO. _____

PARCEL ID 03-4S-16-02739-005 SUBDIVISION _____
 LOT _____ BLOCK _____ PHASE _____ UNIT _____ TOTAL ACRES .51

000000576 N CBC051320 Vernon A Masters
 Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
 PERMIT 05-0223-N BK Y
 Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FLOOR 1 FOOT ABOVE THE PAVED ROAD OR 2 FOOT ABOVE THE DIRT ROAD

Check # or Cash 1086

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power _____ Foundation _____ Monolithic _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Under slab rough-in plumbing _____ Slab _____ Sheathing/Nailing _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Framing _____ Rough-in plumbing above slab and below wood floor _____
 date/app. by _____ date/app. by _____
 Electrical rough-in _____ Heat & Air Duct _____ Peri. beam (Lintel) _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Permanent power _____ C.O. Final _____ Culvert _____
 date/app. by _____ date/app. by _____ date/app. by _____
 M/H tie downs, blocking, electricity and plumbing _____ Pool _____
 date/app. by _____ date/app. by _____
 Reconnection _____ Pump pole _____ Utility Pole _____
 date/app. by _____ date/app. by _____ date/app. by _____
 M/H Pole _____ Travel Trailer _____ Re-roof _____
 date/app. by _____ date/app. by _____ date/app. by _____

BUILDING PERMIT FEE \$ 510.00 CERTIFICATION FEE \$ 15.43 SURCHARGE FEE \$ 15.43
 MISC. FEES \$.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ _____ WASTE FEE \$ _____
 FLOOD ZONE DEVELOPMENT FEE \$ _____ CULVERT FEE \$ 25.00 TOTAL FEE 615.86

INSPECTORS OFFICE J. H. W. CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

576/ Revised 9-23-04

For Office Use Only Application # 0503-07 Date Received 3/2/05 By G Permit # 22917
Application Approved by - Zoning Official BLK Date 17.03.05 Plans Examiner OK JTH Date 3-17-05
Flood Zone A Development Permit N/A Zoning RSF-2 Land Use Plan Map Category RES. Low Dev.
Comments 1st Floor Elevation to be 1ft above Rd
(NOC)

Applicants Name VERNON MASTERS Construction INC Phone 386 288 2055
Address 4295 SW BIRLEY AVE Lake City, FL 32024
Owners Name MIKE STREICHER Phone 352-317-4476
911 Address 135 SW PHILLIPS CN
Contractors Name VERNON MASTERS Phone
Address 4295 SW BIRLEY AVE
Fee Simple Owner Name & Address
Bonding Co. Name & Address
Architect/Engineer Name & Address BRIAN SCRAWFORD Designer (Nicholas PAUL GIESLER) ARCHITECT
Mortgage Lenders Name & Address NONE

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy
Property ID Number 03-45-16-02739-005 Estimated Cost of Construction 120,000
Subdivision Name TURLEY Row NONE Lot Block Unit Phase 1
Driving Directions 90 W to 252 (C) on 252 B down on right 2nd lot on the (R)

Type of Construction FRAME Number of Existing Dwellings on Property 0
Total Acreage 1/2 ac. Lot Size .51 Do you need a Culvert Permit or Culvert Waiver or Have an Existing Drive
Actual Distance of Structure from Property Lines - Front 40' Side 21' Side 21' Rear 116'
Total Building Height 19'5 1/2" Number of Stories 1 Heated Floor Area 2032.8 Roof Pitch 6/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.
OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.
WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me
7th day of FEBRUARY 2005
legally known or Produced Identification

Contractor Signature
Contractors License Number 05051320
Competency Card Number
NOTARY STAMP/SEAL

Notary Signature
Bradley J. Wheeler
Notary Public
Commission # 00118993 EXPIRES October 2006
BUNDLED THROUGH FARM INSURANCE, INC

Compliance with Method B Chapter 6 of the Florida Energy Efficiency Code may be demonstrated by the use of Form 600B for single and multifamily residences of 3 stories or less in height, and additions to existing residential buildings. To comply, a building must meet or exceed all of the energy efficiency prescriptives in any one of the prescriptive component packages and comply with the prescriptive measures listed in Table 6B-1 of this form. An alternative method is provided for additions of 600 square feet or less by use of Form 600C. If a building does not comply with this method, it may still comply under other sections in Chapter 6 of the Code.

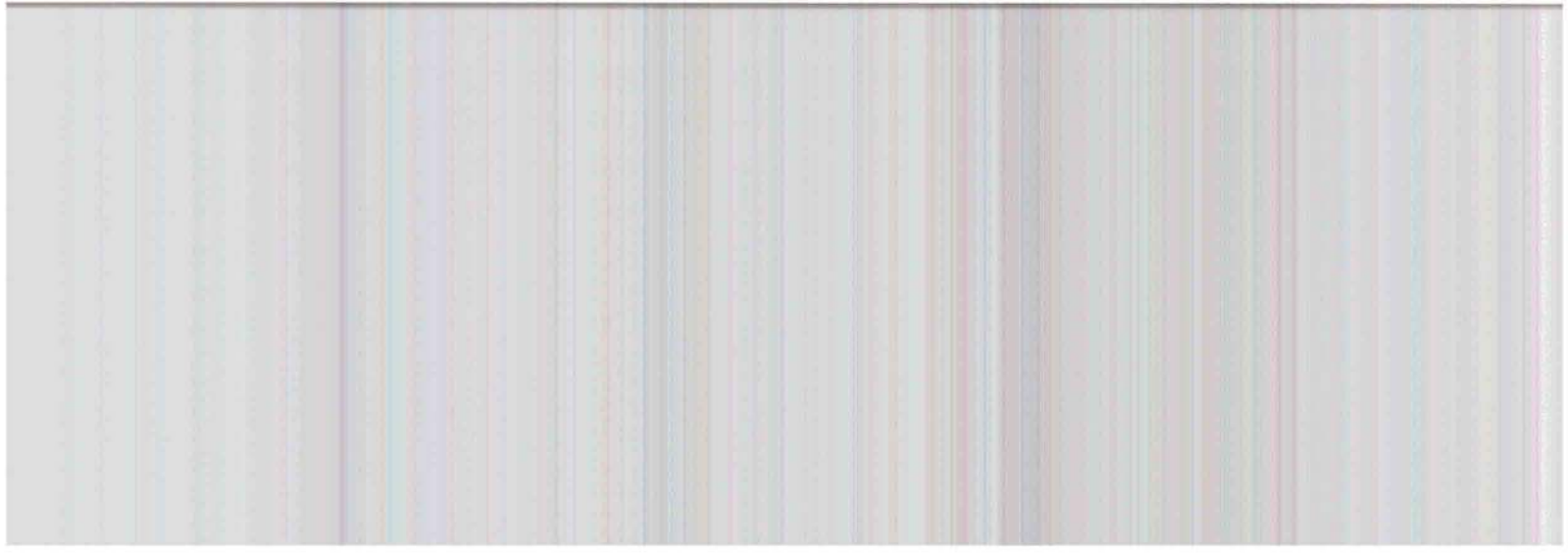
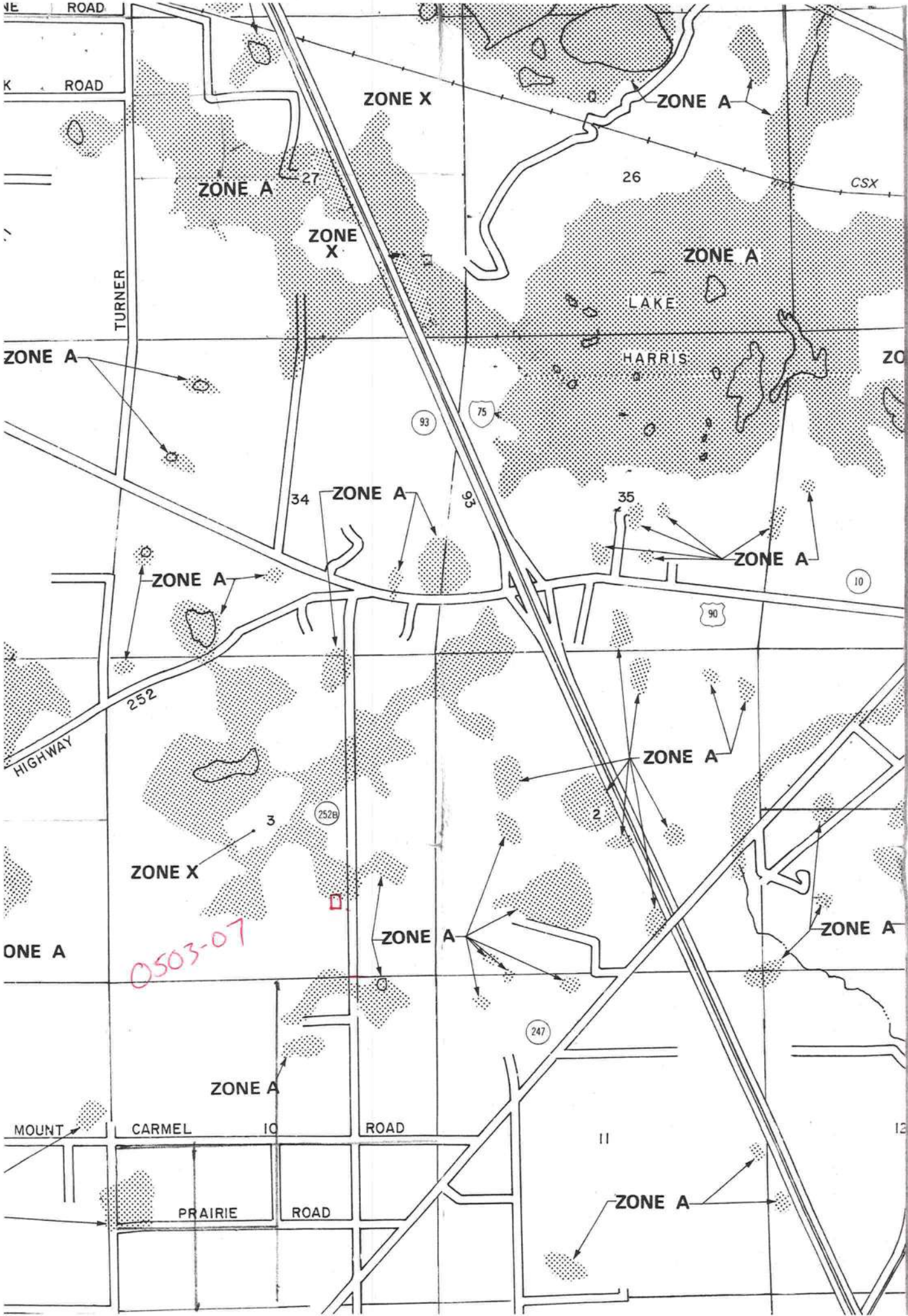
PROJECT NAME: <u>Streicher Spec House</u>	BUILDER: <u>VERNO MASTER Construction Inc</u>
AND ADDRESS: <u>135 SW PHILIPS Cir</u> <u>Lake City FL</u>	PERMITTING OFFICE: <u>Columbia County</u>
OWNER: <u>MIKE STREICHER</u>	PERMIT NO.: <u>22917</u>
	CLIMATE ZONE: 1 <input type="checkbox"/> 2 <input checked="" type="checkbox"/> 3 <input type="checkbox"/>
	JURISDICTION NO.: <u>229000</u>

- GENERAL DIRECTIONS**
- New construction including additions which incorporates any of the following features cannot comply using this method: steel stud walls, single assembly roof/ceiling construction, or skylights or other non-vertical roof glass.
 - Choose one of the component packages "A" through "E" from Table 6B-1 by which you intend to comply with the Code. Circle the column of the package you have chosen.
 - Fill in all the applicable spaces of the "To Be Installed" column on Table 6B-1 with the information requested. All "To Be Installed" values must be equal to or more efficient than the required levels.
 - Complete page 1 based on the "To Be Installed" column information.
 - Read "Minimum Requirements for All Packages", Table 6B-2 and check each box to indicate your intent to comply with all applicable items.
 - Read, sign and date the "Prepared By" certification statement at the bottom of page 1. The owner or owner's agent must also sign and date the form.

- Compliance package chosen (A-F)
- New construction or addition
- Single family detached or Multifamily attached
- If Multifamily—No. of units covered by this submission
- Is this a worst case? (yes / no)
- Conditioned floor area (sq. ft.)
- Predominant eave overhang (ft.)
- Glass type and area :
 - Clear glass
 - Tint, film or solar screen
- Percentage of glass to floor area
- Floor type, area or perimeter, and insulation:
 - Slab on grade (R-value)
 - Wood, raised (R-value)
 - Wood, common (R-value)
 - Concrete, raised (R-value)
 - Concrete, common (R-value)
- Wall type, area and insulation:
 - Exterior:
 - Masonry (Insulation R-value)
 - Wood frame (Insulation R-value)
 - Adjacent:
 - Masonry (Insulation R-value)
 - Wood frame (Insulation R-value)
- Ceiling type, area and insulation:
 - Under attic (Insulation R-value)
 - Single assembly (Insulation R-value)
- Air Distribution System: Duct insulation, location
Test report (attach if required)
- Cooling system
(Types: central, room unit, package terminal A.C., gas, none)
- Heating system:
(Types: heat pump, elec. strip, nat. gas, L.P. gas, gas h.p., room or PTAC, none)
- Hot water system:
(Types: elec., nat. gas, L.P. gas, solar, heat rec., ded. heat pump, other, none)

		Please Print		CK
1.	<u>A</u>			
2.	<u>NEW</u>			
3.	<u>Single Family</u>			
4.	<u>NO</u>			
5.	<u>NO</u>			
6.	<u>2032.5</u>			
7.	<u>1'6"</u>			
		Single Pane	Double Pane	
8a.	<u>0</u>	sq. ft.	<u>335</u>	sq. ft.
8b.	<u>0</u>	sq. ft.	<u>0</u>	sq. ft.
9.	<u>0</u>	%		
10a.	R= <u>0</u>		<u>279</u>	lin. ft.
10b.	R=			sq. ft.
10c.	R=			sq. ft.
10d.	R=			sq. ft.
10e.	R=			sq. ft.
11a-1	R=			sq. ft.
11a-2	R= <u>13</u>		<u>2431</u>	sq. ft.
11b-1	R=			sq. ft.
11b-2	R= <u>13</u>		<u>290</u>	sq. ft.
12a.	R= <u>30</u>		<u>2577</u>	sq. ft.
12b.	R=			sq. ft.
13.	R=			
14a.	Type: <u>6 Central Heat Pump</u>			
14b.	SEER/EER: <u>13</u>			
14c.	Capacity: <u>45</u>			
15a.	Type: <u>Electric Heat Pump</u>			
15b.	HSPF/COP/AFUE:			
15c.	Capacity: <u>40</u>			
16a.	Type: <u>Electric</u>			
16b.	EF: <u>.93</u>			

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code. PREPARED BY: <u>[Signature]</u> DATE: <u>3-15-07</u> I hereby certify that this building, as designed, is in compliance with the Florida Energy Code. OWNER AGENT: <u>[Signature]</u> DATE: <u>3-16-05</u>	Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S. BUILDING OFFICIAL: _____ DATE: _____
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**Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan**

Permit Application Number: 05-0223N

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

STREICHER/CR 04-2622

Vacant



210'

273'

Occupied

Vacant

Slight slope

Paved drive

Waterline

Proposed

Site 1

10' utility easement

20'

15'

20'

Swale

Site 2

TBM in tack in road

Vacant

1 inch = 50 feet

Site Plan Submitted By *Paul Lopez* Date 2/18/05

Plan Approved Not Approved Date 3/9-05

By *[Signature]* *Colenba* CPHU

Notes: _____

STREICHER MICHAEL

1	COMM AT NE COR OF SW1/4 OF	SE1/4, RUN W 36.24 FT TO W R/W	2
3	OF C R 252-B FOR POB, RUN S	ALONG R/W 213.61 FT TO N R/W	4
5	OF SW PHILLIPS DR, W ALONG R/W	207.71 FT, N 213.61 FT, EAST	6
7	208.29 FT TO W R/W OF C R 252-	B ORB 1032-2318-2322	8
9	.....	.....	10
11	.....	.....	12
13	.....	.....	14
15	.....	.....	16
17	.....	.....	18
19	.....	.....	20
21	.....	.....	22
23	.....	.....	24
25	.....	.....	26
27	.....	.....	28

Mnt 12/23/2004 LARRY

F1=Task F3=Exit F4=Prompt F10=GoTo PGUP/PGDN F24=MoreKeys

DESCRIPTION

Tuesday, January 25, 2005

FOR: Everett Phillips – Parcel A at NE Corner of Turkey Run

A parcel of land in the Southwest 1/4 of the Southeast 1/4 of Section 3, Township 4 South, Range 16 East Columbia County, Florida, being more particularly described as follows: COMMENCE at the point of intersection of the North line of said Southwest 1/4 of the Southeast 1/4 and the Westerly Right-of-Way line of County Road No. 252-B and run S.88°17'52"W. along said North line of the Southwest 1/4 of the Southeast 1/4 a distance of 104.14 feet to the POINT OF BEGINNING; thence S.01°37'20"E. 213.61 feet to a point on the Northerly Right-of-Way line of SW Phillips Circle; thence S.88°17'52"W. along said Northerly Right-of-Way line 103.85 feet to the Southeast corner of Lot No. 1 of TURKEY RUN, a subdivision recorded in Plat Book 7, Page 116 of the Public Records of Columbia County, Florida; thence N.01°42'08"W. along the East line of said Lot No. 1 a distance of 213.61 feet to the Northeast corner of said Lot No. 1, being also a point on the North line of the Southwest 1/4 of the Southeast 1/4; thence N.88°17'52"E. along said North line 104.15 feet to the POINT OF BEGINNING. Containing 0.51 acres, more or less.

PREPARED By:

Donald F. Lee and Associates, Inc.
140 NW Ridgewood Avenue, Lake City, FL 32055
Ph: (386) 755-6166 FAX: (386) 755-6167
Email: dfla@suwanneevalley.net

DESCRIPTION

Tuesday, January 25, 2005

FOR: Everett Phillips – Parcel A at NE Corner of Turkey Run

A parcel of land in the Southwest 1/4 of the Southeast 1/4 of Section 3, Township 4 South, Range 16 East Columbia County, Florida, being more particularly described as follows: COMMENCE at the point of intersection of the North line of said Southwest 1/4 of the Southeast 1/4 and the Westerly Right-of-Way line of County Road No. 252-B and run S.88°17'52"W. along said North line of the Southwest 1/4 of the Southeast 1/4 a distance of 104.14 feet to the POINT OF BEGINNING; thence S.01°37'20"E. 213.61 feet to a point on the Northerly Right-of-Way line of SW Phillips Circle; thence S.88°17'52"W. along said Northerly Right-of-Way line 103.85 feet to the Southeast corner of Lot No. 1 of TURKEY RUN, a subdivision recorded in Plat Book 7, Page 116 of the Public Records of Columbia County, Florida; thence N.01°42'08"W. along the East line of said Lot No. 1 a distance of 213.61 feet to the Northeast corner of said Lot No. 1, being also a point on the North line of the Southwest 1/4 of the Southeast 1/4; thence N.88°17'52"E. along said North line 104.15 feet to the POINT OF BEGINNING. Containing 0.51 acres, more or less.

PREPARED By:

Donald F. Lee and Associates, Inc.
140 NW Ridgewood Avenue, Lake City, FL 32055
Ph: (386) 755-6166 FAX: (386) 755-8167
Email: dfla@suwanneevalley.net

DESCRIPTION

Tuesday, January 25, 2005

FOR: Everett Phillips – Parcel A at NE Corner of Turkey Run

A parcel of land in the Southwest 1/4 of the Southeast 1/4 of Section 3, Township 4 South, Range 16 East Columbia County, Florida, being more particularly described as follows: COMMENCE at the point of intersection of the North line of said Southwest 1/4 of the Southeast 1/4 and the Westerly Right-of-Way line of County Road No. 252-B and run S.88°17'52"W. along said North line of the Southwest 1/4 of the Southeast 1/4 a distance of 104.14 feet to the POINT OF BEGINNING; thence S.01°37'20"E. 213.61 feet to a point on the Northerly Right-of-Way line of SW Phillips Circle; thence S.88°17'52"W. along said Northerly Right-of-Way line 103.85 feet to the Southeast corner of Lot No. 1 of TURKEY RUN, a subdivision recorded in Plat Book 7, Page 116 of the Public Records of Columbia County, Florida; thence N.01°42'08"W. along the East line of said Lot No. 1 a distance of 213.61 feet to the Northeast corner of said Lot No. 1, being also a point on the North line of the Southwest 1/4 of the Southeast 1/4; thence N.88°17'52"E. along said North line 104.15 feet to the POINT OF BEGINNING. Containing 0.51 acres, more or less.

PREPARED By:

Donald F. Lee and Associates, Inc.
140 NW Ridgewood Avenue, Lake City, FL 32055
Ph: (386) 755-6165 FAX: (386) 755-8167
Email: dfla@suwanneevalley.net

Armeda Tracy

Floor Plan including:

- a) Rooms labeled and dimensioned
- b) Shear walls *NO TOTAL SHEAR WALL SEGMENTS*
- c) Windows and doors (including garage doors) showing size, mfg., approval listing and attachment specs. (FBC 1707) and safety glazing where needed (egress windows in bedrooms to be shown)
- d) Fireplaces (gas appliance) (vented or non-vented) or wood burning with hearth
- e) Stairs with dimensions (width, tread and riser) and details of guardrails and handrails
- f) Must show and identify accessibility requirements (accessible bathroom) *30" opening ONE BATH ROOM*

Foundation Plan including:

- a) Location of all load-bearing wall with required footings indicated as standard Or monolithic and dimensions and reinforcing
- b) All posts and/or column footing including size and reinforcing
- c) Any special support required by soil analysis such as piling *PLAN CALL FOR DESIGN SOIL BEARING PRESSURE 1500 PSF*
- d) Location of any vertical steel

Roof System:

- a) Truss package including: *ALPINE*
 1. Truss layout and truss details signed and sealed by Fl. Pro. Eng. *WALTER FINN*
 2. Roof assembly (FBC 104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating) *110 MPH*
- b) Conventional Framing Layout including:
 1. Rafter size, species and spacing
 2. Attachment to wall and uplift
 3. Ridge beam sized and valley framing and support details
 4. Roof assembly (FBC 104.2.1 Roofing systems, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)

Wall Sections including:

- a) Masonry wall
 1. All materials making up wall
 2. Block size and mortar type with size and spacing of reinforcement
 3. Lintel, tie-beam sizes and reinforcement
 4. Gable ends with rake beams showing reinforcement or gable truss and wall bracing details
 5. All required connectors with uplift rating and required number and size of fasteners for continuous tie from roof to foundation
 6. Roof assembly shown here or on roof system detail (FBC 104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with resistance rating)
 7. Fire resistant construction (if required)
 8. Fireproofing requirements
 9. Shoe type of termite treatment (termicide or alternative method)
 10. Slab on grade
 - a. Vapor retardant (6mil. Polyethylene with joints lapped 6 inches and sealed)
 - b. Must show control joints, synthetic fiber reinforcement or Welded fire fabric reinforcement and supports
 11. Indicate where pressure treated wood will be placed
 12. Provide insulation R value for the following:
 - a. Attic space
 - b. Exterior wall cavity
 - c. Crawl space (if applicable)

b) Wood frame wall

- ✓ 1. All materials making up wall
- ✓ 2. Size and species of studs *2x4 16 OC*
- ✓ 3. Sheathing size, type and nailing schedule *7/16 OSB 8d COMMON NAIL*
- ✓ 4. Headers sized *See Sheet 4 Header SPANS*
- ✓ 5. Gable end showing balloon framing detail or gable truss and wall hinge bracing detail *See Sheet 4*
- ✓ 6. All required fasteners for continuous tie from roof to foundation (truss anchors, straps, anchor bolts and washers)
- ✓ 7. Roof assembly shown here or on roof system detail (FBC104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating) *See Framing ANCHOR Schedule Sheet 6*
- ~~8. Fire resistant construction (if applicable)~~
- ✓ 9. Fireproofing requirements *See PENETRATIONS sheet 6*
- ✓ 10. Show type of termite treatment (termicide or alternative method) *see sheet 6*
- 11. Slab on grade
 - ✓ a. Vapor retardant (6Mil. Polyethylene with joints lapped 6 inches and sealed) *NONE SHOWN*
 - ✓ b. Must show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and supports
- ✓ 12. Indicate where pressure treated wood will be placed
- ✓ 13. Provide insulation R value for the following:
 - ✓ a. Attic space
 - ✓ b. Exterior wall cavity
 - ✓ c. Crawl space (if applicable)

□ c) Metal frame wall and roof (designed, signed and sealed by Florida Prof. Engineer or Architect)

Floor Framing System:

- a) Floor truss package including layout and details, signed and sealed by Florida Registered Professional Engineer
- b) Floor joist size and spacing
- c) Girder size and spacing
- d) Attachment of joist to girder
- e) Wind load requirements where applicable

Plumbing Fixture layout

Electrical layout including:

- a) Switches, outlets/receptacles, lighting and all required GFCI outlets identified
- b) Ceiling fans *3*
- c) Smoke detectors *See NOTES*
- d) Service panel and sub-panel size and location(s) *in utility room NOT SIZED*
- e) Meter location with type of service entrance (overhead or underground) *Bedroom 2 EXTERIOR*
- f) Appliances and HVAC equipment *GARAGE AREA NOT INCLUDED*
- g) Arc Fault Circuits (AFCI) in bedrooms - *See ELECTRICAL NOTES Sheet 7*

HVAC information

- a) Manual J sizing equipment or equivalent computation *BOILER HEATING AIR*
- b) Exhaust fans in bathroom *2*

Energy Calculations (dimensions shall match plans) *NOT PROVIDED*

Gas System Type (LP or Natural) Location and BTU demand of equipment *Need FIRE PLACE SPECIFICATION*

Disclosure Statement for Owner Builders

*****Notice Of Commencement Required Before Any Inspections Will Be Done**
NOT PROVIDED WITH APPLICATION

Private Potable Water

- a) Size of pump motor
- b) Size of pressure tank *CITY WATER*
- c) Cycle stop valve if used

See Sheet 7

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all residential projects.
2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested.
3. **Environmental Health Permit or Sewer Tap Approval:** A copy of the Environmental Health permit, existing septic approval or sewer tap approval is required before a building permit can be issued.
(386) 758-1058 (**Toilet facilities shall be provided for construction workers**)
4. **City Approval:** If the project is to be located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321
5. **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.**
A development permit will also be required. Development permit cost is **\$50.00**
6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit (**\$25.00**) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (**\$50.00**). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.
7. **911 Address:** If the project is located in an area where the 911 address has been issued, then the proper paperwork from the 911 Addressing Department must be submitted. (386) 752-8787

ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE – TIME WILL NOT ALLOW THIS –PLEASE DO NOT ASK

**Columbia County Building Department
Culvert Permit**

**Culvert Permit No.
000000576**

DATE 03/17/2005 PARCEL ID # 03-4S-16-02739-005
APPLICANT VERNON MASTERS PHONE 386-288-2055
ADDRESS 4295 SW BIRLEY AVE LAKE CITY FL 32024
OWNER MIKE STREICHER PHONE 352-317-4476
ADDRESS 135 SW PHILLIPS CR LAKE CITY FL 32055
CONTRACTOR VERNON MASTERS PHONE 386-288-2055
LOCATION OF PROPERTY 90 W, L 252, L 252B, 2ND LOT ON RIGHT

SUBDIVISION/LOT/BLOCK/PHASE/UNIT _____

SIGNATURE *Vernon Masters*

INSTALLATION REQUIREMENTS

Culvert size will be 18 inches in diameter with a total length of 32 feet, leaving 24 feet of driving surface. Both ends will be mitered 4 foot with a 4 : 1 slope and poured with a 4 inch thick reinforced concrete slab.

INSTALLATION NOTE: Turnouts will be required as follows:

- a) a majority of the current and existing driveway turnouts are paved, or;
 - b) the driveway to be served will be paved or formed with concrete.
- Turnouts shall be concrete or paved a minimum of 12 feet wide or the width of the concrete or paved driveway, whichever is greater. The width shall conform to the current and existing paved or concreted turnouts.

Culvert installation shall conform to the approved site plan standards.

Department of Transportation Permit installation approved standards.

Other _____

**ALL PROPER SAFETY REQUIREMENTS SHOULD BE FOLLOWED
DURING THE INSTALATION OF THE CULVERT.**

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

Amount Paid 25.00



Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only Application # _____ Date Received _____ By _____ Permit # 22919

Application Approved by - Zoning Official _____ Date _____ Plans Examiner _____ Date _____

Flood Zone _____ Development Permit _____ Zoning _____ Land Use Plan Map Category _____

Comments _____

Applicants Name CHARLES & BEVERLY REGAR Phone 386-755-4161

Address 264 SE HUBBLE ST. LAKE CITY FL. 32025

Owners Name CHARLES & BEVERLY REGAR Phone 386-755-4161

911 Address 264 SE HUBBLE ST. LAKE CITY FL. 32025

Contractors Name SELF Phone _____

Address _____

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address _____

Mortgage Lenders Name & Address _____

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy

Property ID Number 15-4S-17-08360-206 Estimated Cost of Construction _____

Subdivision Name Rolling Hills Lot 6 Lot 6 Block _____ Unit _____ Phase _____

Driving Directions 90 E TO COUNTRY CLUB RD TURN RIGHT - FOLLOW COUNTRY CLUB RD TO HUBBLE ST - TURN RIGHT STA house LEFT

Type of Construction Roof over Number of Existing Dwellings on Property 1

Total Acreage 3/4 AC. Lot Size _____ Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive

Actual Distance of Structure from Property Lines - Front _____ Side _____ Side _____ Rear _____

Total Building Height _____ Number of Stories 1 Heated Floor Area 1560 Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Beverly Regar
Owner Builder or Agent (Including Contractor)

Contractor Signature
Contractors License Number _____
Competency Card Number _____
NOTARY STAMP/SEAL

STATE OF FLORIDA
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me
this _____ day of _____ 20____.

Personally known _____ or Produced Identification _____

Notary Signature

MARCH 18, 05

I BEVERLY REGAR GIVE CINDY
WORRELL MY CONSENT TO PICK
UP MY BUILDING PERMIT.

Beverly Regan

Gale Tedder



Florida DRIVER LICENSE CLASS E

Beverly Regan

ORGAN DONOR
D010405270115

Operation of a motor vehicle constitutes consent to any sobriety test required by law.

The Sunshine State
LICENSE NUMBER
R260-072-52-642-0

BEVERLY LYNETTE REGAR
264 SE HUBBLE STREET
LAKE CITY, FL 32025-0000

BIRTH DATE	SEX	HGT.	REST	ENDORSE
04-22-52	F	5-03	A	

ISSUED	EXPIRES	DUPLICATE
07-18-02	04-22-08	05-27-04

SAFE DRIVER

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 08360-206

1. Description of property: (legal description of the property and street address or 911 address)

Rolling Hills Lot 6

Inst: 2005006434 Date: 03/18/2005 Time: 13:15

DC, P. DeWitt Cason, Columbia County B: 1041 P: 2

2. General description of improvement: Roof over

3. Owner Name & Address CHARLES & BEVERLY REGAN 264 SE HUBBLE ST.
LAKE CITY, FL. 32025 Interest in Property _____

4. Name & Address of Fee Simple Owner (if other than owner): _____

5. Contractor Name Self Phone Number _____

Address _____

6. Surety Holders Name _____ Phone Number _____

Address _____

Amount of Bond _____

7. Lender Name _____ Phone Number _____

Address _____

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name _____ Phone Number _____

Address _____

9. In addition to himself/herself the owner designates _____ of _____

to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) -

(a) 7. Phone Number of the designee _____

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) _____

NOTICE AS PER CHAPTER 713, Florida Statutes:

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

Beverly Regan
Signature of Owner

Sworn to (or affirmed) and subscribed before day of MARCH 2005 ^{18th}



Gale Tedder
Signature of Notary

MATERIAL LIST

LATHING 2 FT ON CENTER

ROOF PANELS

70" FT RIDGE CAP

30" FT TRANSITION FLASHING

50" FT SIDEWALL FLASHING

170" FT DRIP EDGE

160 FT RAKE TRIM

3 VENT BOOTS

1 4' VENT BOOT

SCREWS

CAULK

BYUTAL

2 PCS. T. 111

3 4x8x 1/2 OSB

10 1x6x12 CYPRESS

DISCLOSURE STATEMENT

FOR OWNER/BUILDER WHEN ACTING AS THEIR OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$25,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

TYPE OF CONSTRUCTION

- Single Family Dwelling
- Farm Outbuilding
- New Construction
- Two-Family Residence
- Other _____
- Addition, Alteration, Modification or other Improvement

NEW CONSTRUCTION OR IMPROVEMENT

I Beverly Regan, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes ss.489.103(7) allowing this exception for the construction permitted by Columbia County Building Permit Number _____

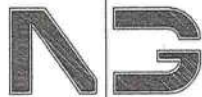
Beverly Regan
Signature

March 18, 05
Date

FOR BUILDING USE ONLY

I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7).

Date _____ Building Official/Representative _____



NICHOLAS
PAUL
GEISLER

ARCHITECT
N.C.A.R.B. Certified

1758 NW Brown Road
Lake City, FL 32055
386/755-9021

23 JUNE 2005

BUILDING OFFICIAL
COLUMBIA COUNTY BUILDING DEPARTMENT
COLUMBIA COUNTY COURTHOUSE ANNEX
LAKE CITY, FLORIDA

RE: TURKEY RUN, LOT Nr.: A
PERMIT Nr.: 22917

DEAR SIR:

PLEASE BE ADVISED THAT THE TRUSS ANCHOR STRAPS AS INDICATED IN THE CONSTRUCTION DOCUMENTS ARE SUGGESTED STRAPS AND THAT THE TRUSS ENGINEERED SHOP DRAWINGS TAKE PRECEDENCE OVER THAT INDICATED IN THE CONSTRUCTION DOCUMENTS. THE DIRECT RESULT IS THAT THE UPLIFT LOADS INDICATED FOR EACH TRUSS IN THE ENGINEERED SHOP DRAWINGS MAY BE MATCHED TO STANDARD PRODUCT UPLIFT RATINGS FOR COMPARABLE UPLIFT CONNECTORS, AND THAT THE PRODUCTS THAT PROVIDE EQUAL OR GREATER UPLIFT RESISTANCE MAY BE USED IN LIEU OF THOSE INDICATED IN THE CONSTRUCTION DOCUMENTS.

ANCHORS FOR THE GARAGE GIRDER TRUSS SHALL BE AS PER "SIMPSON" LTT20 TOP AND BOTTOM OF THE SUPPORTING POSTS, WITH A THRU-BOLT AT THE TOP PLATE AND A 5/8"Ø X 9" ALL THREAD ROD SET IN A DRILLED HOLE IN THE CONCRETE FOUNDATION AT A MINIMUM DEPTH OF 6" WITH A TWO-PART EPOXY CONSTRUCTION ADHESIVE. ALL NAIL HOLES SHALL BE FILLED AS PER MANUFACTURERS PRODUCT SPECIFICATIONS. WHERE THE GIRDER IS SUPPORTED ON THE THE GARAGE DOOR HEADER, THE HEADER SHALL BE STRAPPED TO THE SUPPORT POSTS WITH "SIMPSON" ST36 NAILED TO PROVIDE A MINIMUM OF 850 LBS OF UPLIFT RESISTANCE AT EACH END OF THE HEADER. THE BASE OF THE SUPPORT POSTS SHALL BE ANCHORED IN A SIMILAR MANNER AS DETAILED, ABOVE USING "SIMPSON" LTT19 STRAPS.

PLEASE BE ADVISED THAT THE GARAGE DOOR HEADED AND THE REAR PORCH BEAM MAY BE CONSTRUCTED WITH 2 - 2X10 MEMBERS SEPARATED WITH A 1/2" PLYWOOD FLITCH PLATE IN LIEU OF THE LVL BEAMS INDICATED IN THE CONSTRUCTION DOCUMENTS.

SHOULD YOU HAVE ANY FURTHER QUESTIONS, PLEASE CALL FOR ASSISTANCE.

YOURS TRULY,
NICHOLAS PAUL GEISLER, ARCHITECT AR0007005

FL Reg.: AR0007005 - GA Reg.: 7972 - NC Reg.: 9446

Notice of Intent for Preventative Treatment for Termites

(As required by Florida Building Code 104.2.6)

Date: 5-10-06

135 SW Phillips Ct
(Address of Treatment or Lot/Block of Treatment)

LAKE CITY, FL
City

Florida Pest Control & Chemical Co.

www.flapest.com

Product to be used: Bora-Care Termiticide (Wood Treatment)

Chemical to be used: 23% Disodium Octaborate Tetrahydrate

Application will be performed onto structural wood at dried-in stage of construction. Bora-Care Termiticide application shall be applied according to EPA registered label directions as stated in the Florida Building Code Section 1861.1.8

(Information to be provided to local building code offices prior to concrete foundation installation.)

- 22917 -

6/04 ©